

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

PERMIT ISSUED

Permit Number: 030718

JUN 19 2003

This is to certify that Kelley Deborah M /Gary Nohas permission to Build 14x16 deck with stairs 6x7 platform for subAT 171 Milton St

CITY OF PORTLAND

333 G014001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is altered or otherwise closed-in. NO OTHER NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER PERMITTING AGENCIES

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

JUN 19 2003

CITY OF PORTLAND

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0718	Issue Date: JUN 19 2003	CBL: 333 G014001
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Location of Construction: 171 Milton St	Owner Name: Kelley Deborah M	Owner Address: 171 Milton St	Phone: 878-4483
Business Name:	Contractor Name: Gary Noble	Contractor Address: 77 Kidder Street Portland	Phone: 2077801196
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R2

Past Use: Single Family	Proposed Use: Single Family	Permit Fee: \$58.00	Cost of Work: \$5,000.00	CEO District: 1
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: 5B Accessory Boon 1999 Signature: JMB 6/19/03	

Proposed Project Description: Build 14x16 deck with stairs & 6x7 platform for hot tub	Signature:	Signature:
	PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: Date:	

Permit Taken By: jmb	Date Applied For: 06/19/2003	Zoning Approval
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED

JUN 19 2003

CITY OF PORTLAND

Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: JMB 6/19/03	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: JMB
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
------------------------	---------	------	-------

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
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6/25/03 Set back, sonotube holes ok AR

8/15/03 Steps - rise ok except for bottom
which can be corrected by grading up.

Treads 9" must be 10" net. Needs more
bolsters next to hot tub. Also need
access to ~~the~~ electric at hot tub. All

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	Date Applied For:	CBL:
03-0718	06/19/2003	333 G014001

Location of Construction:	Owner Name:	Owner Address:	Phone:
171 Milton St	Kelley Deborah M	171 Milton St	() 878-4483
Business Name:	Contractor Name:	Contractor Address:	Phone
	Gary Noble	77 Kidder Street Portland	(207) 780-1196
Lessee/Buyer's Name	Phone:	Permit Type:	
		Additions - Dwellings	

Proposed Use:	Proposed Project Description:
Single Family	Build 14x16 deck with stairs & 6x7 platform for hot ub

Dept: Zoning Status: Approved Reviewer: Jeanine Bourke Approval Date: 06/19/2003
Note: Ok to Issue: ☒

Dept: Building Status: Approved with Conditions Reviewer: Jeanine Bourke Approval Date: 06/19/2003
Note: Ok to Issue: ☒

- 1) Design of the hot tub cover must be submitted to this office
- 2) Separate permits are required for the electrical pump installation.
- 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>171 Milton Street</u>		
Total Square Footage of Proposed Structure <u>269 feet</u>	Square Footage of Lot 409 <u>10,432</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>333</u> Block# <u>G</u> Lot# <u>14</u>	Owner: <u>Deborah Kelley</u>	Telephone: <u>878-4483</u>
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone:	Cost Of Work: <u>\$12,000</u> Fee: <u>\$10,000</u>
Current use: <u>Single Family</u>		<u>58.00</u>
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>Single Family</u>		
Project description: <u>14x16 Deck w/ 7x6 Hot Tub Platform</u>		
Contractor's name, address & telephone: <u>Gary Noble 207-780-1196</u> <u>77 Kitter St Portland, ME 04103</u>		
Who should we contact when the permit is ready: <u>Deborah Kelley</u>		
Mailing address: <u>171 Milton St</u> <u>Portland ME 04103</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>878-4483</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Deborah Kelley</u>	Date: <u>6/12/03</u>
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**This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the
Planning Department on the 4th floor of City Hall**

THIS IS NOT A BOUNDARY SURVEY

MORTGAGE INSPECTION OF: DEED BOOK _____ PAGE _____ COUNTY Cumberland
PLAN BOOK 200 PAGE 184 LOT 162

ADDRESS: lot 162, Milton Street, Portland, Maine

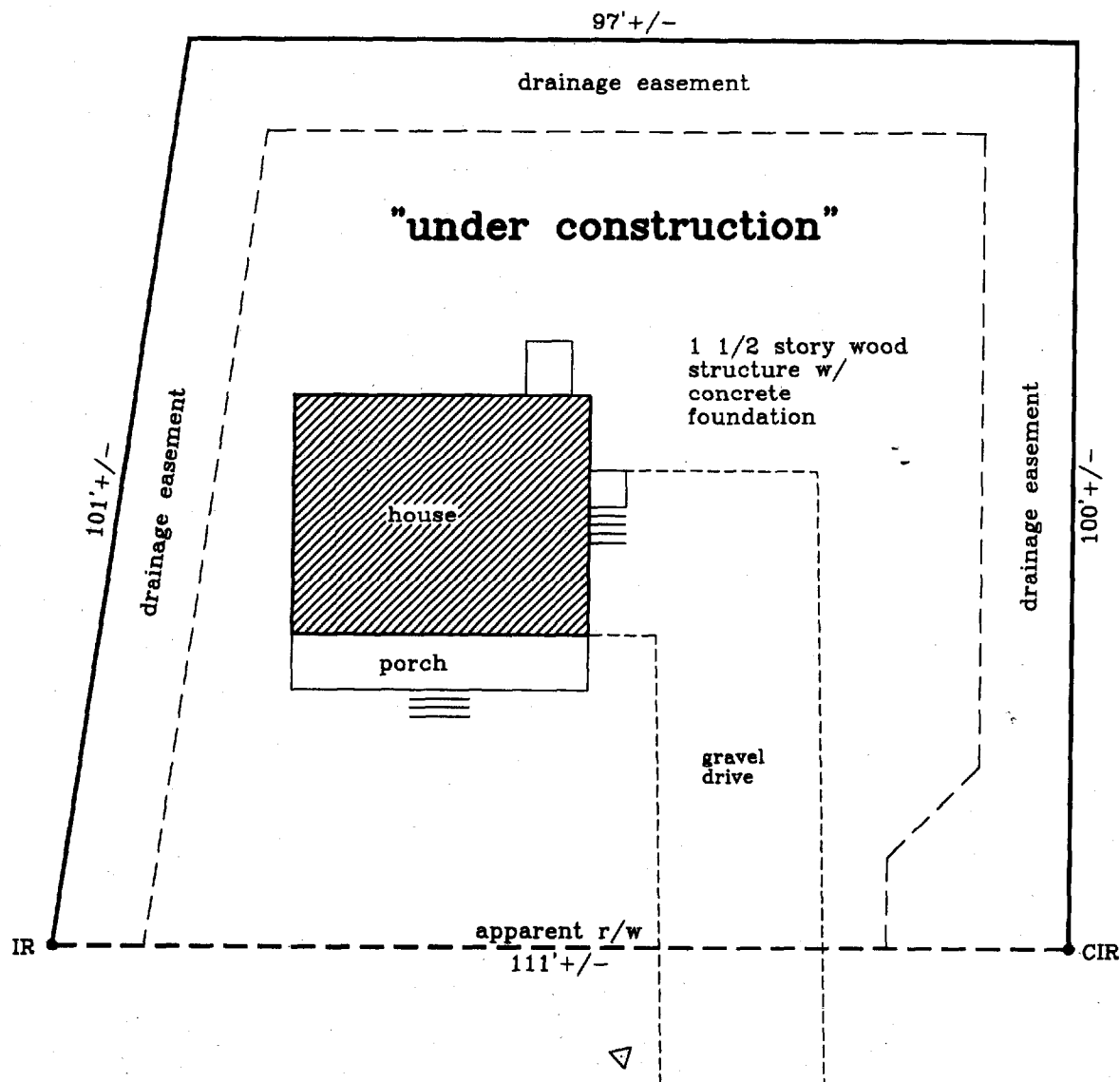
Buyers: Deborah M. Kelley

Job Number: 289-27

Inspection Date: 10-13-00

Scale: 1" = 20'

Client File#: 20-0568 fc



Milton Street to Saugus St.

