

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED

Permit No: 01-061	Issue Date: JUN 18 2001	CB#: 33 E035001
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Location of Construction: 132 Milton St (lot #169)	Owner Name: Holman Craig E	Owner Address: 138a Chute Rd Windham 04092	Phone: 207-831-5950
Business Name: n/a	Contractor Name: no contractor/self	Contractor Address: n/a n/a	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R-2

Past Use: vacant lot	Proposed Use: Single Family 44' x 26' house w/ 21' x 30' garage. Call Craig @ 831-5950 Site plan # 2001-0127	Permit Fee: \$504.00	Cost of Work: \$80,000.00	CEO District: 1
Proposed Project Description: erect single family 44' x 26' house w/ 21' x 30' garage		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied INSPECTION: Use Group: R-3 Type: 5B BACA/100/1999 WITH REQUIREMENTS Signature: [Signature]		
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.): Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: Date:		

Permit Taken By: jodinea	Date Applied For: 05/31/2001	Zoning Approval		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan # 2001-0127 Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM Date: 6/15/01	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

01-0611/2001-0127

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE
PERMIT IS ISSUED

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: LOT # 169, MILTON STREET		
Total Square Footage of Proposed Structure 2,630	Square Footage of Lot 10,085	
Tax Assessor's Chart, Block & Lot Number Chart# 333 Block# E Lot# 035	Owner: CRAIG HOLMAN	Telephone#: C: 831-5950 H: 892-4847
Lessee/Buyer's Name (If Applicable)	Owner's/Purchaser/Lessee Address: 138A CHUTE RD. WINDHAM, ME. 04062	Cost Of Work: \$80,000. Fee: \$
Current use: VACANT LOT If the location is currently vacant, what was prior use: Approximately how long has it been vacant: Proposed use: SINGLE FAMILY HOUSE 44' x 26' x 21' garage 30' Project description:		
Contractor's Name, Address & Telephone: CRAIG HOLMAN 138A CHUTE RD. WINDHAM, ME 04062 Applicants Name, Address & Telephone: SAME Who should we contact when the permit is ready: CRAIG HOLMAN Telephone: 831-5950 If you would like the permit mailed, what mailing address should we use:		

5/29
Rec'd By: CH

**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE
PERMIT IS ISSUED**

PLOT PLAN INCLUDES THE FOLLOWING:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches; a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation (based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

A COMPLETE SET OF CONSTRUCTION DRAWINGS INCLUDES THE FOLLOWING:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and damp proofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

**SEPARATE PERMITS ARE REQUIRED FOR INTERNAL & EXTERNAL PLUMBING, HVAC
AND ELECTRICAL INSTALLATIONS**

- All construction must be conducted in compliance with the 1999 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1999 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

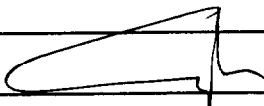
Minor/Minor Site Review Fee for New Single Family homes: \$300.00/Building Permit Fee: \$30.00 for the 1st
\$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.

**ONE SET OF SUBMISSIONS INCLUDING CONSTRUCTION AND SITE
PLAN DRAWINGS MUST BE SUBMITTED ON PAPER NO LARGER
THAN 11" x 17" BEFORE ANY BUILDING PERMIT WILL BE ISSUED**

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:



Date: 5-29-01

BUILDING PERMIT REPORT

DATE: 4 June 2001 ADDRESS: 152 M. LTON ST. Lot #169 CBL: 333-E-035

REASON FOR PERMIT: To Construct a single Family dwelling / attached garage.

BUILDING OWNER: Craig E. Holman

PERMIT APPLICANT: CONTRACTOR SAO

USE GROUP: R-3 CONSTRUCTION TYPE: 5-B CONSTRUCTION COST: \$80,000.00 PERMIT FEES: \$54.69

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: *1, *2, *3, *4, *5, *8, *9, *11, *13, *14, *16, *20, *22, *26, *29, *30, *31, *32, *33, *34, *35, *36, *38, *

- *1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- *2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection) **"ALL LOT LINES SHALL BE CLEARLY MARKED BEFORE CALLING."**
- *3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
- *4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts. Section 2305.17
- *5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete and masonry. Concrete Sections 1908.9-19.8.10/ Masonry Sections 2111.3-2111.4.
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
- *8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1999)
- *9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
- *11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42". In occupancies in Use Group A, B, H-4, I-1, I-2, M, R, public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. Handrails shall be a minimum of 34" but not more than 38". Exception: Handrails that form part of a guard shall have a height not less than 36 inches (914 mm) and not more than 42 inches (1067 mm). Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0). Handrails shall be on both sides of stairway. (Section 1014.7)
12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
- *13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
- *14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
15. The Minimum required width of a corridor shall be determined by the most restrictive of the criteria under section 1011.3 but not less than 36".
- *16. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1010.4)
17. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
18. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's. (Over 3 stories in height requirements for fire rating is two (2) hours. (Section 710.0)
19. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)

✓ 1. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

- In the immediate vicinity of bedrooms
- In all bedrooms
- In each story within a dwelling unit, including basements

21. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)

22. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.

23. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.

24. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)

25. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".

26. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.

✓ 27. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).

✓ 28. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.

✓ 29. All requirements must be met before a final Certificate of Occupancy is issued.

✓ 30. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).

✓ 31. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16) *BOCA*

32. Please read and implement the attached Land Use Zoning report requirements. *All requirements and conditions on the attached site development review sheet shall be met*

✓ 33. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.

✓ 34. Bridging shall comply with Section 2305.16.

✓ 35. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)

✓ 36. All flashing shall comply with Section 1406.3.10.

✓ 37. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).

