



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 168 Milton Street Lot 171 333-E-041

Issued to Custom Built Homes

Date of Issue 10/26/00

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 000626, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

single family use group R3 type 5B Boka99

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

10/26/00
(Date)

[Signature]
Inspector

[Signature]
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

COMMENTS

7/7/00 Wrong plans! Contractor, Mr. Somerset, told to come in ^{with} correct plans for review.

8/15/00 Building constructed a/p/t inspection for set back, back fill! Set backs checked out.

Framing - steps 9 1/2" must be 10"

Deck - question on cantilevering. AC/SW.

10-19-2K While doing building final: found steps to basement w/ top step @ 8 5/8" to kit. floor. All other steps ~~7 1/2"~~ greater than 7 3/4" allowed by BOCA 99 - Notified Bldr.

10-24-2K Went back to check step correction & found to step 8 1/8", all others still greater than 7 3/4". (7 7/8" to 8" Actual).

★ SMOKE DETECTOR FOR BASEMENT MISSING. AKW

* 7-13-00 Monthly notes indicate backfill inspection ok to fill JB

10/26/00 CJO. above

CBL: 333-E-41
Permit #: 000626

Inspection Record

Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____

DeLUCA-HOFFMAN ASSOCIATES, INC.
CONSULTING ENGINEERS

778 MAIN STREET
SUITE 8
SOUTH PORTLAND, MAINE 04106
TEL. 207 775 1121
FAX 207 879 0896

- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- TRAFFIC STUDIES AND MANAGEMENT
- PERMITTING
- AIRPORT ENGINEERING
- SITE PLANNING
- CONSTRUCTION ADMINISTRATION

MEMORANDUM

TO: Code Enforcement
Kandi Talbot, Planner

FROM: Chris Earle, Construction Representative
Reviewed by Steve Bushey, P.E., Acting Development Review Coordinator