I HEREBY CERTIFY TO: Guaranty Title Co.; Fleet Mortgage Corp.
and its title insurer.

Monuments found did not conflict with the deed description.

The dwelling setbacks do not violate town zoning requirements.

As delineated on the Federal Emergency Management Agency Community
Panel: 230051-0001 B

The structure does not fall within the special flood hazard zone.

The land does not fall within the special flood hazard zone.

APPARENT EASEMENTS AND RIGHTS OF
WAY ARE SHOWN. OTHER ENCUMBRANCES,
RECORDED OR NOT, MAY EXIST. THIS
SKETCH WILL NOT REVEAL ABUTTING
DEED CONFLICTS, IF ANY.

copyright 1994

Livingston - Hughes

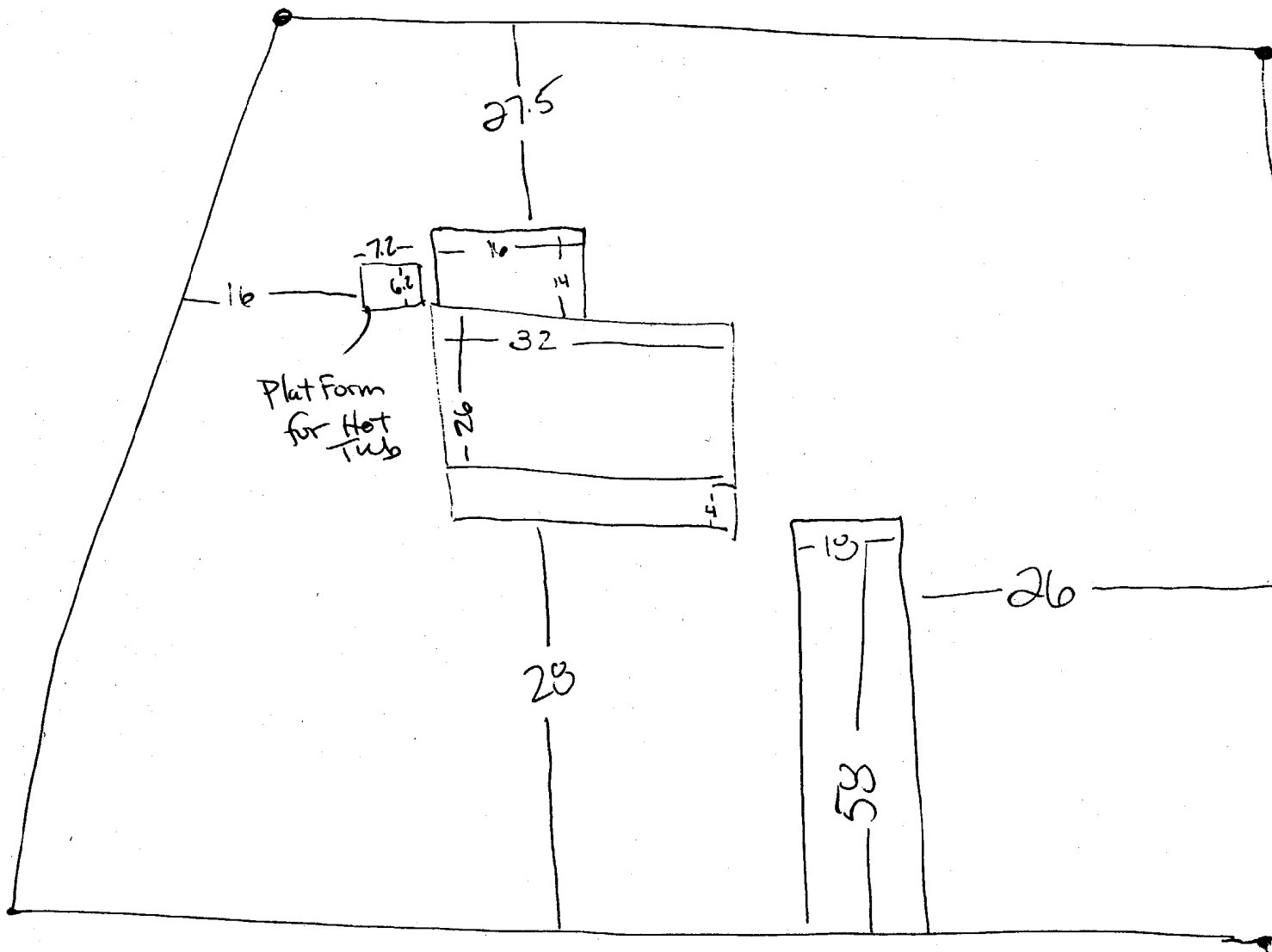
Professional Land Surveyors

88 Guinea Road

Kennebunkport - Maine 04046

207-967-9761 phone/fax

THIS SKETCH IS FOR MORTGAGE PURPOSES ONLY



R2 Zone

Rear 25' Req 27.5 shown
Side 12' Req 16' shown

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

6/19 3PM
Debbie

Current Owner Information

Card Number	1 of 1
Parcel ID	333 6014001
Location	171 MILTON ST
Land Use	SINGLE FAMILY
Owner Address	KELLEY DEBORAH M 171 MILTON ST PORTLAND ME 04103
Book/Page	15833/300
Legal	333-G-14 MILTON ST 171
	10432 SF

Valuation Information

Land	Building	Total
\$34,440	\$73,820	\$108,260

Property Information

Year Built 2000	Style Cape	Story Height 1.5	Sq. Ft. 1456	Total Acres 0.237	
Bedrooms 3	Full Baths 1	Half Baths 1	Total Rooms 5	Attic None	Basement Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
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Sales Information

Date	Type	Price	Book/Page
11/07/2000	LAND + BLDING	\$129,000	15833-300
05/24/2000	LAND		15488-272

Picture and Sketch

Picture

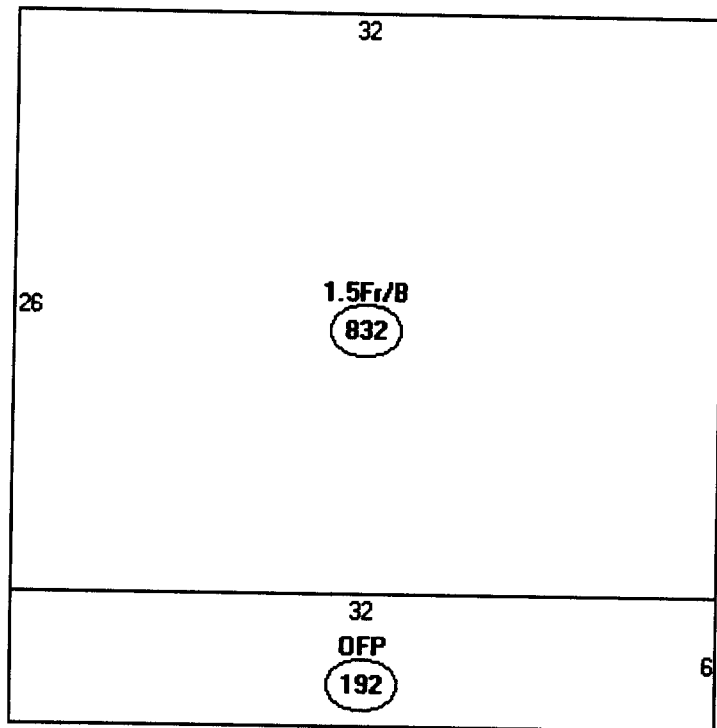
Sketch

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.