✓ 38. *Roofing shall comply with section 1507.0*

[Signature]
P. Samuel Hoffses, Building Inspector
Cc Lt. McDougall, PFD
Marge Schmuckal, Zoning Administrator
Michael Nugent, Inspection Service Manager

PSH 10/1/00

****This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.**

*****THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. (You Shall Call for Inspections)**

******ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.**

*******CERTIFICATE OF OCCUPANCY FEE \$50.00**

Applicant: Craig Holman

Date: 6/15/01

Address: 152 Milton St (lot #169)

C-B-L: 333-E-35

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - R-2

Interior or corner lot -

Proposed Use/Work - erect 26' x 44' house with attached 21' x 30' garage

Sewage Disposal - City

Lot Street Frontage - 50' - 94' shown

Front Yard - 25' req - 25.5' shown

Rear Yard - 25' req - 44' shown

Side Yard - 14' req - 14.5' / 14.5' shown

Projections - front porch 6' x 34'

Width of Lot - 80' req - 94' shown

Height - 35' max - 22.5' shown

Lot Area - 10,000^{sq ft} min 10,085.5^{sq ft} shown

Lot Coverage/ Impervious Surface - 20% max of 2017.1^{sq ft}

Area per Family - 10,000^{sq ft}

Off-street Parking - 2 req - 2 car garage

Loading Bays - N/A

Site Plan - minor/minor
2001-0127

Shoreland Zoning/Stream Protection - N/A

Flood Plains - Panel 1 of 17 - Zone C

26 x 44 = 1144

21 x 30 = 630^{sq ft}

1774^{sq ft}

6 x 34 = 204^{sq ft}

1978^{sq ft}

private drainage easements around the bldg
- 3 sides except front

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Insp Copy**

2001-0127

Application I. D. Number

5/29/01

Application Date

Milton Street, Lot # 169

Project Name/Description

Holman Craig E

Applicant

138a Chute Rd , Windham , ME 04062

Applicant's Mailing Address

Consultant/Agent

Agent Ph:

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Milton St, Portland, Maine

Address of Proposed Site

333 E035001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): ☒ New Building ☐ Building Addition ☐ Change Of Use ☒ Residential ☐ Office ☐ Retail
☐ Manufacturing ☐ Warehouse/Distribution ☐ Parking Lot ☐ Other (specify) **w/ 21' x 30' garage**

2,630 s.f

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Plan **\$50.00** Subdivision _____ Engineer Review **\$250.00** Date **6/1/01**

Insp Approval Status:

Reviewer _____

- ☐ Approved ☐ Approved w/Conditions
See Attached ☐ Denied

Approval Date _____ Approval Expiration _____ Extension to _____ ☐ Additional Sheets
Attached

☐ Condition Compliance _____
signature _____ date _____

Performance Guarantee

☐ Required*

☐ Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2001-0127

Application I. D. Number

05/29/2001

Application Date

Milton Street, Lot # 169

Project Name/Description

Holman Craig E

Applicant

138a Chute Rd , Windham , ME 04062

Applicant's Mailing Address

Consultant/Agent

Agent Ph:

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Milton St, Portland, Maine

Address of Proposed Site

333 E035001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): ☒ New Building ☐ Building Addition ☐ Change Of Use ☒ Residential ☐ Office ☐ Retail
☐ Manufacturing ☐ Warehouse/Distribution ☐ Parking Lot ☐ Other (specify) w/ 21' x 30' garage

2,630 s.f

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

☒ Site Plan
(major/minor)

☐ Subdivision
of lots _____

☐ PAD Review

☐ 14-403 Streets Review

☐ Flood Hazard

☐ Shoreland

☐ Historic Preservation

☐ DEP Local Certification

☐ Zoning Conditional
Use (ZBA/PB)

☐ Zoning Variance

☐ Other _____

Fees Paid: Site Plan \$50.00 Subdivision _____ Engineer Review \$250.00 Date 06/01/2001

DRC Approval Status:

☐ Approved

See Attached

☐ Denied

Approval Expiration 06/06/2002

Extension to _____

☒ Additional Sheets
Attached

☒ Condition Compliance

Jay Reynolds
signature

06/06/2001
date

Performance Guarantee

☐ Required*

☒ Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

☐ Performance Guarantee Accepted

date

amount

expiration date

☐ Inspection Fee Paid

date

amount

☐ Building Permit Issue

date

☐ Performance Guarantee Reduced

date

remaining balance

signature

☐ Temporary Certificate of Occupancy

date

☐ Conditions (See Attached)

expiration date

☐ Final Inspection

date

signature

☐ Certificate Of Occupancy

date

☐ Performance Guarantee Released

date

signature

☐ Defect Guarantee Submitted

submitted date

amount

expiration date

☐ Defect Guarantee Released

date

signature

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

2001-0127

Application I. D. Number

05/29/2001

Application Date

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Project Name/Description

Holman Craig E

Applicant

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Applicant's Mailing Address

Consultant/Agent

Agent Ph:

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Milton St, Portland, Maine

Address of Proposed Site

333 E035001

Assessor's Reference: Chart-Block-Lot

Approval Conditions of DRC

- 1 APPLICANT SHALL PERFORM FINAL GRADING TO BE IN CONFORMANCE WITH THE APPROVED SITE/SUBDIVISION PLANS. GRADING SHALL BE CONSISTANT WITH NEIGHBORING PROPERTIES AND SHALL NOT CREATE PONDING OF WATER.
- 2 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 3 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 4 Your new street address is now 152 Milton Street, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 5 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 6 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 7 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 8 The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.
- 9 The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
- 10 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

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Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
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| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Plan \$50.00 Subdivision _____ Engineer Review \$250.00 Date: 06/01/2001

Insp Approval Status:

Reviewer Marge Schmuckal

- ☐ Approved ☒ Approved w/Conditions
See Attached ☐ Denied

Approval Date 06/15/2001

Approval Expiration 06/15/2002

Extension to _____

☒ Additional Sheets
Attached

☒ Condition Compliance

Marge Schmuckal
signature

06/15/2001
date

Performance Guarantee

☐ Required*

☐ Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issued | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |

2001-0127

Application I. D. Number

05/29/2001

Application Date _____

Milton Street, Lot # 169

Project Name/Description

Holman Craig E

Applicant

138a Chute Rd , Windham , ME 04062

Applicant's Mailing Address**Consultant/Agent**

Agent Ph: Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Milton St, Portland, Maine

Address of Proposed Site

333 E035001

Assessor's Reference: Chart-Block-Lot

CITY OF PORTLAND, ME
BOCA 1999 Plan Review Record
One and Two Family Dwelling

Valuation: \$80,000.00 Plan Review # 654/2001

Fee: \$504.00 Date: 4 June 2001

Building Location: Lot #169 Milton St. CBL: 333-E-035

Building Description: Single Family dwelling/attached private garage.

