

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING DEPARTMENT

## PERMIT

Permit Number: 051487

This is to certify that Sarkisov Valeriy & /no contractor / self  
has permission to ammend permit # 05-1318 - add attach 26' x 30' garage and breezeway  
AT 129 Braintree St 333 H005001

**PERMIT ISSUED**  
OCT 14 2005  
CITY OF PORTLAND

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification inspection must given and when permission procured before this building or part thereof is started or closed-in.  
48 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

*[Signature]*  
10/14/05  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-1487	Issued Date: <b>PERMIT ISSUED</b> OCT 14 2005	333 H005001
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Location of Construction: 129 Braintree St	Owner Name: Sarkisov Valeriy &	Owner Address: 135 Braintree St	Phone: 207-831-8546
Business Name:	Contractor Name: no contractor / self	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Garages - Attached	Zone: R-2

Past Use: single family	Proposed Use: single family - ammend permit # 05-1318 - build attached 26' x 36' garage and breezeway	Permit Fee: \$174.00	Cost of Work: \$17,000.00	CEO District: 5
Proposed Project Description: ammend permit # 05-1318 - build attached 26' x 36' garage and breezeway		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied Signature: <i>[Signature]</i>	INSPECTION: Use Group: R-3 Type: 5B IRC 2003 Signature: <i>[Signature]</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: tmm	Date Applied For: 10/14/2005	<b>Zoning Approval</b>
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p><b>Special Zone or Reviews</b></p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: 10/14/05</p>	<p><b>Zoning Appeal</b></p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied <p>Date: _____</p>	<p><b>Historic Preservation</b></p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <p>Date: 10/14/05</p>
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 05-1487	<b>Date Applied For:</b> 10/14/2005	<b>CBL:</b> 333 H005001
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<b>Location of Construction:</b> 129 Braintree St	<b>Owner Name:</b> Sarkisov Valeriy &	<b>Owner Address:</b> 135 Braintree St	<b>Phone:</b> 207-831-8546
<b>Business Name:</b>	<b>Contractor Name:</b> no contractor / self	<b>Contractor Address:</b> Portland	<b>Phone:</b>
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Garages - Attached	

<b>Proposed Use:</b> single family - ammend permit # 05-1318 - build attached 26' x 36' garage and breezeway	<b>Proposed Project Description:</b> ammend permit # 05-1318 - build attached 26' x 36' garage and breezeway
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<b>Dept:</b> Zoning	<b>Status:</b> Approved	<b>Reviewer:</b> Tammy Munson	<b>Approval Date:</b> 10/14/2005
<b>Note:</b>	<b>Ok to Issue:</b> <input checked="" type="checkbox"/>		
<b>Dept:</b> Building	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Tammy Munson	<b>Approval Date:</b> 10/14/2005
<b>Note:</b>	<b>Ok to Issue:</b> <input checked="" type="checkbox"/>		
<ol style="list-style-type: none"> <li>1) Frost protection must be installed per the enclosed detail as discussed w/owner/contractor.</li> <li>2) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.</li> <li>3) Separate permits are required for any electrical, plumbing, or heating.</li> <li>4) All engineered beam specifications must be submitted to this office prior to close in.</li> </ol>			

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- N/A Footing/Building Location Inspection: Prior to pouring concrete
- N/A Re-Bar Schedule Inspection: Prior to pouring concrete
- N/A Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