Descriptor/Area

A: 1.5Fr/B
832 sqft

B: OFF
192 sqft

1024
269
1,293

OK

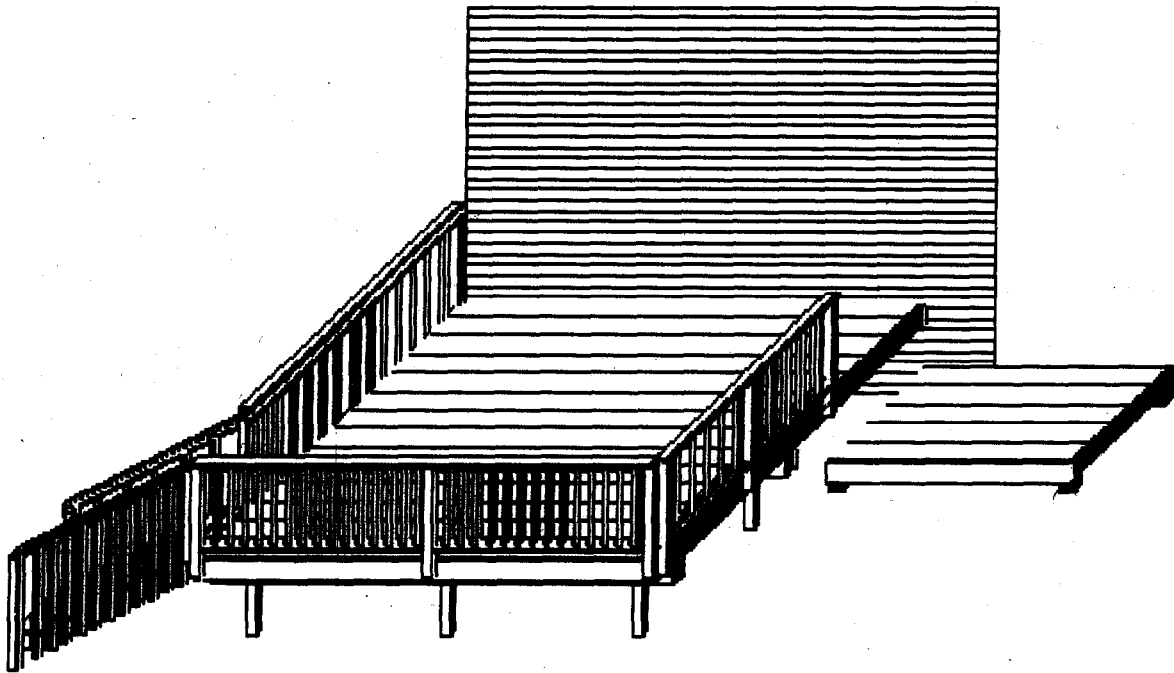
Lot 10,432 SF

X .20%

2,086.4

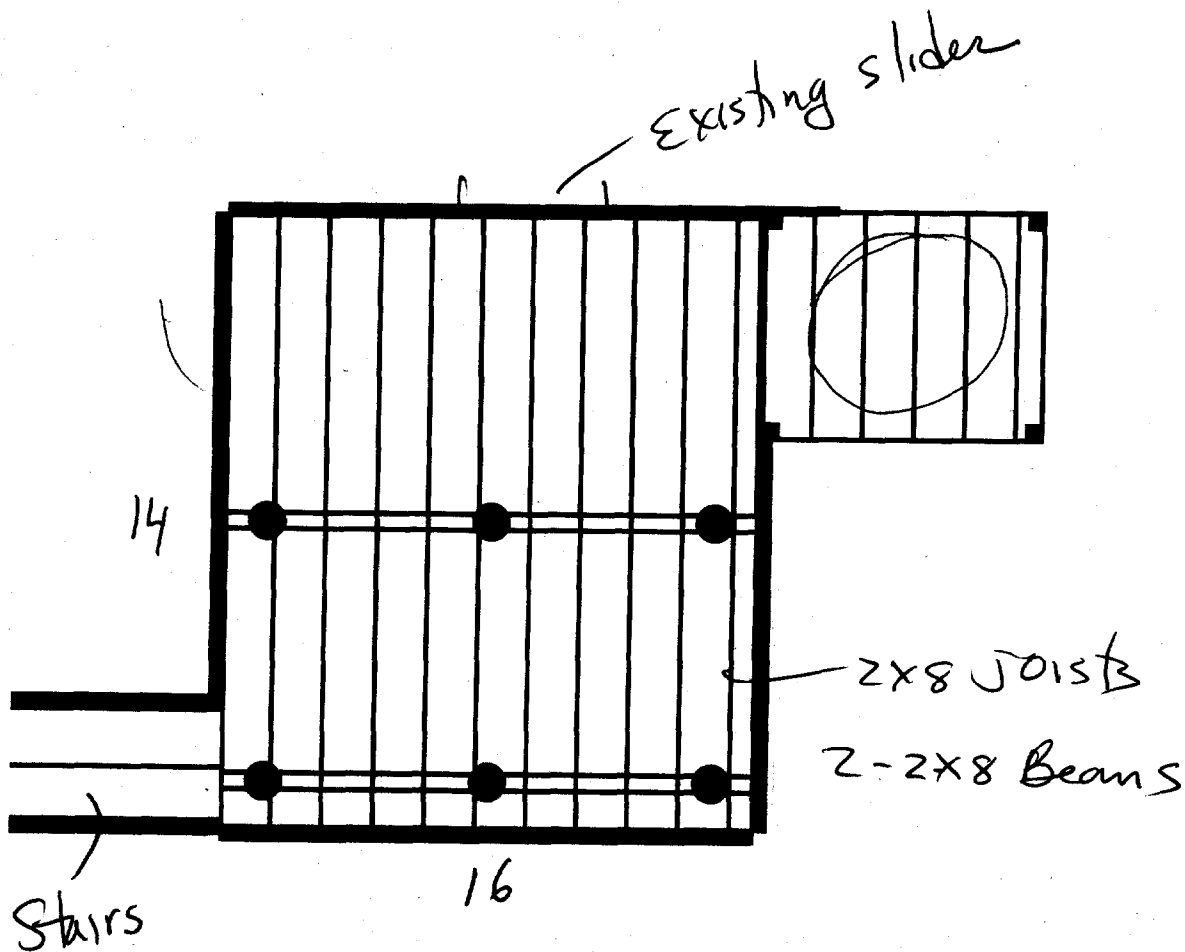
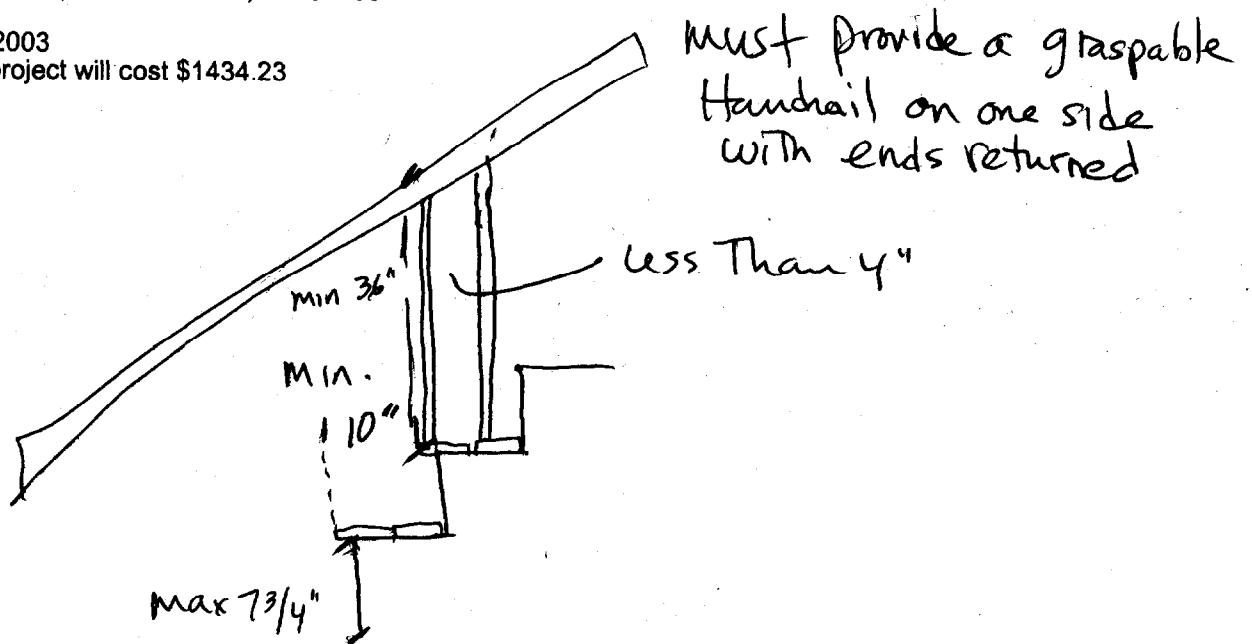
The Home Depot # 2406
300 CLARKS POND PKWY, S PORTLAND, ME 04106
(207) 879-2500
Wed Jun 11 10:09:05 2003
The materials for this project will cost \$1434.23