Reviewed By: S. Hoffse

Use or Occupancy: R-3 Type of Construction: 5 B

*NR: Not Required NA: Not Applicable SR: See Report X: OK per plan

Correction List		
NO:	Description	Code Section
1.	All Site plan and building Code requirements shall be completed before a Certificate of occupancy can or will be issued.	111.0 118.0
2.	Before placing concrete for foundation you shall call this office for setback requirements.	111.0
3.	Foundation drains shall comply with section 1813.5	1813.5.2
4.	Foundation anchors shall comply with section 2305.17	2305.17
5.	Water proofing and damp proofing shall comply with section 1813.0	1813.0
6.	Private garages shall comply with section 407.0	407.0
7.	Chimney, vents & fireplaces shall comply with NFPA 211 Ch. 5 Ch. 8	NFPA 211
8.	Guadrails and Handrails shall comply with sections 1021-1022.0	1021.0 1022.0
9.	Stair Construction shall comply with Sec. 1014.0	1014.0
10.	Sleeping room egress or rescue window shall comply with section 1010.4	1010.4
11.	Smoke detectors shall comply with Sec. 920.34	920.3.4
12.	Venting & access to crawl & attic spaces shall comply with sections 1210/1211.0	1210.0 1211.0
13.	Fastening of bldg. elements shall comply with Table 2305.2	Table 2305.2
14.	Boring, cutting & Notching shall comply with section,	

REV: FSH 4-7-00

ה'תש"ח (1947) - ייסוד מוסד חינוך

[illegible]

Foundations (Chapter 18)

Wood Foundation (1808)

NA Design
NA Installation

Footings (1807.0)

X Depth below (outside) grade 4' minimum;
but below frost line except for insulated footings.
NA Insulated footing provided
X Soil bearing value (table 1804.3)
X Footing width
X Concrete footing (1810.0) .3.1, 3.2

Foundation Walls

X Design (1812.1)
X Minimum thickness Tables 1812.3.2.(1) & 1812.3.2 (2)
59 Water proofing and damp proofing Section 1813
X Sill plate (2305.17)
59 Anchorage bolting in concrete (2305.17)
X Columns (1912)
59 Crawl space (1210.2) Ventilation
59 Crawl opening size (1210.2.1)
59 Access to crawl and attic space (1211.0)

Floors (Chapter 16-23)

X Joists - Non sleeping area LL40PSF (Table - 1606)
X Joists - Sleeping area LL30PSF (Table - 1606)
X Grade
X Spacing
X Span
X Girder 4" bearing 2305

Floors (contd.)

- ~~X~~ Bearing (1 1/2" minimum on wood or steel 3" on masonry) and lapped (3")
- ~~52~~ Bridging (2305.16)
- ~~59~~ Boring and notching (2305.5.1)
- ~~59~~ Cutting and notching (2305.3)
- ~~59~~ Fastening table (2305.2)
- ~~X~~ Floor trusses (AFPANDS Chapter 35)
- ~~6~~ Draft stopping (721.7)
- ~~X~~ Framing of openings (2305.11) (2305.12)
- ~~X~~ Flooring - (2304.4) 1" solid - 1/2" particle board
- ~~X~~ Concrete floors (1905) 3 1/2" 6 mil polyethylene vapor retarder
- _____
- _____
- _____
- _____
- _____

Wall Construction (Chapter 2300)

- ~~X~~ Design (1609) wind loads
- ~~X~~ Load requirements
- ~~X~~ Grade
- ~~59~~ Fastening schedule (Table 2305.2)
- ~~X~~ Wall framing (2305.4.1)
- ~~X~~ Double top plate (2305.4.2)
- ~~X~~ Bottom plates: (2305.4.3)
- ~~59~~ Notching and boring: (2305.4.4) studs
- ~~1~~ Non load bearing walls (2305.5)
- ~~59~~ Notching and boring (2305.5.1)
- ~~1~~ Wind bracing (2305.7)
- ~~1~~ Wall bracing required (2305.8.1)
- ~~4~~ Stud walls (2305.8.3)
- ~~X~~ Sheathing installation (2305.8.4)
- ~~X~~ Minimum thickness of wall sheathing (Table 2305.13)
- ~~NO~~ Metal construction
- ~~NA~~ Masonry construction (Chapter 21)
- ~~X~~ Exterior wall covering (Chapter 14)
- ~~X~~ Performance requirements (1403)
- ~~X~~ Materials (1404)
- ~~NA~~ Veneers (1405)
- ~~X~~ Interior finishes (Chapter 8)

Roof-Ceiling Construction (Chapter 23)

- ☒ Roof rafters - Design (2305.15) spans
- ☒ Roof decking and sheathing (2305.15.1) 5/8" boards and (2307.3) (Table 2307.3.1(2))
- ☒ Roof trusses (2313.3.1)

Roof Coverings (Chapter 15)

- ____ Approved materials (1404.1)
- 51 Performance requirement (1505)
- ____ Fire classification (1506)
- ____ Material and installation requirements (1507)
- ____ Roof structures (1510.0)
- ____ Type of covering (1507)

Chimneys and Fireplaces BOCA Mechanical/1993

- 52 Masonry (1206.0)
- 14 Factory - built (1205.0)
- 52 Masonry fireplaces (1404)
- 14 Factory - built fireplace (1403)
- 52 NFPA 211

Mechanical 1993 BOCA Mechanical Code

Load Design Criteria

Floor live load sleeping	<u>30 PSF</u>	<u>X</u>
Floor live load non sleeping	<u>40 PSF</u>	<u>X</u>
Roof live load	<u>42 PSF</u>	<u>X</u>
Roof snow load	<u>40 PSF</u>	<u>X</u>
Seismic Zone	<u>2</u>	<u>X</u>
Weathering area	<u>S</u>	<u>X</u>
Frost line depth	<u>4' MIN</u>	<u>X</u>

Glazing (Chapter 24)

<u>5a</u>	Labeling (2402.1)
<u> </u>	Louvered window or jalousies (2402.5)
<u> </u>	Human impact loads (2405.0)
<u>5a</u>	Specific hazardous locations (2405.2)
<u> </u>	Sloped glazing and skylights (2404)
<u> </u>	
<u> </u>	
<u> </u>	
<u> </u>	