\_\_\_\_\_ If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

\_\_\_\_\_ **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

X K. Sarkisov  
Signature of Applicant/Designee

Date 10/14/05

\_\_\_\_\_  
Signature of Inspections Official

Date

CBL: 333-H-5

Building Permit #: 05-1487

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

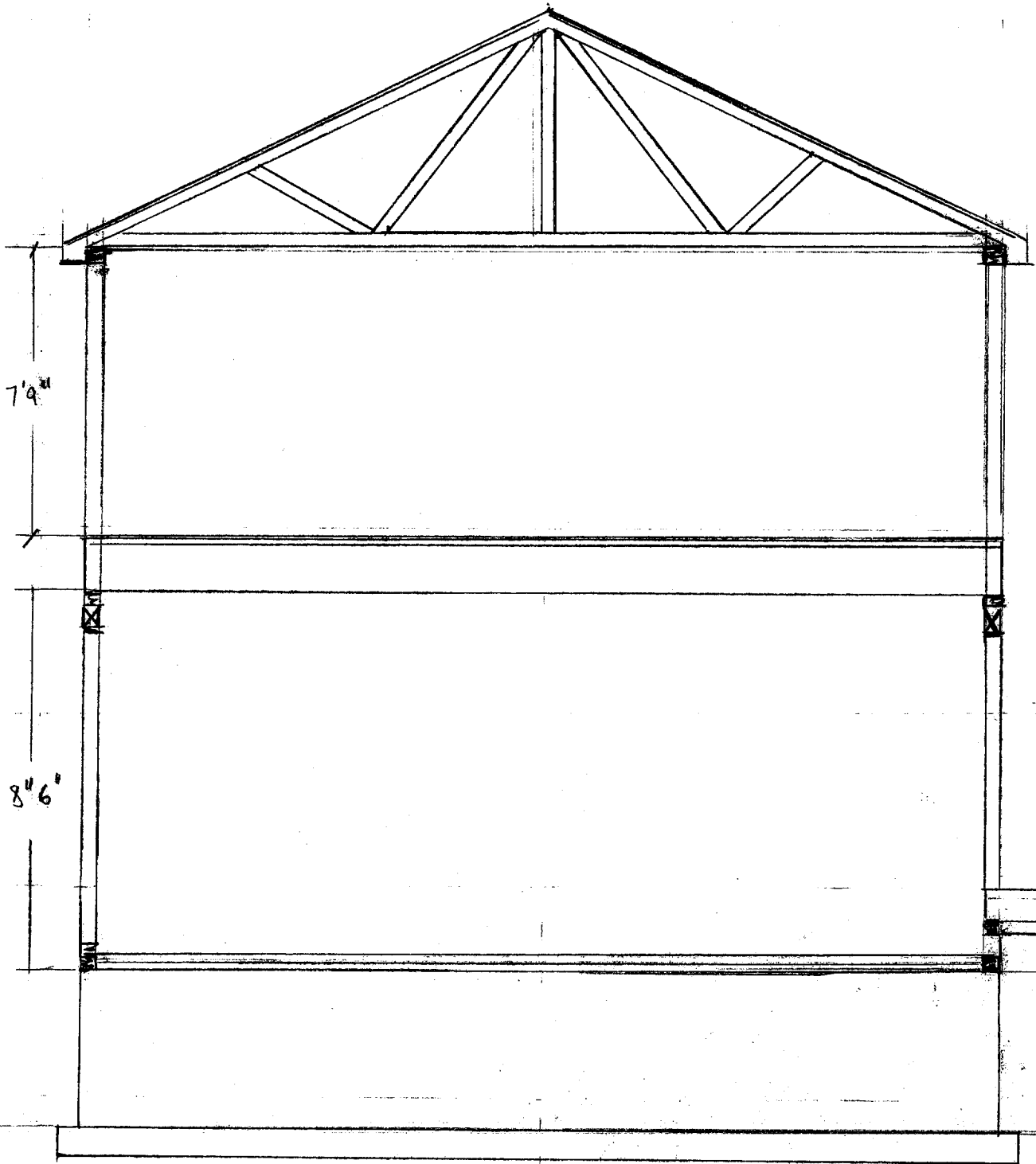
Location/Address of Construction: <u>135 Braintree St.</u>		
Total Square Footage of Proposed Structure <u>(2 flr) x 816ft<sup>2</sup> = 1,640 ft<sup>2</sup></u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot#	Owner: <u>Valeriy and Ashot Sarkisov</u>	Telephone: <u>(207)797-9515</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Valeriy Sarkisov 135 Braintree St, Portland ME, 04103; (207)797-9515</u>	Cost Of Work: \$ <u>17,000</u> Fee: \$