GARY NOBLE
DECK2
58010
3D View



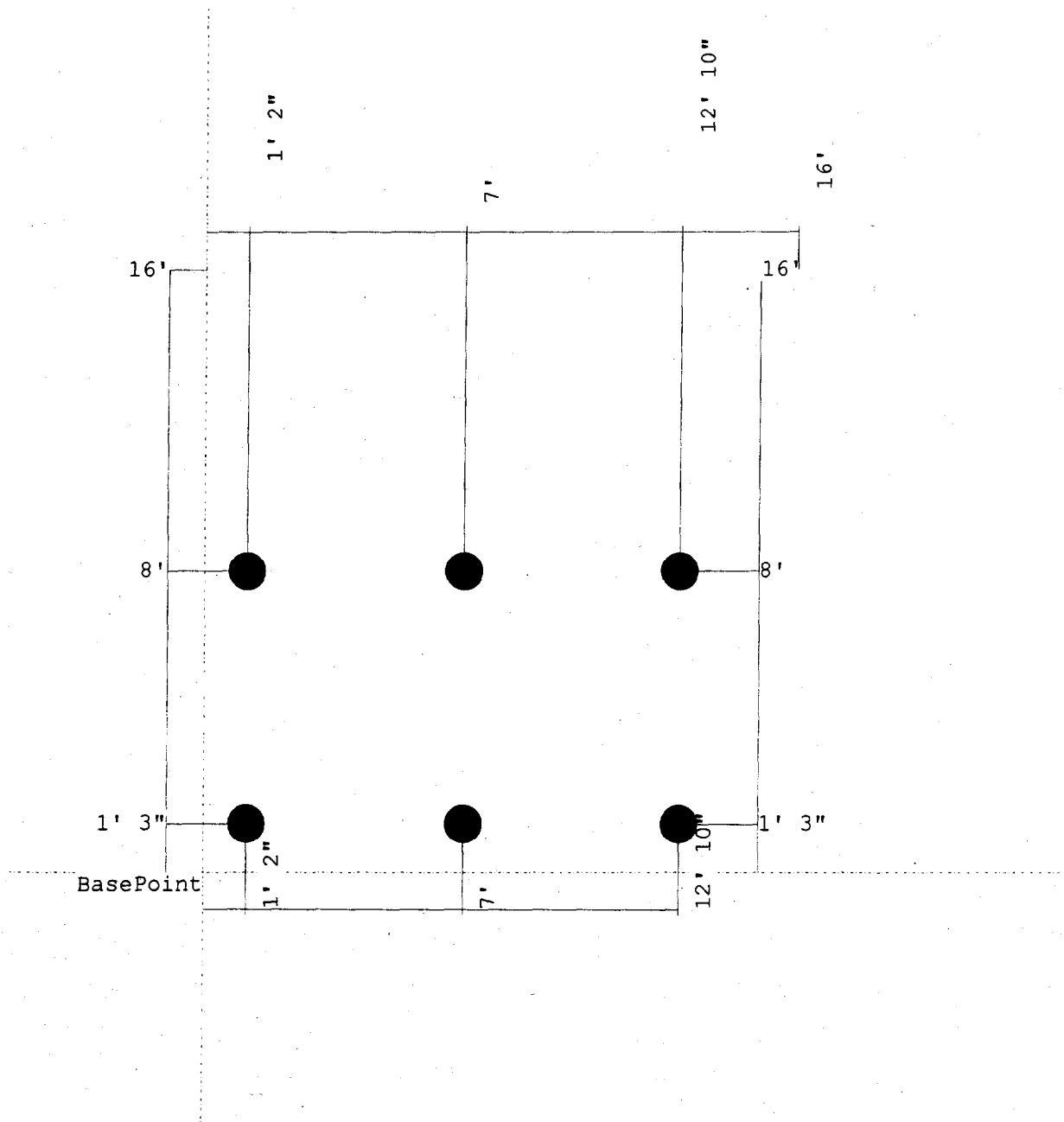
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Wed Jun 11 10:09:05 2003
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GARY NOBLE
DECK2
58010
Deck Layout