Private Garages (Chapter 4)

<u>5a</u>	General (407)
<u> </u>	Beneath rooms (407.3)
<u> </u>	Attached to rooms (407.4)
<u> </u>	Door sills (407.5)
<u> </u>	Means of egress (407.8)
<u> </u>	Floor surface (407.9)
<u> </u>	
<u> </u>	
<u> </u>	

Egress (Chapter 10)

- ~~X~~ One exit from dwelling unit (1010.2)
- ~~51~~ Sleeping room window (1010.4)
- ~~X~~ EXIT DOOR (1017.3) 36" W 80" H
- ~~X~~ Landings (1014.3.2) stairway
- ~~NA~~ Ramp slope (1016.0)
- ~~51~~ Stairways (1014.3) 36" W
- ~~51~~ Treads (1014.6) 10" min.
- ~~51~~ Riser (1014.6) 7 3/4" max.
- ~~51~~ Solid riser (1014.6.1)
- ~~NA~~ Winders (1014.6.3)
- ~~NA~~ Spiral and Circular (1014.6.4)
- ~~51~~ Handrails (1022.2.2.) Ht.
- ~~51~~ Handrail grip size (1022.2.4) 1 1/4" to 2"
- ~~51~~ Guards (1012.0) 36" min.
- _____
- _____
- _____

Smoke Detectors (920.3.2)

- ~~51~~ Location and interconnection
- ~~51~~ Power source

Dwelling Unit Separation

Table 602

N/A

QUITCLAIM DEED WITH COVENANT

BONO, INC., a Maine corporation with a mailing address of P.O. Box 10127, Portland, Maine 04104

For Consideration Paid, GRANT with QUITCLAIM COVENANT to:

CRAIG E. HOLMAN, with a mailing address of 138A Chute Road, Windham, Maine 04062

A certain lot or parcel of land with any buildings and improvements thereon situated on Milton Street in the City of Portland, County of Cumberland and State of Maine, and being Lot No. 169 as shown on a plan entitled "Milton Street Extension Subdivision" made for Diversified Properties dated October 8, 1999, as revised, prepared by Titcomb Associates and recorded at Cumberland County Registry of Deeds in Plan Book 200, Page 184.

Being a portion of the premises conveyed to Grantor herein by deed of Diversified Properties, Inc. dated May 5, 2000 and recorded at the Cumberland County Registry of Deeds in Book 15454, Page 232.

The lot herein conveyed is SUBJECT to and TOGETHER with a 20 foot drainage easement in common with Lot 168 along the southerly sideline of the lot herein conveyed, 10 feet more or less of which is on Lot 168 and 10 feet more or less of which is on Lot 169.

The lot herein conveyed is SUBJECT to and TOGETHER with a 20 foot drainage easement in common with Lot 170 along the northerly sideline of the lot herein conveyed, 10 feet more or less of which is on Lot 170 and 10 feet more or less of which is on Lot 169.

The lot herein conveyed is SUBJECT to and TOGETHER with a drainage easement in common with Lots 167 through 172 along the westerly sideline of the lot herein conveyed.

Also granting the right to enter upon said drainage easement area as necessary in order to maintain proper drainage from said Lot 169.

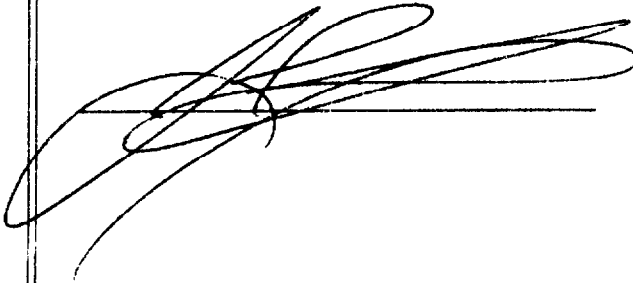
Also conveying herewith a 25 foot grading easement as shown on said Plan together with the right to enter upon said drainage and grading easement areas as necessary in order to maintain proper drainage from said Lots 167 through 172.

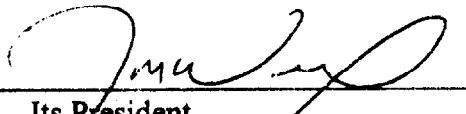
The lot herein conveyed is SUBJECT to the Notes described on said Plan.

This conveyance is made SUBJECT to the current real estate taxes to the City of Portland subject to proration at the closing, which the Grantee herein by his acceptance of this deed hereby assumes and agrees to pay.

IN WITNESS WHEREOF, the said BONO, INC. has caused this instrument to be signed in its corporate name and sealed with its corporate seal by James M. Wolf, its President thereunto duly authorized this 13 day of July, 2000.

BONO, INC.




By: 
Its President
James M. Wolf

STATE OF MAINE
CUMBERLAND, SS.

July 13, 2000

Then personally appeared the above-named JAMES M. WOLF, President of BONO, INC. as aforesaid and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said corporation.

Before me,


Attorney at Law/Notary Public
James R. Lemieux

BRUCE W. MACLEOD, P.E.

PHONE/FAX (207) 839-8104

14 HILLVIEW RD.**GORHAM, ME. 04038**

May 31, 2001

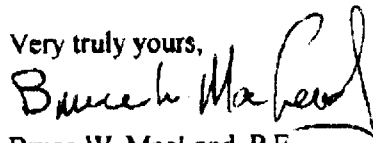
Code Enforcement Officer
City of Portland
Portland, Me.

Re. Structural Element Design
Holman Residence
Portland, Me.

The undersigned, a Maine registered Professional Engineer license number 5422 hereby certifies that I have sized the primary structural elements for the home plans prepared by Planning/Design Associates for the above referenced project. The structural design is in conformance with the BOCA Building Code 1996/1999 for chapter 16 (structural loads).

Stipulations: Structural members to be indicated on plans as designed.