Current use: _____		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>1st floor - garage; 2nd floor - open space</u>		
Project description: _____		
Contractor's name, address & telephone: _____		
Who should we contact when the permit is ready: _____		
Mailing address: _____		
<p>We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up.      <b>PHONE:</b></p>		

**IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.**

*I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant: <u>V. Sarkisov</u>	Date: <u>10/10/05</u>
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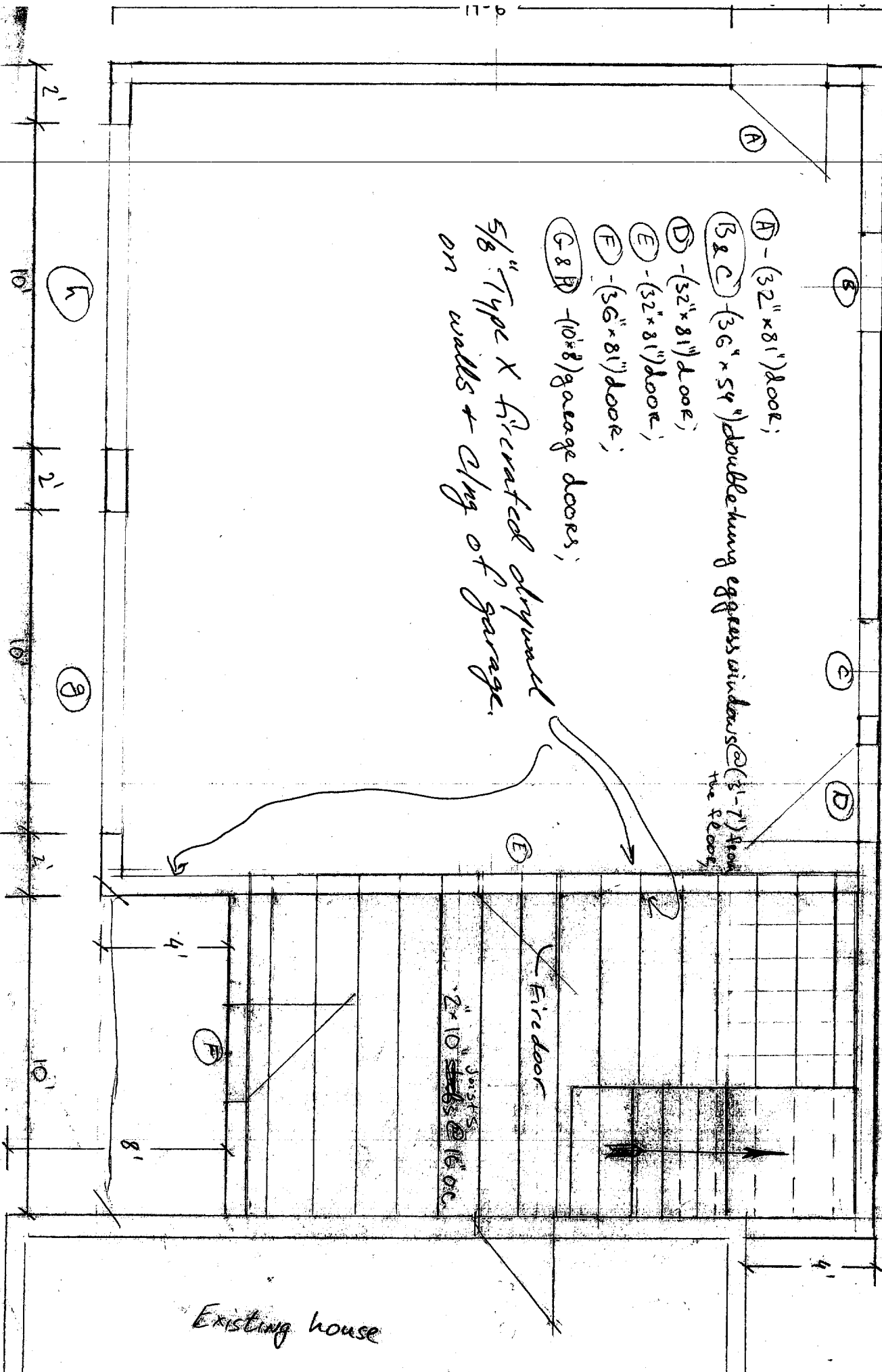
**This is NOT a permit, you may not commence ANY work until the permit is issued.  
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4<sup>th</sup> floor of City Hall**