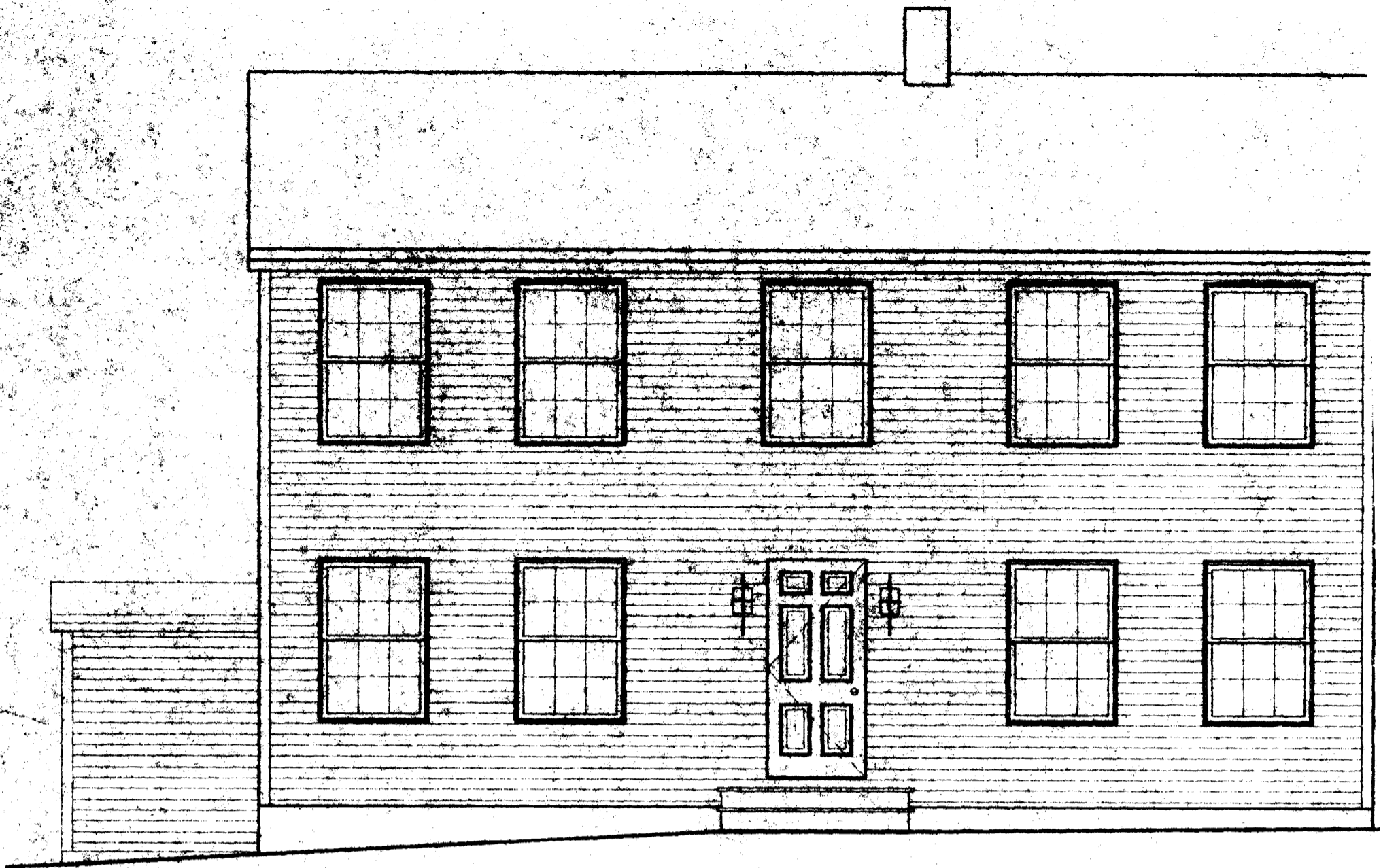
DATE: October 26, 2000

RE: Certificate of Occupancy – 168 Milton Street (Lot 171)

On October 26 2000, the site was reviewed for compliance with the conditions of approval.

It is our opinion that a **permanent certificate of occupancy could be issued**, assuming neither Code Enforcement nor Public Works has any outstanding issues.

Note: Driveway(s) shall be paved within one year of receipt of the Certificate of Occupancy, per approved subdivision plan.



FRONT ELEVATION

Scale: 1/4" = 1'-0"