Very truly yours,


Bruce W. MacLeod, P.E.
Maine License No. 5422

cc:



PLAN REFERENCES

1. "Milton Street Extension Subdivision," by Titcomb Associates, dated 10/18/99 and revised through 02/15/00, Recorded at CCRD 4/18/2000 in PB 200, PG. 184.
2. Architectural plans entitled "Holman Residence, Portland, Maine" by Planning Design Associates, dated 5/01/01.
3. An electronic file of Milton St. Extension Subdivision engineering design depicting Lots 168,169,170, only, as provided by Gorrill-Palmer Consulting Engineers, received 05/23/01.

DRAINAGE ESMT.
(TYP. BOTH SIDES)

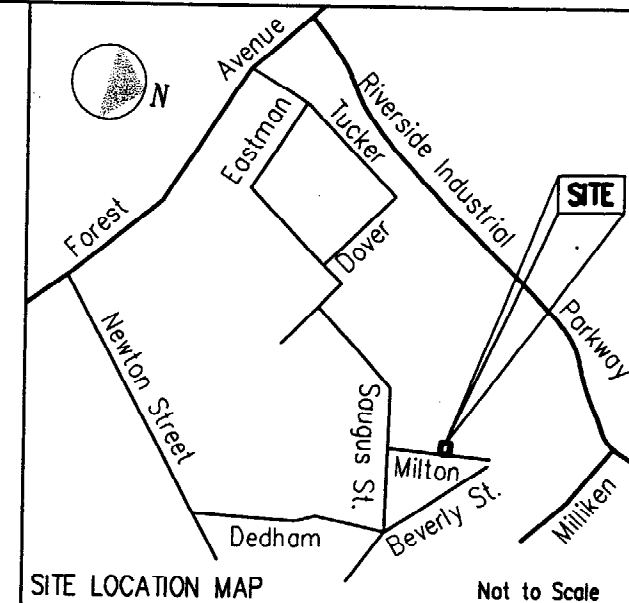
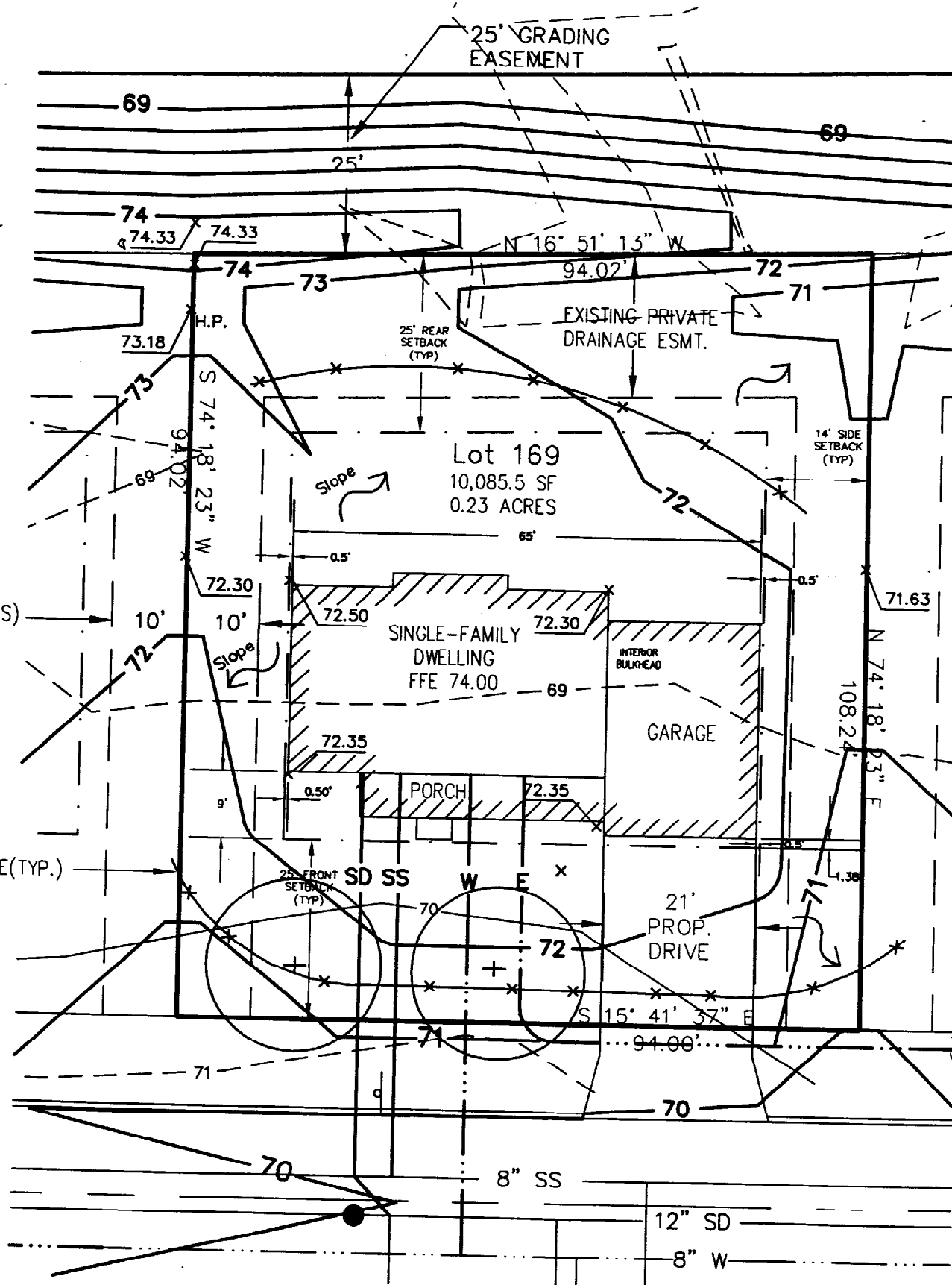
SURVEYORS STATEMENT

I hereby state to Holman Properties, Inc., exclusively, that the detail shown hereon is a compilation of the Plan References as noted, on this sheet. As such, reference is hereby made to statements on said plans.

The undersigned surveyor did not supervise any work performed for the creation of Plan References #2 & 3 and did not perform a comprehensive review of said plans. This compilation to the best of my knowledge, is correct.