Scale  $\frac{1}{4}'' = 1'$

1st Floor Plan

12'-3"

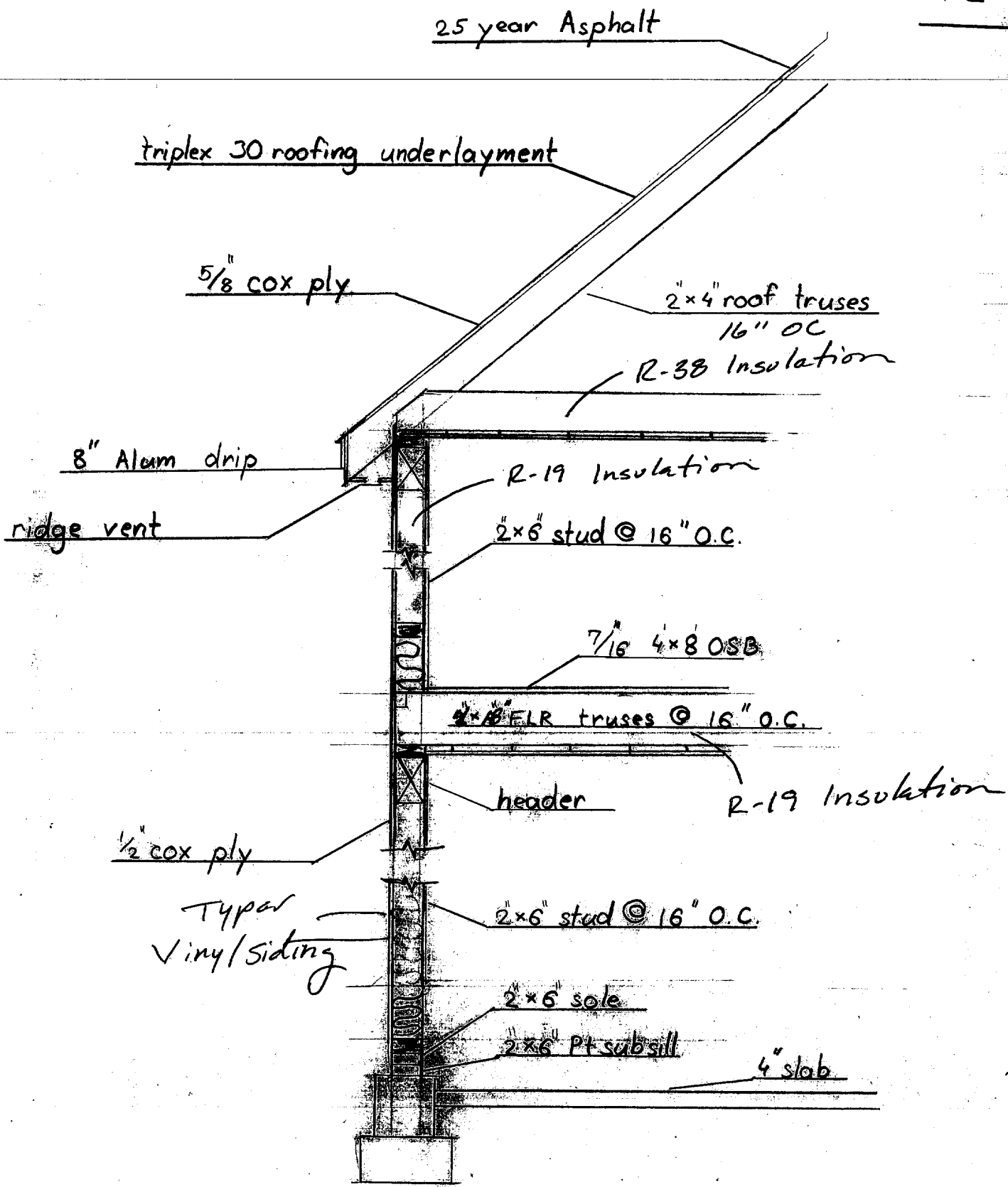


- (A) - (32" x 81") door;
  - (B & C) - (36" x 54") double-hung egress windows @ (5'-7") from the floor;
  - (D) - (32" x 81") door;
  - (E) - (32" x 81") door;
  - (F) - (36" x 81") door;
  - (G & H) - (10' x 8') garage doors;
- 5/8" Type X fire-rated drywall on walls + cing of garage.

Existing house

Scale 1/4" = 1'

Cross section

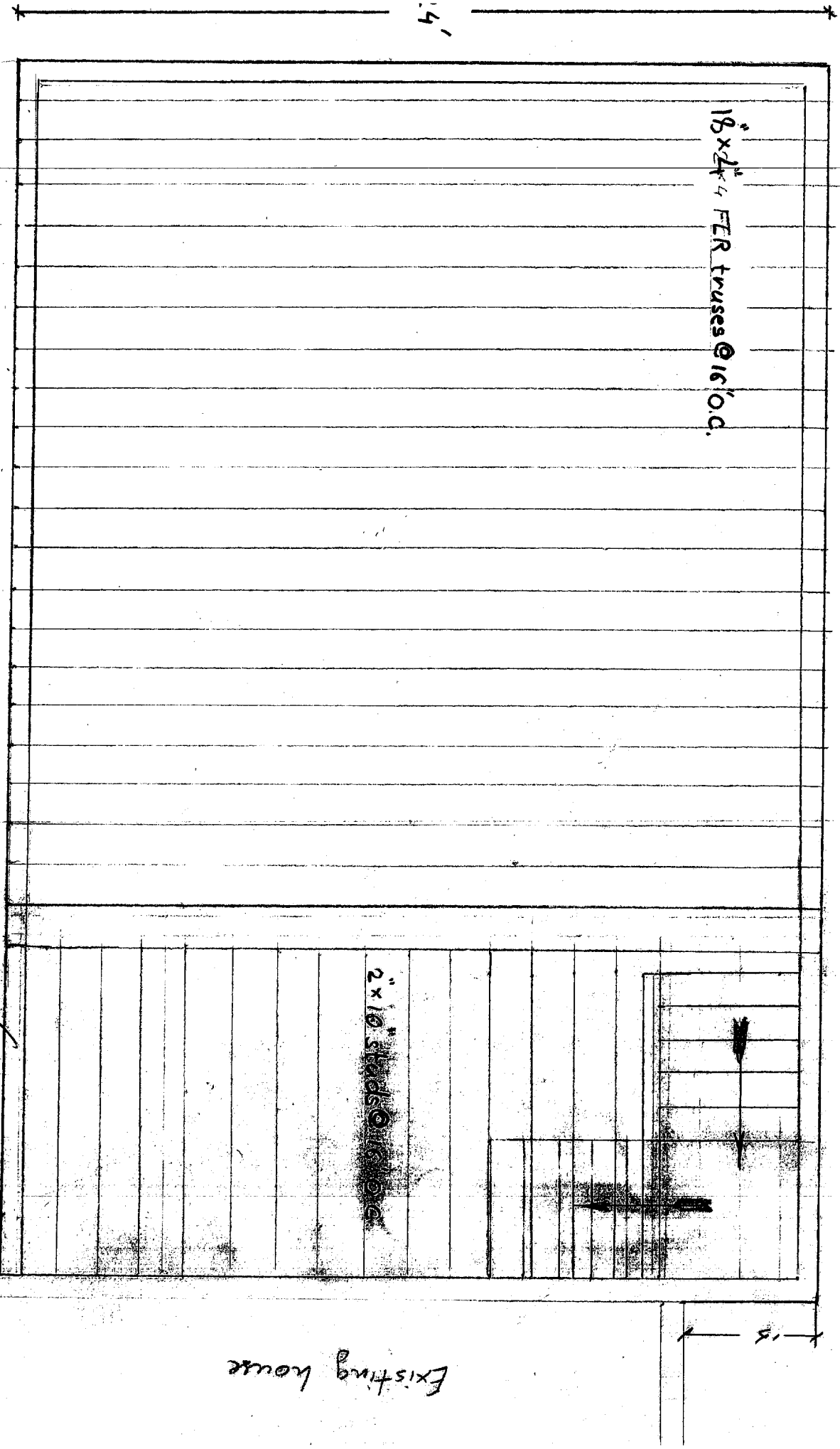


Scale 1/4" = 1'





Found @ 2nd F/R FRM Plan



18" x 24" F/R trusses @ 16' O.C.

2" x 10" Joists @ 16" O.C.

