



CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

LOCATION 94 Beverly St (Lot #147) 333-H-015  
Date of Issue 16 July 1997

Issued to Custom Built Homes of Maine

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 970181, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

Single Family Dwelling  
No Garage/No Decks

Limiting Conditions: TEMPORARY:

See attached memo dated 23 June 1997 from Jim Wendel listing two (2) conditions of approval.

This certificate supersedes certificate issued

Approved:

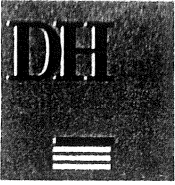
7/16/97  
(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

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perm  
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DeLUCA HOFFMAN ASSOCIATES, INC.  
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## MEMORANDUM

**TO:** Code Enforcement

**FROM:** Jim Wendel, Development Review Coordinator

**DATE:** June 23, 1997

**RE:** Request for Certificate of Occupancy  
94 Beverly Street (lot 147)

On June 20, 1997 a meeting was held at the site with Philip Grondin owner of R. J. Grondin & Sons and the subdivision to discuss my memo to code enforcement dated May 30, 1997 regarding a request for a certificate of occupancy. The following items were agreed to.

1. As requested in the referenced memo, R.J.Grondin & Sons will install a 12 RCP inlet to the catch basin at the corner of the lot and regrade the ditch from the back yard that drains to the culvert. He agreed to do this work within two weeks.
2. The problematic grading at the two doorways will be solved when the driveway and the front walk will be paved when the remainder of Beverly Street is paved; this work is part of the contract with the new homeowners, the builder and R. J. Grondin & Sons.

With this work clarified and a schedule established, **It is my opinion that a temporary certificate of occupancy could be issued** assuming code enforcement has no outstanding issues.

James T. Wendel, P.E.

c: Kandi Talbot, Planning Department

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