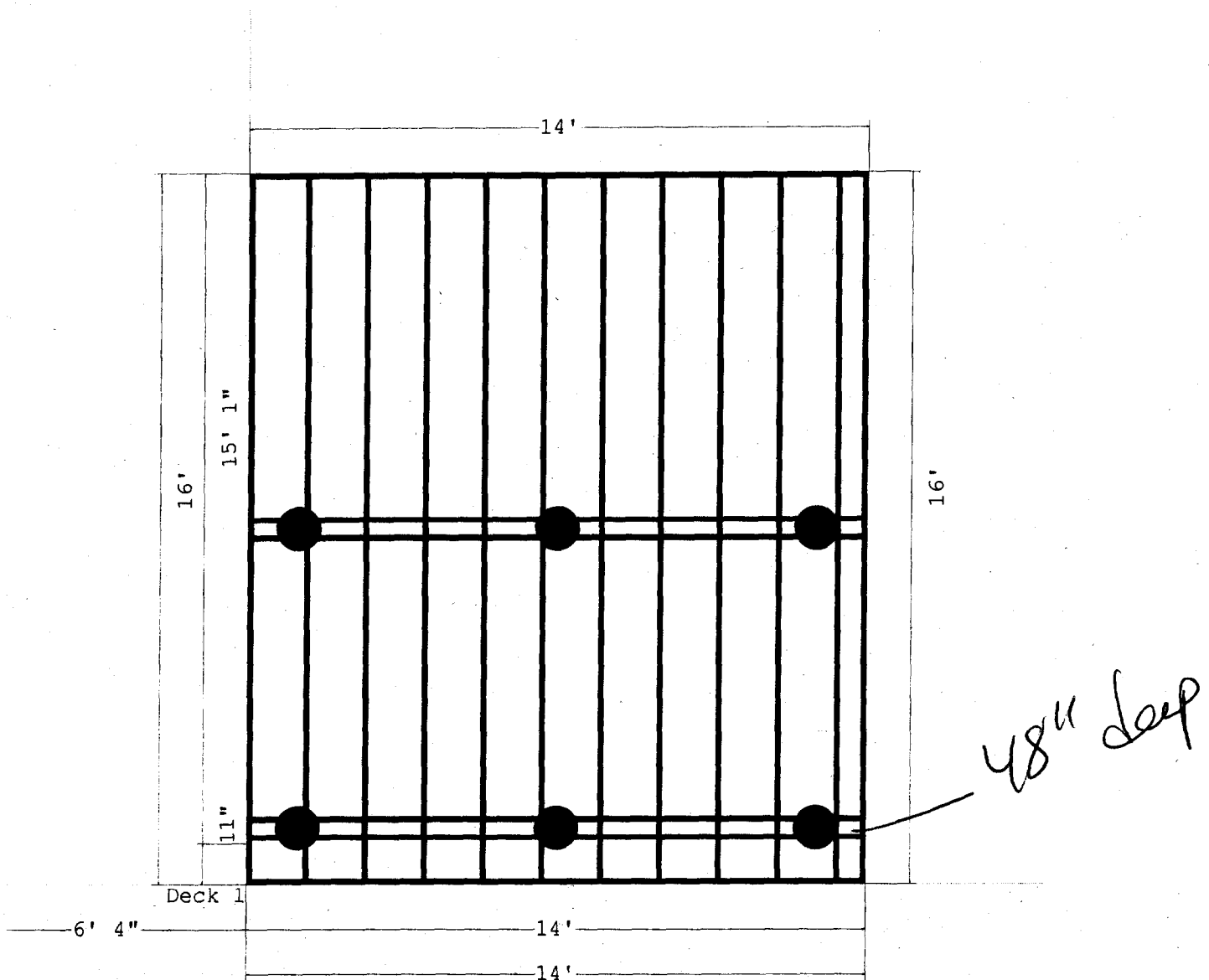
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(207) 879-2500
Wed Jun 11 10:09:05 2003
The materials for this project will cost \$1434.23

GARY NOBLE
DECK2
58010
Post Layout for Deck 1



The Home Depot # 2406
300 CLARKS POND PKWY, S PORTLAND, ME 04106
(207) 879-2500
Wed Jun 11 10:09:05 2003
The materials for this project will cost \$1434.23

GARY NOBLE
DECK2
58010
Deck Dimensions for Deck 1



Joist Spacing = 16 in. o.c.
Baluster Spacing = 3 3/4"
Toe Spacing = 3 3/4"
Railing Height = 36"

The Home Depot # 2406
300 CLARKS POND PKWY, S PORTLAND, ME 04106
(207) 879-2500
Wed Jun 11 10:09:27 2003
GARY NOBLE
DECK2
58010

Construction Specifications

deck 1:

Construction Method = Beam to Side of Post
Footing Type = In-Ground
Live Load = 60
Dead Load = 10
Decking Spacing = 0 1/8"
Joist Spacing = 16"
Beam Spacing = 84"
Post Spacing = 72"
Decking = 5/4X6 Thompsonized Prem. Southern Pine Standard
Beams = ~~2X8~~ 2X8 .40 Treated Southern Pine No. 1
Joists = ~~2X6~~ 2X6 .40 Treated Southern Pine No. 1
Posts = 4X4 .40 Treated Southern Pine No. 2
Deck Height = 36"
Diagonal Bracing = No
Deck Skirt = No
Joist Overhang = 12"
Beam Overhang = 12"
Decking Deflection Factor = 360
Joist Deflection Factor = 360
Beam Deflection Factor = 360
Pref Decking Size =
Pref Joist Size = 2x8
Pref Beam Size = 2x8
Pref Post Size = 4x4

Railing 1:

Railing Height = 36"
Baluster Spacing = 3 3/4"
Toe Space = 3 3/4"

Railing 5:

Railing Height = 36"
Baluster Spacing = 3 3/4"
Toe Space = 3 3/4"

Stair 1:

Step Width = 36"
Step Height = 34 3/4"
Step Rise = 5 9/16"
Step Run = 11"
Stringers = 2X12 .40 Treated Southern Pine No. 2
Risers = 5/4X6 Thompsonized Prem. Southern Pine Standard
Treads = 5/4X6 Thompsonized Prem. Southern Pine Standard

Railing 3:

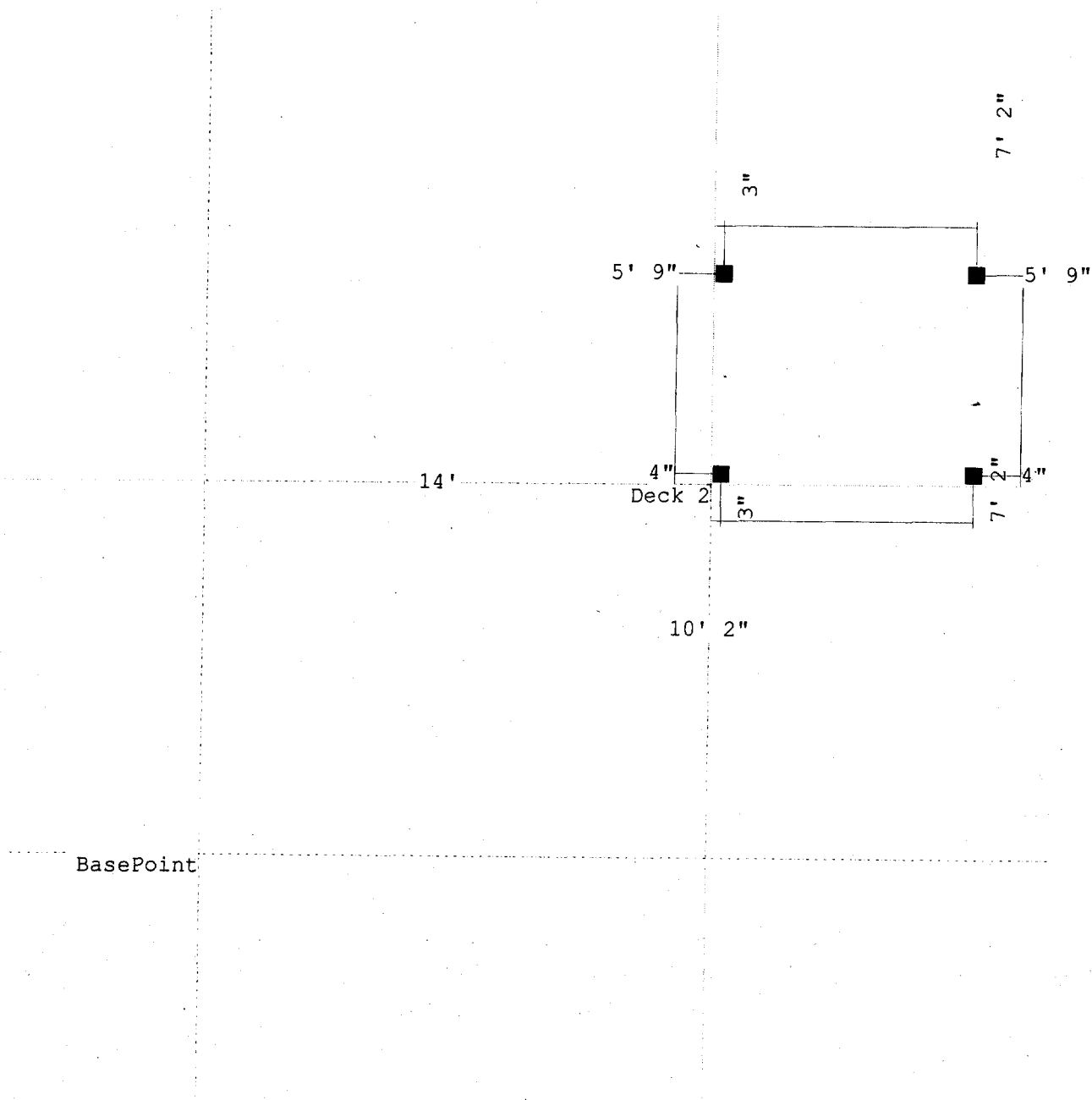
Railing Height = 36"
Baluster Spacing = 3 3/4"