36'

14'

15'

Existing house

Beam size ?

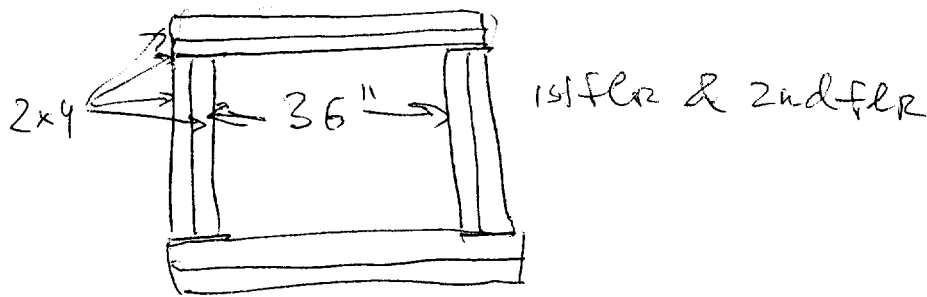
SCALE 1/4" = 1'

① Structural header sizes over all windows & doors.

② Structural beam size supporting 2nd floor over breezeway.

③ Stair detail for breezeway entry.

DER.

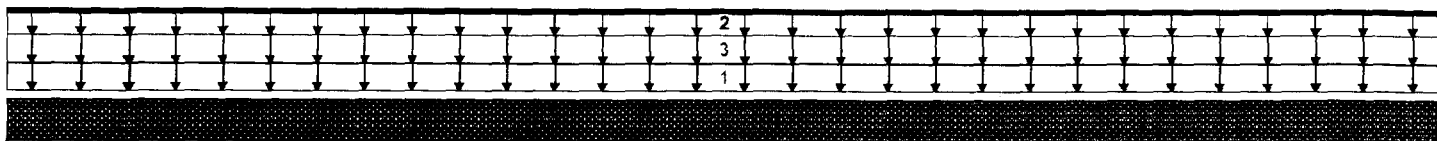


upstairs 3 2x6 over ~~upstairs~~  
over windows 1st flr  
& 36x54 win 2nd flr

**Triple 1 3/4" x 9 1/4" VERSA-LAM® 2.0 3100 SP**

Job Name: SARKISOV JOB  
 Address: 135 BRAINTREE ST.  
 City, State, Zip: PORTLAND, ME  
 Customer:  
 Code reports: ESR-1040

File Name: BC CALC Project: FB02  
 Description:  
 Specifier: HOME DEPOT--  
 Designer: KIRK CRANDALL  
 Company: WOOD STRUCTURES INC  
 Misc: FLOOR HEADER BEAM



B0  
 LL 3560 lbs  
 DL 1743 lbs

B1  
 LL 3560 lbs  
 DL 1743 lbs

Total of Horizontal Design Spans = 10-00-00

**General Data**

Version: US Imperial  
 Member Type: Floor Beam  
 Number of Spans: 1  
 Left Cantilever: No  
 Right Cantilever: No  
 Slope:

**Disclosure**

The completeness and accuracy of the input must be verified by anyone who would rely on the output as evidence of suitability for a particular application. The output above is based upon building code-accepted design properties and analysis methods. Installation of BOISE engineered wood products must be in accordance with the current Installation Guide and the applicable building codes. To obtain an Installation Guide or if you have any questions, please call (800)232-0788 before beginning product installation.

BC CALC®, BC FRAMER®, BCI®, BC RIM BOARD™, BC OSB RIM BOARD™, BOISE GLULAM™, VERSA-LAM®, VERSA-RIM®, VERSA-RIM PLUS®, VERSA-STRAND™, VERSA-STUD®, ALLJOIST® and AJS™ are trademarks of Boise Cascade Corporation.

**Load Summary**

ID	Description	Load Type	Ref.	Start	End	Type	Value	Trib.	Dur.
1	Standard Load	Unf. Area	Lcft	00-00-00	10-00-00	Live	40 psf	01-00-00	100%
2	Unf. Lin.	Left	00-00-00	10-00-00	Dead	10 psf	01-00-00	90%	
					Live	0 plf	n/a	100%	
3	Unf. Area	Left	00-00-00	10-00-00	Live	56 psf	12-00-00	100%	
					Dead	20 psf	12-00-00	90%	

**Controls Summary**

Control Type	Value	% Allowable	Duration	Load Case	Span Location
Pos. Moment	13258 ft-lbs	66.6%	100%	1	1 - Internal
End Shear	4408 lbs	47.8%	100%	1	1 - Left
Total Load Defl.	L/348 (0.345")	68.9%		1	1
Live Load Defl.	L/519 (0.231")	69.4%		1	1
Max Dcfl.	0.345"	34.5%		1	1
Span / Depth	13.0	n/a			1

**Notes**

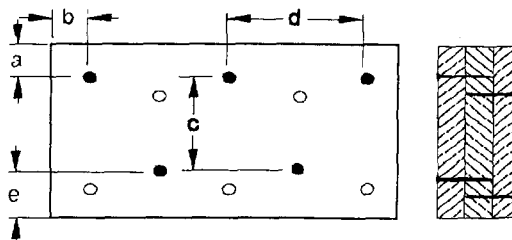
Design meets Code minimum (L/240) Total load deflection criteria.  
 Design meets Code minimum (L/360) Live load deflection criteria.  
 Design meets arbitrary (1") Maximum load deflection criteria.  
 Minimum bearing length for B0 is 1-1/2".  
 Minimum bearing length for B1 is 1-1/2".  
 Entered/Displayed Horizontal Span Length(s) = Clear Span + 1/2 min. end bearing + 1/2 intermediate bearing

**Connection Diagram**

Consult project design professional of record or BOISE technical representative for connection design  
 Member has no side loads.