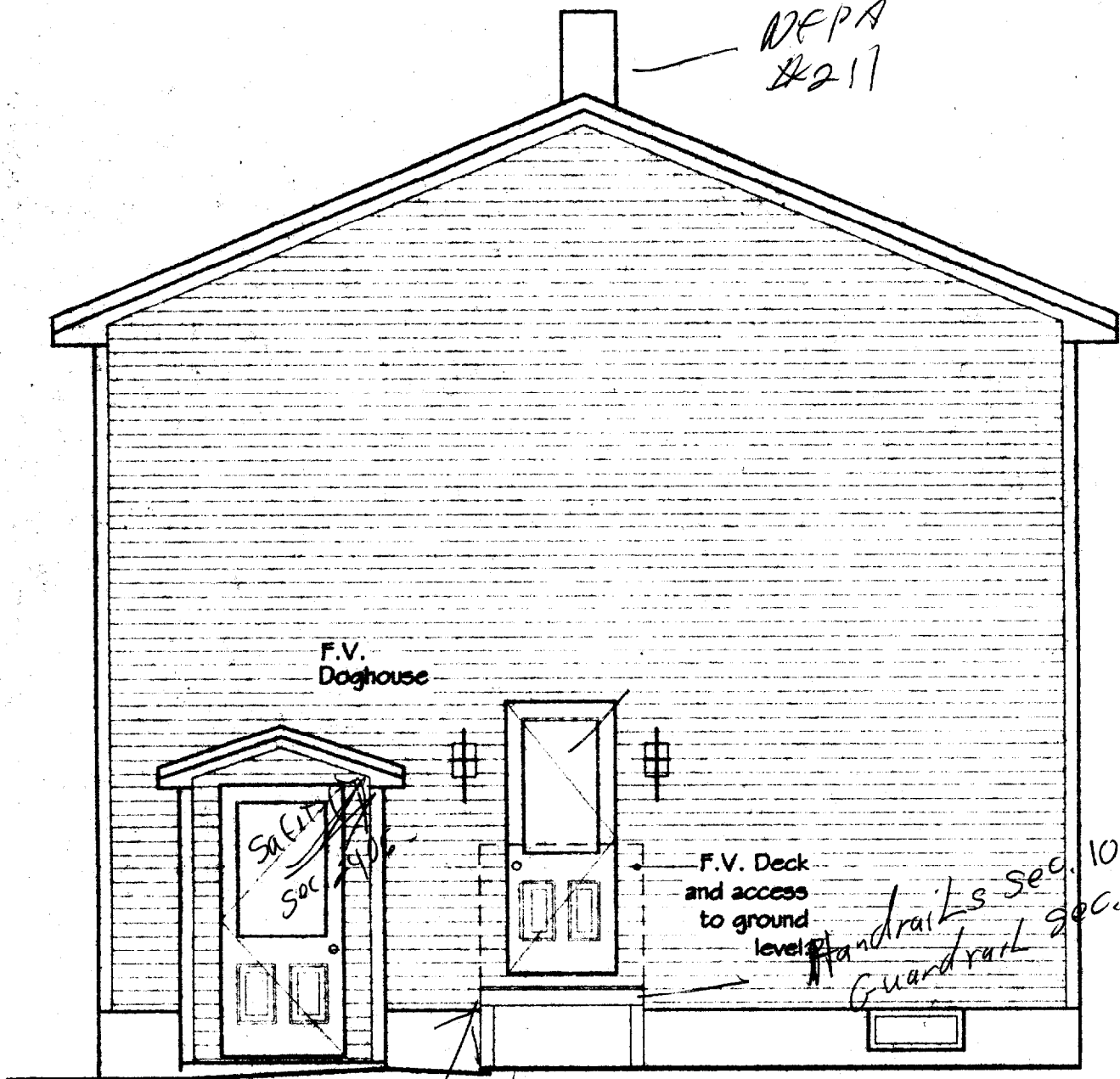
REAR ELEVATION

Scale: 1/4" = 1'-0"

PLEASE BE ADVISED THAT JMG DESIGNS, INC. IS NOT CERTIFIED AS A STATE OF MAINE ARCHITECT OR ENGINEER. THIS WORK IS SUPPLIED STRICTLY AS A SERVICE TO MY CUSTOMERS AND IS NOT GUARANTEED AS TO STRUCTURAL SOUNDNESS. CUSTOMERS MAY WANT TO CONSULT AN ENGINEER OR ARCHITECT TO CONFIRM THE DESIGN'S CAPABILITIES AND SUITABILITY BEFORE TAKING ANY FINAL ACTION REGARDING CONSTRUCTION.