Railing 4:

Railing Height = 36"
Baluster Spacing = 3 3/4"

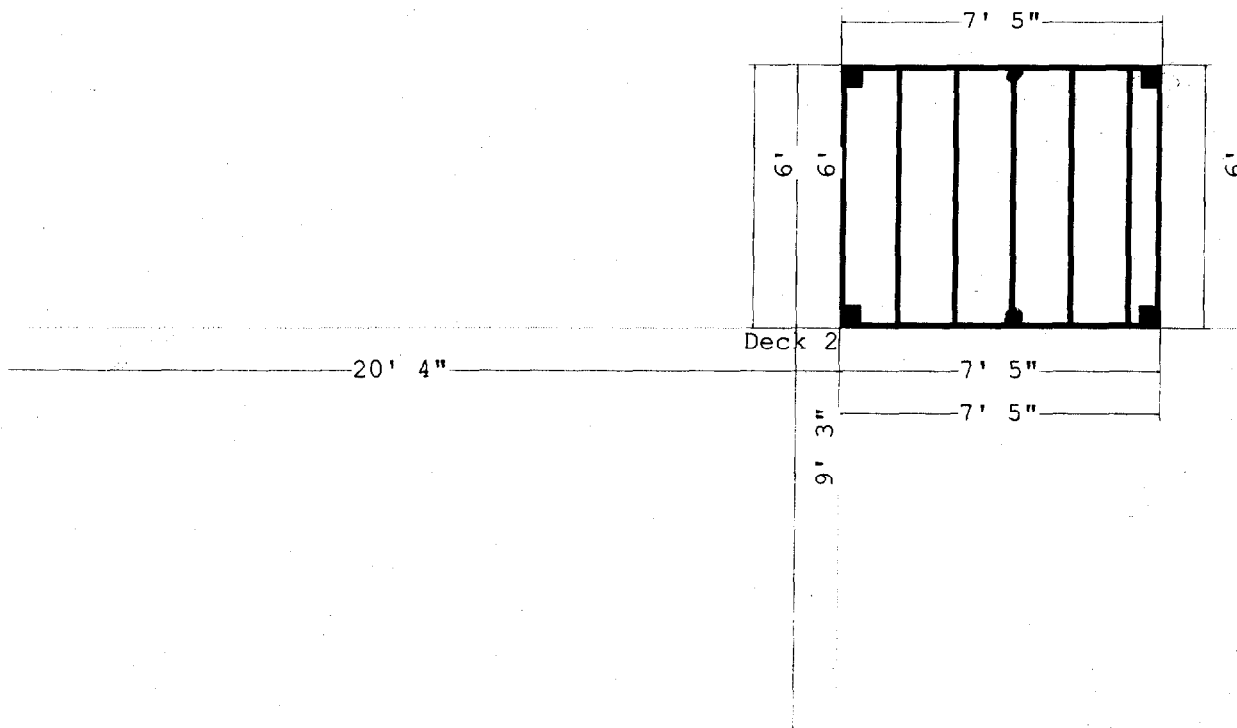
The Home Depot # 2406
300 CLARKS POND PKWY, S PORTLAND, ME 04106
(207) 879-2500
Wed Jun 11 10:09:05 2003
The materials for this project will cost \$1434.23

GARY NOBLE
DECK2
58010
Post Layout for Deck 2



The Home Depot # 2406
300 CLARKS POND PKWY, S PORTLAND, ME 04106
(207) 879-2500
Wed Jun 11 10:09:05 2003
The materials for this project will cost \$1434.23

GARY NOBLE
DECK2
58010
Deck Dimensions for Deck 2



Joist Spacing = 16 in. o.c.
Baluster Spacing = 3 3/4"
Toe Spacing = 3 3/4"
Railing Height = 36"

The Home Depot # 2406
300 CLARKS POND PKWY, S PORTLAND, ME 04106
(207) 879-2500
Wed Jun 11 10:09:47 2003

GARY NOBLE
DECK2
58010

Hot Tub

Construction Specifications

deck 2:

Construction Method = Beam Flush With Joist
Footing Type = Pier In-Ground
Live Load = 60
Dead Load = 10
Decking Spacing = 0"
Joist Spacing = 16"
Beam Spacing = 72"
Post Spacing = 89"
Decking = 5/4X6 Thompsonized Prem. Southern Pine Standard
Beams = 2X8 .40 Treated Southern Pine No. 1
Joists = 2X6 .40 Treated Southern Pine No. 1
Posts = 4X4 .40 Treated Southern Pine No. 2
Deck Height = 12"
Diagonal Bracing = No
Deck Skirt = No
Joist Overhang = 0"
Beam Overhang = 0"
Decking Deflection Factor = 360
Joist Deflection Factor = 360
Beam Deflection Factor = 360
Pref Decking Size =
Pref Joist Size = none
Pref Beam Size = none
Pref Post Size = none

The Home Depot # 2406
 300 CLARKS POND PKWY, S PORTLAND, ME 04106
 (207) 879-2500
 6/11/2003
 GARY NOBLE
 DECK2
 58010

Materials for Deck:

Qty	UOM	SKU	Use	Description
99	EA	557285	Baluster	2X2X42 #1 SINGLE PT.BALST-JLQ NOTE
5	EA	469798	Beam	2X8X16 SYP NO.1 .40 CCA
1	EA	326626	Decking	5/4X6X8 PREM.THOMPSON DECKING .40
40	EA	365287	Decking	5/4X6X16 PREM. THOMPSON DECKING .40
4	EA	675199	V Top Rail	2X4X8 #1PT Y/P.40 - JLQ NOTES
8	EA	326626	H Top Rail	5/4X6X8 PREM.THOMPSON DECKING .40
1	EA	914037	Joist	2X6X8 PT .40 CCA Y/P NO. 1
3	EA	914053	Joist	2X6X12 PT .40 CCA Y/P NO. 1
1	EA	694770	Joist	2X6X16 PT .40 CCA Y/P NO. 1
13	EA	469798	Joist	2X8X16 SYP NO.1 .40 CCA
1	EA	469798	Ledger	2X8X16 SYP NO.1 .40 CCA
1	EA	162825	Post	4X4X8 PT .40 CCA Y/P#2-JLQ NOTE
3	EA	107034	Post	4X4X16 PT .40 CCA Y/P NO. 2
7	EA	162833	Railing Post	4X4X10 PT .40 CCA Y/P NO. 2
1	EA	589410	Stair Stringer	2X12X8 PT SYP #2 .40CCA
1	EA	169629	Stair Stringer	2X12-16FT. NO.2 PT SYP .40
4	EA	351792	Tread	5/4X6X10 PREM. THOMPSON DECKING .40
4	EA	675199	V Bottom Rail	2X4X8 #1PT Y/P.40 - JLQ NOTES
8	EA	675199	V Top Rail	2X4X8 #1PT Y/P.40 - JLQ NOTES
14	EA	462152	2x6 Joist Hanger	2X6 JOIST HANGER
4	EA	164365	4x4 Post Foot Brkt	4X4 ADJUSTABLE POST BASE
4	EA	654299	Anchor Bolt	CARRIAGE BOLT 1/2X6
4	EA	538892	Anchor Nut	HEX NUT GALV 1/2
4	EA	538981	Anchor Washer	FLAT CUT WASHER GALV 1/2
1	EA	735002	BalusterScrewGreen	GREEN 5LB 2 1/2IN DECKMATE DECK SCRW
20	EA	544208	Beam Bolt 4x4	CARRIAGE BOLT-GALV. 1/2 X 8
20	EA	538892	Beam Nut	HEX NUT GALV 1/2
20	EA	538981	Beam Washer	FLAT CUT WASHER GALV 1/2
12	EA	169765	Concn-GroundFoot	80 LB CONCRETE - JLQ NOTES
30	EA	169765	ConcPierIn-Ground	80 LB CONCRETE - JLQ NOTES
3	EA	735003	Deck Screws3inGreen	GREEN 5LB 3IN DECKMATE DECK SCRW
2	EA	174668	Flashing	1 5/8X1 5/8X8FT ALUM DECK FLASHING
1	PK	462810	Hanger Nails 2x6	10D JOIST HANGER NAILS
1	PK	462810	Hanger Nails 2x8	10D JOIST HANGER NAILS
2	EA	192708	Joist Framing Nails	16D 3-1/2" HOT GALV COMMON 5 LB
11	EA	538981	Lag Bolt Washer	FLAT CUT WASHER GALV 1/2
11	EA	928607	Ledger-Bolt	LAG SCREW GALV 1/2 X 6
26	EA	544208	Rail Post-Bolt	CARRIAGE BOLT-GALV. 1/2 X 8
26	EA	538892	Rail Post-Nut	HEX NUT GALV 1/2
26	EA	538981	Rail Post-Washer	FLAT CUT WASHER GALV 1/2
1	EA	735002	Step Screw Green	GREEN 5LB 2 1/2IN DECKMATE DECK SCRW

12

8" SanoTubes

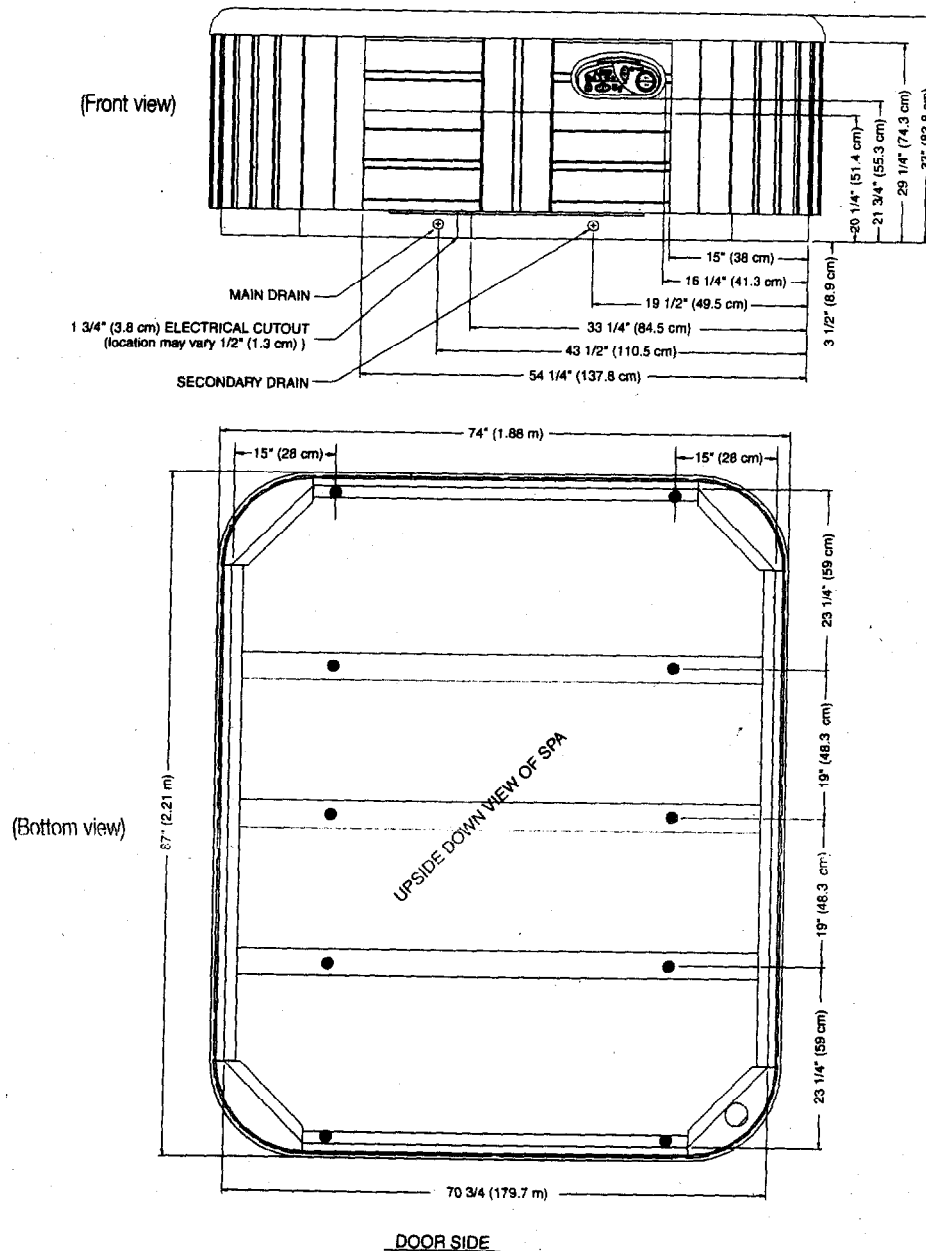
The total cost of in stock materials is \$1434.23 plus tax.
 This estimate was created on 6/11/2003 and is valid for 3 business days.

Parameters from UBC.cod parameter file.
 Parameters used for Deck 1: 60 psf live load, 48 inch footing depth.
 Parameters used for Deck 2: 60 psf live load, 48 inch footing depth.

Prodigy® (Model H)

Dimensions

NOTE: All dimensions are approximate; measure your spa before making critical design or pathway decisions.



- 10 Leveling Points (place shims approx. 15" in from edge.)

Spa Specifications

	Footprint dimensions	Height	Effective filter area	Heater (Watts)	Water capacity	Dry weight	Filled weight*	Dead weight*	Electrical Requirements
Landmark® (Model S)	7'7" x 8'4" 2.31m x 2.54m	38" .96 m	150 square feet	6,000	525 gallons 1,987 litres	877 lbs. 398 kg.	6,195 lbs. 2,810 kg.	115 lbs. per square foot	230 volt, 50 amp Single phase GFCI protected circuit
Grandee® (Model G)	7'7" x 8'4" 2.31m x 2.54m	38" .96 m	150 square feet	6,000	500 gallons 1,893 litres	877 lbs. 398 kg.	6,167 lbs. 2,797 kg.	115 lbs. per square foot	230 volt, 50 amp Single phase GFCI protected circuit
Vanguard® (Model V)	7'3" x 7'3" 2.20m x 2.20m	36" .91 m	120 square feet	6,000	400 gallons 1,514 litres	686 lbs. 311 kg.	4,988 lbs. 2,263 kg.	110 lbs. per square foot	230 volt, 50 amp Single phase GFCI protected circuit
Sovereign® Limited Edition (Model ILE)	6'8" x 7'9" 2.03m x 2.36m	36" .91 m	120 square feet	6,000	365 gallons 1,382 litres	705 lbs. 320 kg.	4,675 lbs. 2,121 kg.	105 lbs. per square foot	230 volt, 50 amp Single phase GFCI protected circuit
Sovereign® (Model I)	6'8" x 7'9" 2.03m x 2.36m	33" .84 m	90 square feet	1,500 or 6,000	355 gallons 1,344 litres	620 lbs. 281 kg.	4,556 lbs. 2,067 kg.	105 lbs. per square foot	115 volt, 20 amp Dedicated GFCI protected circuit or 230 volt, 50 amp Single phase GFCI protected circuit
Prodigy® (Model H)	6'2" x 7'3" 1.88m x 2.21m	33" .84 m	90 square feet	1,500 or 6,000	325 gallons 1,230 litres	533 lbs. 242 kg.	4,051 lbs. 1,838 kg.	105 lbs. per square foot	115 volt, 20 amp Dedicated GFCI protected circuit or 230 volt, 50 amp Single phase GFCI protected circuit
Jetsetter® (Model J)	5'2" x 6'10" 1.57m x 2.08m	29" .74 m	90 square feet	1,500 or 6,000	215 gallons 814 litres	365 Lbs. 166 kg.	2,638 lbs. 1,197 kg.	90 lbs. per square foot	115 volt, 20 amp Dedicated GFCI protected circuit or 230 volt, 50 amp Single phase GFCI protected circuit

CAUTION: Watkins Manufacturing Corporation suggests a structural engineer or contractor be consulted before the spa is placed on an elevated deck.

* **NOTE:** The “Filled weight” and “Dead weight” of the spa includes the weight of the occupants (assuming an average occupant weight of 175 lbs).

CONTRACTOR SUGGESTIONS

Electrician

Name: _____

Telephone: _____

Name: _____

Telephone: _____

Masonry

Name: _____

Telephone: _____

Name: _____

Telephone: _____

General

Name: _____

Telephone: _____

Name: _____

Telephone: _____

**SERVICES AVAILABLE FROM YOUR
HOT SPRING® SPA DEALER**
Service

Cost

Pre-Delivery site inspection

Deliver spa to installation site

Unwrap spa and haul away packaging material

Set up & level spa

Fill the spa with water

Connect the spa to its power source (115 volt models)

Explain and test the spa's operation

- Jet system
- Moto-Massage® jet
- Comfort Control® system
- Install and test lamp
- Set temperature control
- Control panel functions

Explain the safety features

- GFCI
- Heater high limit
- Heater thermal cut-off

General spa operation & maintenance orientation

Water quality and maintenance orientation

Adjust the water's Total Alkalinity, Calcium Hardness and pH

Sanitize the water

Inspect the spa cover, place on spa

Review winterizing instructions

Review Owner's Manual & Warranty Card

Follow-up call

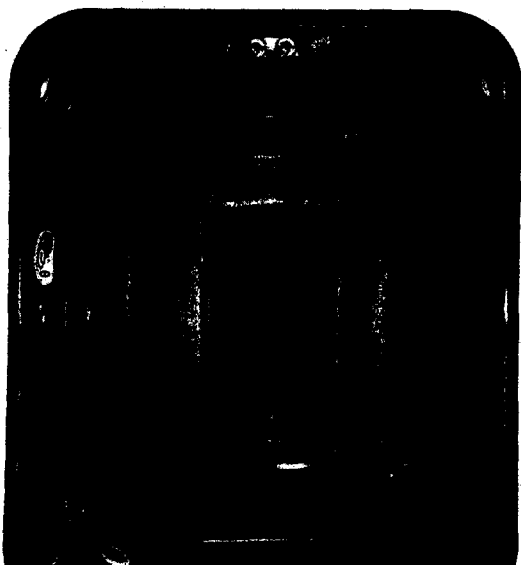
In-store spa water analysis

TOTAL COST

RODIGY® SPA



A spacious five-person spa, the Prodigy features a variety of configurations in six seating locations. From the soft yet vibrating full back massage of ten Precision jets, to the rotating lower back massage of a powerful JetStream jet, a customized hydromassage experience awaits.



Seating Capacity	5 adults
Dimensions	6'2" x 7'3" x 33"H/1.88m x 2.21m x .84mH
Water Capacity	325 gallons/1,230 litres
Weight	533 lbs./242 kg dry; 4,051 lbs./1,838 kg filled*
Spa Shell	White Endurol®, or Jade or Spa Blue granite-like acrylic
Spa Cabinet	Everwood®
Light	Extra large LED with a 5-position dimmer control
Endurol	Luminescence™ 6-color system
Granite-like acrylic	Blue
Jets (Total jets-19)	2 Soothing Seven® Jets, 1 JetStream® Jet, 2 Rotary Hydromassage Jets, 4 Directional Hydromassage Jets, 10 Precision® Jets
Jet Systems	SmartJet® and Comfort Control®
Control System	IQ 2020™ 115v/20 amp (includes G.F.C.I. protected power cord) or 230v/50 amp, 60 Hz**
Control Panels	Exterior and Interior
Heater	No-Fault®, 1500w/115v or 6000w/230v
Thermostat Sensitivity	Plus or minus 1°F
Jet Pump	Wavemaster™ 7000; 1.65 HP Continuous Duty, 3.5 HP Breakdown Torque
Circulation Pump	Silent Flo 5000™
Electrical Safety	UL Listed
Effective Filter Area	90 sq. ft., top loading, 100% no-bypass filtration
Water Care Option	EverFresh™ system
Floor Drain	Included

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initialzing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

JB Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

☒ Footing/Building Location Inspection: Prior to pouring concrete

NA Re-Bar Schedule Inspection: Prior to pouring concrete

NA Foundation Inspection: Prior to placing ANY backfill

☒ Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling

☒ Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: ~~There is a \$75.00 fee per inspection at this point.~~

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

☒ If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

NA CERTIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Signature of applicant/designee

James Bonita

Date

6/19/23

Signature of Inspections Official

Date

CBL:

333-6-14

Building Permit #:

03-0178



CITY OF PORTLAND, MAINE

Department of Building Inspections

June 19 20 03

Received from

Debbie Kelley

Location of Work

171 Milton

Cost of Construction

\$ 5,000.

Permit Fee

\$ 58.00

Building (IL) ☒

Plumbing (IS) ☐

Electrical (I2) ☐

Site Plan (U2) ☐

Other ☐

CBL:

333-G-14

Check #:

968

Total Collected \$

58.00

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy

YELLOW - Office Copy

PINK - Permit Copy