Connectors are: 16d Sinker Nails

- a minimum = 2"
- b minimum = 3"
- c = 5-1/4"
- d = 12"
- e minimum = 3"



Job	Truss	Truss type	Qty	Ply	42# snow 120 mph wind	14838386
WSL_STK	624 R246	FINK	140	1		
Wood Structures, Biddeford, ME 04005						5.100 s Mar 25 2003 MiTek Industries, Inc. Thu May 22 15:33:28 2003 Page 1

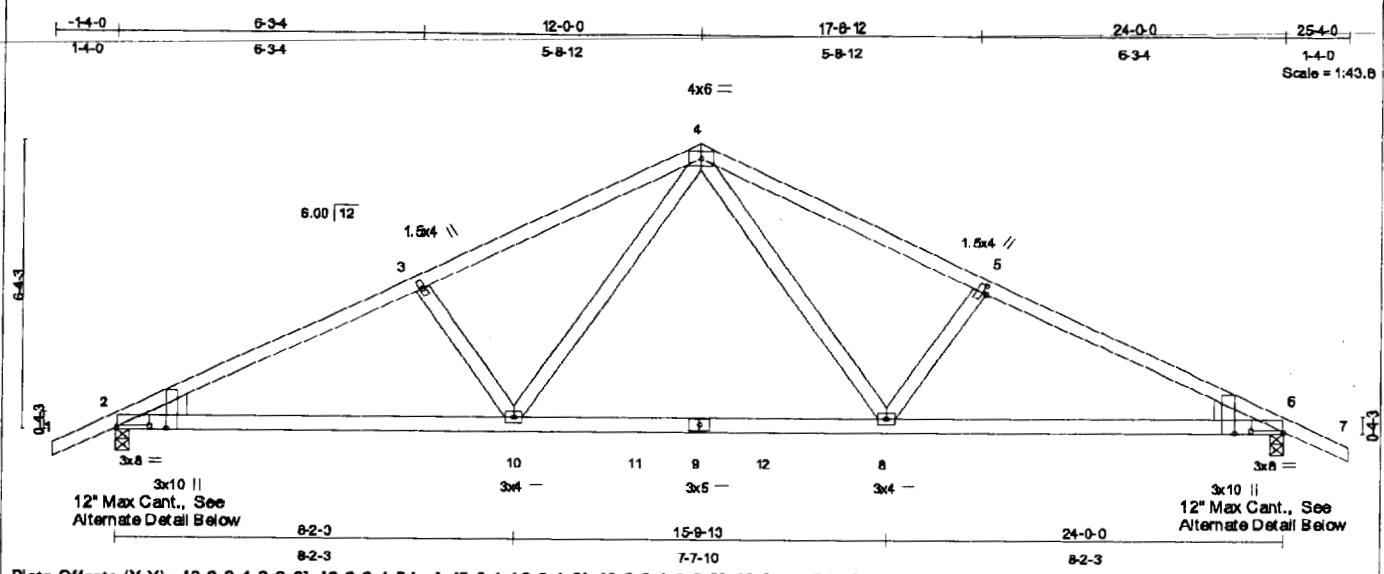


Plate Effects (X,Y): [2:0-8-4,0-0-6], [2:0-0-4,Edge], [5:0-1-12,0-1-0], [6:0-8-4,0-0-6], [6:0-0-4,Edge]

<b>LOADING</b> (psf)	<b>SPACING</b>	<b>CSI</b>	<b>DEFL</b>	<b>PLATES</b>	<b>GRIP</b>
TCLL 42.0	2-0-0	TC 0.54	in (loc) l/def L/d	MI20	189/123
TCDL 7.0	Plates Increase 1.15	BC 0.87	Vert(LL) -0.22 8-10 > 999 360		
BCLL 0.0	Lumber Increase 1.15	WB 0.52	Vert(TL) -0.29 8-10 > 973 180		
BCDL 10.0	Rep Stress Inor YES	(Matrix)	Horz(TL) 0.07 6 n/a n/a		
	Code BOCA/ANSI95			Weight: 85 lb	

**LUMBER**  
 TOP CHORD 2 X 4 SPF 1650F 1.5E  
 BOT CHORD 2 X 4 SPF 1650F 1.5E  
 WEBS 2 X 4 SPF-S Stud  
 WEDGE 2 X 6 SPF 1650F 1.5E, Right: 2 X 6 SPF 1650F 1.5E

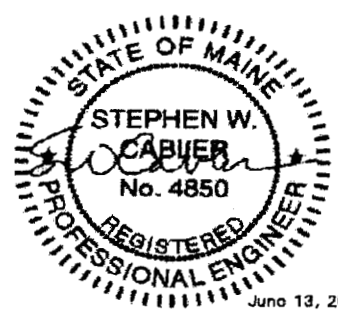
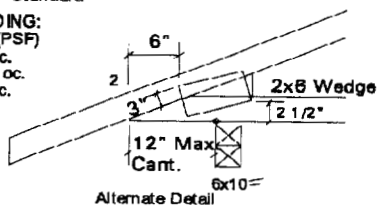
**BRACING**  
 TOP CHORD Sheathed or 3-11-6 oc purlins.  
 BOT CHORD Rigid ceiling directly applied or 7-4-12 oc bracing.