RB

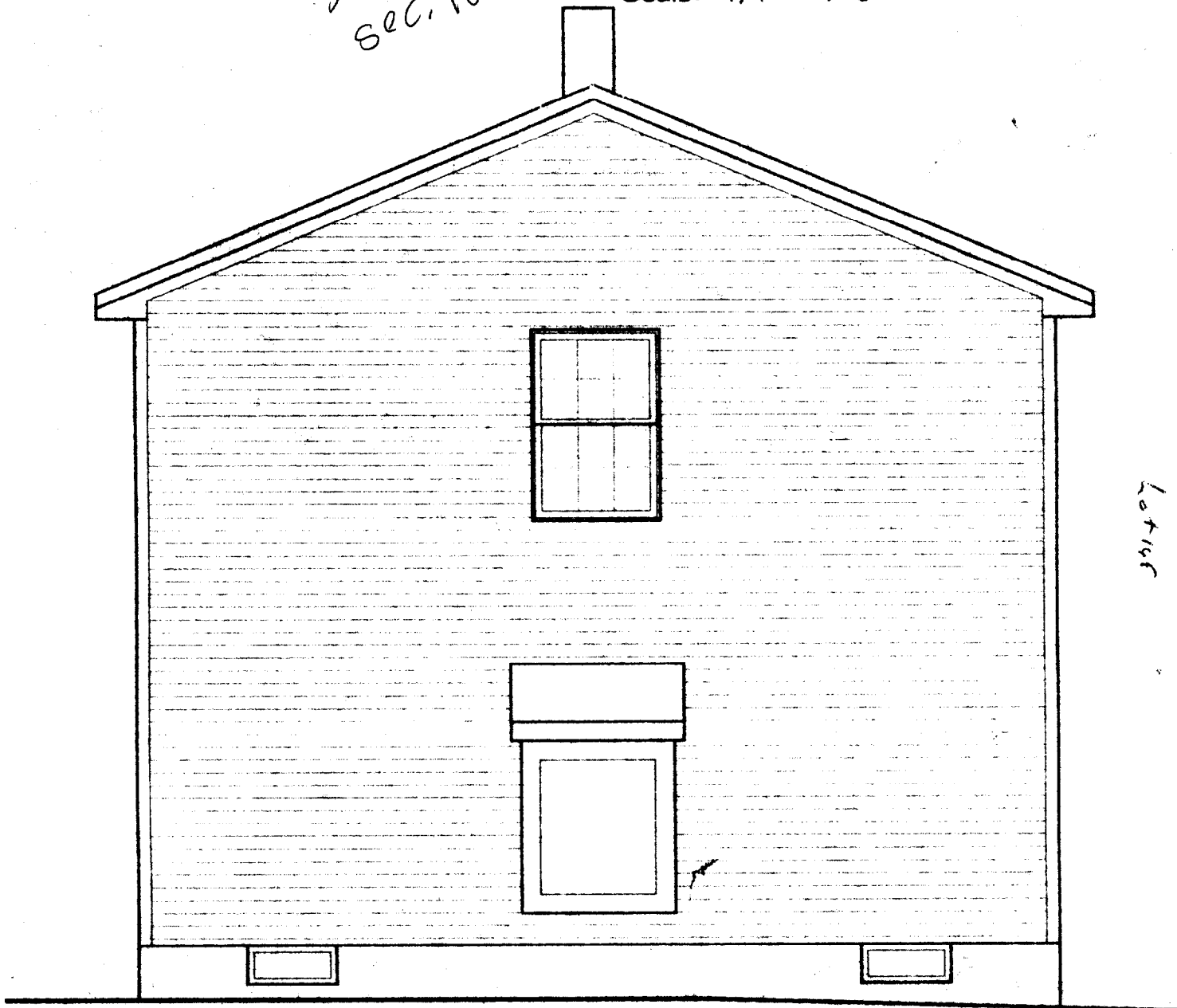
DEPA #217



STAIR ENCL - SEC. 1014.0

LEFT ELEVATION

Scale: 1/4" = 1'-0"



RIGHT ELEVATION

Scale: 1/4" = 1'-0"

Date drawn:	5/28/00
Date issued:	5/29/00
Drawn by:	JG
Scale:	NOTED

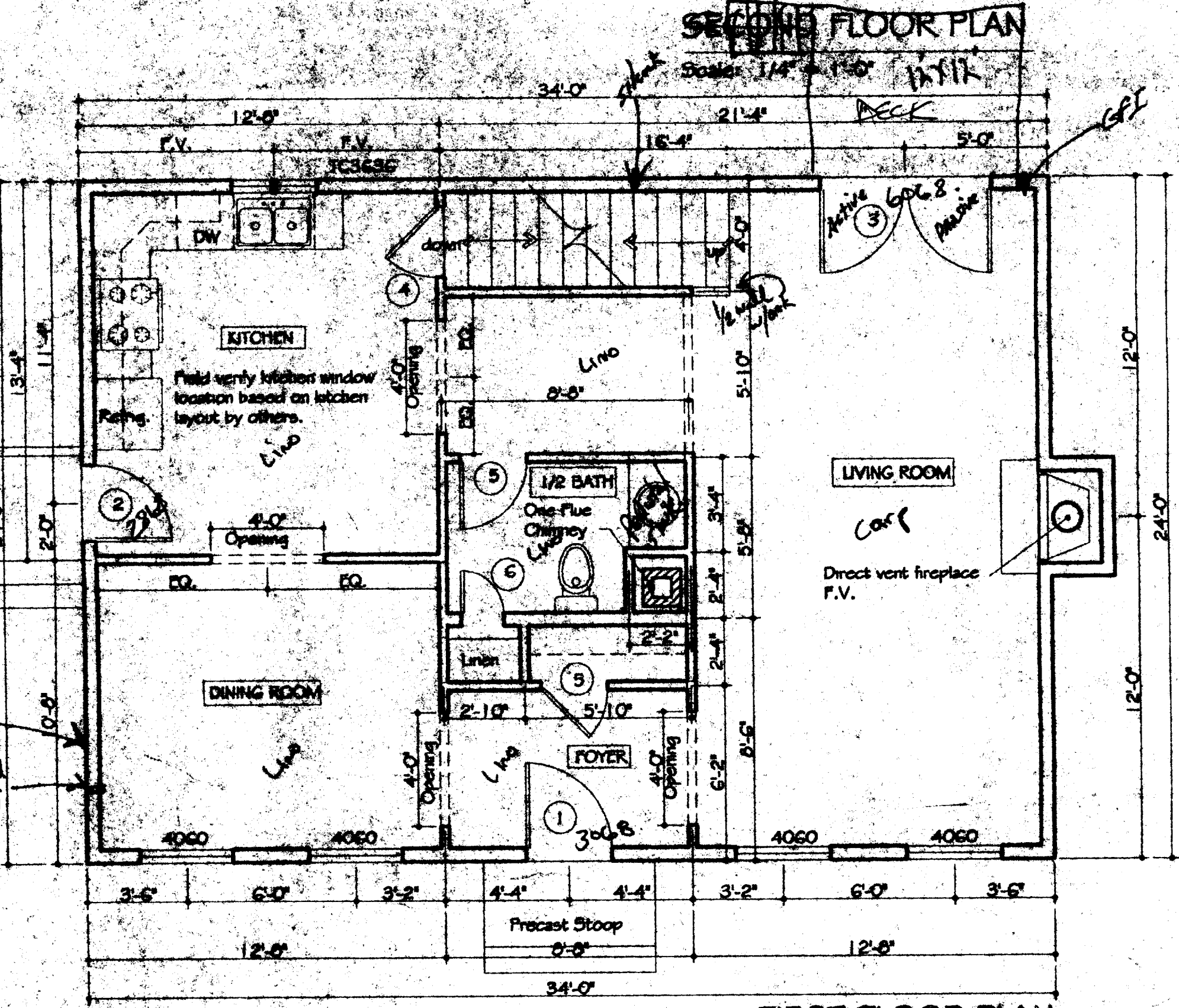
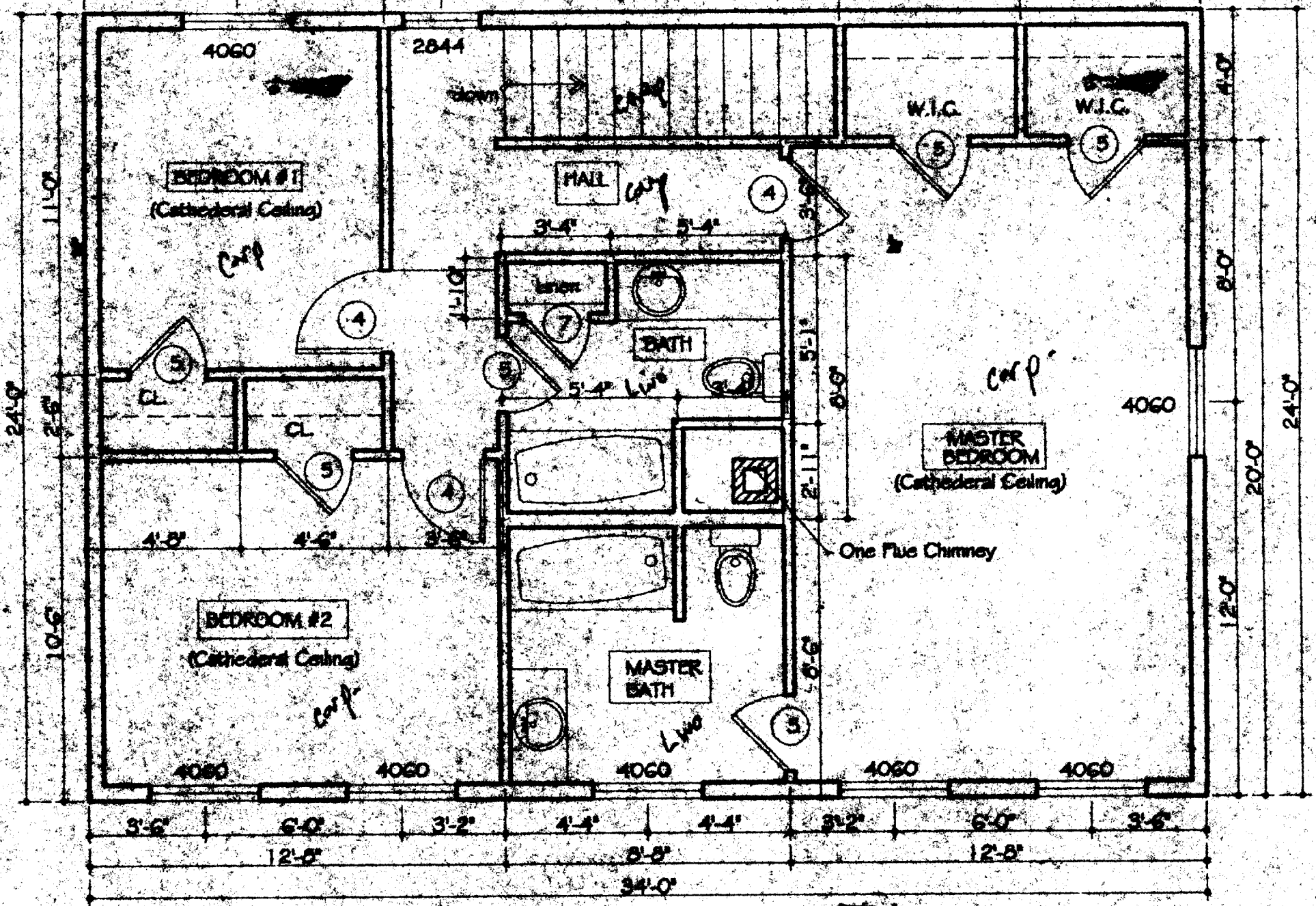
Project	2047
Project number	2047
Revisions:	
Project	BAILEY RESIDENCE
Drawing title	Elevations

301407

Revised 19 July 2001

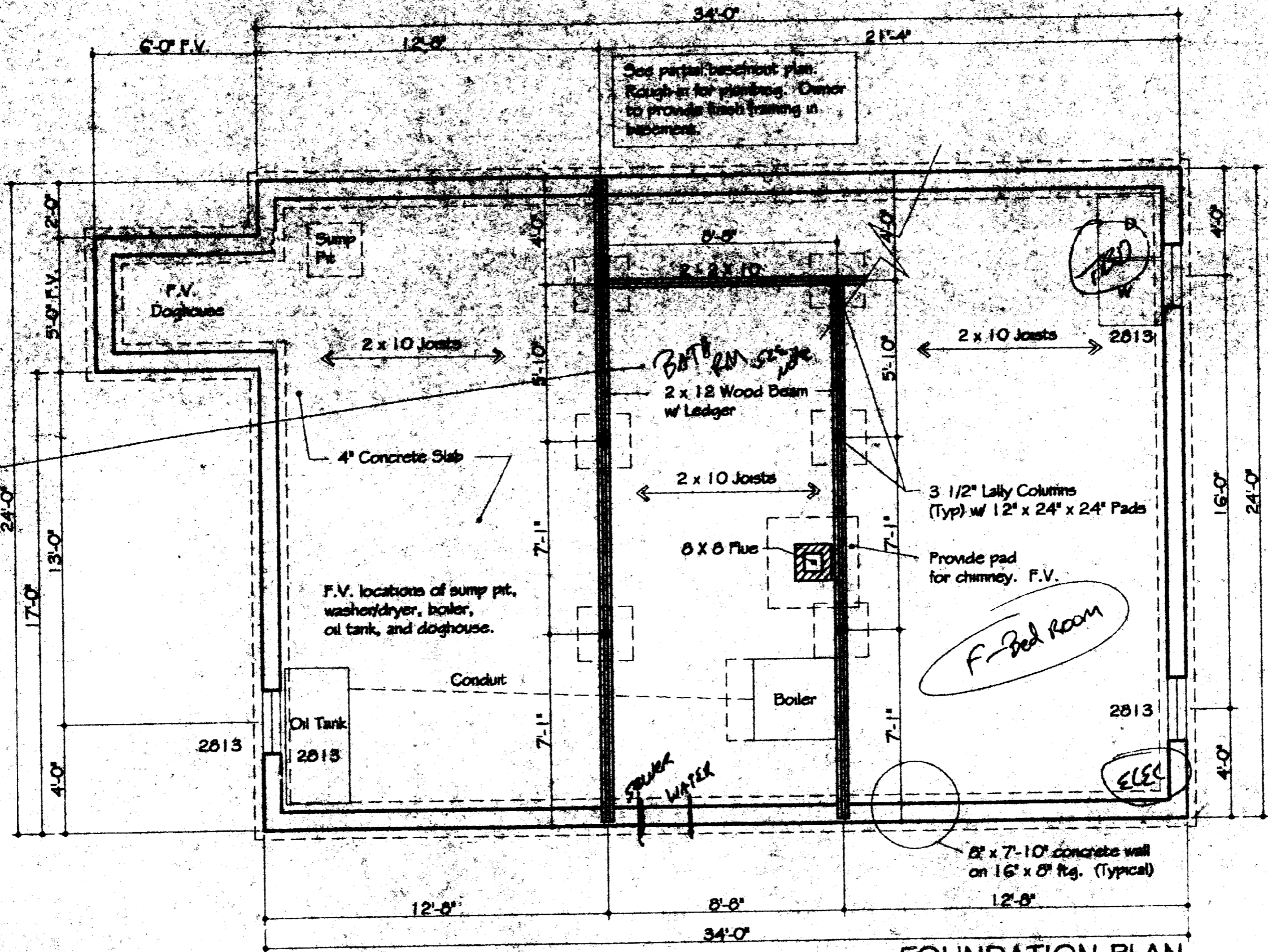
A1

sheet number



FIRST FLOOR PLAN
 Scale: 1/4" = 1'-0"

in for plumbing. Owner
 Make finish framing and
 in basement.