David E. Titcomb
MPLS #1273

[Signature]



GENERAL NOTES:

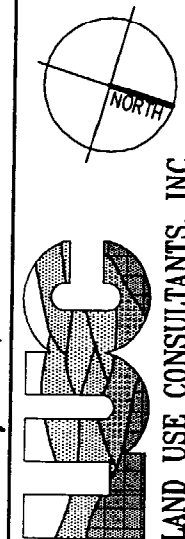
1. Lot 169 is located on Map __, Lot __ per City of Portland Assessor's Maps, within the R-2 Zoning District.
2. A minimum of (2) trees per lot shall be planted in the front yard of the lot in accordance with the City of Portland Arboricultural Specifications and Standards of Design.
4. Locations of all utilities and existing grade is based upon the street and subdivision being built as shown on the design plans. See Plan references, this sheet.
5. Actual utility locations and depths may vary and need to be field determined in accordance with Maine State Law by contacting DIG-SAFE and respective utility companies at least 3 business days, but no more than 30 days, prior to the commencement of any excavation or as otherwise required by Maine State Law.
6. Actual site grades to be field determined by contractor prior to construction.
7. All work shall comply with all local, state and federal safety regulations.

ELECTRIC TO
TRANSFORMER
ACROSS STREET.

GRAPHIC SCALE



1 inch = 20 ft



LAND USE CONSULTANTS, INC.
Planners * Engineers * Landscape Architects
966 Riverside Street Portland, Maine 04103
207-878-3313 fax 207-878-0201 landuse@luc.net

PREPARED FOR:
HOLMAN PROPERTIES, INC.
60 Leland Street, Suite One
Portland, Maine 04103

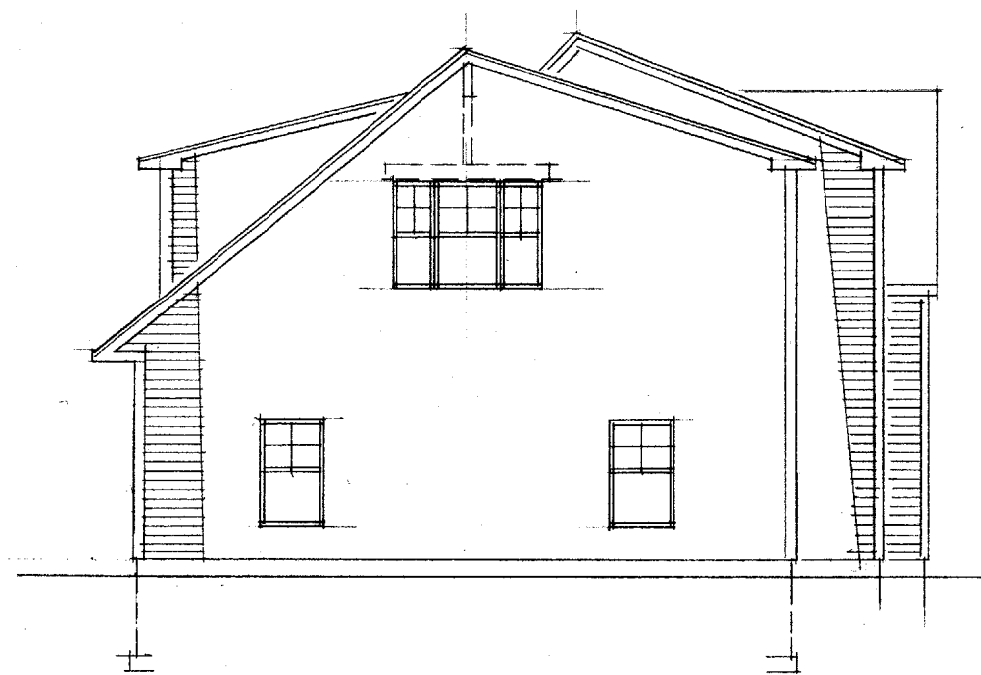
TITLE:
LIMITED SITE PLAN
LOT 169 MILTON STREET EXTENSION SUBDIVISION
MILTON STREET
PORTLAND, MAINE 04103

JOB #: 4030

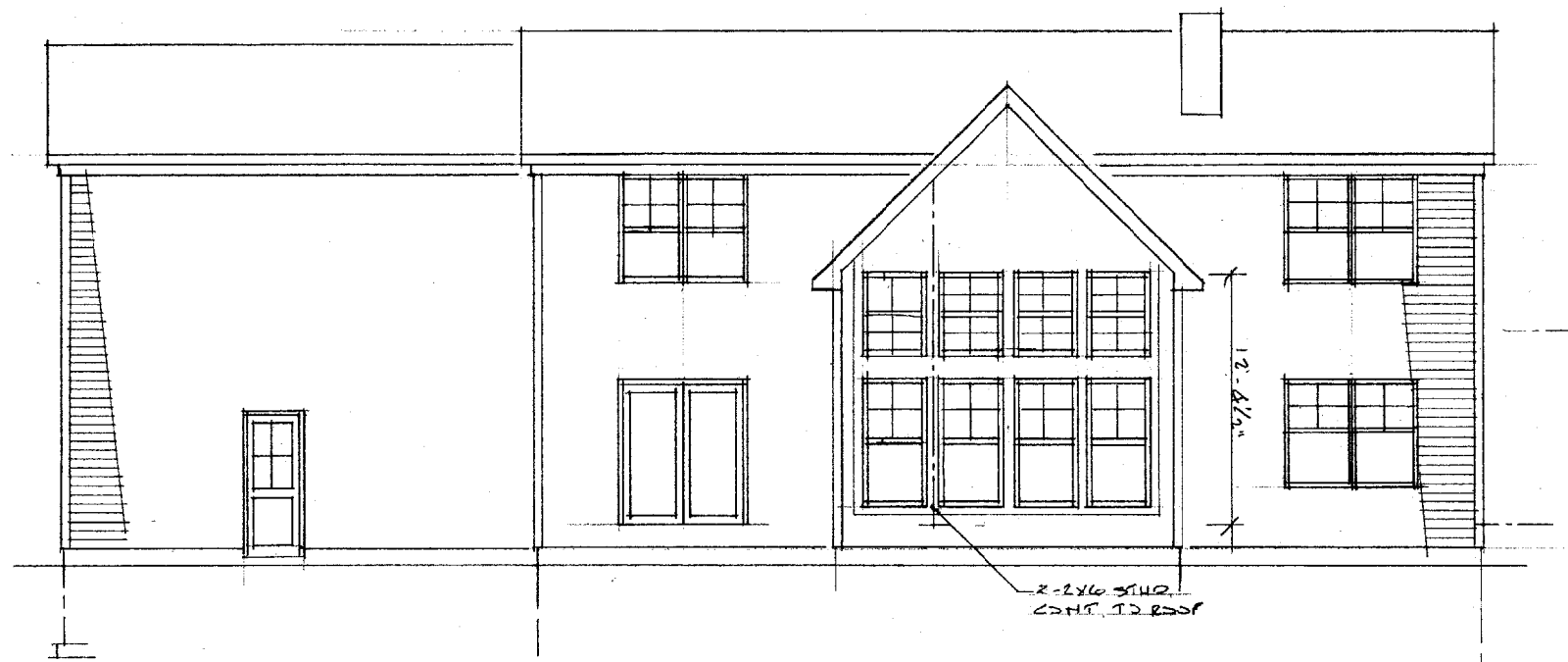
DATE: 05/22/01

SCALE: 1"=20'

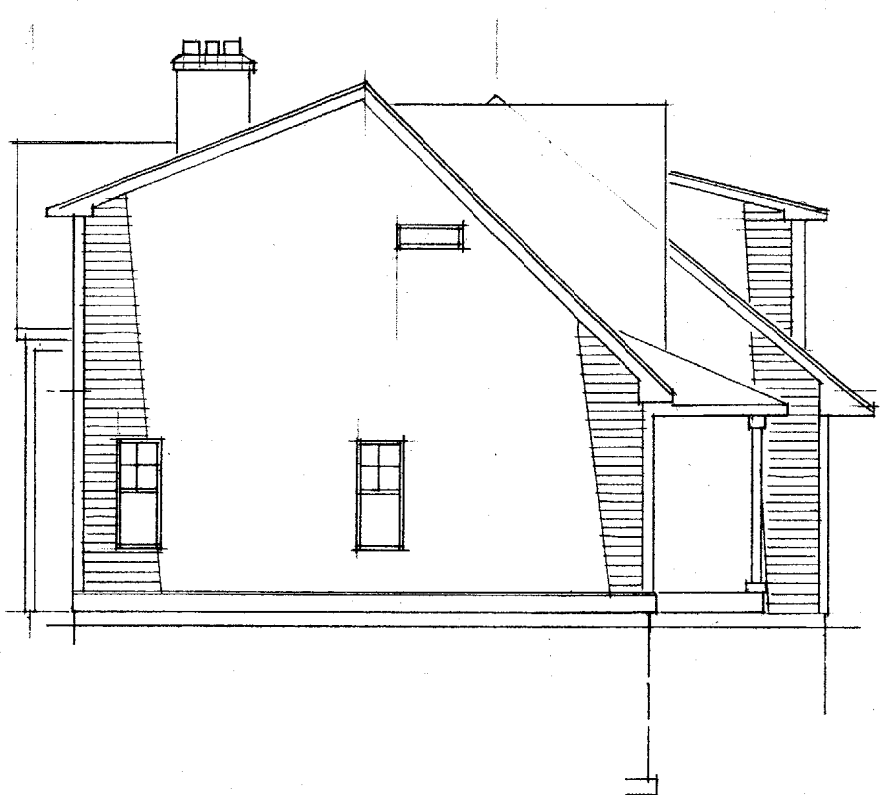
THIS IS NOT A STANDARD BOUNDARY SURVEY



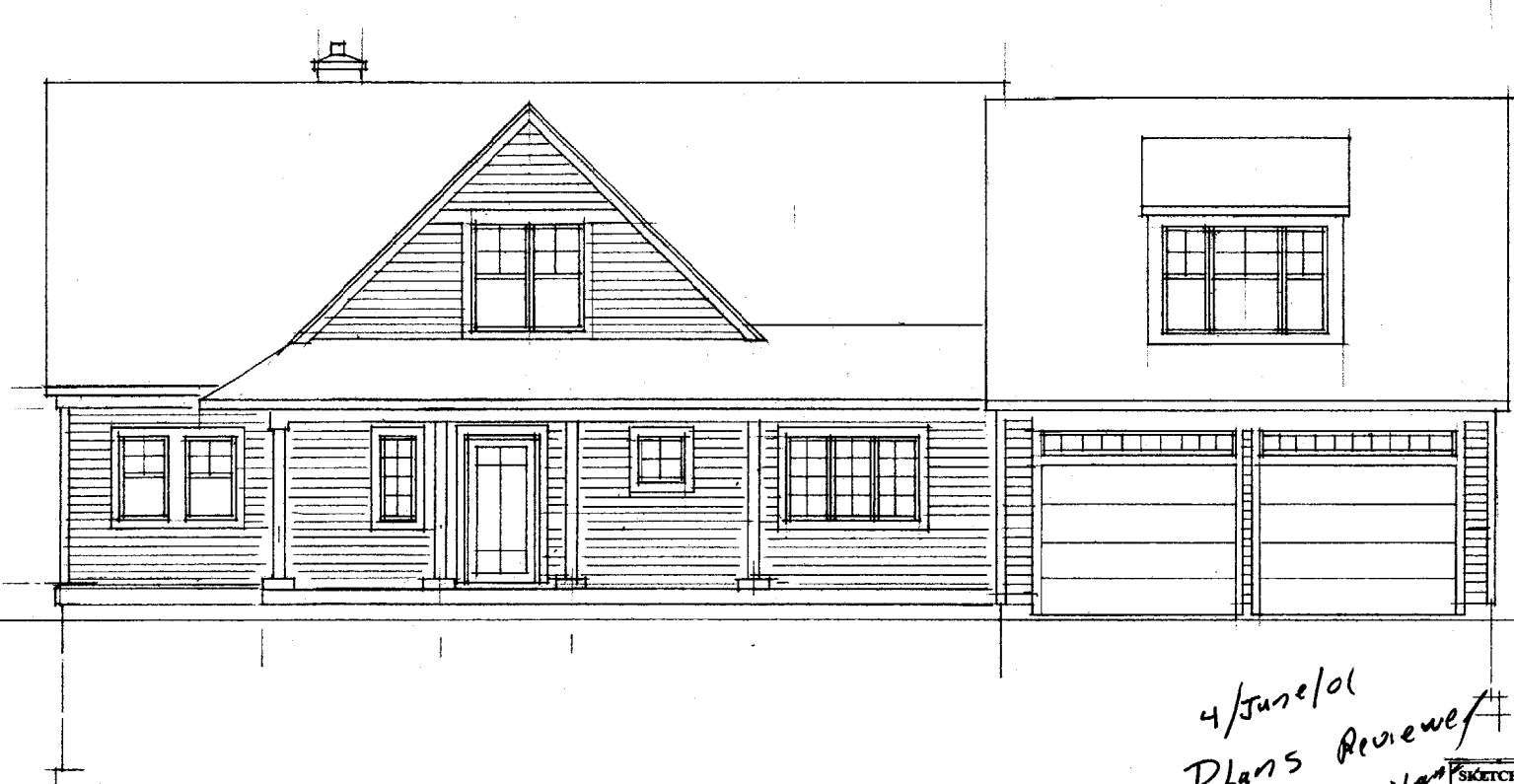
RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION



FRONT ELEVATION

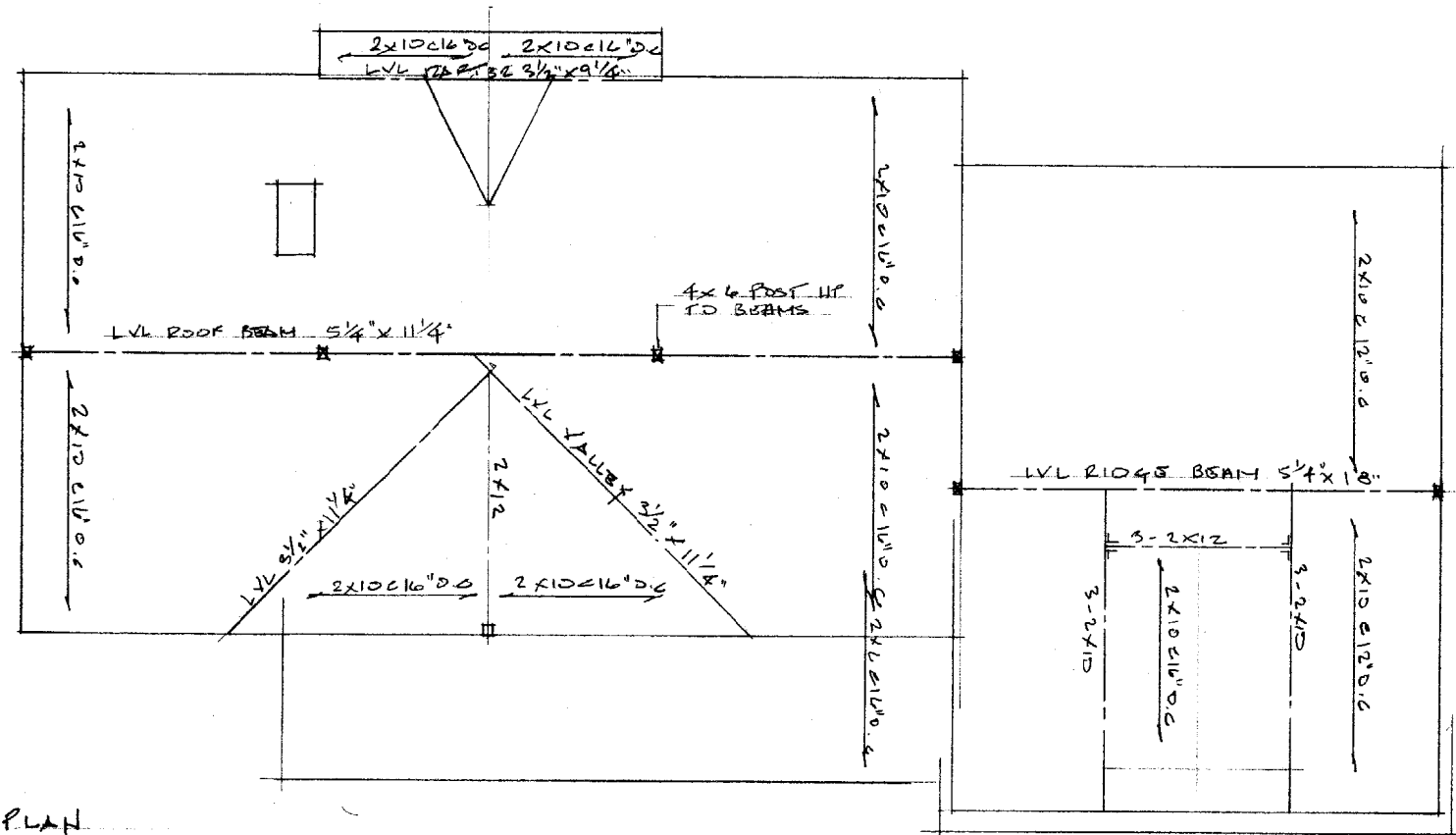
4/June/01
Plans Reviewed
on Larger plans
#

SKETCH PLAN	
PRE-LIM PLAN	
FINAL PLAN	✓
RELEASED FOR CONSTRUCTION	

REVISIONS	BY

HOLMAN RESIDENCE, PORTLAND, ME
DESIGNER:
PLANNING/DESIGN ASSOCIATES
25 FAIRBANKS ROAD, PO BOX 51, WINDHAM, ME 04092 892-2446

Date 5-1-01
Scale 1/4"
Drawn
Job
Sheet 1
ELEVATIONS
Of 4 Sheets



ROOF PLAN

REVISIONS	BY

HOLMAN RESIDENCE, PORTLAND, ME
 DESIGNER:
 PLANNING / DESIGN ASSOCIATES
 35 PARTIDGE ROAD, PO BOX 551, WINDHAM, ME 04091 893-2640

Date	5.20.01
Scale	1/4"
Drawn	
Job	
Sheet	4
Of	4 Sheets