**REACTIONS** (lb/size) 2 = 1596/0-3-8, 6 = 1596/0-3-8  
 Max Horz 2 = 256(load case 4)  
 Max Uplift 2 = 752(load case 4), 6 = 752(load case 5)

**FORCES** (lb) - First Load Case Only  
 TOP CHORD 1-2=57, 2-3=-257.1, 3-4=-2250, 4-5=-2250, 5-6=-257.1, 6-7=57  
 BOT CHORD 2-10=2171, 10-11=1474, 9-11=1474, 9-12=1474, 8-12=1474, 6-8=2171  
 WEBS 3-10=-512, 4-10=791, 4-8=791, 5-8=-512

- NOTES**
- Unbalanced roof live loads have been considered for this design.
  - Wind: ASCE 7-98; 120mph; h=35ft; TCCL=4.2psf; BCCL=5.0psf; Category II; Exp C; enclosed; MWFRS gable end zone; cantilever left and right exposed; Lumber DOL=1.33 plate grip DOL=1.33.
  - \* This truss has been designed for a live load of 20.0psf on the bottom chord in all areas with a clearance greater than 3' 6" between the bottom chord and any other members.
  - Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 752 lb uplift at joint 2 and 752 lb uplift at joint 6.

**LOAD CASE(S)** Standard  
**DESIGN LOADING:**  
 TCLL/TOTAL (PSF)  
 42/59 @ 24" oc.  
 53/74 @ 19.2" oc.  
 63/79 @ 16" oc.



June 13, 2003

**Warning - Verify design parameters and READ NOTES ON THIS AND INCLUDED MITEK REFERENCE PAGE MII-7473 BEFORE USE**  
 Design valid for use only with MiTek connectors. This design is based only upon parameters shown, and is for an individual building component to be installed and loaded vertically. Applicability of design parameters and proper incorporation of component is responsibility of building designer - not truss designer. Bracing shown is for lateral support of individual web members only. Additional temporary bracing to insure stability during construction is the responsibility of the erector. Additional permanent bracing of the overall structure is the responsibility of the building designer. For general guidance regarding fabrication, quality control, storage, delivery, erection and bracing, consult QST-86 Quality Standard, DSB-88 Bracing Specification, and HIB-91 Handling, Installing and Bracing Recommendation available from Truss Plate Institute, 583 D'Onofrio Drive, Madison, WI 53719



Job	Truss	Truss Type	Qty	Ply	WSI STOCK FLOOR TRUSS	15591224
STKFLR	704	FLOOR	100	1	Job Reference (optional)	
Wood Structures, Biddeford, ME 04006			5.200 s Sep 30 2003 MITek Industries, Inc. Tue Oct 14 10:44:08 2003 Page 1			

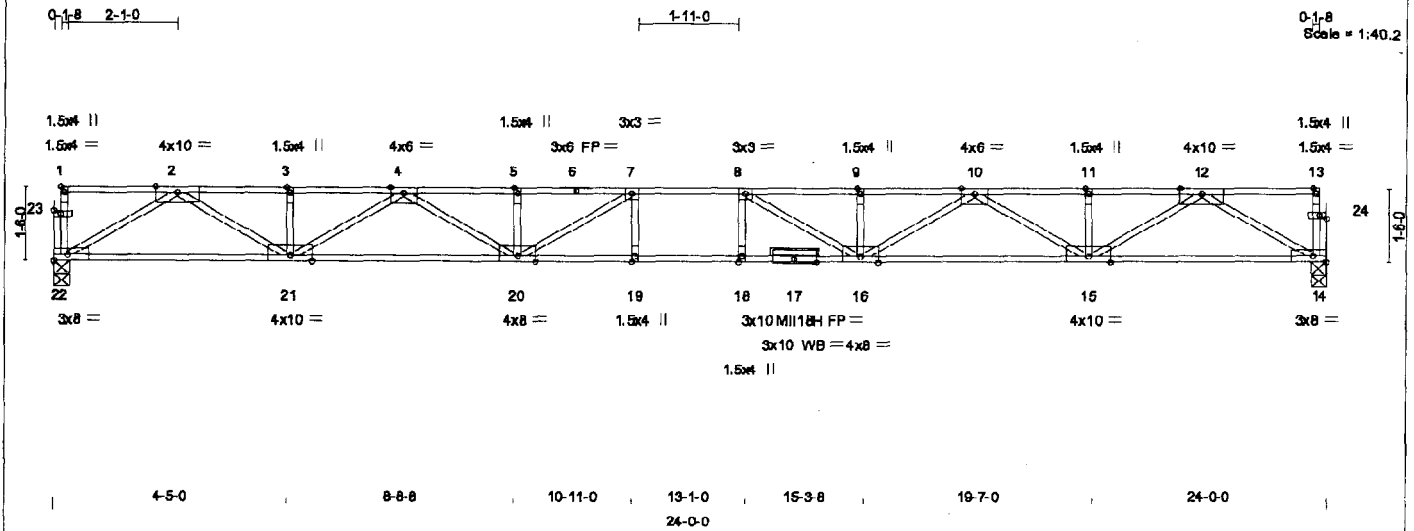


Plate Offsets (X,Y): [1:Edge,0-0-12], [23:0-1-8,0-0-12], [24:0-1-8,0-0-12]