FOUNDATION PLAN

Scale: 1/4" = 1'-0"

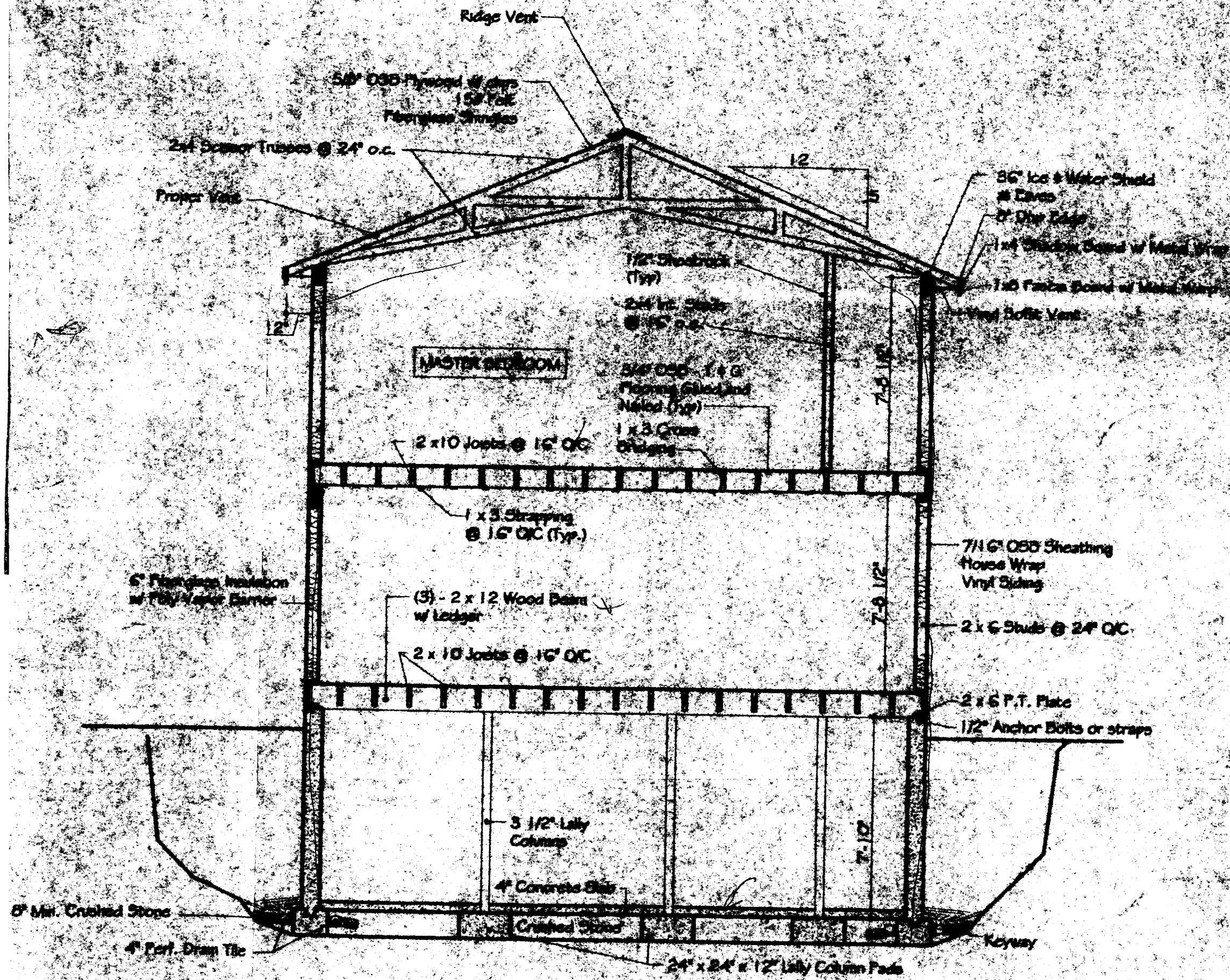
PLAN

date drawn	5/28/80
date checked	6/28/80
drawn by	JD
checked by	MB

project number	2813
system	

project	BAILEY RESIDENCE
drawing title	Foundation Plan & Detail

sheet number	A3
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CROSS SECTION

Scale: 1/4" = 1'-0"