<b>LOADING (psf)</b>	<b>SPACING</b>	<b>CSI</b>	<b>DEFL</b>	<b>PLATES</b>	<b>GRIP</b>
TCLL 40.0	Plates Increase 2-0-0	TC 0.63	in (loc) l/def L/d	MII20	169/123
TCDL 10.0	Lumber Increase 1.00	BC 0.66	Vert(LL) -0.59 18-19 >485 480	MII18H	141/138
BCLL 10.0	Rep Stress Incr YES	WB 0.61	Vert(TL) -0.88 18-19 >322 240		
BCDL 0.0	Code BOCA/ANSI96	(Matrix)	Horz(TL) 0.13 14 n/a n/a		
				Weight: 95 lb	

**LUMBER**  
 TOP CHORD 4 X 2 SPF 1650F 1.5E  
 BOT CHORD 4 X 2 SPF 2400F 2.0E  
 WEBS 4 X 2 SPF-S Stud "Except"  
 2-22 4 X 2 SYP No.2, 12-14 4 X 2 SYP No.2, 2-21 4 X 2 SYP No.2  
 12-15 4 X 2 SYP No.2

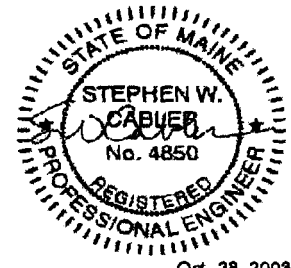
**BRACING**  
 TOP CHORD Sheathed or 5-6-0 oc purlins, except end verticals.  
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

**REACTIONS (lb/size)** 22=1419/0-3-8, 14=1419/0-3-8

**FORCES (lb) - Maximum Compression/Maximum Tension**  
 TOP CHORD 22-23=-86/0, 1-23=-86/0, 14-24=-86/0, 13-24=-86/0, 1-2=-4/0, 2-3=-3729/0, 3-4=-3729/0, 4-5=-5720/0, 5-6=-5720/0, 6-7=-5720/0, 7-8=-6122/0, 8-9=-5720/0, 9-10=-5720/0, 10-11=-3729/0, 11-12=-3729/0, 12-13=-4/0  
 BOT CHORD 21-22=0/2086, 20-21=0/4897, 19-20=0/6122, 18-19=0/6122, 17-18=0/6122, 16-17=0/6122, 15-16=0/4897, 14-15=0/2086  
 WEBS 2-22=-2453/0, 12-14=-2453/0, 2-21=0/1951, 3-21=-204/0, 12-15=0/1951, 11-15=-204/0, 4-21=-1386/0, 10-15=-1386/0, 4-20=0/978, 5-20=-214/0, 10-16=0/978, 9-16=-214/0, 7-20=-473/0, 8-16=-473/0, 7-19=0/37, 8-18=0/37

**NOTES**  
 1) All plates are MII20 plates unless otherwise indicated.  
 2) Recommend 2x6 strongbacks, on edge, spaced at 10-0-0 oc and fastened to each truss with 3-16d nails. Strongbacks to be attached to walls at their outer ends or restrained by other means.

**LOAD CASE(S)**  
 1) Floor: Lumber Increase=1.00, Plate Increase=1.00  
 Uniform Loads (psf)  
 Vert: 14-22=20, 1-13=100



Oct. 28, 2003

**Warning - Verify design parameters and READ NOTES ON THIS AND INCLUDED MITEK REFERENCE PAGE MW-7473 BEFORE USE**  
 Design valid for use only with MITek connectors. This design is based only upon parameters shown, and is for an individual building component to be installed and loaded vertically. Applicability of design parameters and proper incorporation of component is responsibility of building designer - not truss designer. Bracing shown is for lateral support of individual web members only. Additional temporary bracing to insure stability during construction is the responsibility of the erector. Additional permanent bracing of the overall structure is the responsibility of the building designer. For general guidance regarding fabrication, quality control, storage, delivery, erection and bracing, consult QST-86 Quality Standard, DSB-89 Bracing Specification, and HIB-91 Handling, Installing and Bracing Recommendation available from Truss Plate Institute, 583 D'Onofrio Drive, Madison, WI 53718





**CITY OF PORTLAND, MAINE**  
Department of Building Inspections

7-12 20 00

Received from Valeriy Zaitsev

Location of Work 135 Braintree

Cost of Construction \$ \_\_\_\_\_

Permit Fee \$ 140.00

Building (IL)  Plumbing (I5)  Electrical (I2)  Site Plan (U2)

Other \_\_\_\_\_

CBL: 333115

Check #: \_\_\_\_\_

Total Collected \$ 140.00

**THIS IS NOT A PERMIT**

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy