

333. E - 28

2000-0029

Milton St.

Subdivision

Diversified Properties

on Spreadsheet

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

20000029
I. D. Number

Diversified Properties

Applicant
P.O. Box 10127, Portland, ME 04104
Applicant's Mailing Address
Jim Wolf
Consultant/Agent
773-6468
Applicant or Agent Daytime Telephone, Fax

3/10/00
Application Date
Milton Street Subdivision
Project Name/Description

Milton St, Portland, Maine
Address of Proposed Site
333-E-028 and G 1-16
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):
 Office Retail Manufacturing New Building Warehouse/Distribution Building Addition Parking Lot Change Of Use Residential
 Other (specify) 11 Lots

Proposed Building square Feet or # of Units _____ 3.27 Acreage of Site R-2 Zoning

Check Review Required:

Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____ Other _____

Fees Paid: Site Plan \$500.00 Subdivision \$275.00 Engineer Review _____ Date: 3/10/00

Reviewer _____

DRC Approval Status:

Approved Approved w/Conditions see attached Denied
 Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached
 Condition Compliance signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate Of Occupancy	_____		
	date	<input type="checkbox"/> Conditions (See Attached)	
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date

1559.75

Steve B

Preconstruction Minutes

Milton Street - Diversified Properties

Held On: March 7, 2000

At: 55 Portland Street

Attending: Jimmy Wolf, Diversified Properties
Al Palmer P.E., Gorrill-Palmer Consulting Engineers, Inc.
✓Gordon Smith, Deluca-Hoffman
Todd Merkle, Field Inspection Coordinator
Nancy Knauber, Associate Engineer (Notes by)

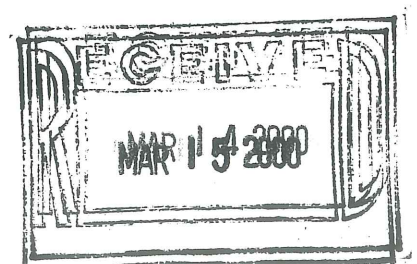
Not present: Ben Grover, A.H. Grover

Schedule

Construction Schedule has not yet been presented to the City.
Underground utilities, gravel, and base pavement will be placed this year.
Street lighting shall be up and functioning before any temporary certificate of occupancies can be issued
Surface pavement curb, sidewalks and other items will be placed next year.
Jimmy agreed that the City will not provide services to this street until it is accepted (he was asked to inform the buyers of this stipulation).
They would like to start clearing in two weeks.

Comments

If for some reason they need to cut existing pavement, they may not do so until after the Winter Moratorium, then the pavement will be a straight cut the full width of the pavement.
Contractor will receive approval from Public Works before placing surface pavement.
If wheelchair ramps do not exist at Saugus Street they will be constructed
Sidewalks will be 4' wide
The No-Parking side of the street will be the right side as you enter from Saugus St.
Construction entrances will be constructed at both ends of the project
Streets shall be sweep within a day or so of the request
The sewer will not require video taping if it is accepted in the next two years
If surface pavement is not placed the same year the base is then the street shall be sweep and tacked before pavement is placed.
Ben Grover will call Nancy Knauber a week in advance of his start date.



Questions & Answers

1. Is the developer required to construct the grading to the rear of the lots on the west side?
Yes, this grading is shown on the recording plate and is part of the approval of this project.
2. Has R.J. Grondin given Diversified Properties permission to tie into their sewer on Milton Street?
No, I spoke to Tom Hey of R.J. Grondin's yesterday he told me they have not given such permission.

cc: Attendees

Ben Grover, A.H. Grover

CITY OF PORTLAND, MAINE

PLANNING BOARD

Jaimey Caron, Chair
Deborah Krichels, Vice Chair
Kenneth M. Cole III
Cyrus Y. Hagge
Erin Rodriguez
Mark Malone
Orlando E. Delogu

February 9, 2000

Mr. Jim Wolf
Diversified Properties
P.O. Box 10127
Portland ME 04104

RE: Milton Street Subdivision

Dear Mr. Wolf:

On February 8, 2000 the Portland Planning Board voted 6-0 (Rodriguez absent) on the following motions regarding the 11 lot Milton Street subdivision:

1. That the plan was in conformance with the Subdivision Review Ordinance of the City Land Use Code with the following condition(s):
 - i. That the applicant submit drainage easements and grading easements for review and approval by city staff.
 - ii. That the applicant shall construct a pedestrian walkway within Newell Street between Milton Street and Missouri Avenue.

The approval is based on the submitted plan and the findings related to site plan review standards as contained in Planning Board #4-00, which is attached.

Please note the following provisions and requirements for all subdivision approvals:

1. Mylar copies of the construction drawing for the subdivision must be submitted to the Public Works Department prior to the release of the plat.
2. A performance guarantee covering the site improvements as well as an inspection fee payment of 1.7% of the guarantee amount must be submitted to and approved by the Planning Division and Public works prior to the recording of the subdivision plat. The subdivision approval is valid for three (3) years.

3-9-00

TO: DEVELOPMENT REVIEW TEAM

1359.75

FROM: RICK KNIWLAND

RE: MILTON STREET SUBDIVISION

ATTACHED IS THE APPROVED PLAN FOR THE MILTON STREET
SUBDIVISION. YOU WILL NOTE THAT THERE HAVE BEEN
STAMPED APPROVED. I WILL FORWARD A STAMPED
SUBDIVISION RECORDING PLAN (PAPER) WHEN ALL OF
THE PAPER WORK HAS BEEN COMPLETED. CONSTRUCTION
OR PERMITS SHOULD NOT START UNTIL YOU RECEIVE
FROM ^{ME} THE STAMPED RECORDING PLAN.

IF YOU HAVE ANY QUESTIONS, PLEASE CALL ME.

Memo

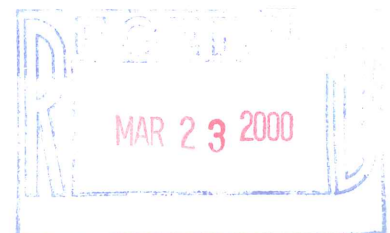
To: Gordon Smith
From: Jim Wolf
CC:
Date: March 22, 2000
Re: Sewer and storm, Milton Street Concept Plan

Gordie

Enclosed are two copies of the concept plan using the revised sewer and storm design. Doug at Gorrill Palmer has asked that I forward copies to you. If you have any questions please do not hesitate to contact me.

Jim Wolf

*Call
R...*



MEMORANDUM

TO: Rick Knowland, Senior Planner
FROM: Jim Wendel, PE, Development Review Coordinator
DATE: August 24, 1999
RE: Site Plan/Subdivision Review
Milton Street Phase
Woodfords Gardens, a.k.a. Forest Avenue Terrace-dated 1910

A review of the concept grading plan of the latest submission dated July 29, 1999 for lots 167-175 has been completed. We offer the following comments:

1. Due to the native soil and the type of soil that will likely comprise the fill necessary to raise the grades as proposed, we recommend that the slopes of the inverts of the broad swales and the grading away from the houses are a minimum of 2.5%. If this minimum slope cannot be achieved then catch basin inlets are recommended to be added to the plan; the locations would be at the common property lines between lots 169 and 170, and between lots 172 and 173. Also, the swales should be moved to straddle the nearest common property line and 20' private drainage easements should be located to encompass the catch basins and swales. The private drainage easements should include a drainage maintenance agreement with the City; the standard agreement is in the City's technical standards manual.
2. We recommend that the proposed grading on lot 167 is raised 1'; how does this lot currently drain?
3. Based on the City's technical standards stormwater detention is required since the existing storm drain outfall does not discharge flow directly to the ocean. Also it appears that the project will exceed 1 acre of new impervious surface, due to the road/sidewalk, roofs and drives, and will require a stormwater permit for quantity.
4. The type "F" basin should be noted as a 2' diameter structure; Public Works requires round grates and frames only.
5. A response is needed for the comments provided in a June 18, 1999 memo to you regarding lots 162-166.

Should you have any questions, please call.

1359.57/1350.10disk13/miltsub

MEMORANDUM

TO: Rick Knowland, Senior Planner
FROM: Jim Wendel, P.E. Development Review Coordinator
DATE: June 18, 1999
RE: Site Plan Review
Woodfords Gardens Subdivision
Milton Street Phase

A review of the site based on the road design and concept grading plan for lots 162-166, no status and undated plan set, has been completed. The review was confined to lot drainage issues with regard to these lots. We offer the following comments:

The area is relatively flat with apparent wet, low impermeable type soils typical to the area and slightly lower than the lots on Braintree Street. The abutting backyards of the lots on Braintree Street are relatively flat but slope slightly away from the homes to the rear and property side lines. The site is currently wooded.

Evaluating the proposed concept plan was somewhat difficult due to the lack of visual relief and plan topography. In order to evaluate this plan with a higher degree of confidence, recommend that the existing data point elevations on these lots are provided in a plotted plan format. However, if the number of existing data points is low along the back property line than it is our recommendation that additional data is collected by the applicant.

Currently, we are leaning towards recommending that some catch basins are located in the rear corners of some of these lots with associated grading to them along the back property line. Also, we will likely suggest 20' private drainage easements along the back property line with access rights granted to the abutting lots on Braintree Street. Submission of the requested information above will allow a more definitive set of recommendations.

Should you have any questions, please call.

1359.75/mitnsub



CITY OF PORTLAND

August 12, 1999

Mr. Jim Wolf
Diversified Properties
P O Box 10127
Portland ME 04104

re: Milton Street Subdivision

Dear Jim:

This letter outlines preliminary staff comments on the Milton Street subdivision that I have received to date.

1. Six of the lots do not meet sec. 14-498 (s)(4) of the subdivision ordinance which states "blocks with lots having double frontage on streets shall be avoided". The configuration of these lots is contorted. Given the development pattern of this area, it is inevitable that Bailey Avenue will be built in the future. The rear yard-front yard contradiction posed by these lots is not in the best interests of the City, future lot owners of your subdivision or neighboring properties. If you want to develop the lots on Bailey Avenue, then provide a street along Bailey Avenue. This land, after all, was divided up for lots along Bailey Avenue. We don't see any compelling reason why these lots shouldn't be served by Bailey Avenue.
2. Please forward a copy of your right, title, or interest in the property.
3. Submit drainage calculations for the subdivision, including capacity of storm drains. Show adjacent topography, so we can understand how the area drains.
4. Are there any wetlands within the subdivision? Has a wetlands delineation been done for the site?

As more staff comments become available, I will forward them to you. Should you have any questions on this letter, please call me.

Sincerely,

Richard Knowland
Senior Planner

O:\PLANDEVREV\MILTON\LETTERS\JWOLF.LEC



Gorrill-Palmer Consulting Engineers, Inc.

Traffic and Civil Engineering Services

1359.75
PO Box 1237
31 Main St.
Gray, ME 04039

207-657-6910
FAX: 207-657-6912
E-Mail: gpcei@maine.rr.com

December 22, 1999

Mr. Rick Knowland, Senior Planner
City of Portland
389 Congress Street
Portland, ME 04101-3503

Re: Milton Street Extension
Revised Plans

Dear Mr. Knowland:

Enclosed please find seven copies of revised plans for the Milton Street Extension Subdivision. The revised plans include the adjusted lot lines for lots 171 & 172, as well as addressing comments previously received from the City. As discussed with Jim Wolf, Diversified Properties requests that this project be placed on the agenda for the January 11, 2000 planning board meeting. Diversified Properties agrees to reimburse the City for the advertising costs for this meeting if the issue with respect to the Hodgdon property line is not resolved prior to the meeting, and the project is removed from the agenda on the day of the meeting. Please contact me should you have any questions or require any additional information.

Sincerely,

Gorrill-Palmer Consulting Engineers, Inc.

Alton M. Palmer, P.E.
Vice President

Copy Mr. Jim Wolf, Diversified Properties, w/Enc.
Mr. Terry Snow, Esq., w/Enc.

AMP/hh/JN99060/Knowland12-22-99

Diversified Properties, Inc.

P.O. Box 10127, Portland, ME 04104
Tel 207-773-4988 • Fax 207-773-6875

JIM
PLEASE REVIEW
THIS. THIS MAY
BE A JUDICIAL
AND REQUIRE
P.B. REVIEW

RIC

April 29, 1999

TO: Rick Knowland

FROM: Jim Wolf

RE: Milton Street Extension

Enclosed please find 1 set of the Milton Street Extension Road Plan. The plan shows the lots we own with drainage and road design with details. I will be forwarding the recording plan we discussed under separate cover.

Thank you for your cooperation.



Gorrill-Palmer Consulting Engineers, Inc.

Traffic and Civil Engineering Services

PO Box 1237
31 Main St.
Gray, ME 04039

207-657-6910
FAX: 207-657-6912
E-Mail: gpcei@maine.rr.com

February 3, 2000

Mr. Rick Knowland, Senior Planner
City of Portland
55 Portland Street
Portland, ME 04101-3503

Re: Milton Street Subdivision
Review Comments

Dear Mr. Knowland:

Gorrill-Palmer Consulting Engineers, Inc. has received a copy of the letter to Al Palmer from you dated February 1, 2000, regarding comments concerning the above referenced project and has prepared responses to each of their comments. For your convenience, each of the comments is repeated followed by our response.

Comment 1 – We will need one set of 11 ½” by 17” reductions of the entire set of plans.

Response – An 11” x 17” set is included with this package.

Comment 2 –Copies of the drainage casements and grading easements should be submitted.

Response – Easement information will be provided by Terry Snow, Esq.

Comment 3 –Technical standards require a street light pole at 120 foot intervals. You are proposing them at 200 foot intervals.

Response –The enclosed full sized Road Plan/Profile for Milton Street has been revised to show 120 foot space intervals for the street light poles.

Comment 4 – Did you receive a sewer capacity letter from Public Works?

Response – An Ability to Serve letter was forwarded to Frank Brancely on February 1, 2000. We anticipate a letter of Ability to Serve prior to the February 8, 2000 meeting.

Feb 1, 2000
207-729-1199

Mr. Rick Knowland
February 1, 2000
Page 2

Gorrill-Palmer Consulting Engineers, Inc. appreciates the opportunity to respond to the comments from you. Please contact me should you have any questions

Sincerely,

Gorrill-Palmer Consulting Engineers, Inc.

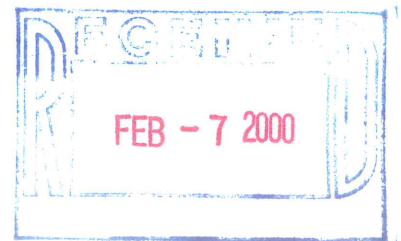


Alton M. Palmer, P.E.
Vice President

Copy: Diversified Properties
Tony Lombardo, P.E., Portland Public Works
Steve Bushey, P.E., DeLuca-Hoffman Associates, Inc.
Terry Snow, Esq. w/o enclosure

Enclosure

AMP/aw/JN99060/Knowland2-1-00



13 59.75

Diversified Properties, Inc.

P.O. Box 10127, Portland, ME 04104
Tel 207-773-4988 • Fax 207-773-6875

October 15, 1999

Steve Bushey
DeLuca Hoffman Associates, Inc.
778 Main Street, Suite 8
So. Portland, ME 04106

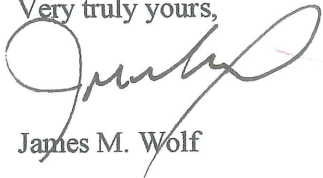
RE: Milton Street, Lots 162-166

Dear Steve:

Pursuant to the request of Jim Wendell enclosed please find the existing data point elevations on the above referenced lots. If additional information is needed, please contact either Al Palmer or myself.

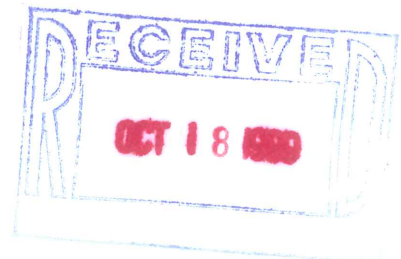
Thank you for your cooperation.

Very truly yours,



James M. Wolf

JMW/jmy
Enclosures
cc. Al Palmer
Rick Knowland



October 18, 1999

Mr. Rick Knowland, Senior Planner
City of Portland
389 Congress Street
Portland, ME 04101-3503

Re: Milton Street Extension
Review Comments

Dear Mr. Knowland:

Gorrill-Palmer Consulting Engineers, Inc. has received a copy of your letter dated October 13, 1999, regarding comments concerning the above referenced project and has prepared responses to each of their comments. For your convenience, each of his comments is repeated followed by our response.

Comment 1 - A recording plat and subdivision needs to be submitted reflecting the latest changes. A street cross-section will need to be on the recording plat.

Response - A revised recording plat is enclosed with this letter, reflecting the latest changes and a typical street cross-section.

Comment 2 -The plan needs to be revised reflecting a 24 foot wide roadway pavement.

Response - Land Use Consultants is in the process of revising these plans and they will be forwarded to your office upon completion. It would appear that this project could be scheduled for the public hearing, and that any necessary revisions to these plans to address comments from Public Works could be a condition of approval. This approach has been used on other projects in the City.

Comment 3 -Wetland delineation has not been submitted.

Response - The revised recording plat includes the wetland information that was presented on a "Plan Showing a Portion of Woodfords Gardens", dated August 5, 1993 and recorded in the Cumberland County Registry of Deeds in Plan Book 196, Page 140.

Comment 4 - See attached e-mail from Larry Ash, City Traffic Engineer. He indicates that the Newell Street stub along lot 175 should be built.

Response - A portion of Milton Street (northerly end) was constructed as part of the Grondin Subdivision which included a gravel turnaround for Newell Avenue. Although the Grondin Subdivision included one lot with frontage on Newell Avenue, it appears that the only

Mr. Rick Knowland
October 18, 1999
Page 2

construction that was required for Newell was to leave a 24' opening in the Milton Street, and construct a gravel turnaround (presumably for plowing). Milton Street was constructed to approximately 25' beyond Newell, with curb continuing past the opening that was reserved for Newell. Any further work on Newell Avenue at this time would require removal of the tipdowns and cutting of the existing pavement that was just completed this summer, approved by the City and would presumably still be under a performance or defect bond. As no lots are presently proposed for access to/from Newell, it would not appear that there is any need for further construction of Newell Avenue at this time. In the event that the future development of Lots 173-176 require development of Newell Avenue for access, roadway plans for Newell would be submitted for approval prior to any building permit being obtained (refer to Note on Plat for confirmation)

Comment 5 – A letter from Portland Water District should be submitted.

Response – A letter from the Portland Water District is enclosed.

Comment 6 – A financial capacity letter should be submitted.

Response – Diversified Properties will be providing a financial capacity letter under separate cover.

Comment 7 – We have received a letter dated 10-8-99 from Al Palmer responding to Jim Wendel's comments dated 8-29-99. Steve Bushey is in the process of reviewing this letter.

Response – The package dated 10-8-99 was delivered to DeLuca-Hoffman Associates, Inc. and we are awaiting any further comments that they may have.

Comment 8 – Downstream drainage impact.

Response – Our office has discussed this matter with Mr. Bushey, principally, that the proposed storm drain piping for this project is connecting to existing storm drain pipes in both ends of Milton Street. These pipes were approved by the City as part of the Hillcrest West and Grondin Subdivisions. We are awaiting a response from Mr. Bushey as to any additional information that he may require with respect to connection to these previously installed pipes in Milton Street.

Comment 9 – Total land area of the site and lots.

Response – A table including the total land area and lot sizes has been added to the recording plat.

Comment 10 – Vicinity sketch.

Response – A vicinity sketch has been added to the recording plat.

Mr. Rick Knowland
October 18, 1999
Page 3

Gorrill-Palmer Consulting Engineers, Inc. appreciates the opportunity to respond to the these comments and await a response from DeLuca-Hoffman Associates, Inc. as to whether they require any additional information regarding drainage. Please contact me should you have any questions or require any additional information.

Sincerely,

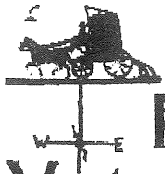
Gorrill-Palmer Consulting Engineers, Inc.

A handwritten signature in cursive script, appearing to read "Al Palmer", with a long horizontal flourish extending to the right.

Alton M. Palmer, P.E.
Vice President

Copy Mr. Jim Wolf, Diversified Properties, w/Enc.
Mr. Terry Snow, Esq., w/Enc.

AMP/hh/JN99060/Knowland10-8-99



Portland Water District

225 Douglass St. • P.O. Box 3553 • Portland, ME 04104-3553

(207) 774-5961
FAX (207) 761-8307
www.pwd.org

October 18, 1999

James M Wolf
Diversified Properties, Inc
PO Box 10127
Portland, Me 04104

Re: Milton Street water main extension

Dear jim,

This letter is to confirm there should be an adequate supply of clean and healthful water to serve the needs of the proposed 11 lot sub-division located at Milton Street in Portland. The current water main will need to be extended in Milton Street between Newell Ave. and Saugus Street. Checking District records, I find there is an 8" water main in Saugus St. and an 8" water main in Newell Ave. This will require a 560' main extension to serve your proposed sub-division.

The current data from the nearest hydrant indicates there should be adequate capacity of water.

Saugus Street @Milton St.
Hydrant # 1801
Static pressure = 83 PSI
Flow = 1443GPM
Last Tested = 7/18/94

If the district can be of further assistance in this matter, please let us know.

Sincerely,
Portland Water District

Jim Pandiscio
Means Coordinator

7-27-00

MILTON ST.

I TALKED WITH BEN GROVER. HE WAS GRADING & TOLLING THE CRUSTED GRAVEL FOR PAVING TOMORROW MORNING. HE SAID THAT HE WOULD TAKE CARE OF THE O.B.'S WITH HAY BALES TOMORROW MORNING.

Ed.

ED PARKER RAIN
CONST. RESP (DHAID) 7-27-00 THURS.

GROVER CONSTRUCTION
MILTON ST. SUB-DIVISION
SITE INSPECTION:

THE FOLLOWING OBSERVATIONS WERE NOTED:

- ① O.B. IN BACK OF HO# 168 DID NOT HAVE HAY BALES PROTECTION.
- ② C.B. IN BACK OF LOT #171 DID NOT HAVE HAY BALE PROTECTION.
- ③ THE BERM & SWALES ON THE BACK PROPERTY LINE IS ABOUT 30% COMPLETE
- ④ MANHOLES IN THE STREET ARE BURIED & WILL BE RAISED TO GRADE AFTER THE BASES HAS BEEN PAVED.

Ed Parker
CONST. RESP.
(DHAID)

1359.75

GP Gorrill-Palmer Consulting Engineers, Inc.

PO Box 1237
31 Main St.
Gray, ME 04039

Traffic and Civil Engineering Services

207-657-6910
FAX: 207-657-6912
E-Mail:gpcei@maine.rr.com

October 8, 1999

Mr. Rick Knowland, Senior Planner
City of Portland
55 Portland Street
Portland, ME 04101-3503

Re: Milton Street Extension
Review Comments

Dear Mr. Knowland:

Gorrill-Palmer Consulting Engineers, Inc. has received a copy of the memorandum to Rick Knowland from DeLuca-Hoffman Associates, Inc., dated August 24, 1999, regarding comments concerning the above referenced project and has prepared responses to each of their comments. For your convenience, each of his comments is repeated followed by our response.

Comment 1 - Due to the native soil and the type of soil that will likely comprise the fill necessary to raise the grades as proposed, we recommend that the slopes of the inverts of the broad swales and the grading away from the houses are a minimum of 2.5%. If this minimum slope cannot be achieved, then catch basin inlets are recommended to be added to the plan; the locations would be at the common property lines between lots 169 and 170, and between lots 172 and 171 and 173. Also, the swales should be moved to straddle the nearest common property line and 20" private drainage easements should be located to encompass the catch basins and swales. The private drainage easements should include a drainage maintenance agreement with the City; the standard agreement is in the City's technical standards manual.

Response - The grading has been revised to include 2.5% slopes within swales and away from all structures. Catch basins have been added at the back of the lots between lots 167 and 168 and lots 170 and 171. A field inlet has been added to lot 167 to drain the area along the property line. Drainage easements have been included where necessary.

Comment 2 -We recommend that the proposed grading on lot 167 be raised 1'. How does this lot currently drain?

Response - This comment has been addressed in response #1.

Comment 3 -Based on the City's technical standards, stormwater detention is required since the existing storm drain outfall does not discharge flow directly to the ocean. Also, it appears that the project will exceed 1 acre of new impervious surface due to the road/sidewalk, roofs and drives, and will require a stormwater permit for quantity.

Mr. Rick Knowland
October 8, 1999
Page 2

Response - As we discussed in our recent telephone conversation, this project is the completion of a city street. Storm drain piping exists within the portions of Milton Street that are being extended as part of this project. On the Saugus Street end, the 12" storm drain in Milton Street connects to the 36" storm drain in Saugus which outlets to a swale and eventually the Presumpscot River. When the City reviewed the plans for Saugus, it was determined that detention was not warranted as the storm drain system was tributary to the Presumpscot River. On the Beverly Street end, the 12" storm drain in Milton Street will connect to an existing 15" main in Beverly, which was approved by the City as part of the Grondin Subdivision. Based upon our discussion, it is our understanding that detention will not be required.

A Stormwater Permit is not required from the MDEP as the impervious surfaces associated with the residential development is exempt from review, pursuant to Section 420-D.7.E.

Comment 4 - The type "F" basin should be noted as a 2' diameter structure; Public Works requires round grates and frames only.

Response - The Type "F" basins have been noted as 2' diameter structure with a round frame and grate per Public Works requirements.

Comment 5 - A response is needed for the comments provided in a June 18, 1999 memo to you regarding lots 162 - 166.

Response - This comment will be addressed separately by Land Use Consultants.

Gorrill-Palmer Consulting Engineers, Inc. appreciates the opportunity to respond to the comments from DeLuca-Hoffman Associates, Inc. Please contact me should you have any questions.

Sincerely,

Gorrill-Palmer Consulting Engineers, Inc.



Alton M. Palmer, P.E.
Vice President

Copy: Mr. Steve Bushey, P.E.
Mr. Jim Wolf, Diversified Properties

January 6, 2000

Mr. Rick Knowland, Senior Planner
City of Portland
55 Portland Street
Portland, ME 04101-3503

Re: Milton Street Extension
Review Comments

Dear Mr. Knowland:

Gorrill-Palmer Consulting Engineers, Inc. has received a copy of the memorandum to Rick Knowland from Anthony Lombardo P.E., Project Engineer, Public Works Department dated January 3, 2000, regarding comments concerning the above referenced project and has prepared responses to each of their comments. For your convenience, each of his comments is repeated followed by our response.

Comment 1 – The “Conceptual Development Plan” and the plan entitled “Road Plan/Profile for the completion of Milton Street” specify conflicting utility information. DMH-19 is labeled DMH-19A on the “Road Plan/Profile”. The “Conceptual Plan” proposes a storm drain connection into DMH-19 from lots 167 & 168. The “Road Plan/Profile” specifies only a stub section of pipe. The “Conceptual Plan” proposes a storm drain connection into CB-31 from Lots 170 & 171. The “Road Plan/Profile”, instead, specifies a 12” diameter storm drain stub towards the center of Lot 171 and not towards the easement proposed between Lots 170 & 171.

Response – The “Conceptual Development Plan” has been revised to agree with the “Road Plan/Profile.” The “Road Plan/Profile” has been revised to indicate the entire limit of work for the storm drain system on the adjacent lots

Comment 2 –The” Conceptual Plan” needs to specify invert information for the proposed catch basins located in the rear yard drainage easements.

Response – Information regarding rims and inverts on the proposed catch basins have been added to the “Conceptual Plan” as well as the “Road Plan/Profile”.

Comment 3 –The “Conceptual Plan” also needs to specify sanitary sewer service stubs from the sanitary main for each proposed house lot. In addition, Public Works is requesting storm drain service stubs be specified for each lot so that the foundation drains for each home can be connected into the storm sewer proposed in Milton Street.

Response –The stubs have been added to the Conceptual Development Plan.

Mr. Rick Knowland
January 6, 2000
Page 2

Comment 4 – The “Road Plan/Profile” should also specify every storm drain and sanitary service from each proposed house lot. This is extremely useful in avoiding utility crossing conflicts.

Response – All of the storm drain and sanitary sewer services have been added to the plan view of the “Road Plan/Profile”. Previously, the services were noted for one of the lots and indicated as “typical”.

Comment 5 – Public Works is requesting the applicant produce a plan and profile that specifies development on both sides of the street and includes all proposed utility installations.

Response – As discussed with Mr. Lombardo, our office will be revising the “Road Plan/Profile” so that it depicts the construction associated with all of the infrastructure and revising the “Conceptual Development Plan” to depict all of the lot construction. These plans will be delivered to the City on Monday January 10, 2000.

Gorrill-Palmer Consulting Engineers, Inc. has also received a copy of the memorandum to Rick Knowland from Steve Bushey of DeLuca-Hoffman Associates, Inc. dated January 4, 2000, regarding this project and has prepared responses to each of his comments below:

Comment 1 - The subdivision plat by Titcomb Associates should provide adequate reference to the entire plan set including the drawings from Gorrill-Palmer Consulting Engineers, Inc. and LUC. This is important since those plans have much of the relevant data re: topo, grading, utilities, etc.

Response –A note has been added to the Subdivision Plan.

Comment 2 - The subdivision plan shows no grading easement at the rear of the Germani property. This appears necessary based on the grading shown on the Gorrill-Palmer Consulting Engineers, Inc. plan. The differences are very minor i.e. 1sf. On three lots, probably due to computer rounding. However they should be corrected.

Response –A grading easement has been added to the Subdivision plan. This land is owned by Diversified Properties as they have purchased it from Germani. The lot areas on the “Conceptual Development Plan” have been revised to be consistent with the Plat Plan.

Comment 3 - The subdivision plan shows a wetland across lots 167, 168 & 169. What is the status of the permitting for this wetland area. Also, is the entire wetland area shown since it appears the wetland limit line does not connect upon itself?

Response – The revised recording plat includes the wetland information that was presented on a “Plan Showing a Portion of Woodfords Gardens”, dated August 5, 1993 and recorded in the Cumberland County Registry of Deeds in Plan Book 196, Page 140. Jim Wolf reviewed this with Mr. Bushey and it appeared that this satisfied his concerns. Further, a 4,300 s.f. of disturbance per lot is exempt from permitting under the MDEP regulations.

Mr. Rick Knowland
January 6, 2000
Page 3

Comment 4 - The typical roadway plan shows a 24' wide road. Is Public Works OK with this since the City standard is 32' for a residential street. In addition the City standard is 5' sidewalks and not 4' as shown on the plan. Perhaps they have already received a waiver for these items. If so, disregard this comment. Public Works should have final say on these issues anyway. If a waiver has been granted then the plan should have a note placed on it to that effect.

Response –The roadway typical section complies with the Minor Residential Street standard and therefore no waiver is required. The 4' sidewalk width complies with the standards for this street classification.

Comment 5 - The Gorrill-Palmer Consulting Engineers, Inc. plans and LUC plans are not consistent in their presentation of material. The LUC plan does not show the drainage easements as does the Gorrill-Palmer Consulting Engineers, Inc. The Gorrill-Palmer Consulting Engineers, Inc. plan does not shown utilities for UG power, water and sewer. The Gorrill-Palmer Consulting Engineers, Inc. plan does not show the 12" sd stub off DMH 21B. What is the stubs purpose?

Response –The drainage easements have been added to the Land Use plan (Road Plan/Profile). The utility information has been added to the Gorrill-Palmer Consulting Engineers, Inc. plan (Conceptual Development Plan). Both plans have been revised to depict the storm drain and catch basins on the west side of the roadway.

Comment 6 - Has the Fire Department approved the number of hydrants proposed?

Response –The information regarding the water system has not been revised since July of 1999 and therefore we assume that the Fire Department is satisfied with the proposal.

Comment 7 - The applicant is proposing two new lightpoles, is this satisfactory to planning?

Response –The lightpoles have been proposed since July of 1999 and therefore we assume that the Planning Staff is satisfied with the proposal.

Comment 8 - Per the subdivision standards, the applicant is required to submit data on the preservation of existing trees/landscaping for the development area. Based on the grading plans it appears the area will be entirely cleared. Is the Planning Department concerned about tree preservation?

Response –To comply with the slope limitations imposed by the DRC extensive grading is required on all of the lots. Due to this fact, the following note was included on the subdivision plan with our original submission:

Mr. Rick Knowland
January 6, 2000
Page 4

"A minimum of two trees per lot shall be conserved or planted in the front yard of each lot meeting the City of Portland's arboricultural specification and standard of practice and landscape design guidelines. Developer may contract for the placement of landscaping, but shall remain ultimately liable to the City of Portland for financial obligation for compliance with City ordinances and approvals. Such financial obligation shall be neither transferable nor waivable by the developer pursuant to conditions and limitations of Section 6 of the City of Portland, Maine Technical and Design Standards and Guidelines."

Gorrill-Palmer Consulting Engineers, Inc. appreciates the opportunity to respond to the comments from Anthony Lombardo, P.E. and Steve Bushey, P.E. Please contact me should you have any questions. In summary, it appears that all of these comments are minimal in nature and should have no bearing as to whether the project is reviewed by the Planning Board at the upcoming meeting. Please contact this office to inform us as to when this project will be allowed to proceed to the Planning Board for review.

Sincerely,

Gorrill-Palmer Consulting Engineers, Inc.



Alton M. Palmer, P.E.
Vice President

Copy: Burt Wolf, Diversified Properties
Tony Lombardo, P.E., Portland Public Works
Steve Bushey, P.E., DeLuca-Hoffman Associates, Inc.
Terry Snow, Esq.



Gorrill-Palmer Consulting Engineers, Inc.

Traffic and Civil Engineering Services

PO Box 1237
31 Main St.
Gray, ME 04039

207-657-6910
FAX: 207-657-6912
E-Mail: gpcei@maine.rr.com

January 13, 2000

1359.75

Mr. Rick Knowland
Senior Planner
City of Portland
389 Congress Street
Portland, ME 04101

Subject: Milton Street
Revised Plans

Dear Rick:

Gorrill-Palmer Consulting Engineers, Inc. has received comments relative to the above referenced project from Anthony Lombardo, P.E. For ease of review, the comments are presented, followed by our response.

Comment 1 – Proposed Lots 165, 168 & 169 specify storm drain service connections directly into manhole structures. This appears on Sheet 5 “Conceptual Development Plan”. Public Works does not allow individual service connections into manholes and is requesting the applicant revise the plans to specify the storm drain service from Lot 168 to connect into the storm drain proposed along the southerly boundary of this lot. The services from Lots 165 & 169 should be connected into the storm drain main, in Milton Street, just ahead of the proposed manhole.

Response – The plans have been revised as requested. Seven sets of updated plans are enclosed.

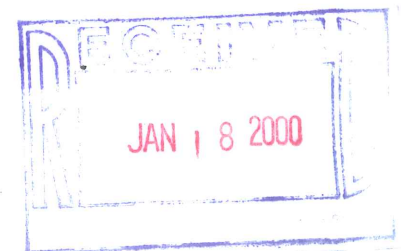
Gorrill-Palmer Consulting Engineers, Inc. assumes that this completes the engineering related review of this project, and that the only outstanding item at this time is the Hodgdon issue. Please contact me if there are any other engineering, or design issues which need to be addressed.

Sincerely,

Gorrill-Palmer Consulting Engineers, Inc.

Alton M. Palmer, P.E.
Vice President

Copy: Terry Snow, Esq.
Tony Lombardo, P.E., City of Portland
Steve Bushey, P.E., DeLuca-Hoffman Associates, Inc.
Diversified Properties



1359.75

From: Steve Bushey <srbushey@maine.rr.com>
To: Rick Knowland <RWK@ci.portland.me.us>
Date: Tuesday, January 04, 2000 2:35 PM
Subject: Milton Street

Rick,

I have reviewed the latest submission by Gorrill-Palmer Consulting engineers, Inc, on behalf of Diversified Properties, dated December 22, 1999. I provide the following comments:

1. The Subdivision plat by Titcomb Associates should provide adequate reference to the entire plan set including the drawings from Gorrill-Palmer and LUC. This is important since those plans have much of the relevant data re: topo, grading, utilities etc.
2. The subdivision plan shows no grading easement at the rear of the Germani property. This appears necessary based on the grading shown on the Gorrill-Palmer plan. The lot sizes shown on the subdivision plan also do not exactly match the Gorrill-Palmer plan. The differences are very minor i.e. 1 sf on three lots, probably due to computer rounding. However they should be corrected.
3. The subdivision plan shows a wetland across lots 167, 168, & 169. What is the status of the permitting for this wetland area. Also, is the entire wetland area shown since it appears the wetland limit line does not connect upon itself?
4. The typical roadway plan shows a 24' wide road. Is public works OK with this since the City Standard is 32' for a residential street. In addition the City standard is 5' sidewalks and not 4' as shown on the plan. Perhaps they have already received a waiver for these items. If so, disregard this comment. Public Works should have final say on these issues anyway. If a waiver has been granted then the plan should have a note placed on it to that effect.
5. The Gorrill-Palmer plans and LUC plans are not consistent in their presentation of material. The LUC plan does not show the drainage easements as does the GP plan. The GP plan does not show utilities for UG power, water and sewer. The GP plan does not show the 12" sd stub off DMH 21B. What is the stubs purpose?
6. Has the fire Dept. approved the number of hydrants proposed?
7. The applicant is proposing two new lightpoles, is this satisfactory to planning?
8. Per the subdivision standards, the applicant is required to submit data on the preservation of existing trees/landscaping for the development area. Based on the grading plans it appears the area will be entirely cleared. Is the Planning dept. concerned about tree preservation?

I look forward to discussing these comments with you at the Weds. staff Meeting.
steve

1359.75/3

Corporation Counsel
Gary C. Wood



Associate Counsel
Charles A. Lane
Elizabeth L. Boynton
Donna M. Katsiaficas
Penny Littell

CITY OF PORTLAND

August 9, 2000

Terry Snow, Esq.
Law Office of Terry N. Snow, P.A.
P.O. Box 275
Cumberland Center, Maine 04021-0275

Re: Status of Street Improvements

Dear Terry:

Let's connect to discuss what tasks need to be completed in order for the City to accept the paper streets developed by DPI and/or the Wolfs.

In addition, I have had a call from the owner of lot 23 (off of Saugus Street) and have been informed that the deed necessary to clear up his frontage may never have been executed or recorded. I attach a copy of correspondence from Jim Wolf explaining how this matter was to be resolved. Would you mind sending me a copy of the recorded deed showing this transfer of property did occur? I would appreciate it.

Sincerely,

Penny Littell
Associate Corporation Counsel

PL:dlc
Enclosure

C: Gary Wood, Corporation Counsel
Todd Merkle, Field Inspections Coordinator, Public Works

O:\OFFICE\PENNY\LTRS\snow82.doc

Bc: Steve Bushey, Deluca Hoffman

10 2000

Diversified Properties, Inc.

P.O. Box 10127, Portland, ME 04104
Tel 207-773-4988 • Fax 207-773-6875

JUL 29 1999

July 29, 1999

Terry N. Snow, Esq.
P.O. Box 275
Cumberland Center, ME 04021

RE: Lot 23, Buca Run

Dear Terry:

Enclosed please find a draft site plan as to how the lot 23 frontage and driveway issue will be resolved. As we hope to complete the driveway either this weekend or early next week I have delivered a copy of this letter to Penny Little in hopes the two of you will talk to confirm this approach is acceptable.

Thank you for your cooperation.

Very truly yours,



James M. Wolf

JMW/jmy
Enclosures

cc. Penny Little, Corporate Counsel
City of Portland

LOT 22
26,842 SF

NOW OR FORMERLY
GEORGE & THOMAS
LAFFERTY
CCRD

To Perry

TAX MAP
335/A/3-6

NOW OR FORMERLY
CUSTOM BUILT HOMES
OF MAINE, INC.
CCRD 9823-199

SAUGUS

DEDHAM STREET
(TO BE VACATED)

Lot 23
16,980 SF

*Enclosed to Lot
23 for driveway*

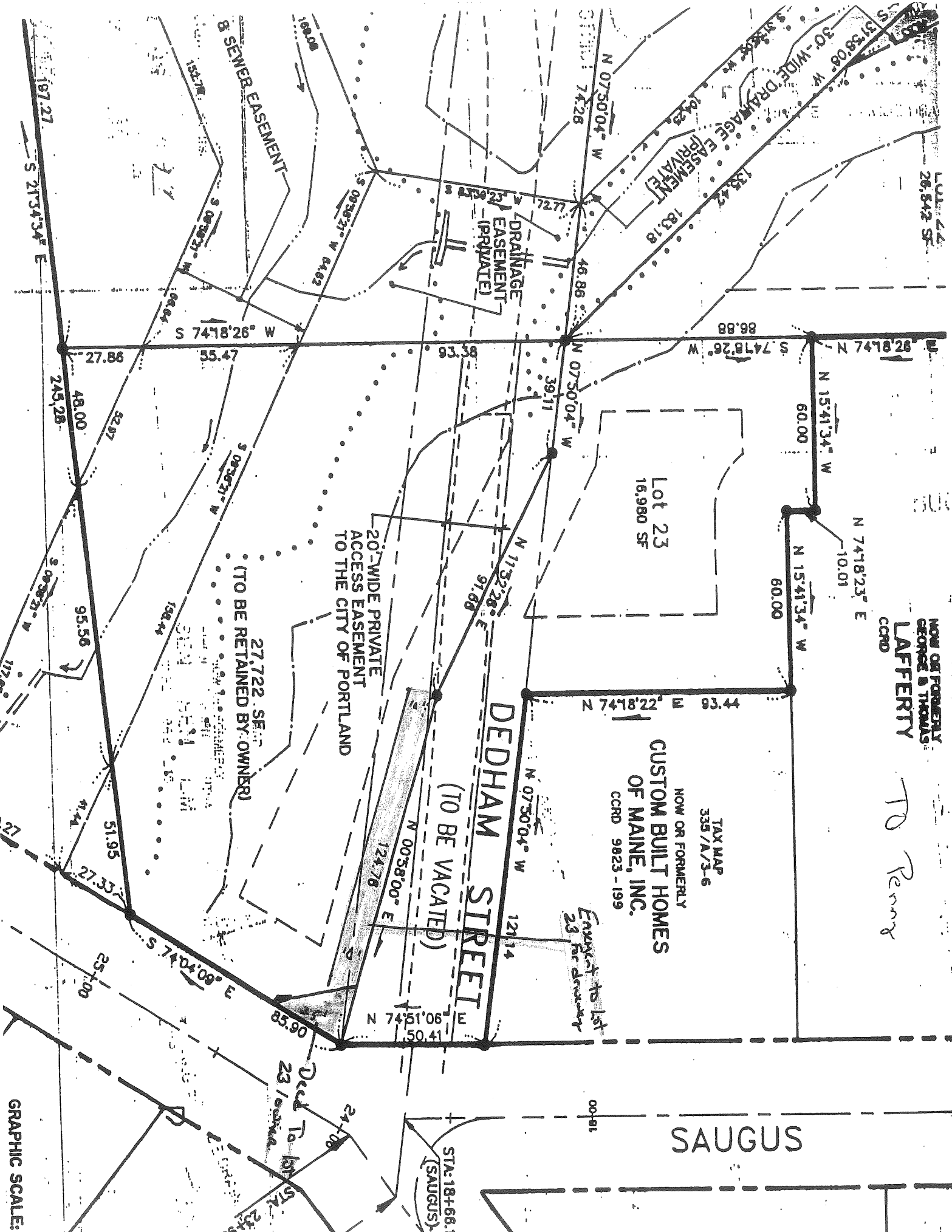
27,722 SF
(TO BE RETAINED BY OWNER)

20'-WIDE PRIVATE
ACCESS EASEMENT
TO THE CITY OF PORTLAND

B SEWER EASEMENT

30'-WIDE DRAINAGE
EASEMENT
(PRIVATE)

DRAINAGE
EASEMENT
(PRIVATE)



GRAPHIC SCALE:

STA: 18+66.14
(SAUGUS)

Dec'd To Lot
23 / owner
STA: 24+93.86

January 11, 2000

Mr. Rick Knowland, Senior Planner
City of Portland
55 Portland Street
Portland, ME 04101-3503

Re: Milton Street Extension
Roadway Plan

Dear Mr. Knowland:

As noted in our letter dated January 6, 2000 it was our intent to separate the plans for the above referenced project to depict all roadway infrastructure related construction on Sheet 1, the Roadway Plan/Profile, and to depict all future lot construction on Sheet 5, the Conceptual Development Plan. These revisions have been completed and updated prints of these plans are enclosed. It is our understanding from Tony Lombardo, P.E. and Steve Bushey, P.E. that they have completed their review of the January 6, 2000 submittal and found the revised plans to be acceptable. Please contact this office to inform us as to when this project will be allowed to proceed to the Planning Board for review.

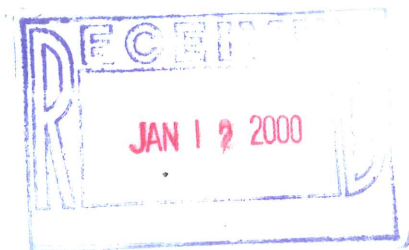
Sincerely,

Gorrill-Palmer Consulting Engineers, Inc.



Alton M. Palmer, P.E.
Vice President

Copy: Diversified Properties
Tony Lombardo, P.E., Portland Public Works
Steve Bushey, P.E., DeLuca-Hoffman Associates, Inc.
Terry Snow, Esq.





CITY OF PORTLAND

November 3, 1999

Jim Wolf
Diversified Properties
PO Box 10127
Portland ME 04104

Dear Jim:

This letter is to confirm that the Planning Office will be recommending to the Planning Board that the Milton Street Subdivision be tabled at the November 9th meeting. Hopefully your application could be considered at the November 23rd meeting assuming you can substantially address the issues outlined below.

1. The Hodgdon property formerly owned by Germani has a potential nonconforming setback issue (the barn) which could affect the configuration and land area of lot 172 as well as other lots in the subdivision. This issue is important since Germani owned all or most of the land of your subdivision between Milton Street and Bailey Avenue. We need to know the history of these parcels to determine if the rear setback of the barn is lawfully nonconforming. If these lots were merged, than there is a problem.
2. The revised recording plat needs some adjustment. The plat should specifically reference the lots that are part of this approval. As mentioned previously, we would suggest that the lots along Bailey Avenue be shown in their original form not as new lots. Also the drainage easements do not indicate whether they are public or private nor the dimensions of the easements. See also Steve Bushy's e-mail to me.
3. Tony Lombardo has previously requested that lots specify all utility connections. Each house should be provided with a storm drain and sanitary sewer lateral.
4. Letter from a bank on financial capability.
5. Plans should reflect a 24 foot right of way.
6. Please clarify your wetland delineation.

O:\PLAN\DEVREV\WMILTON\LETTERS\WOLF11-3.JMD

Should you have any questions on this letter, please call.

Sincerely,



Richard Knowland
Senior Planner

cc: Joseph E. Gray, Jr., Director of Planning and Urban Development
Alexander Jaegerman, Chief Planner
Charles Lane, Corporation Counsel
— Steve Bushy, Development Review Coordinator
Al Palmer, Gorrill-Palmer, PO Box 1237, 31 Main Street, Gray, ME 04039

From: "Steve Bushey" <srbushey@maine.rr.com>
To: Portland.CityHall(RWK)
Date: Mon, Nov 1, 1999 11:34 AM
Subject: milton st.

Rick,

I have reviewed the letters from Gorrill-Palmer Engineers dated October 8 and October 18, 1999 and generally have no big issues. However, I am confused about the titcomb Associates recording plat. I have several copies now and am uncertain as to which is the latest since they are not dated. The only one I have which is signed does not have metes and bound data for lots 167 to 172. In addition the dimensional data for the drainage easements is not shown on the plan, although hatching for the easement area does show up. These items should be on the final plan to be recorded I would feel. I presume you and Larry Ash are addressing the Newell st. issues?

If you have any questions please call or e-mail me.

Steve

1359.75

PUBLIC WORKS ENGINEERING
MEMORANDUM

To: Rick Knowland, Senior Planner
From: Anthony Lombardo, P.E., Project Engineer
Date: January 3, 2000
Subject: Milton Street Extension.

The following comments were generated during Public Works Engineering review of proposed development plans dated 12/23/99:

- The "Conceptual Development Plan" and the plan entitled "Road Plan/Profile for the completion of Milton Street" specify conflicting utility information. DMH-19 on the "Conceptual Plan" is labeled DMH-19A on the "Road Plan/Profile". The "conceptual plan" proposes a storm drain connection into DMH-19 from Lots 167 & 168. The "road plan/profile" specifies only a stub section of pipe. The "conceptual plan" proposes a storm drain connection into CB-31 from Lots 170 & 171. The "road plan/profile", instead, specifies a 12" diameter storm drain stub towards the center of Lot 171 and not towards the easement proposed between Lots 170 & 171.
- The "conceptual plan" needs to specify invert information for the proposed catch basins located in the rear yard drainage easements.
- The "conceptual plan" also needs to specify sanitary sewer service stubs from the sanitary main for each proposed house lot. In addition, Public Works is requesting storm drain service stubs be specified for each lot so that the foundation drains for each home can be connected into the storm sewer proposed in Milton Street.
- The "road plan/profile" should also specify every storm drain and sanitary service from each proposed house lot. This is extremely useful in avoiding utility crossing conflicts.
- Public Works is requesting the applicant produce a plan and profile that specifies development on both sides of the street and includes all proposed utility installations.
-

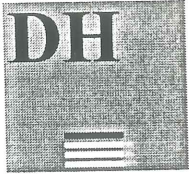
From: "Steve Bushey" <srbushey@maine.rr.com>
To: "Rick Knowland" <RWK@ci.portland.me.us>
Date: Tue, Jan 4, 2000 2:35 PM
Subject: Milton Street

Rick,

I have reviewed the latest submission by Gorrill-Palmer Consulting engineers, Inc, on behalf of Diversified Properties, dated December 22, 1999. I provide the following comments:

1. The Subdivision plat by Titcomb Associates should provide adequate reference to the entire plan set including the drawings from Gorrill-Palmer and LUC. This is important since those plans have much of the relevant data re: topo, grading, utilities etc.
2. The subdivision plan shows no grading easement at the rear of the Germani property. This appears necessary based on the grading shown on the Gorrill-Palmer plan. The lot sizes shown on the subdivision plan also do not exactly match the Gorrill-Palmer plan. The differences are very minor i.e. 1 sf on three lots, probably due to computer rounding. However they should be corrected.
3. The subdivision plan shows a wetland across lots 167, 168, & 169. What is the status of the permitting for this wetland area. Also, is the entire wetland area shown since it appears the wetland limit line does not connect upon itself?
- OK 4. The typical roadway plan shows a 24' wide road. Is public works OK with this since the City Standard is 32' for a residential street. In addition the City standard is 5' sidewalks and not 4' as shown on the plan. Perhaps they have already received a waiver for these items. If so, disregard this comment. Public Works should have final say on these issues anyway. If a waiver has been granted then the plan should have a note placed on it to that effect.
5. The Gorrill-Palmer plans and LUC plans are not consistent in their presentation of material. The LUC plan does not show the drainage easements as does the GP plan. The GP plan does not show utilities for UG power, water and sewer. The GP plan does not show the 12" sd stub off DMH 21B. What is the stubs purpose?
6. Has the fire Dept. approved the number of hydrants proposed?
7. The applicant is proposing two new lightpoles, is this satisfactory to planning?
8. Per the subdivision standards, the applicant is required to submit data on the preservation of existing trees/landscaping for the development area. Based on the grading plans it appears the area will be entirely cleared. Is the Planning dept. concerned about tree preservation?

I look forward to discussing these comments with you at the Weds. staff Meeting.
steve



DeLUCA HOFFMAN ASSOCIATES, INC.
CONSULTING ENGINEERS

778 MAIN STREET
SUITE 8
SOUTH PORTLAND, MAINE 04106
TEL. 207 775 1121
FAX 207 879 0896

- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- TRAFFIC STUDIES AND MANAGEMENT
- PERMITTING
- AIRPORT ENGINEERING
- SITE PLANNING
- CONSTRUCTION ADMINISTRATION

FAX COVER SHEET

To: Jim Wolf

From: Jim Wenzel

DIVERSIFIED PROJECTS

Fax # 773-6875

Date: 8/24/00

Phone: _____

Pages (Incl. Cover): 2

Re: _____

Urgent

**For
Review**

**Please
Comment**

**Please
Reply**

**Please
Recycle**

COMMENTS: _____

Sorry, I Am Late !!



DeLUCIA-HOFFMAN ASSOCIATES, INC.
CONSULTING ENGINEERS

778 MAIN STREET
SUITE 8
SOUTH PORTLAND, MAINE 04106
TEL. 207 775 1121
FAX 207 879 0896

- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
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- PERMITTING
- AIRPORT ENGINEERING
- SITE PLANNING
- CONSTRUCTION ADMINISTRATION

MEMORANDUM

TO: Rick Knowland, Senior Planner

FROM: Jim Wendel, PE, Development Review Coordinator

DATE: August 24, 1999

RE: Site Plan/Subdivision Review
Milton Street Phase
Woodfords Gardens, a.k.a. Forest Avenue Terrace-dated 1910

A review of the concept grading plan of the latest submission dated July 29, 1999 for lots 167-175 has been completed. We offer the following comments:

1. Due to the native soil and the type of soil that will likely comprise the fill necessary to raise the grades as proposed, we recommend that the slopes of the inverts of the broad swales and the grading away from the houses are a minimum of 2.5%. If this minimum slope cannot be achieved, then catch basin inlets are recommended to be added to the plan; the locations would be at the common property lines between lots 169 and, 168 and 170, and between lots 172 and, 171 and 173. Also, the swales should be moved to straddle the nearest common property line and 20' private drainage easements should be located to encompass the catch basins and swales. The private drainage easements should include a drainage maintenance agreement with the City; the standard agreement is in the City's technical standards manual.
2. We recommend that the proposed grading on lot 167 be raised 1'. How does this lot currently drain?
3. Based on the City's technical standards, stormwater detention is required since the existing storm drain outfall does not discharge flow directly to the ocean. Also, it appears that the project will exceed 1 acre of new impervious surface due to the road/sidewalk, roofs and drives, and will require a stormwater permit for quantity.
4. The type "F" basin should be noted as a 2' diameter structure; Public Works requires round grates and frames only.
5. A response is needed for the comments provided in a June 18, 1999 memo to you regarding lots 162-166.

Should you have any questions, please call.



Gorrill-Palmer Consulting Engineers, Inc.

Traffic and Civil Engineering Services

PO Box 1237
31 Main St.
Gray, ME 04039

207-657-6910
FAX: 207-657-6912
E-Mail: gpcei@maine.rr.com

July 29, 1999

Mr. Rick Knowland
Senior Planner
City of Portland
389 Congress Street
Portland, ME 04101-3503

RE: Workshop Submission
Milton Street Subdivision

Dear Rick:

On behalf of Diversified Properties, Inc., Gorrill-Palmer Consulting Engineers, Inc. is pleased to submit seven (7) copies of plans for the above referenced project for review by Staff and the Planning Board. It is Diversified Properties, Inc.'s desire that the project be scheduled for a workshop session at the August 24, 1999 Planning Board Meeting.

The project, known as the Milton Street Subdivision, consists of 14 lots on the east and west sides of Milton Street between Saugus Street and Beverly Street. The project will reconfigure 35 existing lots on the west side of Milton street into 9 lots. On the east side of Milton Street, 16 existing lots will be reconfigured to 5 lots.

Internal Access

The project will construct approximately 600 feet of Milton Street, a dedicated / unaccepted street. The roadway will be constructed to City Standards for a public street with a paved width of 24' and sidewalks on both sides of the roadway. Access to all of the proposed lots will occur from Milton Street. Plans for the roadway have been prepared by Land Use Consultants. These plans depict a 32' wide paved width, in accordance with previous Portland City Standards. Land Use Consultants is in the process of revising the plans to a 24' paved width and will be incorporating sewer and other utility service stubs in accordance with a comment received from Anthony Lombardo, P.E. dated June 7, 1999. Revised plans will be forwarded to the City upon receipt.

The remaining comments from Mr. Lombardo's June 7, 1999 memorandum have been incorporated into the enclosed plans.

Lot Layout

The lots have been laid out to conform to City standards. A potential buildout of each lot has been provided to demonstrate the developability of the various lots. The actual buildout of the lots may vary from these plans with respect to building location, size and driveway

Mr. Rick Knowland
July 29, 1999
Page 2

location. A potential grading plan has also been prepared for the subdivision denoting recommended sill elevations and grading on individual lots.

Utility Service

Public water, sewer and electrical / cable / telephone service will be constructed within Milton Street with services provided to the individual lots. Preliminary transformer pad easements have been shown on the subdivision plan.

Drainage

A 12" storm drain pipe is proposed within this section of Milton Street, connecting to the existing public storm drains at each end of the proposed roadway. The developed area (building and driveway) for each lot has been graded with the intent of surface flow to the catch basins in Milton Street.

Diversified Properties, Inc. and Gorrill-Palmer Consulting Engineers, Inc. look forward to the review of this project. Please contact this office with any questions.

Sincerely,

Gorrill-Palmer Consulting Engineers, Inc.



Alton M. Palmer, P.E.
Vice President

Enclosures: Conceptual Development Plan for West Side of Milton Street prepared by
Gorrill-Palmer Consulting Engineers, Inc.
Road Plan / Profile (Sheets 1 - 3) for Milton Street prepared by Land Use
Consultants
Subdivision Plan prepared by Titcomb Associates

Copy: Mr. Jim Wolf, Diversified Properties, Inc. w/Enc.
Mr. Terry Snow, Esq. W/Enc.

Diversified Properties, Inc.

P.O. Box 10127, Portland, ME 04104
Tel 207-773-4988 • Fax 207-773-6875

July 28, 1999

Jim Wendell
DeLuca Hoffman Associates, Inc.
778 Main Street, Suite 8
So. Portland, ME 04106

RE: Milton Street Extension

Dear Jim:

Pursuant to our conversation enclosed please find the road plans and profiles and lot drainage plans for those lots shown. Please contact me after your review to discuss any questions you may have.

Thank you for your cooperation.

Very truly yours,


James M. Wolf

JMW/jmy
Enclosures
cc. Al Palmer



From: Jay Reynolds
To: Penny Littell ; Todd Merkle
Date: Tue, Oct 1, 2002 2:31 PM
Subject: Milton St. COMPLETE!

All done, all set.....100%.

Ok to proceed with acceptance.

I'll be notifying the applicant that a defect guarantee be provided for the project.

Thank you for all your help on that awful swale issue.

Jay

CC: Alex Jaegerman ; Sarah Hopkins

Jay Reynolds - Milton Street Swale

From: "James Wolf" <jmw1@maine.rr.com>
To: "Penny Littell" <PL@ci.portland.me.us>
Date: Mon, Sep 9, 2002 9:17 AM
Subject: Milton Street Swale

Penny

I was not received a letter responding to the attached letter nor a return of my telephone calls to you. I have, however, received calls from A H Grover telling me you have contacted the bonding company and quotes are being obtained from contractors to rebuild the swale.

There is a difference of opinion on this issue. I would like to meet with you and Lee to review the facts regarding this issue. If we still disagree I would than request that the city agree to binding arbitration.

I look forward to hearing from you to set up a time to get together.

James Wolf
Diversified Properties, Inc
1-207-773-4988
Fax 1-207-773-6875

CC: "Lee D Urban" <LDU@ci.portland.me.us>

Corporation Counsel

Gary C. Wood



CITY OF PORTLAND

Associate Counsel

Charles A. Lane
Elizabeth L. Boynton
Donna M. Katsiaficas
Penny Littell

August 23, 2002

James M. Wolf
Diversified Properties, Inc.
P.O. Box 10127
Portland, ME 04104

Dear Jim:

Given your voice mail message to me I understand you are expecting a reply to your letter of August 20, 2002. The City's position is that the developer is responsible for the swale behind lots 167 through 172. This work is covered in the performance guarantee as you state in your e-mail. The city expects that the work will be completed by August 31, 2002.

Sincerely,

Penny Littell

Associate Corporation Counsel

PL:hs

Cc: Jay Reynolds, Planning
Todd Merkle, Public Works

O:\OFFICE\PENNY\LTRS\2002\wolf082302.doc

Diversified Properties, Inc.

*P.O. Box 10127, Portland, ME 04104
Tel 207-773-4988 • Fax 207-773-6875*

July 17, 2002

Jay Reynolds
Development Review Coordinator
City of Portland
389 Congress Street
Portland, ME 04101

RE: Milton Street Swale

Dear Jay:

Enclosed please find copies of correspondence relating to the Milton Street Swale. Please notice that these began in June 2000.

Construction and preservation of the swale, built as a Private Drainage Easement, was a critical concern to all parties involved in this project. The City and Diversified Properties took measures early in the project to assure its completion. Ultimately, the City required the complete swale be installed and draining prior to any certificates of occupancy being issued for any house on that side of the street. This condition was required by Mike Nugent. Furthermore, Gordon Smith, DRC of Portland in 2000, assured me that any disturbance to the completed swale and reconstruction required would be the house builder's responsibility. Based upon the requirement of Mike Nugent and the assurance given by Gordon Smith the swale was constructed. Enclosed please find correspondence from Mr. Nugent, confirming the above paragraph content, dated June 28, 2000. I have highlighted the following:

1. Area 1 Inspectors – No certificates of occupancy until Public Works/DRC are ok.
2. The summary of my conversation with Gordon Smith regarding repair of the swale after construction is approved.

The six lots on the swale side of Milton Street were each built on and given certificates of occupancy by Mike Nugent's inspection department. (Regrettably I do not have the dates of issuance). However, I believe several were issued in the fall of 2000. Given Mike's attention to detail, the occupancy permits would not have been given unless the swales construction had been approved by Portland.

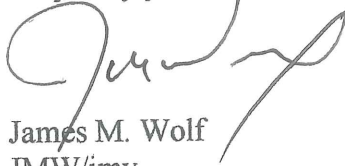
Jay Reynolds
July 17, 2002
Page 2

Based upon the documents provided, Diversified Properties does not believe it is responsible for reconstructing the swale. The documentation provided clearly demonstrates the City approved its construction and should now be looking to the house builders for any needed repairs.

If additional documentation is needed confirming our compliance to Mr. Nugent's email, I suggest we review the file for lot 167 Milton. If not mistaken, I believe the City DRC required the homebuilder repair the swale and core the drainage structure we installed prior to receiving an occupancy permit. Note the DRC's requests altered our approved plans.

Thank you for your patience while I searched for the enclosed documentation. I believe the City and Diversified Properties are both fortunate this issue was addressed at the start of development.

Very truly yours,



James M. Wolf
JMW/jmy

Email = jmw1@maine.rr.com

cc. Lee Urban, Director of Planning and Development
Mike Nugent, Inspections Service Manager
Todd Merkle, Field Inspections Coordinator
Alex Jaegerman, Chief Planner
Penny Littell, Corporate Counsel
Sarah Hopkins, Development Review Service Manager

James Wolf

From: James Wolf <buca@maine.rr.com>
To: Mike Nugent <MJN@ci.portland.me.us>
Sent: Thursday, June 29, 2000 7:52 AM;
Subject: Re: Fw: Maggie Lane and Milton Street *Public Works*

Mike

Thank you for the heads up. I spoke with Gordon Smith last night and we discussed the swale. Our concern is how the swale will be preserved during house construction. Gordon assured me that any disturbance during house construction would be repaired by the house builders.

Thank you again.

Jim wolf

----- Original Message -----

From: Mike Nugent <MJN@ci.portland.me.us>
To: <NLK@ci.portland.me.us>; <buca@maine.rr.com>
Cc: <AXR@ci.portland.me.us>; <JMB@ci.portland.me.us>;
<MJN@ci.portland.me.us>; <SKW@ci.portland.me.us>; <Todd@ci.portland.me.us>;
<srbushey@maine.rr.com>
Sent: Wednesday, June 28, 2000 3:36 PM
Subject: Re: Fw: Maggie Lane and Milton Street

AREA 1 inspectors--NO Certificates of Occupancy until Public Works/DRC are ok
>>> Nancy Knauber 06/28 2:44 PM >>>

The swale behind the lots on Milton St. needs to be installed and draining into the intended field inlets before a C.O. for any house on that side of the street will be issued. We will expect the swale to have a catch of grass as soon as reasonable after it is dug. Certainly it should before winter.

To reply to your earlier question Ed Parker and I inspected Maggie Lane in March; while there he took several photos of the site.

>>> "James Wolf" <buca@maine.rr.com> 06/27 12:38 PM >>>
Nancy

Please get back to me with answers to my questions.

With respect to Maggie Lane it is important to conform when and who inspected the site in March. We do not want people to think we were trying to avoid completing the project properly.

With respect to Milton Street we need to know who to speak to regarding the swale.

Thank you for your help.

Jim

James M. Wolf
Diversified Properties, Inc.
1-207-773-4988

----- Original Message -----

From: James Wolf

To: nlk@ci.portland.me.us

Sent: Friday, June 23, 2000 7:32 AM

Subject: Maggie Lane and Milton Street

Nancy

A short time ago I emailed and asked when and who inspected Maggie Lane in March. Please send over this information. We only want planning etc. to know we were following through with the plan.

Ben intends to be at Milton Street next week and have the road black topped in 3 weeks. He will then move out and let the houses construction be completed. Who should I talk to about the drainage on the 6 lot side. We want to do the swale once thus who's decision is it as to when that should take place?

Thank you for the help.

James M. Wolf
Diversified Properties, Inc.
1-207-773-4988

James Wolf

From: "James Wolf" <buca@maine.rr.com>
To: "Jay Reynolds" <JAYJR@ci.portland.me.us>
Sent: Wednesday, May 30, 2001 12:14 PM
Subject: Re: Re:

anything we can do to help...

----- Original Message -----

From: "Jay Reynolds" <JAYJR@ci.portland.me.us>
To: <buca@maine.rr.com>
Sent: Wednesday, May 30, 2001 12:13 PM
Subject: Re: Re:

cuz i'm up to my ears in drainage problems and upset homeowners

>>> "James Wolf" <buca@maine.rr.com> 05/30 11:14 AM >>>
why would the planners look at Woodbury Street.....it is a single family

----- Original Message -----

From: "Jay Reynolds" <JAYJR@ci.portland.me.us>
To: <buca@maine.rr.com>
Sent: Wednesday, May 30, 2001 9:05 AM
Subject: Re:

Jim,

1. Maggie lane sweeping all set.
2. received plans for bailey ave., haven't looked at them,
trying to get someone from public works to bailey ave.(they determine the road status, and another memo will follow)
3. Haven't seen the application for woodbury st. (i may not, it may be given to one of the planners).
4. Milton St. - steve bushey is getting all the correspondence on this for me.

Jay

Jay Reynolds
Development Review Coordinator
Department of Planning and Urban Development
City of Portland
207-874-8632
JAYJR@portland.CityHall.org

>>> "James Wolf" <buca@maine.rr.com> 05/29 3:08 PM >>>

Jay

Wanted to touch base and follow up on the following:

* Are we all set on the sweeping at Maggie Lane? The work was completed Friday.

* Did you receive the updated plans for Bailey Avenue?

* Heads up. We have a permit application in for the lot at the end of Woodbury Street that I showed you.

* Has Steve Bushey contacted you regarding the drainage swale at Milton Street?

Please contact me if there is anything I need to follow up on.

James Wolf

Diversified Properties, Inc

1-207-773-4988

Fax 1-207-773-6875

James Wolf

From: "James Wolf" <buca@maine.rr.com>
To: "Jay Reynolds" <JAYJR@ci.portland.me.us>
Sent: Monday, June 04, 2001 10:48 AM
Subject: Re: MEMO'S GOING OUT

I forgot to mention that I saw Ben Friday night and he said the swale had been completed

Missie Lane!

----- Original Message -----

From: "Jay Reynolds" <JAYJR@ci.portland.me.us>
To: <buca@maine.rr.com>
Sent: Friday, June 01, 2001 10:52 AM
Subject: Re: MEMO'S GOING OUT

not me!!

It was deluca hoffman, i'd say.....

>>> "James Wolf" <buca@maine.rr.com> 06/01 8:47 AM >>>

Ben needs to check, however, he remembers the work being done....I am sending a letter to Lombardo and to the Glass's.....you will get copies of each.....also sent a letter to Joyce.....do we know who approved the site work for the CO?

----- Original Message -----

From: "Jay Reynolds" <JAYJR@ci.portland.me.us>
To: <buca@maine.rr.com>
Sent: Friday, June 01, 2001 8:48 AM
Subject: Re: MEMO'S GOING OUT

please do.

did you hear from ben? did he finish off the swale?

deluca hoffman's still looking for info.

>>> "James Wolf" <buca@maine.rr.com> 06/01 8:25 AM >>>

do you want to be kept in the loop with regard to Glass.....

----- Original Message -----

From: "Jay Reynolds" <JAYJR@ci.portland.me.us>
To: <buca@maine.rr.com>
Sent: Wednesday, May 30, 2001 12:46 PM
Subject: MEMO'S GOING OUT

Consider yourself cc'd! these DO pertain to you in some manner.

Jay

James Wolf

From: "James Wolf" <buca@maine.rr.com>
To: "Jay Reynolds" <JAYJR@ci.portland.me.us>
Sent: Tuesday, June 05, 2001 7:35 AM
Subject: Milton Swale

In case you care, I met with the Glass's last night. The problem with the water is quite simple. The builder of the house installed a drain in the swale and changed its direction in an effort to correct the house elevation problem. Unfortunately, the abutter to the right is draining into the swale which has uncovered the pipe causing erosion. We are going to continue to push the builder to get to the site and correct the problem. I believe the Glass's now agree that DPI did not incorrectly install pipe or the swale.

James Wolf
Diversified Properties, Inc
1-207-773-4988
Fax 1-207-773-6875

Corporation Counsel
Gary C. Wood



CITY OF PORTLAND

Associate Counsel
Charles A. Lane
Elizabeth L. Boynton
Donna M. Katsiaficas
Penny Littell

August 5, 2002

Via Fax: 829-4481

Terry N. Snow, Esquire
Terry N. Snow, PA
PO Box 275
Cumberland Center ME 04021-0275

RE: ~~Pennell Avenue~~ *Milton St.*

Dear Terry:

I am following up on our conversation last week regarding the bond posted by Ben Grover for the Milton Street subdivision. I have contacted all appropriate persons at the City and noone here released Mr. Grover from his bond obligation. Apparently, Mr. Grover told you "someone" from the City consented to a release. I had asked that you find out who that individual was. Have you had an opportunity to speak with your client regarding this matter? Have you determined where the swale on Milton Street will be fixed before August 30, 2002?

Thank you for your attention to this matter. I look forward to hearing from you.

Sincerely,

Penny Littell
Associate Corporation Counsel

Cc: William Bray
Todd Merkle
Kathi Earley
Jay Reynolds ✓

Diversified Properties, Inc.

P.O. Box 10127, Portland, ME 04104
Tel 207-773-4988 • Fax 207-773-6875

August 20, 2002

Penny Littell
City of Portland
Corporation Council
389 Congress Street
Portland, Maine 04104

Re: Milton Street Subdivision, private drainage easement

Dear Penny:

Following up our meeting regarding the Milton Street drainage swale, I asked Gorrill Palmer Engineers, the project engineer, to review its file on Milton Street focusing on the swale.

Gorrill Palmer discovered the following:

1. A construction detail for the swale is not shown on the approved construction drawings.
2. Construction of the swale was required in order for lots 167 thru 172 to obtain occupancy permits. Several occupancy permits were issued in 2000.
3. The city DRC assured Diversified that any reconstruction of the swale after the construction of homes would be the responsibility of the homebuilders.
4. The plan submitted to the City showing grades for the swale is a Conceptual Plan. The plan was used to show the Planning Board a potential build out of each lot to demonstrate developability. At no time were the grades shown part of the approved construction drawings.
5. The City Zoning Administrator and Planning Division by letter from Marge Schmuckal to Al Palmer dated July 31, 2000 issued an interpretation on how Conceptual Plans are viewed by the city after a project is approved. To summarize, the city determined the plans are for concept purposes only and cannot be relied upon for final build ability. The plan does not lock a developer (in this case builder) into final designs. The building permit process is when a review is completed to determine building requirements. See enclosed letter.

Diversified, through its contractor, AH Grover, built Milton Street to city standards compiling with the requirements detailed on the Construction drawing approved by the Portland Planning Board, further relying upon statements made by the city DRC, City Inspection Department and city policy


Diversified Properties, Inc.

*P.O. Box 10127, Portland, ME 04104
Tel 207-773-4988 • Fax 207-773-6875*

Based upon the facts provided we request the city accept Milton Street as a city street and take enforcement action against the proper parties with respect to the swale. By delaying acceptance of this street while the city determines who is responsible for additional site work in the Private Drainage Easement, the 11 taxpayers (homeowners) are being penalized.

Thank you for considering the information in this letter and that previously provided. I look forward to hearing from you and resolving this issue.

Very Truly yours,



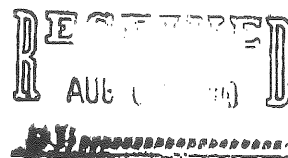
James M. Wolf
Enc.

Zoning Division
Marje Schmuckal
Zoning Administrator



CITY OF PORTLAND

99103
Carr, Jr.
Department of Urban Development
Joseph E. Gray, Jr.
Director



July 31, 2000

Al Palmer
P.O. Box 1237
Gray, Maine 04039

RE: Residential parking interpretation within the front yard

Dear Mr. Palmer,

This letter of interpretation is in response to several recent conversations concerning front yard parking for residential uses within residential zones. More specifically, I have been reviewing sections 14-336 and section 14-338.

Section 14-336(b) which pertains to residential uses with six or less parking spaces states: "Parking shall be prohibited in the front yard of lots containing two (2) or more dwelling units, except within one (1) driveway on the lot. "Driveway" as used in this paragraph, shall not include any turnaround area." Section 14-338(b) which pertains to residential uses with more than six parking spaces states nearly the very same thing. It is prefaced with the statement, "Notwithstanding the provisions of subsection (a) of this section,....". I read that to mean that any alleviation that may be stated in subsection (a) **does not** apply to front yards of lots. Parking in the front yard is "prohibited".

The bigger question that has been raised is whether the phrase "front yard" might mean "required front yard". The straight forward interpretation, which I have taken, is just as the ordinance reads. I believe that it refers to the entire front yard, not the potentially reduced area covered by "required" front yard.

In the definition section of the Zoning Ordinance "yard" and "yard, front" are defined. "Yard" is defined as, "A space on a lot which is required by this article to be **maintained open, unoccupied, and unobstructed** between lot lines and any structure, except as permitted in this article...." There is no exception within the ordinance that allows an exemption for front yard, residential parking of vehicles. More to the point, there are two very specific sections that emphasize the prohibition of parking within the front yard. It also appears that both of the prohibition statements in sections 14-336 and 14-338 were added in 1990 to clarify that no parking would be allowed in the entire front yard as defined.

All the residential zones do have minimum required setbacks for structures. A structure is allowed to be setback further than the minimum without penalty. However, by definition, the front yard is that area between the front lot line and any structure. I think that the concept of required setbacks for structures is inappropriately transferred over to the issue of parking in determining where parking may or may not be allowed. .

I also understand that during the Planning Board's site plan review process, you submitted some conceptual plans showing a structure and parking within proposed building envelopes. On one of the conceptual plans you

showed a couple lots with parking within the front yard. The Planning Board wants to see that each lot can be reasonably built upon. The planner's memos to you did pass on my zoning concerns and did notified you that parking was not allowed in the front yard. Both the Planning Division and I agree that any conceptual plans are just that. They only reflect certain minimal expectations. They do not lock the developer into final designs. Concept plans are not part of the stamped approved, recorded site plans. They are concept plans which can not be relied upon for final build ability. It is during the actual building permit process which all specific zoning requirements are reviewed for compliance. It is noted that even your submittals for recent building permits have been redesigned from the concept plans you showed the Planning Board.

To sum up , it is my determination that parking is **not** allowed within the entire front yard as defined. The front yard should not be implied to mean required front yard.

You have the right to appeal my decision (section 14-472). I have included information and paperwork on the procedures to file an appeal. If you have any questions regarding this matter, please do not hesitate to contact this office.

Very truly yours,



Marge Schinuckal
Zoning Administrator

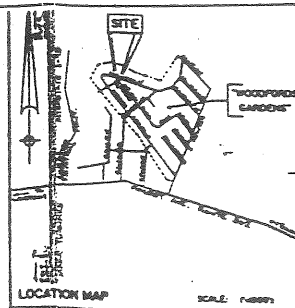
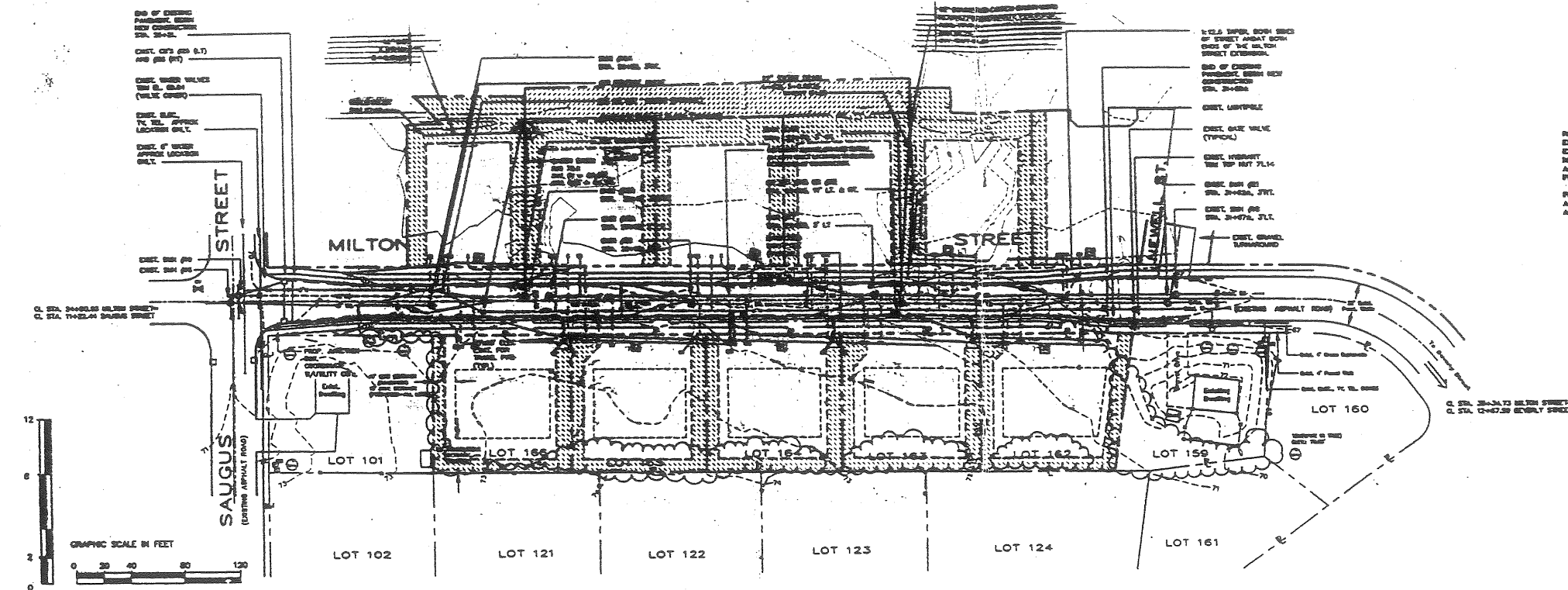
cc: Mark Adelson, Housing and Neighborhood Services
Alex Jaegerman, Chief Planner
Rick Knowland, Senior Planner
Penny Littell, Corporation Counsel
Charlie Lane, Corporation Counsel
James Wolf, Diversified Properties, PO Box 10127, Portland, ME 04104
Glen, Custom Built Homes, 27 Main Street, Windham, ME 04062

INSTALLING 3" beam Date 9/29/02

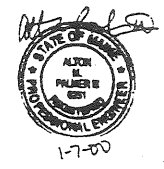
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<u>4.60</u>	6.78	6.99		67.82	0+25 Rt. Rear Cur.
	6.58			68.02	0+51 Rt. Rear Corner
	6.15			68.45	0+80 R 5%
	5.83			68.77	1+00 Rt. Rear Cur.
	5.42			69.18	1+25
	5.33			69.27	1+50
	5.20			69.40	1+75
	4.99			69.61	1+80 R
	1				TBM (High Pt.)
	5.10			69.80	1+85 Landed
	5.96			69.64	2+00 Landed
	7.18			67.42	2+25 End Landed
		Reset			
	6.50			67.61	CB Rim
<u>74.11</u>	5.56		TBM (68.55)		CB Rim #31? Gutter
	5.15		TBM (68.96)		Point #17?

Milton St. Sink - Grades Check on
 Installation 3" diam Date 9/28/02

<u>FS</u>	<u>B.S.</u>	7.18	<u>Elev.</u>	* <u>Comments or Notes</u>
(74.50)	6.78	6.99	67.61 67.82	CB Rim 0+25 Rt. Rear Cur.
	6.58		68.02	0+51 Rt. Rear Corner
	6.15		68.45	0+80 R 5%
	5.83		68.77	1+00 Rt. Rear Cur.
	5.42		69.18	1+25
	5.33		69.27	1+50
	5.20		69.40	1+75
	4.99		69.61	1+80 R
	1			Top of (high pt.)
	5.10		69.80	1+85 L. Lane
	5.96		68.64	2+00 Lanes
	7.18		67.42	2+25 (End) (Lanes)
		Reset		
	6.30		67.61	CB Rim
(74.11)	5.56	TBM (68.55)		CB Rim # 317 Gutter
	5.15	TBM (68.96)		BM # 177



REVISIONS BY CORNELL PALMER CONSULTING ENGINEERS, INC. INCLUDING AMENDMENTS OF LINES AND LOCATIONS TO BE ADJUSTED ON THE WEST SIDE OF MILTON STREET, ADJUSTMENTS OF UTILITY SERVICES TO ALL LINES, REMOVAL OF EXISTING BRUSH PILES AND PILING DISTRIBUTION FROM WEST SIDE AND ETC.



REVISIONS:

No.	DATE
1	11/9/99

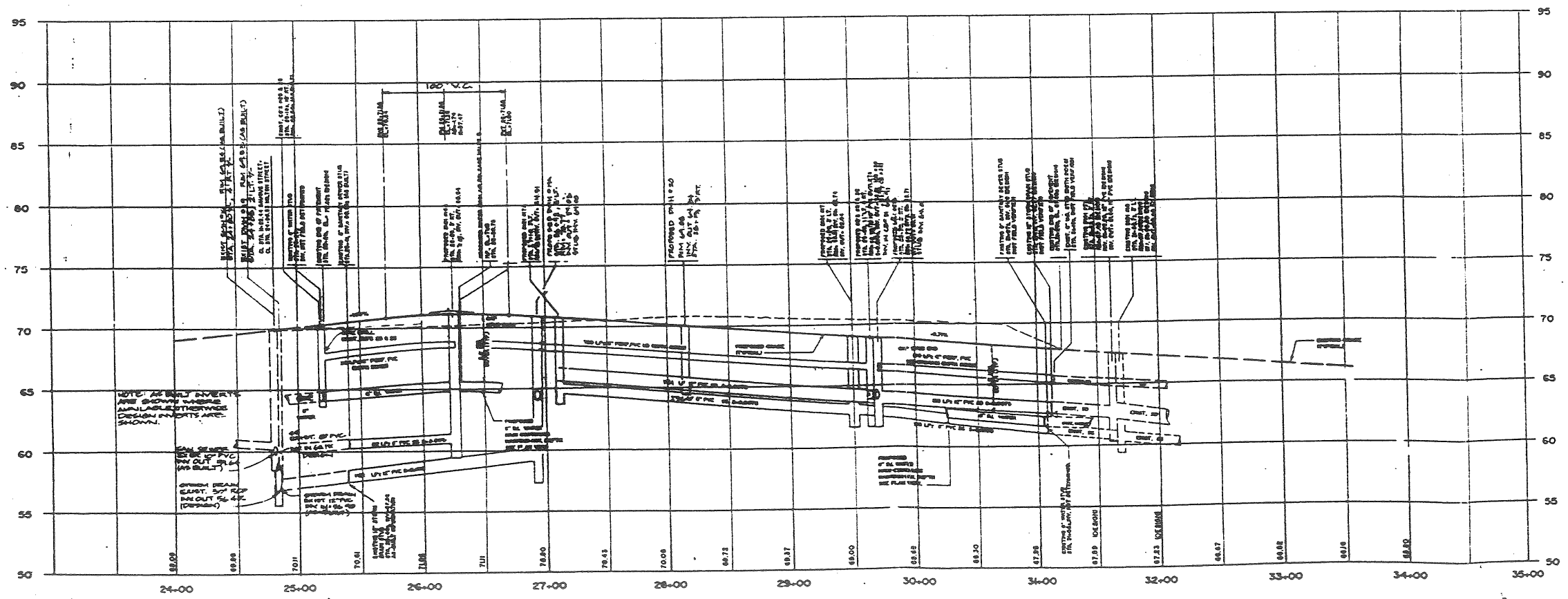
GENERAL NOTES:

- 1) TOPOGRAPHIC DATA SHOWN HEREON IS A RESULT OF AN AS-BUILT FIELD SURVEY PERFORMED BY LAND USE CONSULTANTS, INC. ON MARCH 24, 1999.
- 2) LINES LABELED "H" HEREON ARE APPROXIMATE PROPERTY LINES AND ARE NOT THE RESULT OF A STANDARD BOUNDARY SURVEY.
- 3) THE ELEVATIONS SHOWN HEREON ARE BASED UPON A BENCHMARK (SPICE 41202) AS SHOWN HEREON, REPORTED TO HAVE AN ELEVATION OF 74.67'. THE HORIZONTAL DATUM IS NAD83.

PLAN REFERENCES:

- 1) THIS SHOWS A PORTION OF WOODFORDS GARDENS, OFF PROJECT NUMBER 1004-SP-PL-010, PREPARED FOR RECORD BY LAND USE CONSULTANTS, INC. PROJECT NUMBER 1004-SP-PL-010, DATED AUGUST 5, 1999 AND LAST REVISED OCTOBER 24, 1999.

NOTE: SEE SHEET 2 OF 3 FOR NOTES, NO. X-SECTION AND DETAILS



LEGEND:

- CATCH BASIN
- SEWER MANHOLE
- SANITARY SEWER MANHOLE
- WATER MAIN OFF
- GAS MAIN OFF
- ELECTRICAL - GRAFT POINT
- ELECTRICAL - TRANSFORMER
- TELEPHONE POINT
- TELEPHONE POLE
- POWER POLE
- TREE LINE

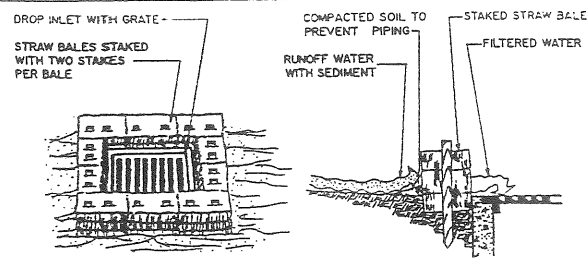
LUC
LAND USE CONSULTANTS, INC.
 Land Planners • Engineers • Surveyors
 988 Riverside Street, Portland, Maine 04103
 207-676-3313

TITLE:
ROAD PLAN/PROFILE
 For the Completion of
MILTON STREET
 Being a Portion of
WOODFORDS GARDENS
 Portland, Maine

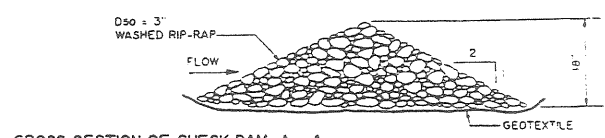
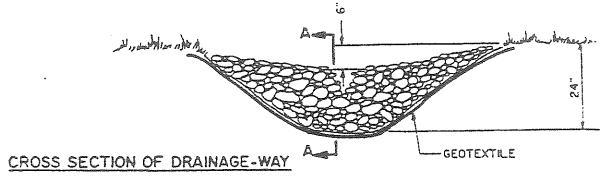
PREPARED FOR:
DIVERSIFIED PROPERTIES, INC.
 P.O. BOX 10127
 PORTLAND, MAINE

DATE: 11/9/99
 COMP./DESIGN: JAC
 CHECK: DAK
 DRAWN: SHH
 SCALE: Horizontal 1" = 40', Vertical 1" = 4'
 JOB NO.: 1004-SP-PL-010
 SHEET 1 OF 3



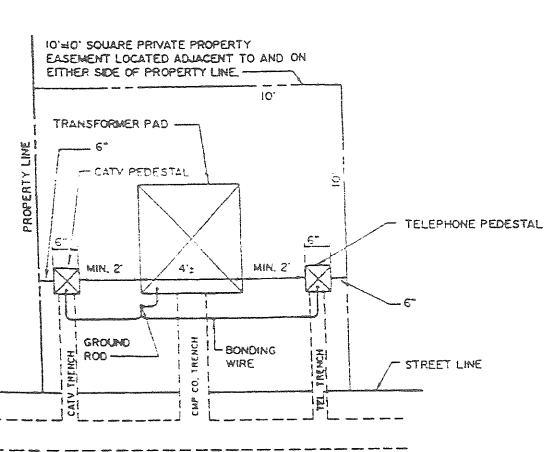
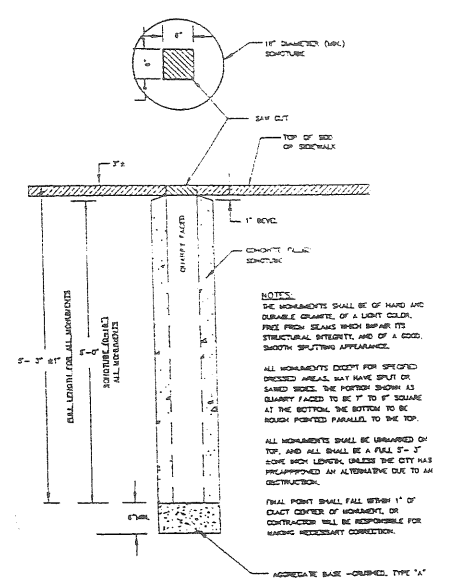
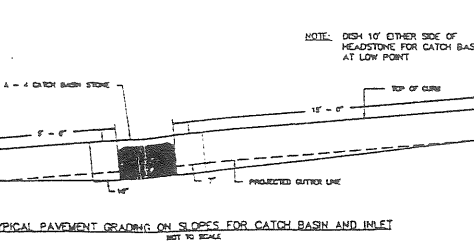
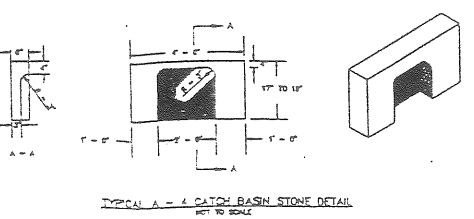


STRAW BALE DROP INLET SEDIMENT FILTER
NOT TO SCALE



- ONCE THE AREAS UPSTREAM FROM THE CHECK DAM ARE STABILIZED BY VEGETATION, THE SEDIMENT TRAPPED BEHIND / WITHIN THE DAM SHALL BE RELOCATED TO AN AREA UNDERGOING FINAL GRADING.
- THE CHECK DAMS SHALL THEN BE FLATTENED AND GRADED IN A MANNER WHICH PROTECTS THE AREA FROM EROSION AND CHANNEL BLOCKAGE.
- THE GEOTEXTILE SHALL BE DISPOSED OFFSITE.
- THE AREA CONTRIBUTORY TO THE CHECK DAM SHALL NOT EXCEED 10 ACRES.

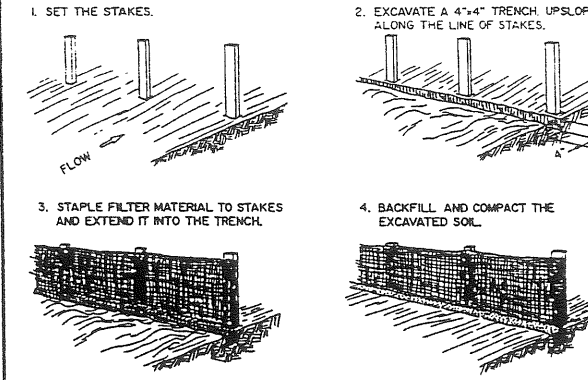
TEMPORARY CHECK DAM IN DRAINAGE-WAY
NOT TO SCALE



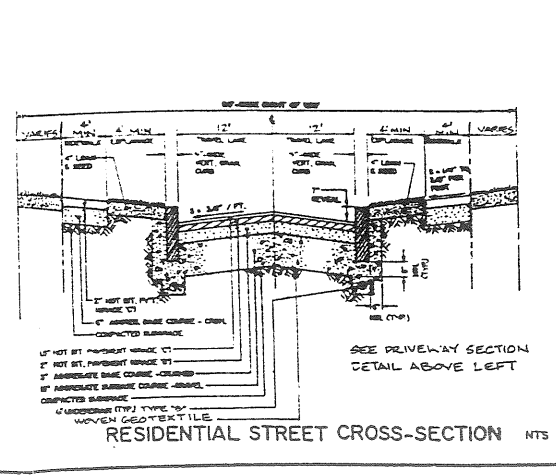
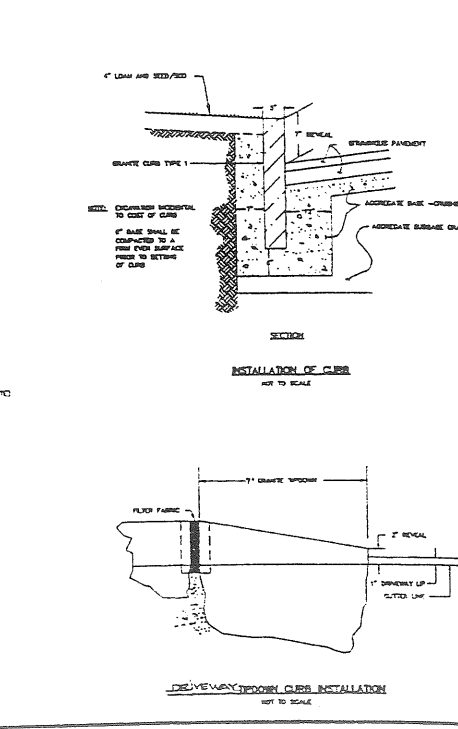
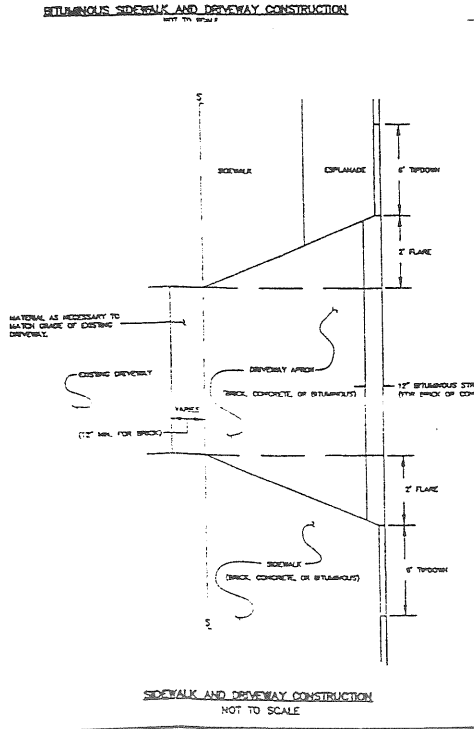
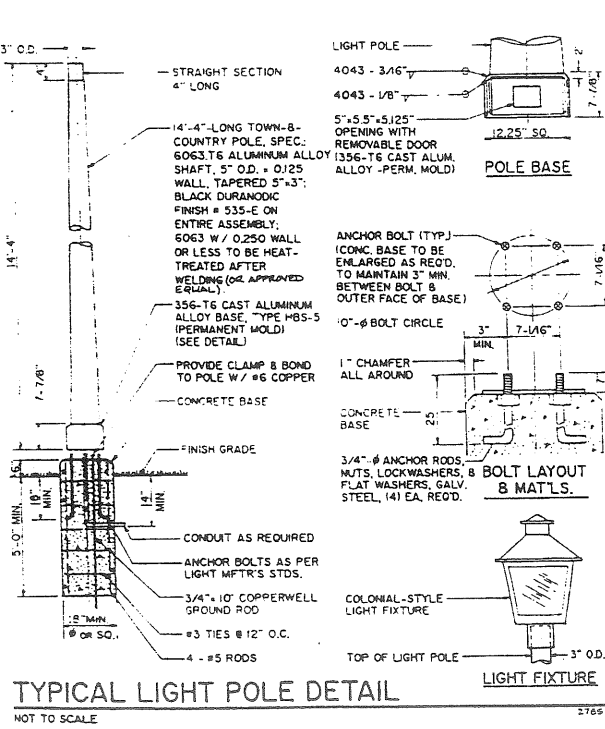
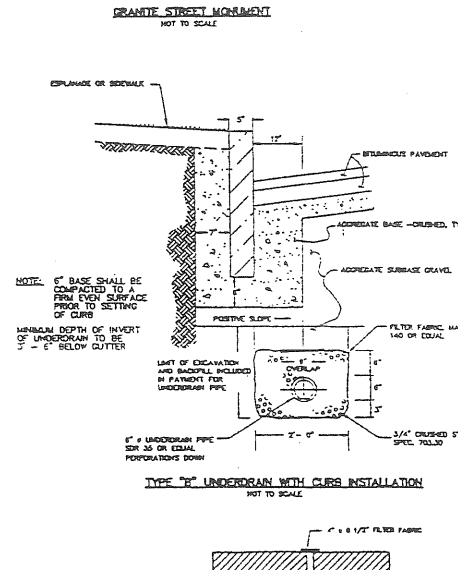
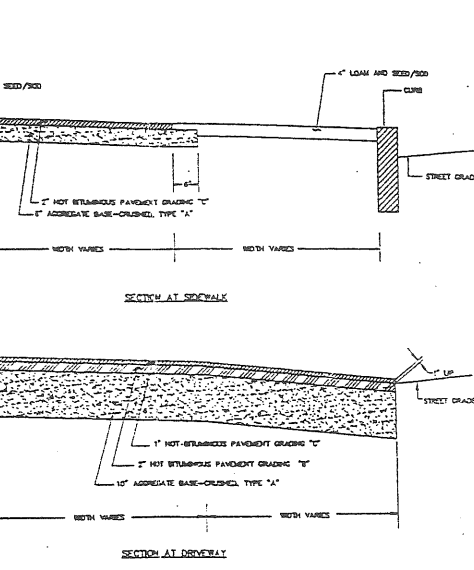
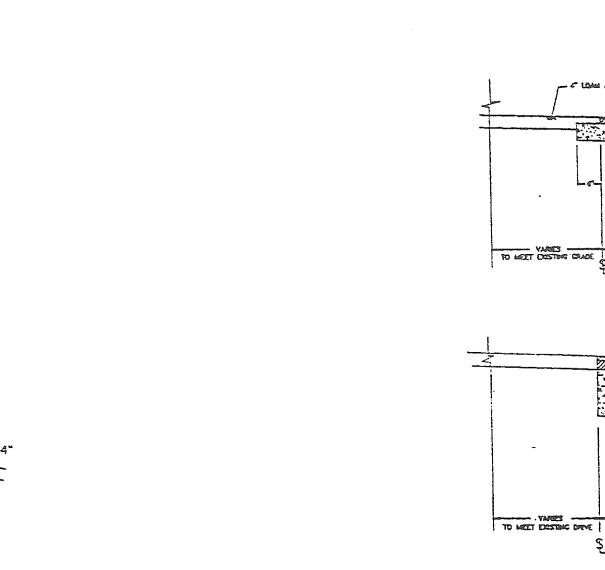
TYPICAL TRANSFORMER PAD LOCATION
NOT TO SCALE

- General Notes:**
- Locations of utilities are approximate.
 - It shall be the contractor's responsibility to notify Dig-Safe (1-800-225-4977) in accordance with Maine State Law. The contractor shall have all of the utilities located prior to the start of construction.
 - Prior to the beginning of construction, the contractor shall secure all necessary permits for work shown on these plans, including a Street Opening Permit from the Portland Public Works Department.
 - Property markers and street line monuments shall be properly protected and shall not be disturbed. If disturbed, they shall be replaced by a licensed surveyor at the contractor's expense.
 - All existing catch basins, manholes, connections, and outlet piping shall be cleaned and left in satisfactory operating condition after construction has been completed. No separate payment will be made for this work.
 - All existing streets, walkways, driveways and lawn areas outside the work area, damaged by the contractor, shall be repaired by the contractor at his own expense.
 - The contractor shall be responsible for the preservation of all trees and shrubs on the project, which are not scheduled to be removed.
 - Existing pavement shall be saw cut and the new pavement built to it. No feathering of pavement will be permitted.
 - Existing drainage structures shall not be disturbed except to tie in new work as noted.
 - Before connecting new sewer to an existing sewer line, the contractor shall notify the Sewer Maintenance Division of the Portland Public Works Department. NO WORK SHALL BE DONE WITHOUT THEIR APPROVAL.
 - The contractor shall be responsible for repairing any trench pavement that has experienced excessive settlement, cracking and cornering of joints. Repairs may include overlay, removal of unacceptable materials, complete replacement, joint sealing or resurfacing pavement as required. The work may be necessary AFTER THE FINAL ACCEPTANCE of work or prior to the one year guarantee. This work shall be done at the contractor's expense.
 - All manhole frames shall be supplied with solid manhole covers; see Standard Detail.
 - New catchbasins shall have Type A-4 catch basin stone.
 - Complete utility service stubs shall be installed to the property line for each lot, as shown or as may be required. The owner will determine where lot service stubs may be required for any future street side lots.
 - The contractor shall be solely responsible for all means, methods and techniques employed to perform the work shown on these plans.
 - All work shall comply with all local, state and federal safety regulations.
 - All work shall be in accordance with the City of Portland and utility companies' standards.
 - No blasting will be allowed within 500 feet of any utility without the notification and approval of the appropriate utility company. No hedge blasting will be permitted within the utility company easements until written approval from the utility is given.
 - Vertical datum is based on a benchmark established by John L. Cochran, PLS, bearing a survey side range bolt on the hydrant in front of #1881 Forest Avenue in August 1987 (Elevation 113.14). Vertical datum was extended through the project using closed vertical traverses by Land Use Consultants, Inc.
 - A minimum of two trees shall be conserved or planted by the developer in front of each lot, in accordance with The City of Portland Arbores Specifications. Location and species may vary. Developer may contract for the placement of landscaping, but ultimately shall remain financially liable to the City of Portland for compliance with the City ordinances. Such financial obligation shall be neither waived nor transferred by the developer.

- NOTES:**
- USE 4" TO 4 1/2" STAKES EMBEDDED TO A MINIMUM OF 1 FOOT.
 - EXTRA-STRENGTH FILTER FABRIC REQUIRED.



CONSTRUCTION OF A GEOTEXTILE SEDIMENT FILTER BARRIER
NOT TO SCALE



LUC
LAND USE CONSULTANTS INC.
100 W. BROAD STREET
PORTLAND, MAINE 04101
TEL: 603.761.1100

STATE OF MAINE
REGISTERED PROFESSIONAL ENGINEER
KARLA A. BOND
NO. 1317

WOODFORDS GARDENS
PORTLAND, MAINE
PREPARED FOR RECORD OWNER:
DIVERSIFIED PROPERTIES, INC.
PORTLAND, MAINE 04107
P.O. BOX 1027

DETAILS

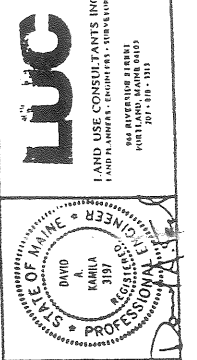
Job No. 1851.8
Sheet
2 of 3

Designed: JRG
Drawn: SMC
Checked: DAK
Scale: NO SCALE
Date: APRIL 9, 1999

Revision
R.D.Y. / D.L. / R.V.
Date
11-8-99

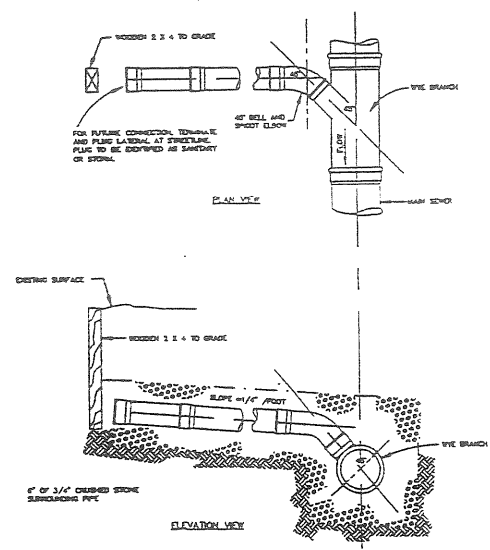
**MANHOLE AND CATCH BASIN
GENERAL NOTES**

1. ALL CONCRETE SHALL BE A CLASS "A" AND HAVE A MINIMUM ULTIMATE STRENGTH OF 4000 LBS. PER SQ. INCH AT THE END OF 28 DAYS, UNLESS OTHERWISE NOTED.
2. PRECAST REINFORCED CONCRETE MANHOLE MANUFACTURE PER ASTM SPEC. C-478-57
3. SEWER BRICK TO CONFORM TO ASTM SPEC. DESIGNATE ON C-32-63, GRADE MA AND SA.
4. ALL MANHOLES SHALL HAVE A BITUMINOUS WATERPROOFING APPLIED TO THE EXTERIOR SURFACE. IF CONSTRUCTION OF BRICK MASONRY, THE SMOOTH MORTAR SURFACE SHALL BE PLASTERED WITH A SMOOTH MORTAR FINISH 3/8" THICK. AFTER THE MORTAR HAS SET, THE SURFACE SHALL BE WATERPROOFED AS REQUIRED BY SUPPLEMENTAL SPECIFICATIONS SECTION 604.
5. CASTINGS SHALL CONFORM TO ASTM DESIGNATION A48-CLASS 35. ALL PARTS OF CASTINGS, EXCEPT FINISHED SURFACE, SHALL RECEIVE A COAT OF COAL TAR PITCH VARNISH OR ASPHALTUM PAINT WHICH SHALL BE SMOOTH AND TOUGH BUT NOT BRITTLE.
6. MANHOLES MAY BE CONSTRUCTED OF BRICK MASONRY, PRECAST REINFORCED CONCRETE, OR CAST IN PLACE.
7. ALL PRECAST MANHOLES AND CATCH BASINS SHALL BE IDENTIFIED BY STATION AND OFFSET, PRINTED ON THE SIDE OF THE STRUCTURE BY THE MANUFACTURER.
8. STORM AND SEWER MANHOLES SHALL HAVE SOLID COVERS WITH ONE DRILLED HOLE.
9. EXISTING MANHOLE AND CATCH BASIN FRAMES AND COVERS SHALL BE SALVAGED BY THE CONTRACTOR, AND REMAIN THE PROPERTY OF THE CITY OF PORTLAND.

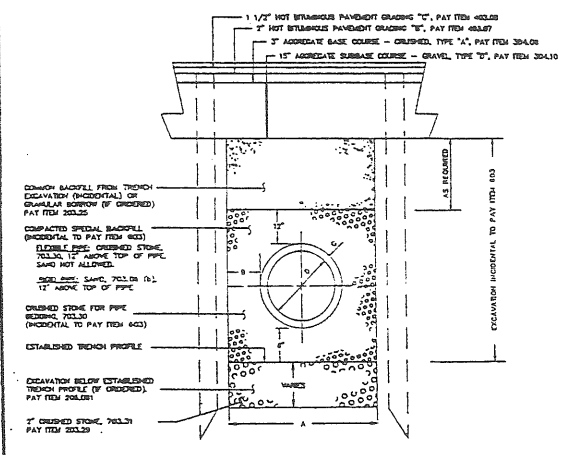


PLAN SHOWING A PORTION OF:
WOODFORDS GARDENS
PORTLAND, MAINE
PREPARED FOR RECORD OWNER:
DIVERSIFIED PROPERTIES, INC.
P.O. BOX 1027
PORTLAND, MAINE 04104

NOTE: LOCATION/MARKING TAPE SHALL BE INSTALLED OVER CENTERLINE OF PIPE AT A MAXIMUM OF 24 INCHES BELOW FINISH GRADE.

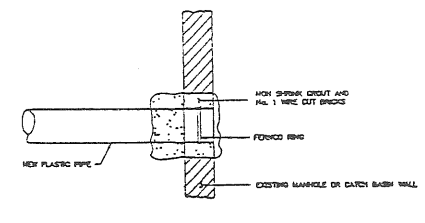


TYPICAL HOUSE LATERAL VYE CONNECTION DETAIL
NOT TO SCALE

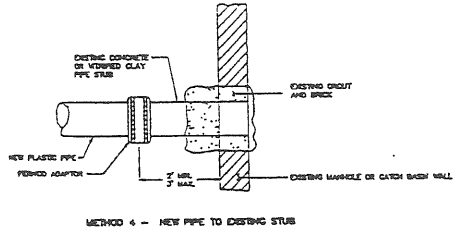


TYPICAL PIPE INSTALLATION DETAIL

NOTE: EXISTING MANHOLE OR CATCH BASIN SHALL BE CORE DRILLED FOR PIPE INSTALLATION

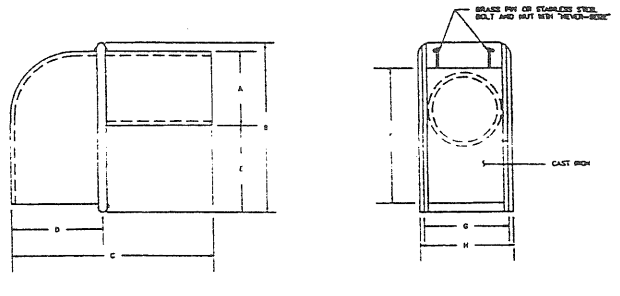


METHOD 3 - NEW PIPE INTO EXISTING STRUCTURE



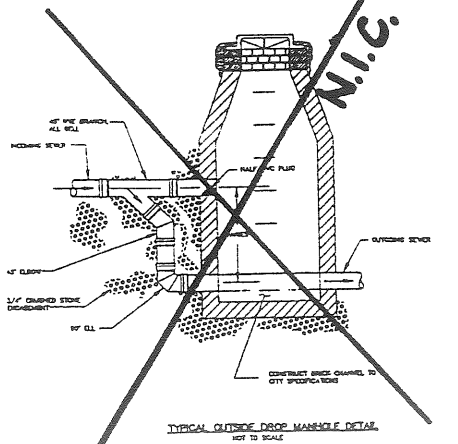
METHOD 4 - NEW PIPE TO EXISTING STUB

NOTE: BOLT AND NUT REQUIRED WHERE HOOD WILL NOT OPEN COMPLETELY

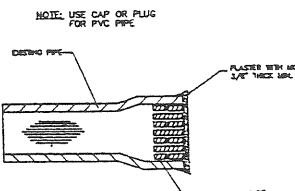


SIZE	A	B	C	D	E	F	G	H
6 in.	5 1/2"	13 3/8"	13 3/4"	5 3/8"	5 7/8"	11 5/8"	6 1/2"	7 1/4"
8 in.	7 1/2"	15"	15 3/8"	5 1/2"	5 3/8"	13 3/4"	8 3/4"	9 3/8"
10 in.	9 1/2"	16"	16 1/4"	6"	4 1/2"	14 1/8"	11 1/2"	12 3/8"
12 in.	11 1/2"	17"	22"	8"	3 1/2"	17"	12 1/2"	13 3/8"

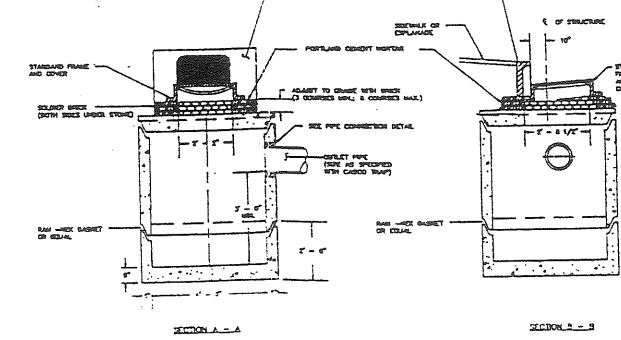
CASCO TRAP DETAIL



TYPICAL OUTSIDE DROP MANHOLE DETAIL
NOT TO SCALE

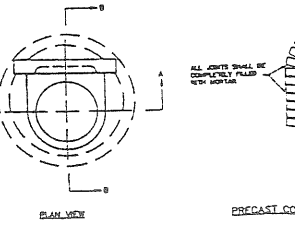


MASONRY PLUG DETAIL
NOT TO SCALE

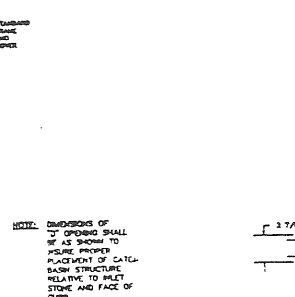


PRECAST CONCRETE CATCH BASIN TYPE "1"
PLAN VIEW

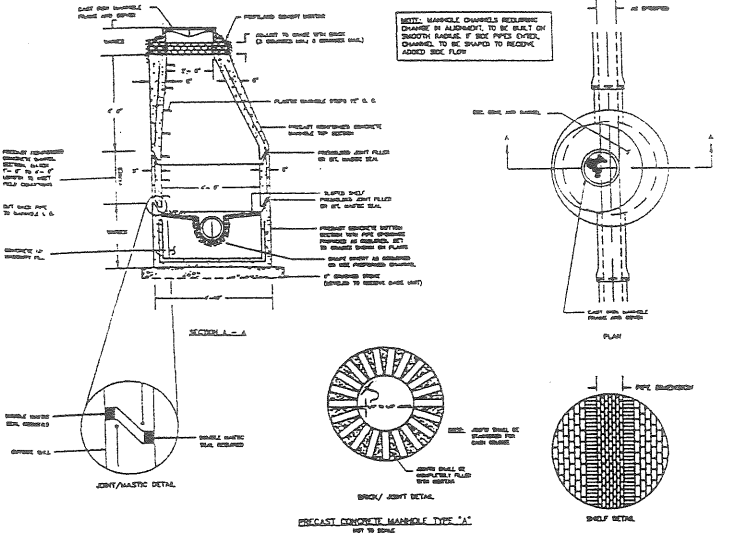
NOTE: DIVISIONS OF OPENING SHALL BE AS SHOWN TO MAINTAIN PROPER PLACEMENT OF CATCH BASIN STRUCTURE RELATIVE TO INLET STUB AND FACE OF CURB.



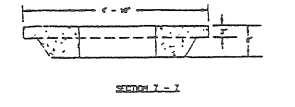
BRICK/JOINT DETAIL



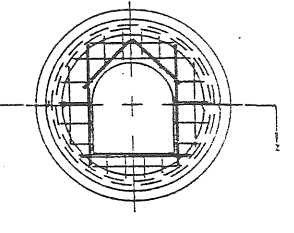
PLASTIC MANHOLE STEPS
NOT TO SCALE



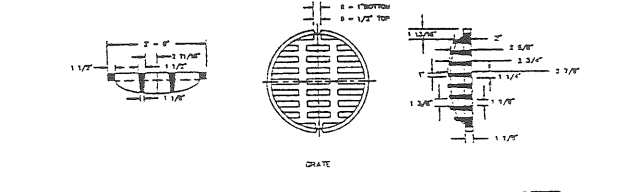
PRECAST CONCRETE MANHOLE TYPE "A"
NOT TO SCALE



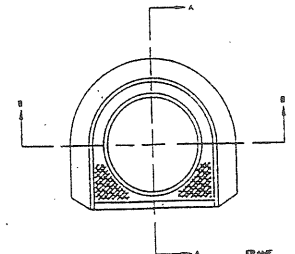
SECTION 7-1



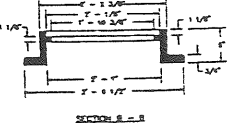
PRECAST CATCH BASIN COVER WITH "12" HOLE



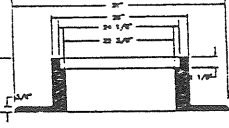
GRATE



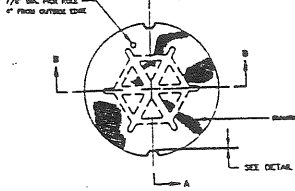
SECTION A-A



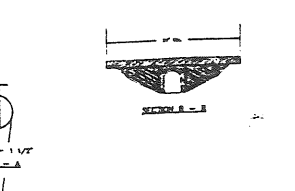
SECTION B-B



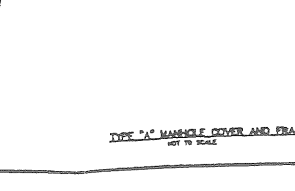
SECTION C-C



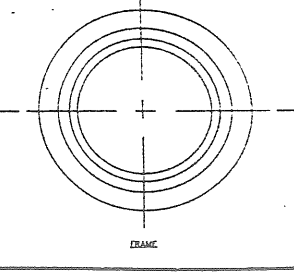
SECTION D-D



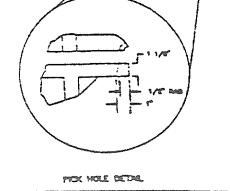
SECTION E-E



SECTION F-F



TYPE "1A" MANHOLE COVER AND FRAME
NOT TO SCALE



PICK HOLE DETAIL

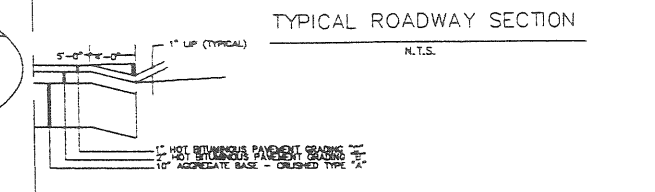
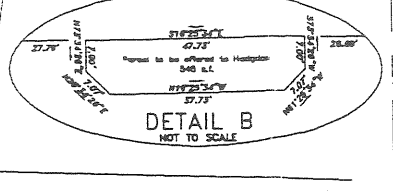
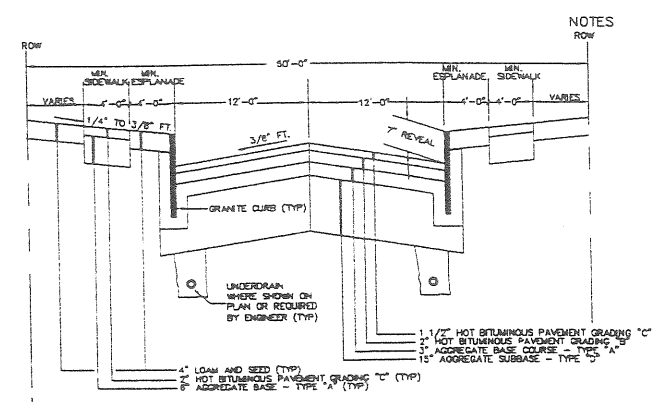
Date	Revision

Designed: JRG
Drawn: SMC
Checked: DAK
Scale: AS SHOWN
Date: APRIL 9, 1999

MAGNETIC NORTH AS SHOWN ON PLAN OF "HILLCREST WEST" SEE REFERENCE 4

LOT	AREA (sq. ft.)	AREA (ac.)
162	10,432.00	0.23
163	10,000.00	0.23
164	10,000.00	0.23
165	10,000.00	0.23
166	10,000.00	0.23
167	10,000.00	0.23
168	10,000.00	0.23
169	10,000.00	0.23
170	10,000.00	0.23
171	10,000.00	0.23
172	10,000.00	0.23
R.O.W.	31,746.67	0.73
TOTAL	142,572.67	3.27

- LEGEND**
- Iron pin found
 - Granite monument found
 - N/F Now or formerly
 - ▨ Existing building
 - Utility pole
 - Catch basin
 - Sewer manhole
 - Edge of pavement
 - 68.21 Spot elevation
 - Existing contour
 - Drain manhole
 - Water valve
 - Capped Iron Rod Set PLS #1273
 - (S18) Subdivision Lot Number



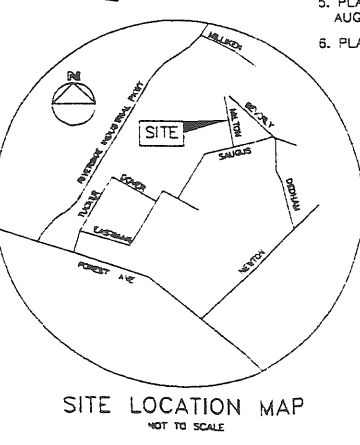
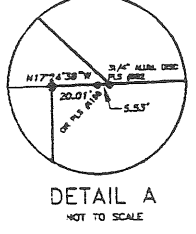
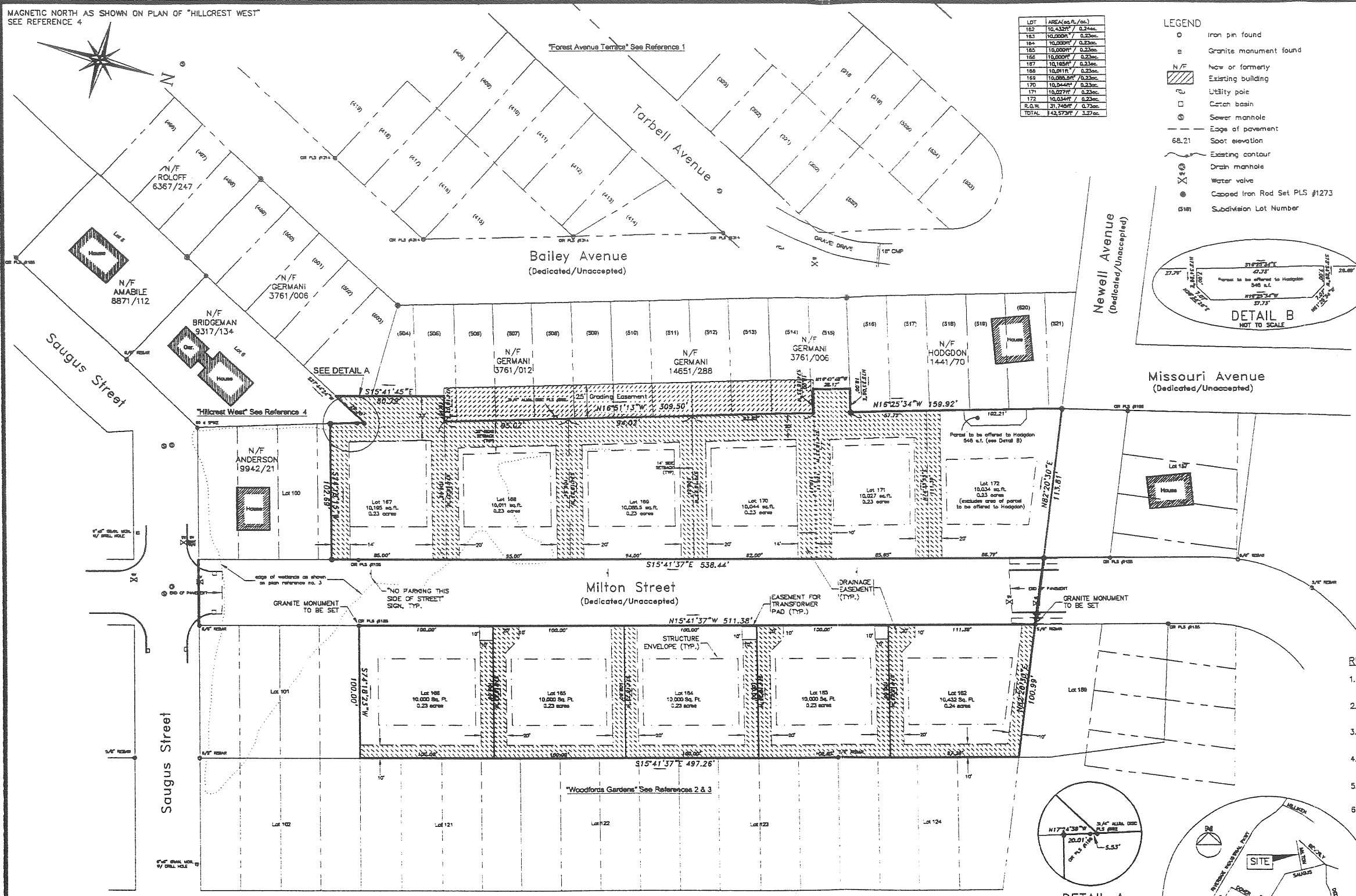
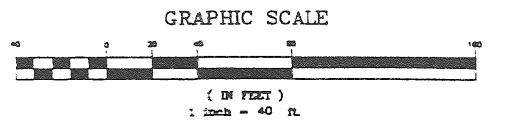
Approved by the City of Portland Planning Board
Dated _____

- NOTES**
- ELEVATIONS ARE BASED ON INFORMATION PROVIDED BY LAND USE CONSULTANTS, BEING THE SAME VERTICAL DATUM AS SHOWN ON THE PLAN/PROFILE OF MILTON STREET, SEE REFERENCE 6.
 - BENCH MARK: FRONT SPINDLE NUT ON HYDRANT AT BRAINTREE AND BEVERLY STREETS ELEVATION = 73.86.

OWNERS OF RECORD
PHILIP & NANCY GERMANI 3761/6 3761/9 3761/12 14651/288 3725/132
DIVERSIFIED PROPERTIES 11842/315

- REFERENCES**
- PLAN OF "FOREST AVENUE TERRACE", DATED MAY 17, 1910, RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 12, PAGE 5.
 - PLAN OF "WOODFORDS GARDENS", DATED NOV. 16, 1916, RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 13, PAGE 75.
 - "PLAN SHOWING A PORTION OF WOODFORDS GARDENS", DATED AUG. 5, 1993, RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 196, PAGE 140.
 - PLAN OF "HILLCREST WEST", DATED 5/15/1988, RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 176, PAGE 52.
 - PLAN OF A "STANDARD BOUNDARY SURVEY AT 115-127 TARBELL AVE.", DATED AUG. 18, 1998, MADE BY DESLAURIERS & ASSOC., INC.
 - PLAN/PROFILE OF MILTON STREET MADE BY LAND USE CONSULTANTS DATED 04/09/99

NO.	REVISION	DATE	BY
Rev. 1	Remove barn from Hodgdon property	11/16/99	JNS
Rev. 2	Lots 171 and 172	11/29/98	DET
Rev. 3	Lots 171 & 172, Hodgdon parcel	11/21/98	DET
Rev. 4	25' Grading Easement	01/05/04	DET



- LEGEND**
- Iron pin found
 - Granite monument found
 - N/F Now or formerly
 - ▨ Existing building
 - Utility pole
 - Catch basin
 - Sewer manhole
 - Edge of pavement
 - 68.21 Spot elevation
 - Existing contour
 - Drain manhole
 - Water valve
 - Capped Iron Rod Set PLS #1273
 - (S18) Subdivision Lot Number
 - Potential Edge of Driveway
 - ▭ Potential Building Location
 - Potential Contour

NOTES:
THE PURPOSE OF THIS PLAN IS TO SHOW THE RECONFIGURATION OF CERTAIN LOTS PURSUANT TO SECTION 14-406(3) OF THE LAND USE CODE OF ORDINANCES OF THE CITY OF PORTLAND.

DEVELOPMENT OF THE PARCELS PROPOSED AS PART OF THIS PLAN SHALL BE IN ACCORDANCE WITH DIVISION 8 (SECTIONS 14-76 THROUGH 14-81) OF CHAPTER 14, LAND USE, OF THE CODE OF ORDINANCES OF THE CITY OF PORTLAND, SUPPLEMENT 5, DATED JANUARY 1999. EXCEPTS OF THE DIMENSIONAL REQUIREMENTS ARE PRESENTED BELOW.

MINIMUM LOT SIZE	10,000 S.F.
MINIMUM FRONTAGE <td>50 FT.</td>	50 FT.
MINIMUM SETBACKS:	
FRONT YARD <td>25 FT.</td>	25 FT.
REAR YARD <td>20 FT.</td>	20 FT.
SIDE YARD * <td></td>	
1 STORY <td>12 FT.</td>	12 FT.
1 1/2 STORIES <td>12 FT.</td>	12 FT.
2 STORIES <td>14 FT.</td>	14 FT.
2 1/2 STORIES <td>16 FT.</td>	16 FT.
MINIMUM LOT WIDTH <td>80 FT.</td>	80 FT.

* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN TWELVE (12) FEET IN WIDTH. ** SIDE YARDS SHOWN ON PLAN ARE 14 FEET AND MAY BE INCREASED OR DECREASED DEPENDING UPON NUMBER OF STORIES.

STRUCTURE ENVELOPES AS SHOWN ON THIS PLAN REPRESENT THE MAXIMUM AREA FOR CONSTRUCTION OF THE PRINCIPAL STRUCTURE. ANY CHANGES TO SUCH AREA MUST RECEIVE THE WRITTEN APPROVAL OF THE CITY OF PORTLAND PLANNING AUTHORITY PRIOR TO COMMENCEMENT OF CONSTRUCTION AND MUST BE RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS WITH A REFERENCE TO THE PLAN BOOK AND PAGE FOR THIS PLAN.

EACH LOT SHALL REQUIRE THE SUBMISSION OF A SITE PLAN FOR REVIEW AND APPROVAL PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, AND SHALL BE SUBJECT TO REVIEW PURSUANT TO ARTICLE V OF CHAPTER 14 OF THE PORTLAND CITY CODE.

MINIMUM ELEVATIONS FOR THE LOWEST BUILDING OPENING AND BUILDING SILL MUST BE AS DEPICTED ON THIS PLAN. THE LOWEST BUILDING OPENING ELEVATION SHALL BE CALCULATED AS AN ELEVATION A MINIMUM OF SIX INCHES ABOVE THE ROAD CENTERLINE ELEVATION. THE BUILDING SILL ELEVATION SHALL BE CALCULATED AS AN ELEVATION A MINIMUM OF TWO FEET ABOVE THE ROAD CENTERLINE ELEVATION. MODIFICATION OF THE MINIMUM BUILDING OPENING ELEVATION FOR ANY LOT MAY BE APPROVED BY THE PORTLAND PLANNING AUTHORITY UNDER SITE PLAN REVIEW, PROVIDED THAT AN ACCEPTABLE GRADING PLAN DEMONSTRATES POSITIVE DRAINAGE FLOWS AWAY FROM THE PROPOSED OPENING. SAID MODIFICATIONS SHALL BE APPROVED IN WRITING BY THE PORTLAND PLANNING AUTHORITY PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, ANY CHANGES TO SUCH ELEVATIONS MUST BE RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS, WITH REFERENCE TO THE PLAN BOOK AND PAGE NUMBERS FOR THIS PLAN.

A MINIMUM OF TWO TREES PER LOT SHALL BE CONSERVED OR PLANTED IN THE FRONT YARD OF EACH LOT MEETING THE CITY OF PORTLAND'S ARBORICULTURAL SPECIFICATION AND STANDARD OF PRACTICE AND LANDSCAPE DESIGN GUIDELINES. DEVELOPER MAY CONTRACT FOR THE PLACEMENT OF LANDSCAPING, BUT SHALL REMAIN ULTIMATELY LIABLE TO THE CITY OF PORTLAND FOR FINANCIAL OBLIGATION FOR COMPLIANCE WITH CITY ORDINANCES AND APPROVALS. SUCH FINANCIAL OBLIGATION SHALL BE NEITHER TRANSFERABLE NOR WAIVABLE BY THE DEVELOPER PURSUANT TO CONDITIONS AND LIMITATIONS OF SECTION 6 OF THE CITY OF PORTLAND, MAINE TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.

ALL DRIVEWAYS SHALL BE PAVED WITHIN ONE (1) YEAR OF THE RECEIPT OF CERTIFICATE OF OCCUPANCY.

PRIVATE DRAINAGE EASEMENTS: TREE CLEARING, CONSTRUCTION OF BUILDINGS, FILLING, REGRADING, OR OTHER OBSTRUCTIONS SHALL BE PROHIBITED WITHIN THE PRIVATE DRAINAGE EASEMENTS, UNLESS APPROVED IN WRITING BY THE CITY OF PORTLAND PLANNING DEPARTMENT UNDER SITE PLAN REVIEW.

NO PUBLIC SERVICES (I.E. SNOW PLOWING, TRASH REMOVAL, LIGHTING) WILL BE PROVIDED UNLESS AND UNTIL THIS SECTION OF MILTON STREET IS ACCEPTED BY THE CITY COUNCIL.

Milton Street Extension Subdivision
Bailey Avenue & Milton Avenue, Portland, Maine

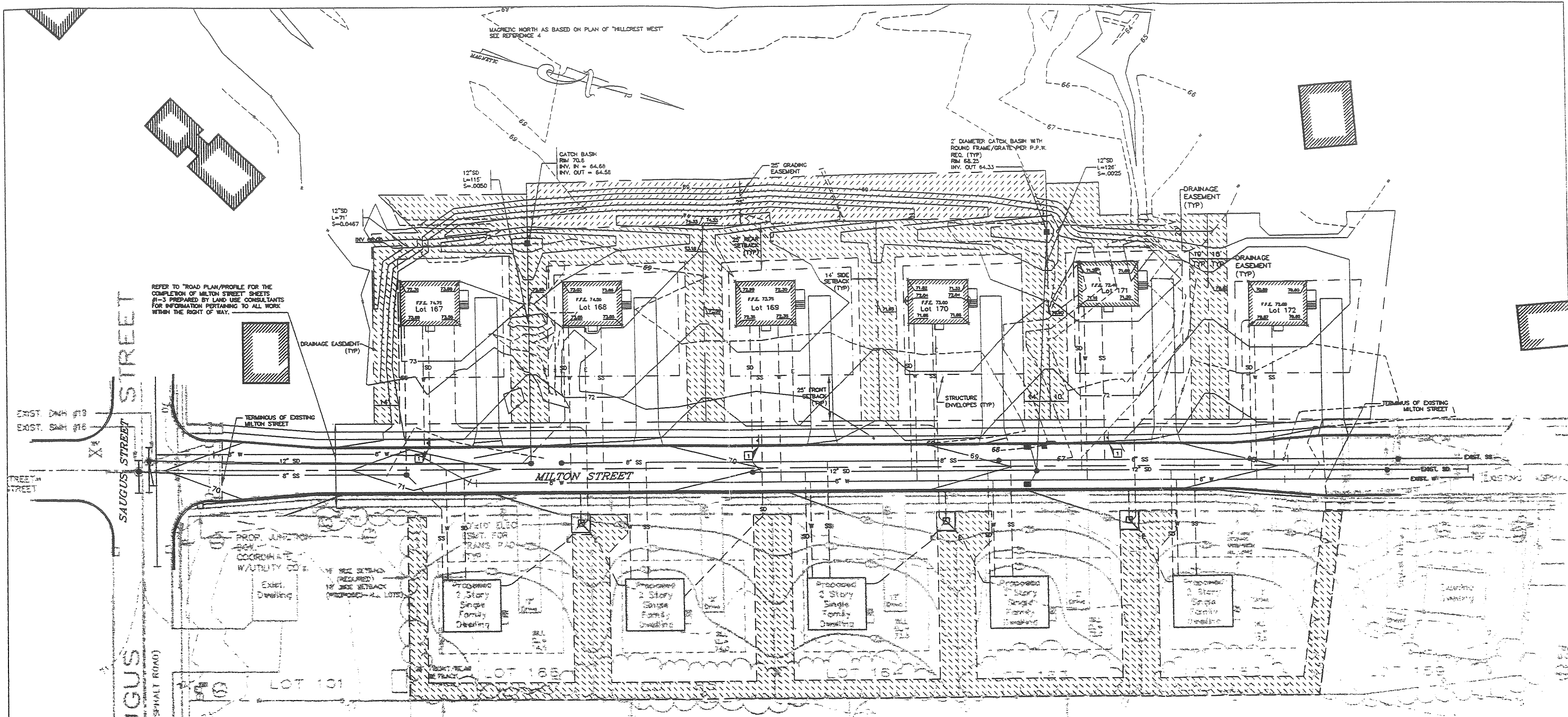
MADE FOR
Diversified Properties
P.O. Box 10127
Portland, Maine 04104

THIS SURVEY CONFORMS TO THE CURRENT STANDARDS OF THE MAINE STATE BOARD OF LICENSURE FOR LAND SURVEYORS FOR CATEGORY I, CONDITION II, EXCEPT AS NOTED:

Exceptions:
1. No monumentation set as of plan date.
2. No written report.

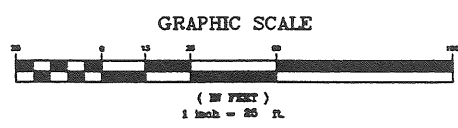
JOB# 99049sub_r5	DATE: 10/08/99	SCALE: 1" = 40'
BOOK# 546		
DISC#		
FILE# 7910		

Titcomb Associates
133 Gray Road
Falmouth, Maine 04105



REFER TO "ROAD PLAN/PROFILE FOR THE COMPLETION OF MILTON STREET" SHEETS #1-3 PREPARED BY LAND USE CONSULTANTS FOR INFORMATION PERTAINING TO ALL WORK WITHIN THE RIGHT OF WAY.

PLAN VIEW



- LEGEND**
- Iron pin found
 - Granite monument found
 - ▨ Now or formerly
 - ▧ Existing building
 - Utility pole
 - Catch basin
 - Sewer manhole
 - Edge of pavement
 - Spot elevation
 - Existing contour
 - Drain manhole
 - Water valve
 - Capped Iron Rod Set PLS #1273
 - Subdivision Lot Number
 - Potential Edge of Driveway
 - Potential Building Location
 - Potential Contour

NOTES:

THE PURPOSE OF THIS PLAN IS TO SHOW THE RECONFIGURATION OF CERTAIN LOTS PURSUANT TO SECTION 14-400(3) OF THE LAND USE CODE OF ORDINANCES OF THE CITY OF PORTLAND.

DEVELOPMENT OF THE PARCELS PROPOSED AS PART OF THIS PLAN SHALL BE IN ACCORDANCE WITH DIVISION 6 (SECTIONS 14-75 THROUGH 14-81) OF CHAPTER 14, LAND USE, OF THE CODE OF ORDINANCES OF THE CITY OF PORTLAND, SUPPLEMENT 5, DATED JANUARY 1998. EXCERPTS OF THE DIMENSIONAL REQUIREMENTS ARE PRESENTED BELOW.

MINIMUM LOT SIZE	10,000 S.F.
MINIMUM FRONTAGE	50 FT.
MINIMUM SETBACKS:	
FRONT YARD	25 FT.
REAR YARD	25 FT.
SIDE YARD *	
1 STORY	12 FT.
1 1/2 STORIES	12 FT.
2 STORIES	14 FT **
2 1/2 STORIES	16 FT.
MINIMUM LOT WIDTH	60 FT.

* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED. BUT NO SIDE YARD SHALL BE LESS THAN TWELVE (12) FEET IN WIDTH.

** SIDE YARDS SHOWN ON PLAN ARE 14 FEET AND MAY BE INCREASED OR DECREASED DEPENDING UPON NUMBER OF STORES.

STRUCTURE ENVELOPES AS SHOWN ON THIS PLAN REPRESENT THE MAXIMUM AREA FOR CONSTRUCTION OF THE PRINCIPAL STRUCTURE. ANY CHANGES TO SUCH AREA MUST RECEIVE THE WRITTEN APPROVAL OF THE CITY OF PORTLAND PLANNING AUTHORITY PRIOR TO COMMENCEMENT OF CONSTRUCTION AND MUST BE RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS WITH A REFERENCE TO THE PLAN BOOK AND PAGE FOR THIS PLAN.

EACH LOT SHALL REQUIRE THE SUBMISSION OF A SITE PLAN FOR REVIEW AND APPROVAL PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, AND SHALL BE SUBJECT TO REVIEW PURSUANT TO ARTICLE V OF CHAPTER 14 OF THE PORTLAND CITY CODE.

MINIMUM ELEVATIONS FOR THE LOWEST BUILDING OPENING AND BUILDING SILL MUST BE AS INDICATED ON THIS PLAN. THE LOWEST BUILDING OPENING ELEVATION SHALL BE CALCULATED AS AN ELEVATION A MINIMUM OF SIX INCHES ABOVE THE ROAD CENTERLINE ELEVATION. THE BUILDING SILL ELEVATION SHALL BE CALCULATED AS AN ELEVATION A MINIMUM OF TWO FEET ABOVE THE ROAD CENTERLINE ELEVATION. MODIFICATION OF THE MINIMUM BUILDING OPENING ELEVATION FOR ANY LOT MAY BE APPROVED BY THE PORTLAND PLANNING AUTHORITY UNDER SITE PLAN REVIEW, PROVIDED THAT AN ACCEPTABLE GRADING PLAN DEMONSTRATES POSITIVE DRAINAGE FLOWS AWAY FROM THE PROPOSED OPENING. SAID MODIFICATIONS SHALL BE APPROVED IN WRITING BY THE PORTLAND PLANNING AUTHORITY PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. ANY CHANGES TO SUCH ELEVATIONS MUST BE RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS, WITH REFERENCE TO THE PLAN BOOK AND PAGE NUMBERS FOR THIS PLAN.

A MINIMUM OF TWO TREES PER LOT SHALL BE CONSERVED OR PLANTED IN THE FRONT YARD OF EACH LOT MEETING THE CITY OF PORTLAND'S AGRICULTURAL SPECIFICATION AND STANDARD OF PRACTICE AND LANDSCAPE DESIGN GUIDELINES. DEVELOPER MAY CONTRACT FOR THE PLACEMENT OF LANDSCAPING, BUT SHALL REMAIN ULTIMATELY LIABLE TO THE CITY OF PORTLAND FOR FINANCIAL OBLIGATION FOR COMPLIANCE WITH CITY ORDINANCES AND APPROVALS. SUCH FINANCIAL OBLIGATION SHALL BE NEITHER TRANSFERABLE NOR WAIVABLE BY THE DEVELOPER PURSUANT TO CONDITIONS AND LIMITATIONS OF SECTION 4 OF THE CITY OF PORTLAND, MAINE TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.

ALL DRIVEWAYS SHALL BE PAVED WITHIN ONE (1) YEAR OF THE RECEIPT OF CERTIFICATE OF OCCUPANCY.

PRIVATE DRAINAGE EASEMENTS, TREE CLEARING, CONSTRUCTION OF BUILDINGS, FILING, RESTORATION OF OTHER CONSTRUCTIONS SHALL BE PROVIDED WITHIN THE PRIVATE DRAINAGE EASEMENTS, UNLESS APPROVED IN WRITING BY THE CITY OF PORTLAND PLANNING DEPARTMENT UNDER SITE PLAN REVIEW.

TOTAL AREA LOTS = 101,417.42 S.F. / 2.33 ACRES
ELEVATIONS ARE BASED ON INFORMATION PROVIDED BY LAND USE CONSULTANTS, BEING THE SAME VERTICAL DATUM AS SHOWN ON THE PLAN/PROFILE OF MILTON STREET, SEE REFERENCE 5.
BENCH MARK: FRONT SPRINKLE NUT ON HYDRANT AT BRANTREE AND BEVELLY STREETS ELEVATION = 73.68.

- REFERENCES**
1. PLAN OF "FOREST AND/OR TERRACE", DATED MAY 17, 1910, RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 12, PAGE 5.
 2. PLAN OF "WOODFORDS GARDENS", DATED NOV. 16, 1916, RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 13, PAGE 75.
 3. "PLAN SHOWING A PORTION OF WOODFORDS GARDENS", DATED AUG. 5, 1933, RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 196, PAGE 140.
 4. PLAN OF "HILLCREST NEST", DATED 5/19/1988, RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 176, PAGE 32.
 5. PLAN OF A "STANDARD BOUNDARY SURVEY AT 115-127 TARBELL AVE.", DATED AUG. 18, 1988, MADE BY DESLAURIES & ASSOC., INC.
 6. PLAN/PROFILE OF MILTON STREET MADE BY LAND USE CONSULTANTS DATED 04/09/99

NO PUBLIC SERVICES (I.E. SNOW PLOWING, TRASH REMOVAL, LIGHTING) WILL BE PROVIDED UNLESS AND UNTIL THIS SECTION OF MILTON STREET IS ACCEPTED BY THE CITY COUNCIL.

4	1/13/00	REVISED SD SERVICE: LOTS 165, 168 & 169
3	1/7/00	REVISED PER COMMENTS FROM CITY OF PORTLAND
2	12/20/99	MODIFIED LOTS 171 AND 172
1	9/24/99	MODIFIED LOT LAYOUT EAST OF MILTON STREET
Rev.	Date	Revision

PLANNING BOARD WORKSHOP SUBMISSION	7/30/99	AMP
Issued For	Date	By

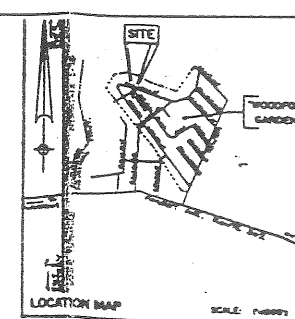
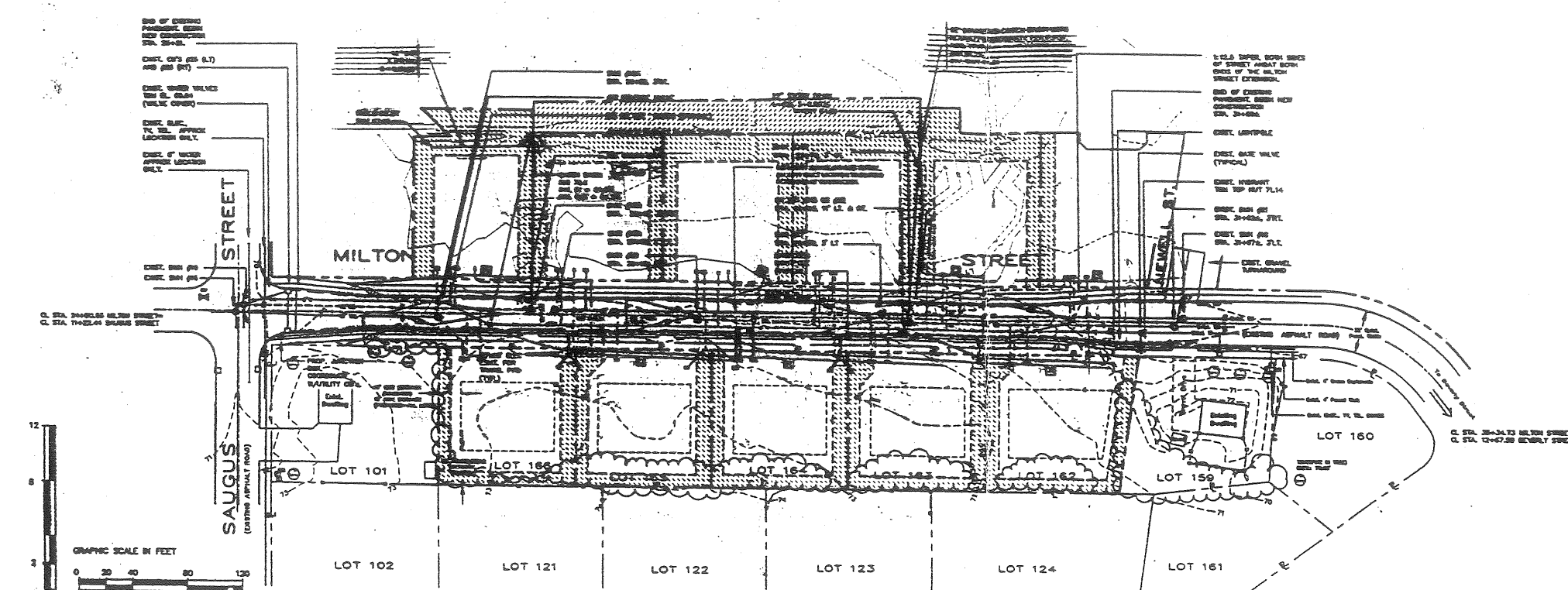
Design: AMP Draft: JBC, V.V. Date: 1/6/00
Checked: Scales: 1" = 25' Job No.: 99060

This plan shall not be modified without written permission from Gorrill-Palmer Consulting Engineers, Inc.(GPCE). Any alterations, unauthorized or otherwise, shall be at the user's sole risk and without liability to GPCEI.

GP Gorrill-Palmer Consulting Engineers, Inc.
PO Box 1237 Traffic and Civil Engineering Services FAX: 207-657-6910
31 Main Street Gray, ME 04039 E-Mail: gpec@maine.net

Drawing Name:	Conceptual Development Plan
Project:	MILTON STREET EXTENSION

Drawing No.
5



REVISIONS:

No.	DATE	DESCRIPTION
1		ADDED GAS PIPING, WATER, UTILITY LOCATIONS

GENERAL NOTES:

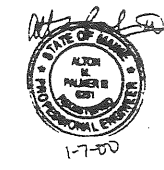
- 1) TOPOGRAPHIC DATA SHOWN HEREON IS A RESULT OF AN 8'-BY-8'-GRID FIELD SURVEY PERFORMED BY LAND USE CONSULTANTS, INC. ON MARCH 28, 1998.
- 2) LINES LABELED "R" HEREON ARE APPROXIMATE PROPERTY LINES AND ARE NOT THE RESULT OF A STANDARD BOUNDARY SURVEY.
- 3) THE ELEVATIONS SHOWN HEREON ARE BASED UPON A BENCHMARK (BM) IN 1982 AS SHOWN HEREON. PLUMBED TO THIS BENCHMARK OF 78.67'. THE HORIZONTAL DATUM IS NAD 83.

PLAN REFERENCES:

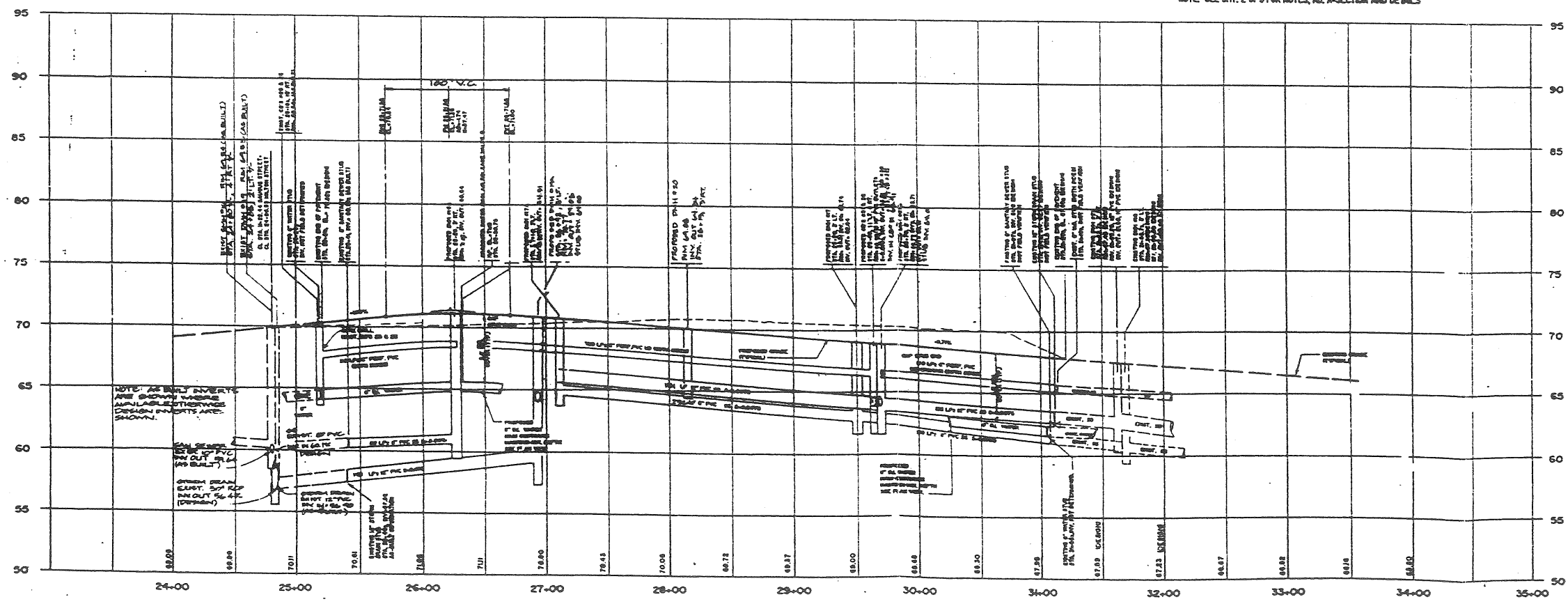
- 1) PLAN SHOWS A PORTION OF WOODFORDS GARDENS OFF PORTLAND AVENUE, PORTLAND, MAINE, PREPARED FOR RECORD BY LAND USE CONSULTANTS, INC. ON MARCH 28, 1998. PLUMBED TO THIS BENCHMARK OF 78.67'. THE HORIZONTAL DATUM IS NAD 83 AND LAST REVISED OCTOBER 28, 1998.

REVISIONS BY CONSULTANTS CONSULTING ENGINEERS, INC. ENCLOSED. ADDRESS OF LOTS AND GENERAL SURVEY INFORMATION ON THE WEST SIDE OF SAUGUS STREET. ADDRESS OF UTILITY SERVICES TO ALL LOTS, ADDRESS OF DRAINAGE DITCHES AND PIPES SHOWN HEREON FROM LOTS 101 AND 102.

PROFESSIONAL ENGINEER'S SEAL AND SIGNATURE SHALL BE APPLIED TO INFORMATION ADDRESS ON THE NEXT SHEET.



NOTE: SEE SHEET 2 OF 3 FOR NOTES, RD. X-SECTION AND DETAILS



LEGEND:

- CATCH BASIN
- MANHOLE
- SANITARY SEWER MANHOLE
- VENT STACK OFF
- GAS MAIN
- WATER - GROUND
- ELECTRICAL, FIBER OPTIC, TELEPHONE PIPING
- TELEPHONE POLE
- GROUND FORCE
- TREE LINE

LUC
LAND USE CONSULTANTS, INC.
Land Planners • Engineers • Surveyors
385 Riverside Street, Portland, Maine 04103
207-676-3243

TITLE:
ROAD PLAN/PROFILE
For the Completion of
MILTON STREET
Being a Portion of
WOODFORDS GARDENS
Portland, Maine

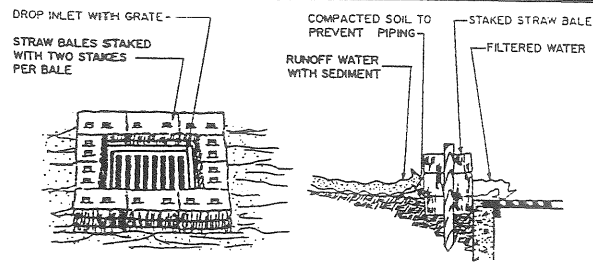
PREPARED FOR:
DIVERSIFIED PROPERTIES, INC.
P.O. BOX 10127
PORTLAND, MAINE

DATE: 11/9/99
COMP./DESIGN: JAC
CHECK: DKK
DRAWN: SHH

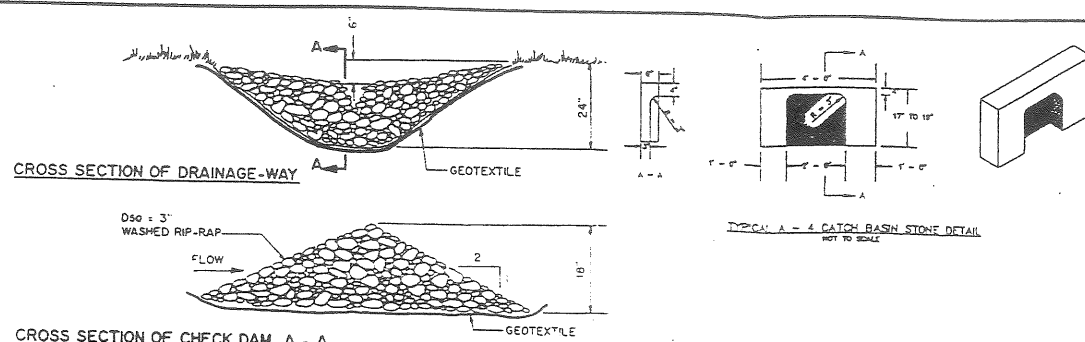
SCALE: Horizontal 1" = 40', Vertical 1" = 4'

JOB NO.: 1091-8
DWG NO.: 1091-8-PL/PRD/PRF
SHEET 1 OF 3

40 20 0 20 40



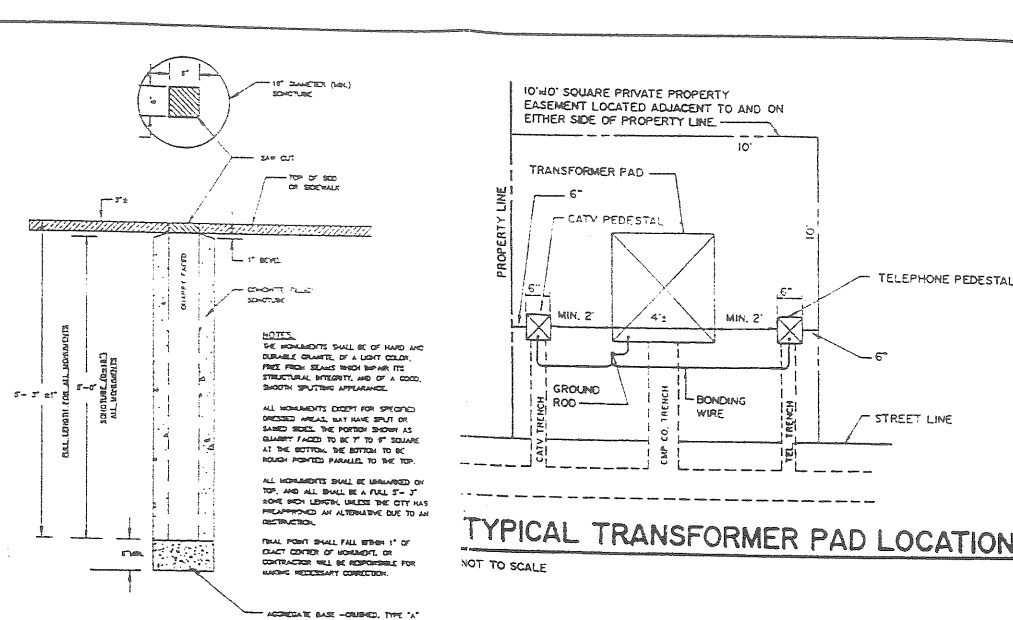
STRAW BALE DROP INLET SEDIMENT FILTER
NOT TO SCALE



CROSS SECTION OF CHECK DAM A - A

- ONCE THE AREAS UPSTREAM FROM THE CHECK DAM ARE STABILIZED BY VEGETATION, THE SEDIMENT TRAPPED BEHIND / WITHIN THE DAM SHALL BE RELOCATED TO AN AREA UNDERGOING FINAL GRADING.
- THE CHECK DAMS SHALL THEN BE FLATTENED AND GRADED IN A MANNER WHICH PROTECTS THE AREA FROM EROSION AND CHANNEL BLOCKAGE.
- THE GEOTEXTILE SHALL BE DISPOSED OF OFFSITE.
- THE AREA CONTRIBUTORY TO THE CHECK DAM SHALL NOT EXCEED 10 ACRES.

TEMPORARY CHECK DAM IN DRAINAGE-WAY
NOT TO SCALE

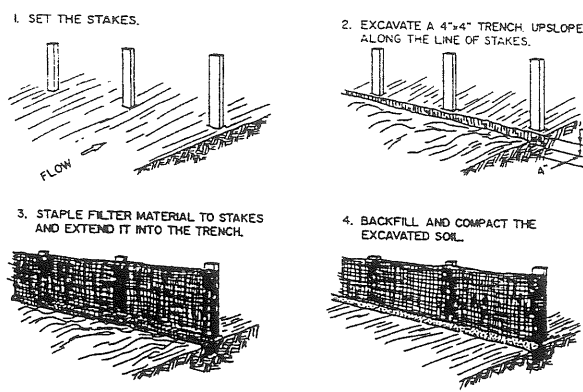


TYPICAL TRANSFORMER PAD LOCATION
NOT TO SCALE

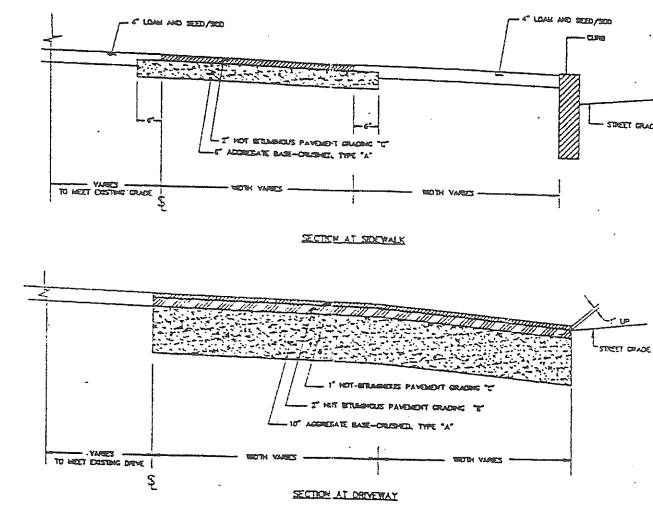
General Notes:

- Locations of utilities are approximate.
- It shall be the contractor's responsibility to notify Dig-See (1-800-225-4977) in accordance with Maine State Law. The contractor shall have all of the utilities located prior to the start of construction.
- Prior to the beginning of construction, the contractor shall secure all necessary permits for work shown on these plans, including a Street Closing Permit from the Portland Public Works Department.
- Property markers and street line monuments shall be properly protected and shall not be disturbed. If disturbed, they shall be replaced by a licensed surveyor at the contractor's expense.
- All existing catch basins, manholes, corrections, and outlet piping shall be cleaned and left in satisfactory operating condition after construction has been completed. No separate payment will be made for the work.
- All existing streets, walkways, driveways and lawn areas outside the work area, damaged by the contractor, shall be repaired by the contractor at his own expense.
- The contractor shall be responsible for the preservation of all trees and shrubs on the project, which are not scheduled to be removed.
- Existing pavement shall be saw cut and the new pavement built to it. No feathering of pavement will be permitted.
- Existing drainage structures shall not be disturbed except to tie in new work as noted.
- Before connecting new sewer to an existing sewer line, the contractor shall notify the Sewer Maintenance Division of the Portland Public Works Department. NO WORK SHALL BE DONE WITHOUT THEIR APPROVAL.
- The contractor shall be responsible for repairing any trench pavement that has experienced excessive settlement, cracking and opening of joints. Repairs may include overlay, removal of unacceptable materials, complete replacement, joint sealing or resurfacing pavement as required. The work may be necessary AFTER THE FINAL ACCEPTANCE OF WORK OR PRIOR TO THE ONE YEAR GUARANTEE. This work shall be done at the contractor's expense.
- All manhole frames shall be supplied with solid manhole covers; see Standard Detail.
- New cast-in-place shall have Type A-4 catch basin stone.
- Complete utility service stubs shall be installed to the property line for each lot, as shown or as may be required. The owner will determine where lot service stubs may be required for any future west side lots.
- The contractor shall be solely responsible for all means, methods and techniques employed to perform the work shown on these plans.
- All work shall comply with all local, state and federal safety regulations.
- All work shall be in accordance with the City of Portland and utility companies' standards.
- No blasting will be allowed within 500 feet of any utility without the notification and approval of the appropriate utility company. No ledge blasting will be permitted within the utility company easements and written approval from the utility is given.
- Vertical datum is based on a benchmark established by John L. Colburn, PLS being a street side sarge bolt on the hydrant in front of #1851 Forest Avenue in August 1987 (Elevation 113.14). Vertical datum was established through the project using closed vertical traverses by Land Use Consultants, Inc.
- A minimum of two trees shall be conserved or planted by the developer in front of each lot, in accordance with The City of Portland Animal Specifications. Location and species may vary. Developer may contract for the maintenance of landscaping, but ultimately shall remain financially liable to the City of Portland for compliance with the City ordinances. Such financial obligation shall be neither waived nor transferred by the developer.

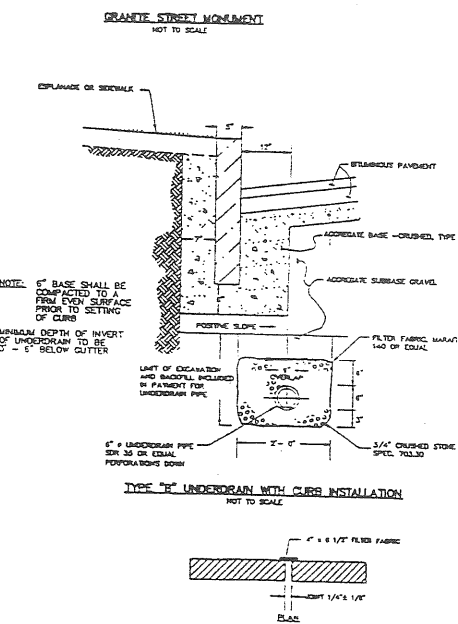
NOTES: 1. USE 4" TO 4 1/2" STAKES EMBEDDED TO A MINIMUM OF 1 FOOT.
2. EXTRA-STRENGTH FILTER FABRIC REQUIRED.



CONSTRUCTION OF A GEOTEXTILE SEDIMENT FILTER BARRIER
NOT TO SCALE

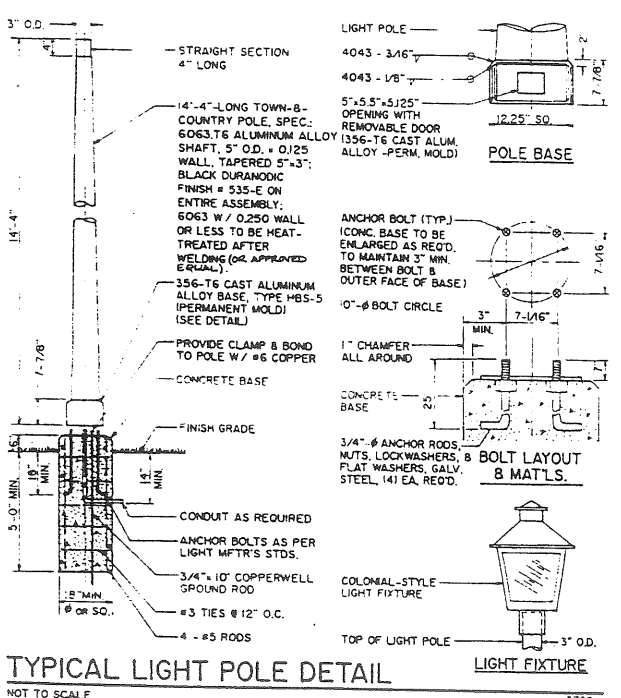


CONTINUOUS SIDEWALK AND DRIVEWAY CONSTRUCTION
NOT TO SCALE

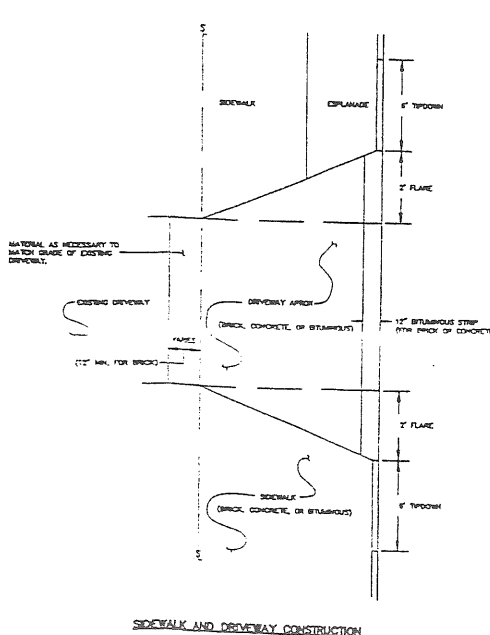


GRANITE STREET MONUMENT
NOT TO SCALE

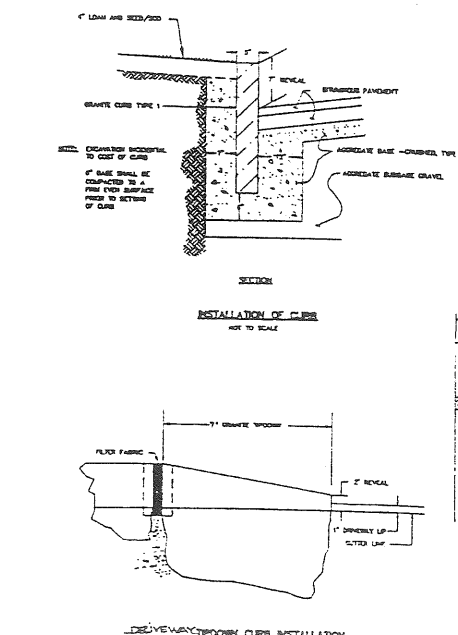
TYPE 'B' UNDERDRAIN WITH CURB INSTALLATION
NOT TO SCALE



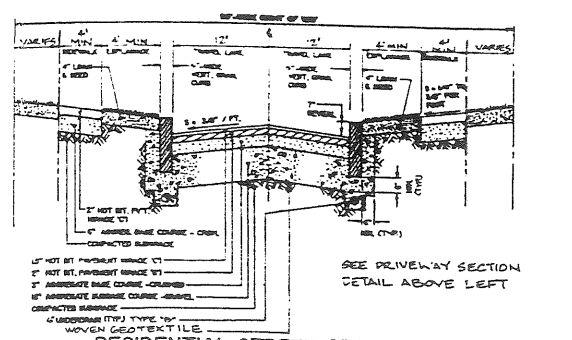
TYPICAL LIGHT POLE DETAIL
NOT TO SCALE



SIDEWALK AND DRIVEWAY CONSTRUCTION
NOT TO SCALE



DRIVEWAY CURB INSTALLATION
NOT TO SCALE



RESIDENTIAL STREET CROSS-SECTION
HTS

LUC
LAND USE CONSULTANTS INC.
150 PLAINFIELD AVENUE
PORTLAND, MAINE 04106
PHONE: 855-222-1111

STATE OF MAINE PROFESSIONAL ENGINEER
DAVID A. KAMBA 3137

PLAN SHOWING A PORTION OF:
WOODFORDS GARDENS
PORTLAND, MAINE
PREPARED FOR RECORD OWNER:
DIVERSIFIED PROPERTIES, INC.
P.O. BOX 10127 PORTLAND, MAINE 04104

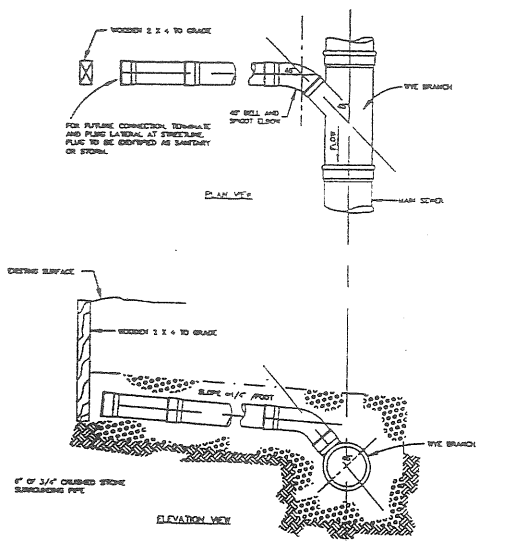
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Drawn	SMC	DAK	JLS	NO SCALE	APRIL 9, 1999	
Checked	DAK	JLS	NO SCALE	APRIL 9, 1999		
Scale	NO SCALE	APRIL 9, 1999				
Date	APRIL 9, 1999					

Job No. 1851.8
Sheet

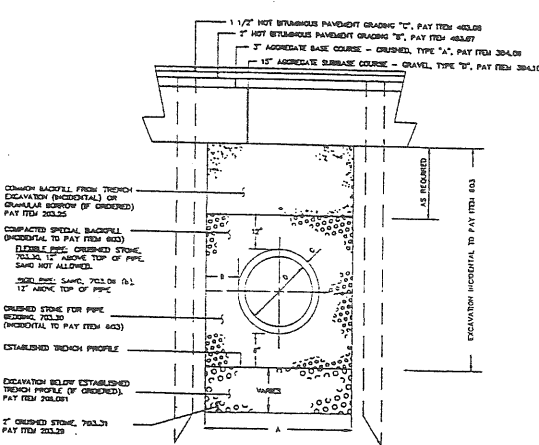
DETAILS

2 of 3

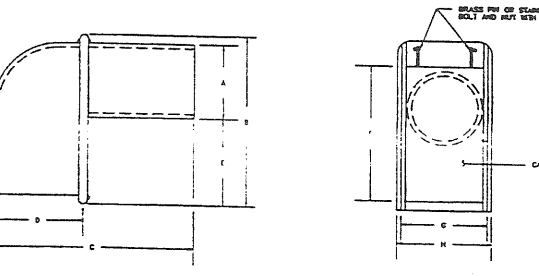
NOTE: LOCATION/RAINING TAP SHALL BE INSTALLED OVER CENTRELINE OF PIPE AT A MAXIMUM OF 24 INCHES BELOW FINISH GRADE.



TYPICAL HOUSE LATERAL WYE CONNECTION DETAIL
NOT TO SCALE

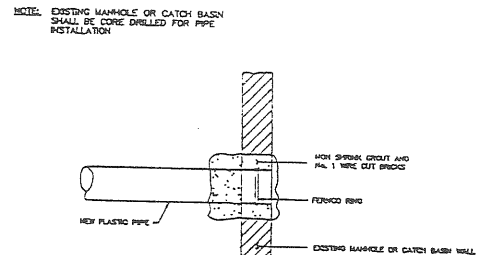


TYPICAL PIPE INSTALLATION DETAIL

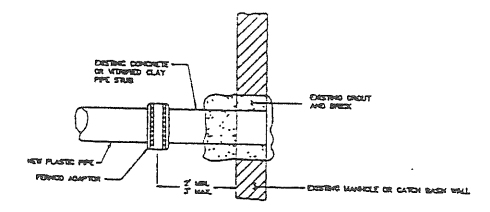


SIZE	A	B	C	D	E	F	G	H
6 in.	5 1/2"	13 3/8"	13 3/4"	5 3/8"	5 7/8"	11 5/8"	6 1/2"	7 1/8"
8 in.	7 1/2"	15"	15 3/8"	5 1/2"	5 3/8"	13 3/4"	8 3/4"	9 3/8"
10 in.	9 1/2"	16"	16 1/4"	6"	4 1/2"	14 1/8"	11 1/2"	12 3/8"
12 in.	11 1/2"	17"	22"	6"	3 1/2"	17"	12 1/2"	13 3/8"

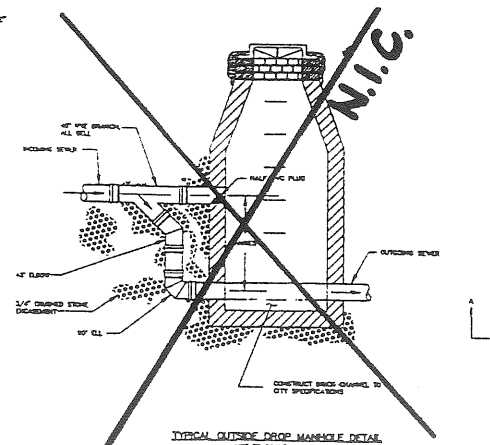
CASCO TRAP DETAIL



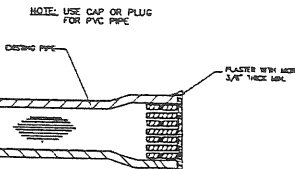
METHOD 3 - NEW PIPE INTO EXISTING STRUCTURE



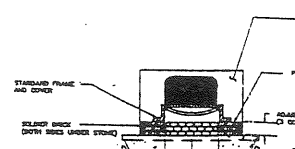
METHOD 4 - NEW PIPE TO EXISTING STUB



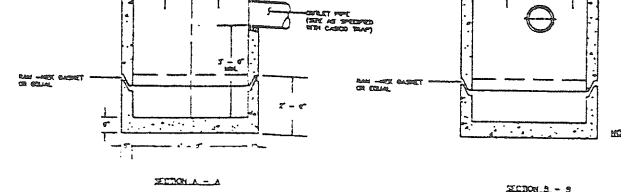
TYPICAL OUTSIDE DROP MANHOLE DETAIL
NOT TO SCALE



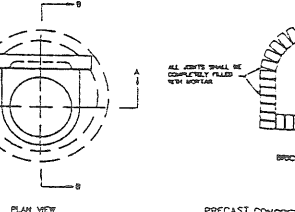
MASONRY PLUG DETAIL
NOT TO SCALE



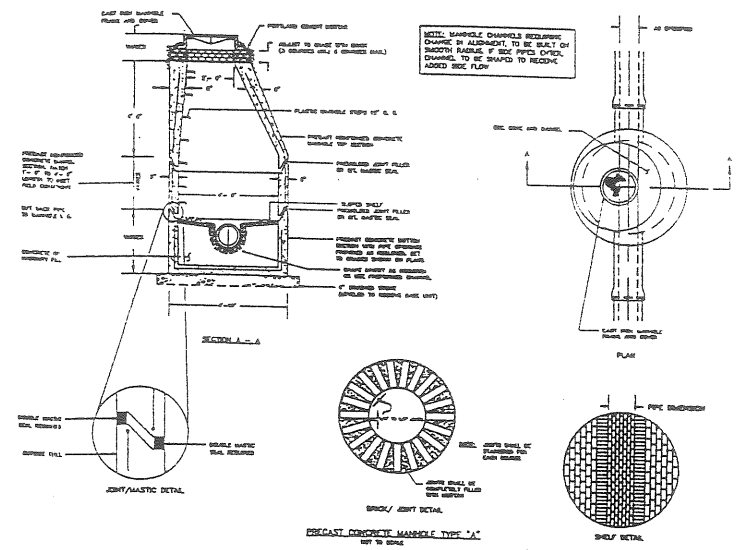
PLASTIC MANHOLE STEPS
NOT TO SCALE



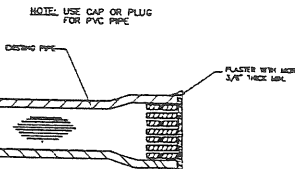
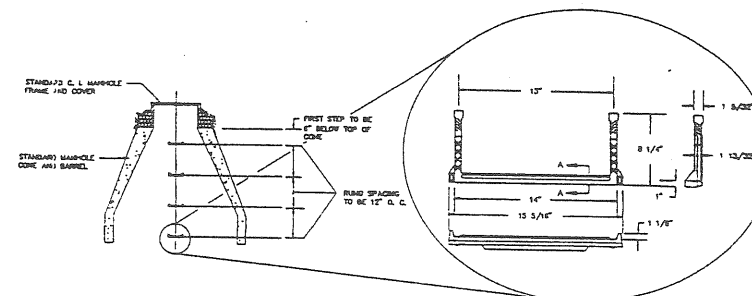
SECTION A-A



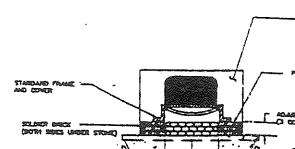
PRECAST CONCRETE CATCH BASIN TYPE 1C
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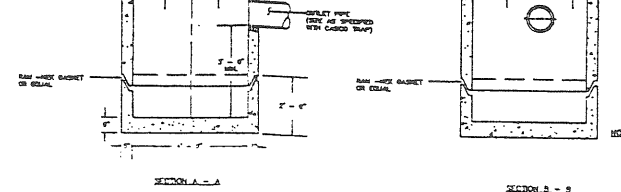
PRECAST CONCRETE MANHOLE TYPE 1A
NOT TO SCALE



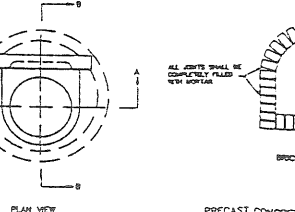
MASONRY PLUG DETAIL
NOT TO SCALE



PLASTIC MANHOLE STEPS
NOT TO SCALE



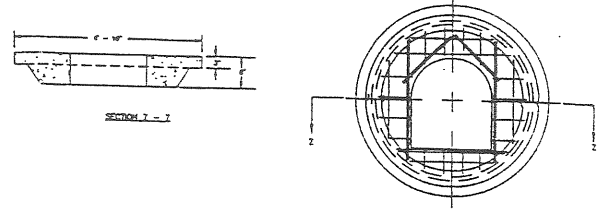
SECTION A-A



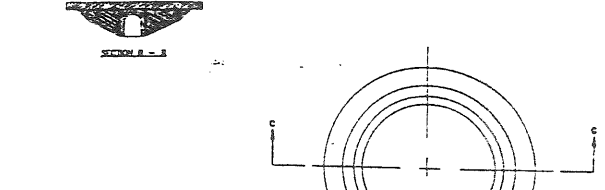
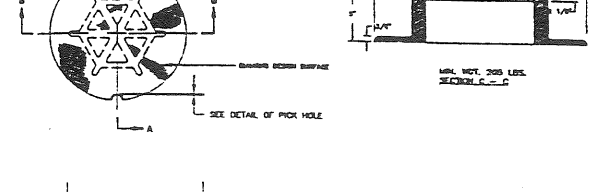
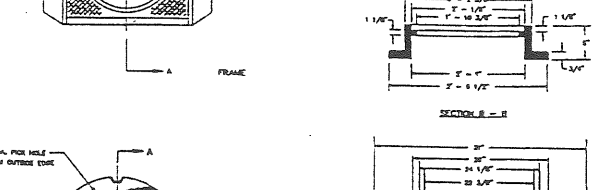
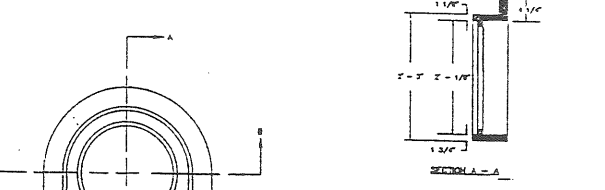
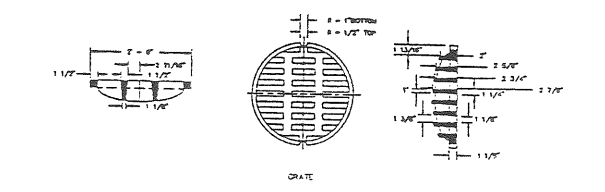
PRECAST CONCRETE CATCH BASIN TYPE 1C
NOT TO SCALE

MANHOLE AND CATCH BASIN
GENERAL NOTES

1. ALL CONCRETE SHALL BE A CLASS "A" AND HAVE A MINIMUM ULTIMATE STRENGTH OF 4000 PSI PER SQ. INCH AT THE END OF 28 DAYS, UNLESS OTHERWISE NOTED.
2. PRECAST REINFORCED CONCRETE MANUFACTURE PER ASTM SPEC. C-478-67
3. SEWER BRICK TO CONFORM TO ASTM SPEC. DESIGNATE IN C-32-63, GRADE MA AND SA.
4. ALL MANHOLES SHALL HAVE A BITUMINOUS WATERPROOFING APPLIED TO THE EXTERIOR SURFACE. IF CONSTRUCTION OF BRICK MASONRY, THE SMOOTH MORTAR FINISH SHALL BE PLASTERED WITH A SMOOTH MORTAR FINISH 3/8" THICK. AFTER THE MORTAR HAS SET, THE SURFACE SHALL BE WATERPROOFED AS REQUIRED BY SUPPLEMENTAL SPECIFICATIONS SECTION 604.
5. CASTINGS SHALL CONFORM TO ASTM DESIGNATION A48-CLASS 35. ALL PARTS OF CASTINGS, EXCEPT FINISHED SURFACE, SHALL RECEIVE A COAT OF COAL TAR PITCH VARNISH OR ASPHALTUM PAINT WHICH SHALL BE SMOOTH AND TOUGH BUT NOT BRITTLE.
6. MANHOLES MAY BE CONSTRUCTED OF BRICK MASONRY, PRECAST REINFORCED CONCRETE, OR CAST IN PLACE.
7. ALL PRECAST MANHOLES AND CATCH BASINS SHALL BE IDENTIFIED BY STAINING AND GESSOIL PAINTED ON THE SIDE OF THE STRUCTURE BY THE MANUFACTURER.
8. STORM AND SEWER MANHOLES SHALL HAVE SOLID COVERS WITH ONE DRILLED HOLE.
9. EXISTING MANHOLE AND CATCH BASIN FRAMES AND COVERS SHALL BE SALVAGED BY THE CONTRACTOR, AND REMAIN THE PROPERTY OF THE CITY OF PORTLAND.



PRECAST CATCH BASIN COVER WITH 10" HOLE



LUC
LAND USE CONSULTANTS INC.
LAND PLANNERS • ENGINEERS • SURVEYORS
1015 WASHINGTON ST. PORTLAND, ME 04101
TEL: 479-1111

DAVID KAPLAN, REGISTERED PROFESSIONAL ENGINEER
STATE OF MAINE
NO. 6319

PLAN SHOWING A PORTION OF:
WOODFORDS GARDENS
PORTLAND, MAINE
PREPARED FOR RECORD OWNER:
DIVERSIFIED PROPERTIES, INC.
P.O. BOX 10127 PORTLAND, MAINE 04104

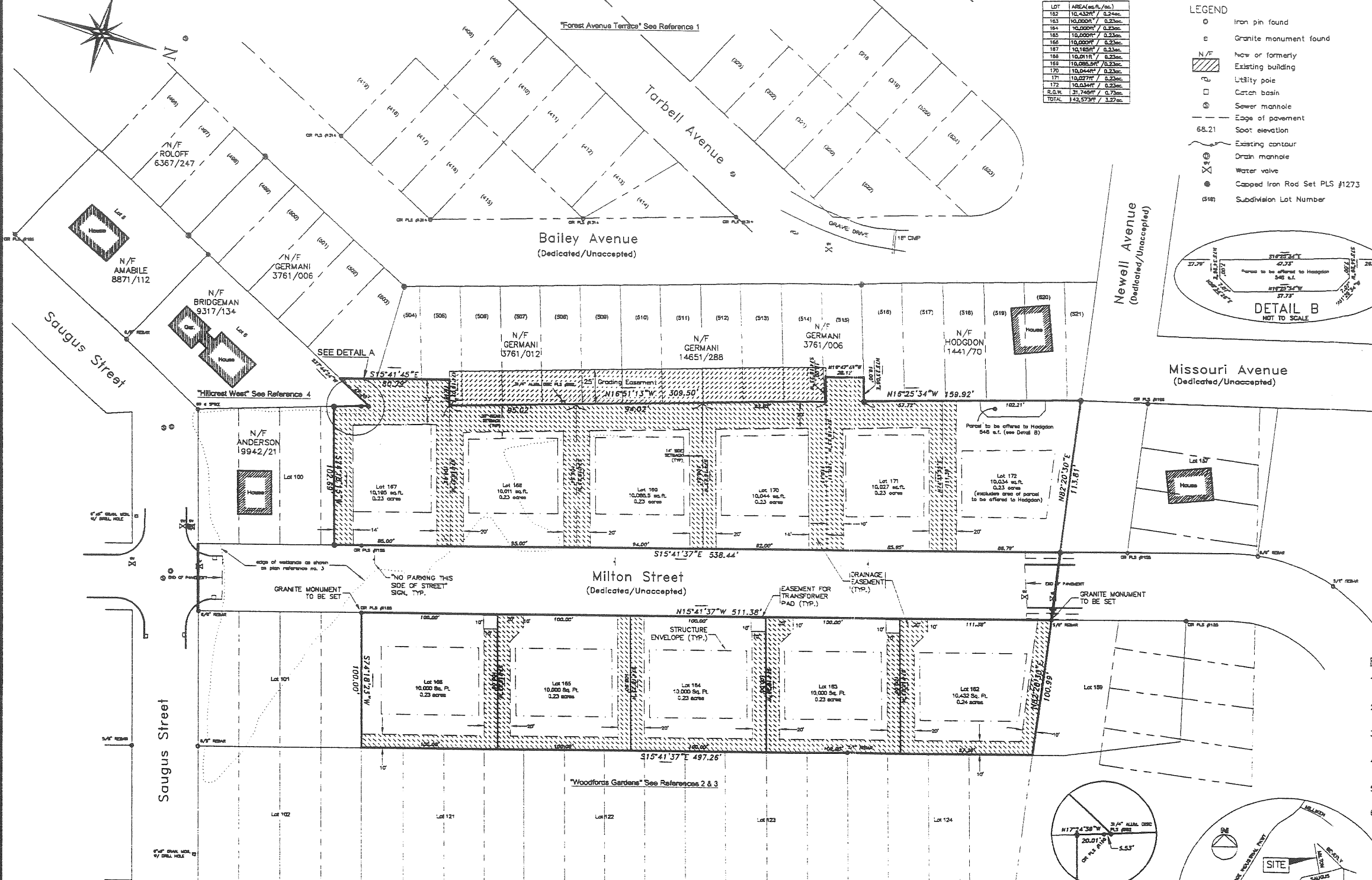
Date	Revision

Designed JRG
Drawn SMC
Checked DAK
Scale NO SCALE
Date APRIL 9, 1999

DETAILS

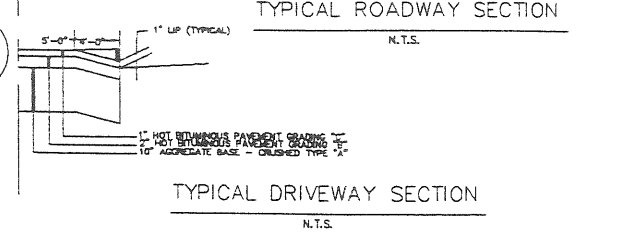
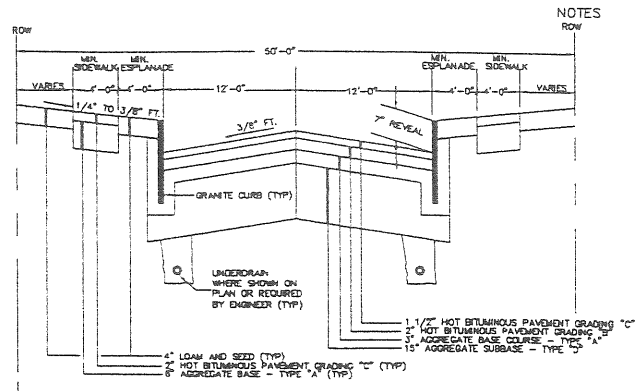
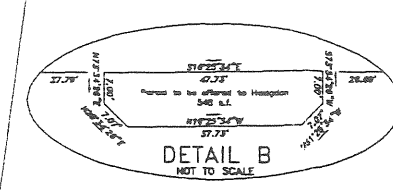
Job No.
Sheet
3 of 3

MAGNETIC NORTH AS SHOWN ON PLAN OF "HILLCREST WEST"
SEE REFERENCE 4



LOT	AREA (sq. ft. / ac.)
102	10,432.07 / 0.24
103	10,000.00 / 0.23
104	10,000.00 / 0.23
105	10,000.00 / 0.23
106	10,000.00 / 0.23
107	10,000.00 / 0.23
108	10,000.00 / 0.23
109	10,000.00 / 0.23
110	10,000.00 / 0.23
111	10,000.00 / 0.23
112	10,000.00 / 0.23
113	10,000.00 / 0.23
114	10,000.00 / 0.23
115	10,000.00 / 0.23
116	10,000.00 / 0.23
117	10,000.00 / 0.23
118	10,000.00 / 0.23
119	10,000.00 / 0.23
120	10,000.00 / 0.23
121	10,000.00 / 0.23
122	10,000.00 / 0.23
123	10,000.00 / 0.23
124	10,000.00 / 0.23
TOTAL	1,252,720.00 / 28.86

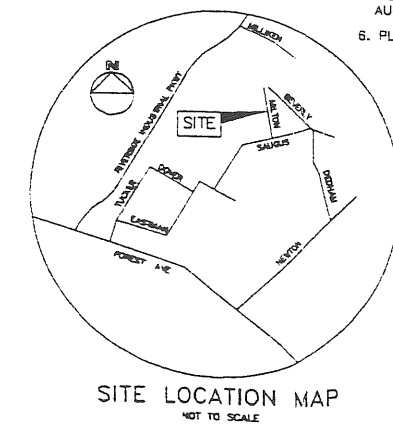
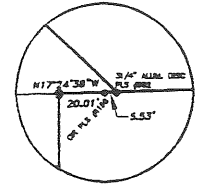
- LEGEND**
- Iron pin found
 - Granite monument found
 - N/F Now or formerly
 - ▨ Existing building
 - ⊕ Utility pole
 - ⊗ Catch basin
 - ⊙ Sewer manhole
 - Edge of pavement
 - 68.21 Spot elevation
 - ⊖ Existing contour
 - ⊙ Drain manhole
 - ⊕ Water valve
 - ⊙ Capped Iron Rod Set PLS #1273
 - (S#) Subdivision Lot Number



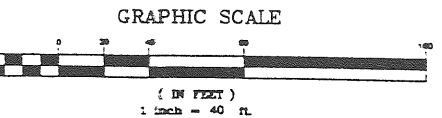
Approved by the City of Portland Planning Board
Dated _____

- NOTES**
- ELEVATIONS ARE BASED ON INFORMATION PROVIDED BY LAND USE CONSULTANTS, BEING THE SAME VERTICAL DATUM AS SHOWN ON THE PLAN/PROFILE OF MILTON STREET, SEE REFERENCE 6.
 - BENCH MARK: FRONT SPINDLE NUT ON HYDRANT AT BRAINTREE AND BEVERLY STREETS ELEVATION = 73.86.
- OWNERS OF RECORD**
PHILIP & NANCY GERMANI 3761/6 3761/9 3761/12 14651/288 3725/132
DIVERSIFIED PROPERTIES 11842/315

- REFERENCES**
- PLAN OF "FOREST AVENUE TERRACE", DATED MAY 17, 1910, RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 12, PAGE 5.
 - PLAN OF "WOODFORDS GARDENS", DATED NOV. 16, 1916, RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 13, PAGE 75.
 - "PLAN SHOWING A PORTION OF WOODFORDS GARDENS", DATED AUG. 5, 1993 RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 196, PAGE 140.
 - PLAN OF "HILLCREST WEST", DATED 5/19/1988, RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 178, PAGE 52.
 - PLAN OF A "STANDARD BOUNDARY SURVEY AT 115-127 TARBELL AVE.", DATED AUG. 18, 1998, MADE BY DESLAURIERS & ASSOC., INC.
 - PLAN/PROFILE OF MILTON STREET MADE BY LAND USE CONSULTANTS DATED 04/09/99



NO.	REVISION	DATE	BY
Rev. 1	Remove barn from Hodgdon property	11/16/98	JNS
Rev. 2	Lots 171 and 172	11/29/99	DET
Rev. 3	Lots 171 & 172, Hodgdon parcel	12/21/99	DET
Rev. 4	25' Grading Easement	01/08/00	DET



- LEGEND**
- Iron pin found
 - Granite monument found
 - N/F Now or formerly
 - ▨ Existing building
 - ⊕ Utility pole
 - ⊗ Catch basin
 - ⊙ Sewer manhole
 - Edge of pavement
 - 68.21 Spot elevation
 - ⊖ Existing contour
 - ⊙ Drain manhole
 - ⊕ Water valve
 - ⊙ Capped Iron Rod Set PLS #1273
 - (S#) Subdivision Lot Number
 - ▭ Potential Edge of Driveway
 - ▭ Potential Building Location
 - ⊖ Potential Contour

NOTES:

THE PURPOSE OF THIS PLAN IS TO SHOW THE RECONFIGURATION OF CERTAIN LOTS PURSUANT TO SECTION 14-406(3) OF THE LAND USE CODE OF ORDINANCES OF THE CITY OF PORTLAND.

DEVELOPMENT OF THE PARCELS PROPOSED AS PART OF THIS PLAN SHALL BE IN ACCORDANCE WITH DIVISION 6 (SECTIONS 14-76 THROUGH 14-81) OF CHAPTER 14, LAND USE, OF THE CODE OF ORDINANCES OF THE CITY OF PORTLAND, SUPPLEMENT 5, DATED JANUARY 1999. EXCEPTS OF THE DIMENSIONAL REQUIREMENTS ARE PRESENTED BELOW.

MINIMUM LOT SIZE: 10,000 S.F.
MINIMUM FRONTAGE: 50 FT.

MINIMUM SETBACKS:

FRONT YARD	25 FT.
REAR YARD	25 FT.
SIDE YARD *	
1 STOREY	12 FT.
1 1/2 STOREYS	12 FT.
2 STOREYS	14 FT. **
2 1/2 STOREYS	16 FT.
MINIMUM LOT WIDTH	80 FT.

* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN TWELVE (12) FEET IN WIDTH.
** SIDE YARDS SHOWN ON PLAN ARE 14 FEET AND MAY BE INCREASED OR DECREASED DEPENDING UPON NUMBER OF STOREYS.

STRUCTURE ENVELOPES AS SHOWN ON THIS PLAN REPRESENT THE MAXIMUM AREA FOR CONSTRUCTION OF THE PRINCIPAL STRUCTURE. ANY CHANGES TO SUCH AREA MUST RECEIVE THE WRITTEN APPROVAL OF THE CITY OF PORTLAND PLANNING AUTHORITY PRIOR TO COMMENCEMENT OF CONSTRUCTION AND MUST BE RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS WITH A REFERENCE TO THE PLAN BOOK AND PAGE FOR THIS PLAN.

EACH LOT SHALL REQUIRE THE SUBMISSION OF A SITE PLAN FOR REVIEW AND APPROVAL PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, AND SHALL BE SUBJECT TO REVIEW PURSUANT TO ARTICLE V OF CHAPTER 14 OF THE PORTLAND CITY CODE.

MINIMUM ELEVATIONS FOR THE LOWEST BUILDING OPENING AND BUILDING SILL MUST BE AS DEPICTED ON THIS PLAN. THE LOWEST BUILDING OPENING ELEVATION SHALL BE CALCULATED AS AN ELEVATION A MINIMUM OF SIX INCHES ABOVE THE ROAD CENTERLINE ELEVATION. THE BUILDING SILL ELEVATION SHALL BE CALCULATED AS AN ELEVATION A MINIMUM OF TWO FEET ABOVE THE ROAD CENTERLINE ELEVATION. MODIFICATION OF THE MINIMUM BUILDING OPENING ELEVATION FOR ANY LOT MAY BE APPROVED BY THE PORTLAND PLANNING AUTHORITY UNDER SITE PLAN REVIEW, PROVIDED THAT AN ACCEPTABLE GRADING PLAN DEMONSTRATES POSITIVE DRAINAGE FLOWS AWAY FROM THE PROPOSED OPENING. SAID MODIFICATIONS SHALL BE APPROVED IN WRITING BY THE PORTLAND PLANNING AUTHORITY PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. ANY CHANGES TO SUCH ELEVATIONS MUST BE RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS, WITH REFERENCE TO THE PLAN BOOK AND PAGE NUMBERS FOR THIS PLAN.

A MINIMUM OF TWO TREES PER LOT SHALL BE CONSERVED OR PLANTED IN THE FRONT YARD OF EACH LOT MEETING THE CITY OF PORTLAND'S ARBORICULTURAL SPECIFICATION AND STANDARD OF PRACTICE AND LANDSCAPE DESIGN GUIDELINES. DEVELOPER MAY CONTRACT FOR THE PLACEMENT OF LANDSCAPING, BUT SHALL REMAIN ULTIMATELY LIABLE TO THE CITY OF PORTLAND FOR FINANCIAL OBLIGATION FOR COMPLIANCE WITH CITY ORDINANCES AND APPROVALS. SUCH FINANCIAL OBLIGATION SHALL BE NEITHER TRANSFERABLE NOR WAIVABLE BY THE DEVELOPER PURSUANT TO CONDITIONS AND LIMITATIONS OF SECTION 6 OF THE CITY OF PORTLAND, MAINE TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.

ALL DRIVEWAYS SHALL BE PAVED WITHIN ONE (1) YEAR OF THE RECEIPT OF CERTIFICATE OF OCCUPANCY.

PRIVATE DRAINAGE EASEMENTS, TREE CLEARING, CONSTRUCTION OF BUILDINGS, FILLING, REGRADING, OR OTHER OBSTRUCTIONS SHALL BE PROHIBITED WITHIN THE PRIVATE DRAINAGE EASEMENTS, UNLESS APPROVED IN WRITING BY THE CITY OF PORTLAND PLANNING DEPARTMENT UNDER SITE PLAN REVIEW.

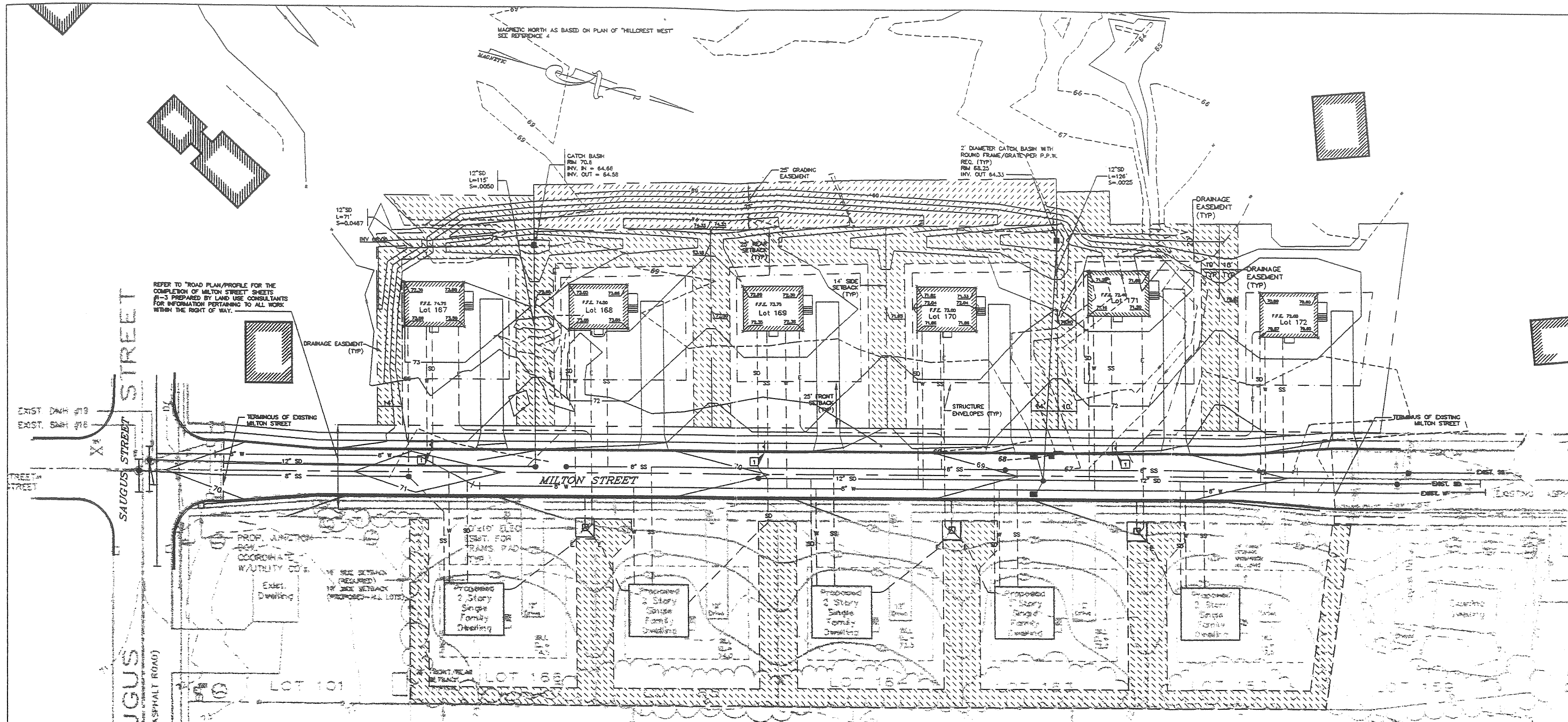
NO PUBLIC SERVICES (I.E. SNOW PLOWING, TRASH REMOVAL, LIGHTING) WILL BE PROVIDED UNLESS AND UNTIL THIS SECTION OF MILTON STREET IS ACCEPTED BY THE CITY COUNCIL.

Milton Street Extension Subdivision
Bailey Avenue & Milton Avenue, Portland, Maine

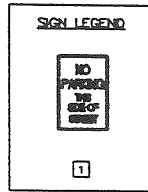
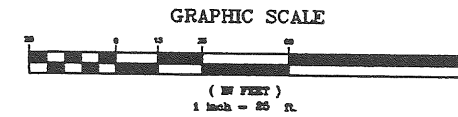
MADE FOR
Diversified Properties
P.O. Box 10127
Portland, Maine 04104

JOB# 99049eud_r5 DATE: 10/08/99 SCALE: 1" = 40'
BOOK# 546
DISC#
FILE# 7910

Titcomb Associates
133 Gray Road
Falmouth, Maine 04105



PLAN VIEW



- LEGEND**
- Iron pin found
 - Granite monument found
 - Now or formerly
 - ▨ Existing building
 - Utility pole
 - Catch basin
 - Sewer manhole
 - Edge of pavement
 - Spot elevation
 - Existing contour
 - Drain manhole
 - Water valve
 - Capped Iron Rod Set PLS #1273
 - Subdivision Lot Number
 - Potential Edge of Driveway
 - Potential Building Location
 - Potential Contour

NOTES:

THE PURPOSE OF THIS PLAN IS TO SHOW THE RECONFIGURATION OF CERTAIN LOTS PURSUANT TO SECTION 14-49(6C) OF THE LAND USE CODE OF ORDINANCES OF THE CITY OF PORTLAND.

DEVELOPMENT OF THE PARCELS PROPOSED AS PART OF THIS PLAN SHALL BE IN ACCORDANCE WITH DIVISION 8 (SECTIONS 14-70 THROUGH 14-81) OF PORTLAND, SUPPLEMENT 5, DATED JANUARY 1998. EXCERPTS OF THE DIMENSIONAL REQUIREMENTS ARE PRESENTED BELOW.

MINIMUM LOT SIZE	10,000 S.F.
MINIMUM FRONTAGE	50 FT.
MINIMUM SETBACKS:	
FRONT YARD	25 FT.
REAR YARD	25 FT.
SIDE YARD *	
1 STORY	12 FT.
1 1/2 STORES	12 FT.
2 STORES	14 FT. **
2 1/2 STORES	16 FT.
MINIMUM LOT WIDTH	80 FT.

* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN TWELVE (12) FEET IN WIDTH.

** SIDE YARDS SHOWN ON PLAN ARE 14 FEET AND MAY BE INCREASED OR DECREASED DEPENDING UPON NUMBER OF STORES.

STRUCTURE ENVELOPES AS SHOWN ON THIS PLAN REPRESENT THE MAXIMUM AREA FOR CONSTRUCTION OF THE PRINCIPAL STRUCTURE. ANY CHANGES TO SUCH AREA MUST RECEIVE THE WRITTEN APPROVAL OF THE CITY OF PORTLAND PLANNING AUTHORITY PRIOR TO COMMENCEMENT OF CONSTRUCTION AND MUST BE RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS WITH A REFERENCE TO THE PLAN BOOK AND PAGE FOR THIS PLAN.

EACH LOT SHALL REQUIRE THE SUBMISSION OF A SITE PLAN FOR REVIEW AND APPROVAL PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, AND SHALL BE SUBJECT TO REVIEW PURSUANT TO ARTICLE V OF CHAPTER 14 OF THE PORTLAND CITY CODE.

MINIMUM ELEVATIONS FOR THE LOWEST BUILDING OPENING AND BUILDING SILL MUST BE AS DEPICTED ON THIS PLAN. THE LOWEST BUILDING OPENING ELEVATION SHALL BE CALCULATED AS AN ELEVATION A MINIMUM OF SIX INCHES ABOVE THE ROAD CENTERLINE ELEVATION. THE BUILDING SILL ELEVATION SHALL BE CALCULATED AS AN ELEVATION A MINIMUM OF TWO FEET ABOVE THE ROAD CENTERLINE ELEVATION. MODIFICATION OF THE MINIMUM BUILDING OPENING ELEVATION FOR ANY LOT MAY BE APPROVED BY THE PORTLAND PLANNING AUTHORITY UNDER SITE PLAN REVIEW PROVIDED THAT AN ACCEPTABLE GRADING PLAN DEMONSTRATES POSITIVE DRAINAGE AWAY FROM THE PROPOSED OPENING. SAID MODIFICATIONS SHALL BE APPROVED IN WRITING BY THE PORTLAND PLANNING AUTHORITY PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. ANY CHANGES TO SUCH ELEVATIONS MUST BE RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS, WITH REFERENCE TO THE PLAN BOOK AND PAGE NUMBERS FOR THIS PLAN.

NO PUBLIC SERVICES (I.E. SNOW PLOWING, TRASH REMOVAL, LIGHTING) WILL BE PROVIDED UNLESS AND UNTIL THIS SECTION OF MILTON STREET IS ACCEPTED BY THE CITY COUNCIL.

A MINIMUM OF TWO TREES PER LOT SHALL BE CONSERVED OR PLANTED IN THE FRONT YARD OF EACH LOT MEETING THE CITY OF PORTLAND'S AGRICULTURAL SPECIFICATION AND STANDARD OF PRACTICE AND LANDSCAPE DESIGN GUIDELINES. DEVELOPER MAY CONTRACT FOR THE PLACEMENT OF LANDSCAPING, BUT SHALL REMAIN ULTIMATELY LIABLE TO THE CITY OF PORTLAND FOR FINANCIAL OBLIGATION FOR COMPLIANCE WITH CITY ORDINANCES AND APPROVALS. SUCH FINANCIAL OBLIGATION SHALL BE NEITHER TRANSFERABLE NOR WAIVABLE BY THE DEVELOPER PURSUANT TO CONDITIONS AND LIMITATIONS OF SECTION 6 OF THE CITY OF PORTLAND, MAKE TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.

ALL DRIVEWAYS SHALL BE PAVED WITHIN ONE (1) YEAR OF THE RECEIPT OF CERTIFICATE OF OCCUPANCY.

PRIVATE DRAINAGE EASEMENTS, TREE CLEARING, CONSTRUCTION OF BUILDINGS, FILLING, REGRADING OR OTHER OBSTRUCTIONS SHALL BE PROHIBITED WITHIN THE PRIVATE DRAINAGE EASEMENTS, UNLESS APPROVED IN WRITING BY THE CITY OF PORTLAND PLANNING DEPARTMENT UNDER SITE PLAN REVIEW.

TOTAL AREA LOTS = 101,417.42 S.F. / 2.33 ACRES
 ELEVATIONS ARE BASED ON INFORMATION PROVIDED BY LAND USE CONSULTANTS, BEING THE SAME VERTICAL DATUM AS SHOWN ON THE PLAN/PROFILE OF MILTON STREET. SEE REFERENCE 4.
 BENCH MARK: FRONT SPRINKLE NUT ON HYDRANT AT BRANTREE AND SEVERLY STREETS ELEVATION = 73.68.

- REFERENCES**
1. PLAN OF "FOREST AVENUE TERRACE", DATED MAY 17, 1910, RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 12, PAGE 5.
 2. PLAN OF "WOODFORDS GARDENS", DATED NOV. 16, 1916, RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 13, PAGE 75.
 3. "PLAN SHOWING A PORTION OF WOODFORDS GARDENS", DATED AUG. 3, 1933, RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 106, PAGE 140.
 4. PLAN OF "MILLOREST WEST", DATED 5/19/1898, RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 176, PAGE 52.
 5. PLAN OF A "STANDARD BOUNDARY SURVEY AT 115-127 TARBELL AVE.", DATED AUG. 18, 1904, MADE BY DESLAUNERS & ASSOC., INC.
 6. PLAN/PROFILE OF MILTON STREET MADE BY LAND USE CONSULTANTS DATED 04/08/99

4	1/13/00	REVISED SD SERVICE, LOTS 165, 168 & 169
3	1/7/00	REVISED PER COMMENTS FROM CITY OF PORTLAND
2	12/20/99	MODIFIED LOTS 171 AND 172
1	9/24/99	MODIFIED LOT LAYOUT EAST OF MILTON STREET
Rev.	Date	Revision

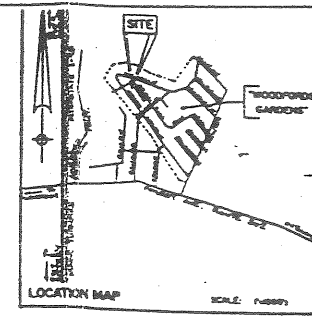
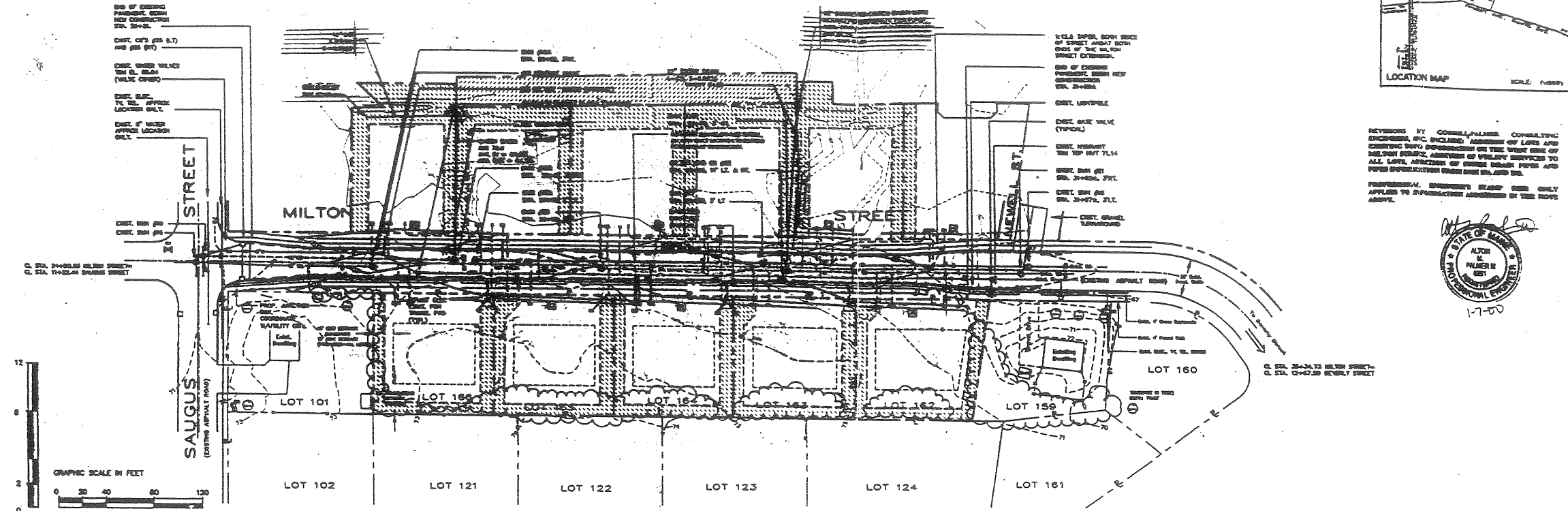
PLANNING BOARD WORKSHOP SUBMISSION	7/30/99	AMP
Issued For	Date	By

Designer: AMP	Draft: JSC, V.V.	Date: 1/6/00
Checked:	Scale: 1" = 25'	Job No.: 99080
This plan shall not be modified without written permission from Gorrill-Palmer Consulting Engineers, Inc. (GPCE). Any alterations, unauthorized or otherwise, shall be at the user's sole risk and without liability to GPCE.		

GP Gorrill-Palmer Consulting Engineers, Inc.
 Traffic and Civil Engineering Services
 PO Box 1237 31 Main Street Gray, ME 04039
 207-657-6810 207-657-6912
 E-Mail: gpec@maine.rr.com

Drawing Name:	Conceptual Development Plan
Project:	MILTON STREET EXTENSION

Drawing No.
5



REVISIONS:

No.	DATE	DESCRIPTION

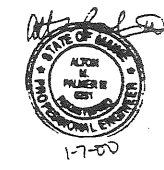
GENERAL NOTES:

- 1) TOPOGRAPHIC DATA SHOWN HEREON IS A RESULT OF AN 8'-10" HIGH FIELD SURVEY FURNISHED BY LAND USE CONSULTANTS, INC. ON MARCH 24, 1998.
- 2) LINES LABELED 'E' HEREON ARE APPROXIMATE PROPERTY LINES AND ARE NOT THE RESULT OF A STANDARD BOUNDARY SURVEY.
- 3) THE ELEVATIONS SHOWN HEREON ARE BASED UPON A BENCHMARK (DINP 11202) AS SHOWN HEREON, REFERRED TO HAVE AN ELEVATION OF 79.52'. NO HORIZONTAL BARS ARE SHOWN.

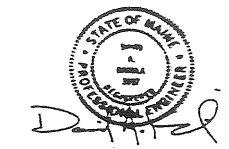
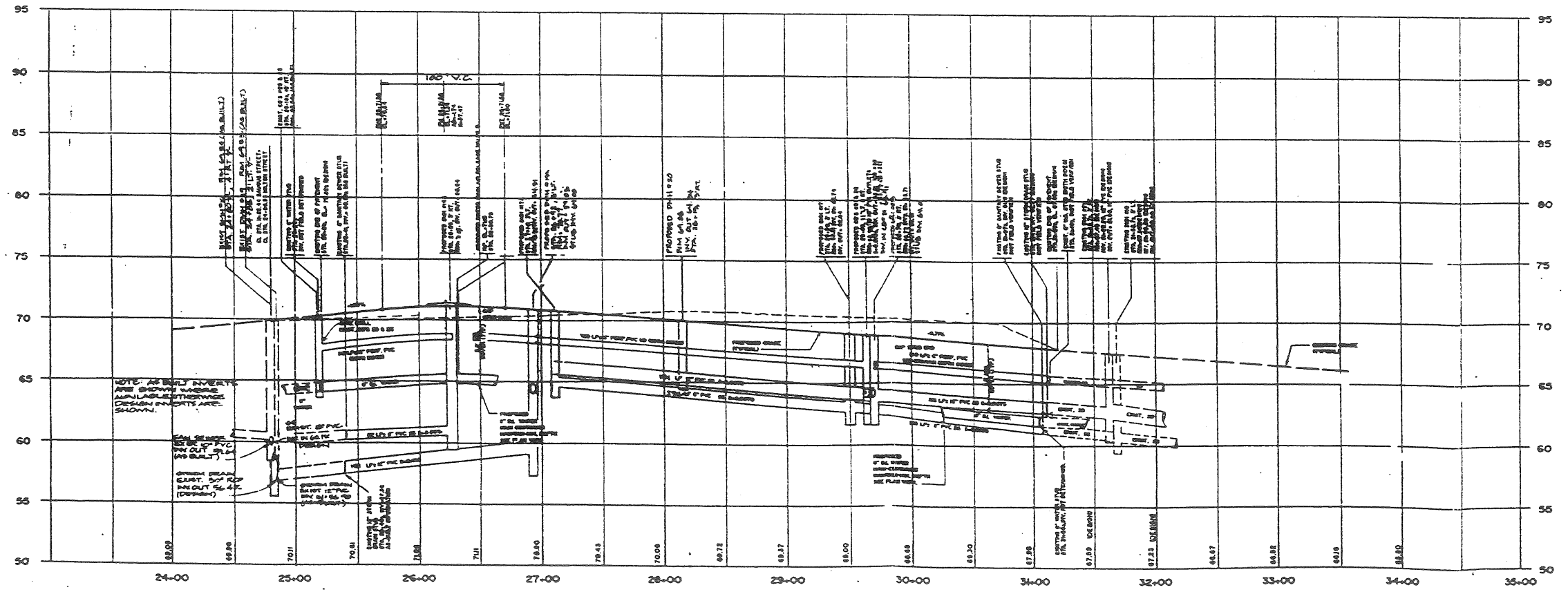
PLAN REFERENCES:

- 1) PLAN SHOWS A PORTION OF WOODFORD GARDENS, OFF PORTLAND, MAINE, PREPARED FOR RECORD BY LAND USE CONSULTANTS, INC. ON MARCH 24, 1998. THIS PLAN IS A PART OF A SET OF PLANS PREPARED BY LAND USE CONSULTANTS, INC., DATED MARCH 24, 1998 AND LAST REVISED OCTOBER 24, 1998.

REVISIONS BY CONSULTING CONSULTING ENGINEERS, INC. (ENCLOSED) ADDRESS OF LOTS AND EXISTING SURVEY INFORMATION ON THE WEST SIDE OF MILTON STREET, ADDRESS OF UTILITY SERVICES TO ALL LOTS, ADDRESS OF EXISTING DRIVE PAVES AND PAVED IMPROVEMENT FROM THIS PLAN, AND THE PROFESSIONAL ENGINEER'S SEAL AND ONLY APPLIES TO INFORMATION ADDRESS IN THE ABOVE PLAN.



NOTE: SEE SHEET 2 OF 3 FOR NOTES, X-SECTION AND DETAILS



LEGEND:

- CATCH BASIN
- MANHOLE
- SANITARY SEWER MANHOLE
- WATER SHUT OFF
- GAS VALVE
- FENCE - GRAFT SERVICE
- ELECTRICAL PENETRATION
- TELEPHONE PENETRATION
- SEWER LINE
- WATER PIPE
- TREE LINE

LUC
LAND USE CONSULTANTS, INC.
 Land Planners • Engineers • Surveyors
 905 Riverside Street, Portland, Maine 04103
 207-676-3343

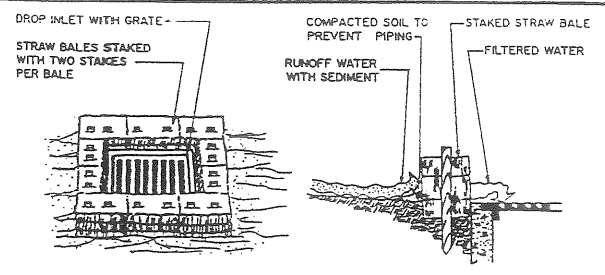
TITLE:
ROAD PLAN/PROFILE
 For the Completion of
MILTON STREET
 Being a Portion of
WOODFORD GARDENS
 Portland, Maine

PREPARED FOR:
DIVERSIFIED PROPERTIES, INC.
 P.O. BOX 10127
 PORTLAND, MAINE

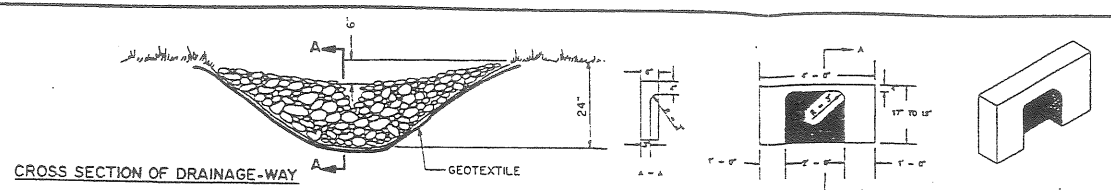
DATE: 11/9/98
 COMP./DESIGN: JAC
 CHECK: DMK
 DRAWN: SMH

SCALE: Horizontal 1" = 40', Vertical 1" = 4'

JOB NO.: 1001-S
 SHEET NO.: 1001-S/PLDING SHEET 1 OF 3



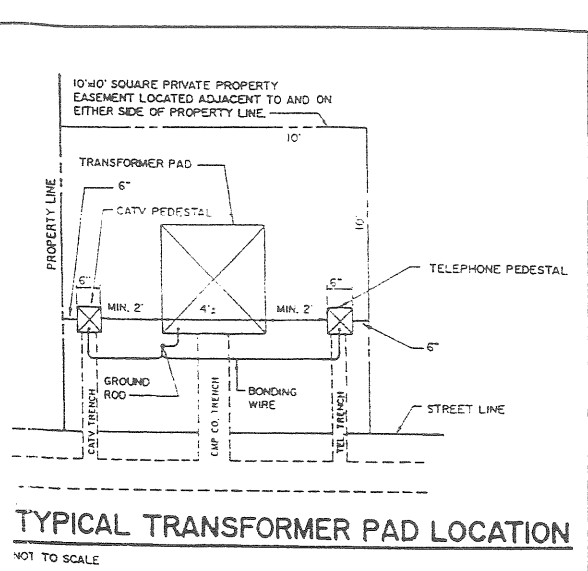
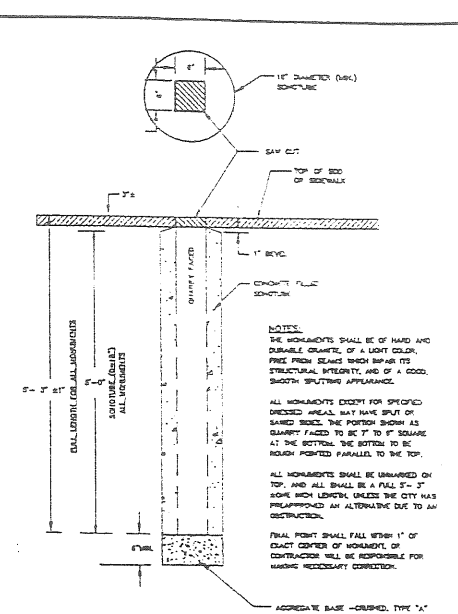
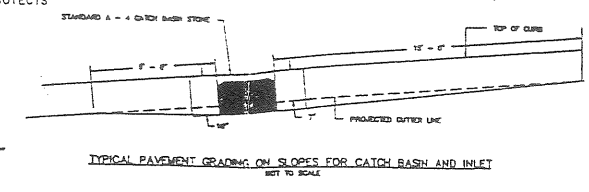
STRAW BALE DROP INLET SEDIMENT FILTER
NOT TO SCALE



CROSS SECTION OF CHECK DAM A - A

- ONCE THE AREAS UPSTREAM FROM THE CHECK DAM ARE STABILIZED BY VEGETATION, THE SEDIMENT TRAPPED BEHIND / WITHIN THE DAM SHALL BE RELOCATED TO AN AREA UNDERGOING FINAL GRADING.
- THE CHECK DAMS SHALL THEN BE FLATTENED AND GRADED IN A MANNER WHICH PROTECTS THE AREA FROM EROSION AND CHANNEL BLOCKAGE.
- THE GEOTEXTILE SHALL BE DISPOSED OFF-SITE.
- THE AREA CONTRIBUTORY TO THE CHECK DAM SHALL NOT EXCEED 10 ACRES.

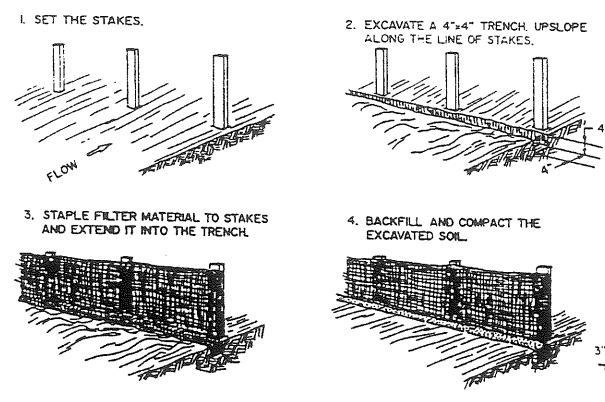
TEMPORARY CHECK DAM IN DRAINAGE-WAY
NOT TO SCALE



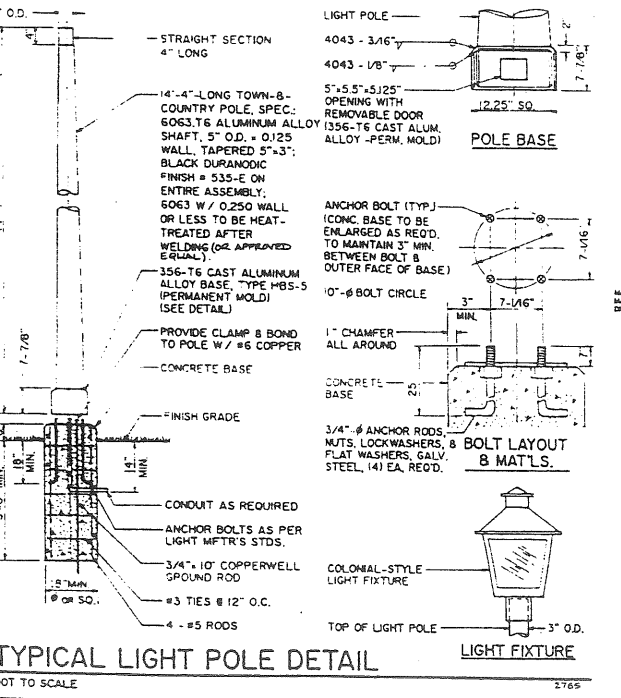
TYPICAL TRANSFORMER PAD LOCATION
NOT TO SCALE

- General Notes:**
- Locations of utilities are approximate.
 - It shall be the contractor's responsibility to notify Dig-Safe (1-800-225-4977) in accordance with Maine State Law. The contractor shall have all of the utilities located prior to the start of construction.
 - Prior to the beginning of construction, the contractor shall secure all necessary permits for work shown on these plans, including a Street Opening Permit from the Portland Public Works Department.
 - Property markers and street line monuments shall be properly protected and shall not be disturbed. If disturbed, they shall be replaced by a licensed surveyor at the contractor's expense.
 - All existing catch basins, manholes, connections, and outlet piping shall be cleaned and left in satisfactory operating condition after construction has been completed. No separate payment will be made for this work.
 - All existing streets, walkways, driveways and lawn areas outside the work area, damaged by the contractor, shall be repaired by the contractor at his own expense.
 - The contractor shall be responsible for the preservation of all trees and shrubs on the project, which are not scheduled to be removed.
 - Existing pavement shall be saw cut and the new pavement built to it. No feathering of pavement will be permitted.
 - Existing drainage structures shall not be disturbed except to tie in new work as noted.
 - Before connecting new sewer to an existing sewer line, the contractor shall notify the Sewer Maintenance Division of the Portland Public Works Department. NO WORK SHALL BE DONE WITHOUT THEIR APPROVAL.
 - The contractor shall be responsible for repairing any trench pavement that has experienced excessive settlement, cracking and opening of joints. Repairs may include overlay, removal of unsatisfactory materials, concrete replacement, joint sealing or rebuilding pavement as required. This work will be necessary AFTER THE FINAL ACCEPTANCE of work or prior to the one year guarantee. This work shall be done at the contractor's expense.
 - All manhole frames shall be supplied with acid mastic cover; see Standard Detail.
 - New catchbasins shall have Type A-4 catch basin stone.
 - Complete utility service stubs shall be installed to the property line for each lot, as shown or as may be required. The owner will determine where lot service stubs may be required for any future west side lots.
 - The contractor shall be solely responsible for all means, methods and techniques employed to perform the work shown on these plans.
 - All work shall comply with all local, state and federal safety regulations.
 - All work shall be in accordance with the City of Portland and utility companies' standards.
 - No blasting will be allowed within 500 feet of any utility without the notification and approval of the appropriate utility company. No ledge blasting will be permitted within the utility company easements until written approval from the utility is given.
 - Vertical datum is based on a benchmark established by John L. Cothran, PLS, being a street side range bolt on the hydrant in front of 11851 Forest Avenue in August 1987 (Elevation 113.14). Vertical datum was established through the project using closed vertical traverses by Land Use Consultants, Inc.
 - A minimum of two trees shall be conserved or planted by the developer in front of each lot, in accordance with The City of Portland Arborist Specifications. Location and species may vary. Developer may contract for the placement of landscaping, but ultimately shall remain financially liable to the City of Portland for compliance with the City ordinances. Such financial obligation shall be neither waived nor transferred by the developer.

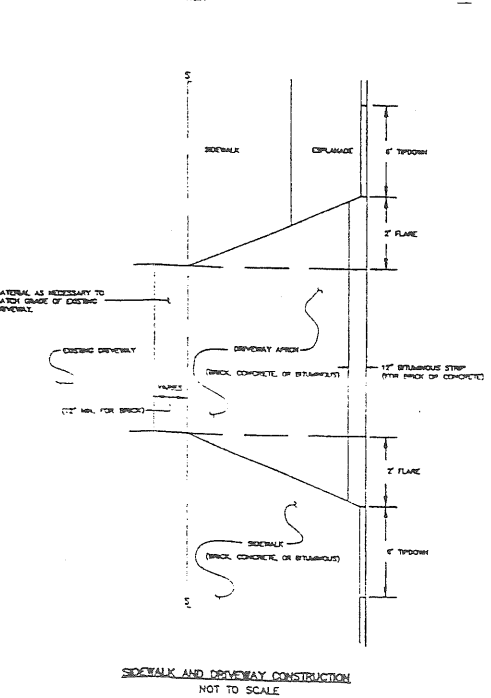
NOTES: 1. USE 4" TO 4 1/2" STAKES EMBEDDED TO A MINIMUM OF 1 FOOT.
2. EXTRA-STRENGTH FILTER FABRIC REQUIRED.



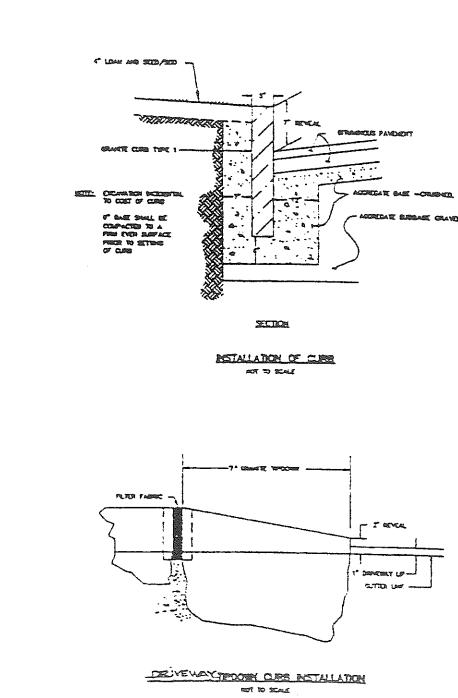
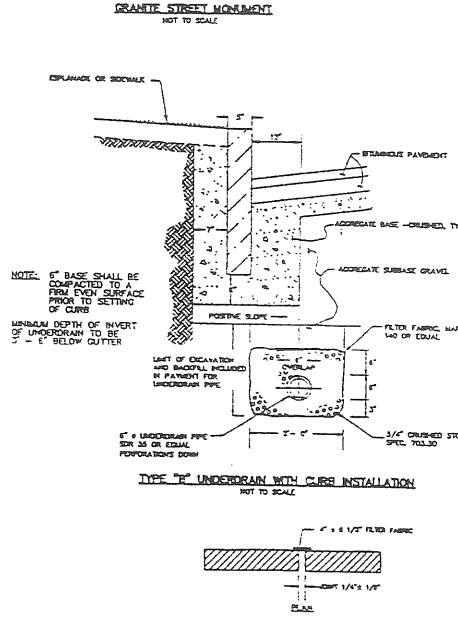
CONSTRUCTION OF A GEOTEXTILE SEDIMENT FILTER BARRIER
NOT TO SCALE



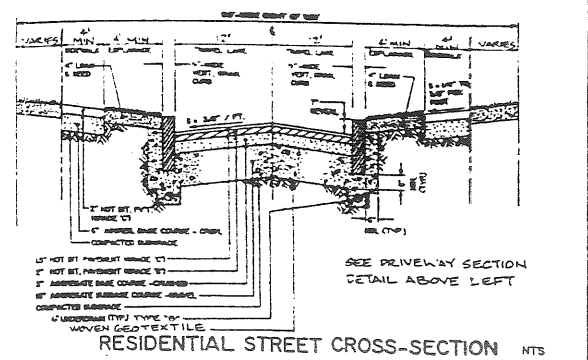
TYPICAL LIGHT POLE DETAIL
NOT TO SCALE



SIDEWALK AND DRIVEWAY CONSTRUCTION
NOT TO SCALE



DRIVEWAY/CURB INSTALLATION
NOT TO SCALE



RESIDENTIAL STREET CROSS-SECTION
NOT TO SCALE

LUC
LAND USE CONSULTANTS INC.
1000 FOREST AVENUE, PORTLAND, MAINE 04103
PHONE: 603-875-1111 FAX: 603-875-1112

STATE OF MAINE PROFESSIONAL ENGINEER
DAVID A. BAKA
NO. 3197

PLAN SHOWING A PORTION OF:
WOODFORDS GARDENS
PORTLAND, MAINE
PREPARED FOR RECORD OWNER:
DIVERSIFIED PROPERTIES, INC.
PORTLAND, MAINE 04104
P.O. BOX 10127

Revision	Date
1	11-9-97

Designed	Drawn	Checked	Scale
JRG	SMC	DAK	NO SCALE

Date: APRIL 9, 1999

DETAILS

Job No. 1851.8
Sheet 2 of 3

**MANHOLE AND CATCH BASIN
GENERAL NOTES**

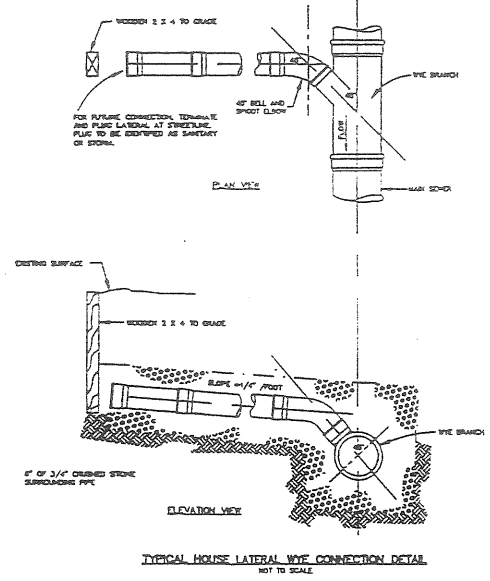
1. ALL CONCRETE SHALL BE A CLASS "A" AND HAVE A MINIMUM ULTIMATE STRENGTH OF 4000 LBS. PER SQ. INCH AT THE END OF 28 DAYS, UNLESS OTHERWISE NOTED.
2. PRECAST REINFORCED CONCRETE MANHOLE MANUFACTURE PER ASTM SPEC. C-478-87
3. SEWER BRICK TO CONFORM TO ASTM SPEC. DESIGNATE ON C-32-83, GRADE MA AND SA.
4. ALL MANHOLES SHALL HAVE A BITUMINOUS WATERPROOFING APPLIED TO THE EXTERIOR SURFACE. IF CONSTRUCTION OF BRICK MASONRY, THE SMOOTH MORTAR SURFACE SHALL BE PLASTERED WITH A SMOOTH MORTAR FRESH 3/8" THICK. AFTER THE MORTAR HAS SET, THE SURFACE SHALL BE WATERPROOFED AS REQUIRED BY SUPPLEMENTAL SPECIFICATIONS SECTION 604.
5. CASTINGS SHALL CONFORM TO ASTM DESIGNATION A48-CLASS 35. ALL PARTS OF CASTINGS, EXCEPT FINISHED SURFACE, SHALL RECEIVE A COAT OF COAL TAR PITCH VARNISH OR ASPHALTUM PAINT WHICH SHALL BE SMOOTH AND TOUGH BUT NOT BRITTLE.
6. MANHOLES MAY BE CONSTRUCTED OF BRICK MASONRY, PRECAST REINFORCED CONCRETE, OR CAST IN PLACE.
7. ALL PRECAST MANHOLES AND CATCH BASINS SHALL BE IDENTIFIED BY STATION AND DEESEL, PAINTED ON THE SIDE OF THE STRUCTURE BY THE MANUFACTURER.
8. STORM AND SEWER MANHOLES SHALL HAVE SOLID COVERS WITH ONE DRILLED HOLE.
9. EXISTING MANHOLE AND CATCH BASIN FRAMES AND COVERS SHALL BE SALVAGED BY THE CONTRACTOR, AND REMAIN THE PROPERTY OF THE CITY OF PORTLAND.

LWC
LAND USE CONSULTANTS INC.
1 AND PLANNING - ENGINEERING - SURVEYING
100 BARRINGTON STREET
PORTLAND, MAINE 04101
TEL: 781-871-1311

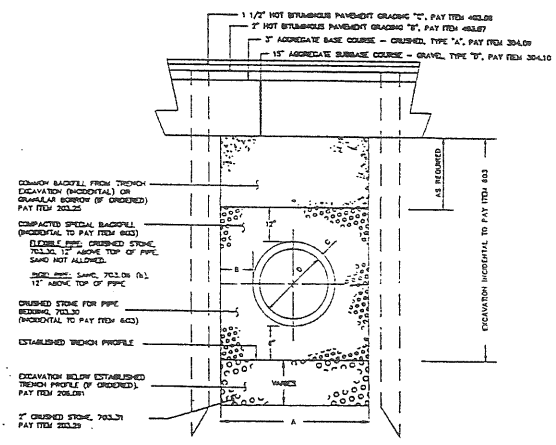
STATE OF MAINE
DAVID A. WOODFORD
REGISTERED PROFESSIONAL ENGINEER
NO. 10000

PLAN SHOWING A PORTION OF:
WOODFORDS GARDENS
PORTLAND, MAINE
PREPARED FOR RECORD OWNER:
DIVERSIFIED PROPERTIES, INC.
PORTLAND, MAINE 04104
P.O. BOX 10127

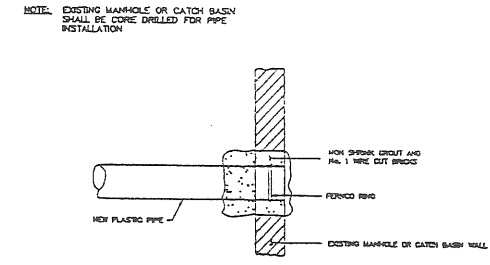
NOTE: LOCATION/MARKING TAPE SHALL BE INSTALLED OVER CONTIGUOUS OF PIPE AT A MAXIMUM OF 24 INCHES BELOW FINISH GRADE.



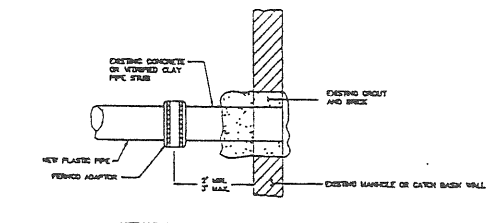
TYPICAL HOUSE LATERAL WYE CONNECTION DETAIL
NOT TO SCALE



TYPICAL PIPE INSTALLATION DETAIL

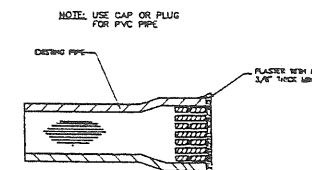


METHOD 3 - NEW PIPE INTO EXISTING STRUCTURE

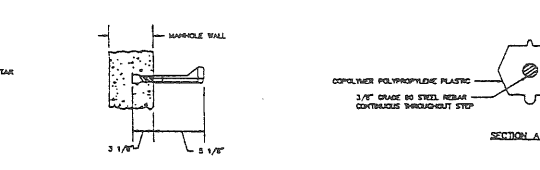


METHOD 4 - NEW PIPE TO EXISTING STUB

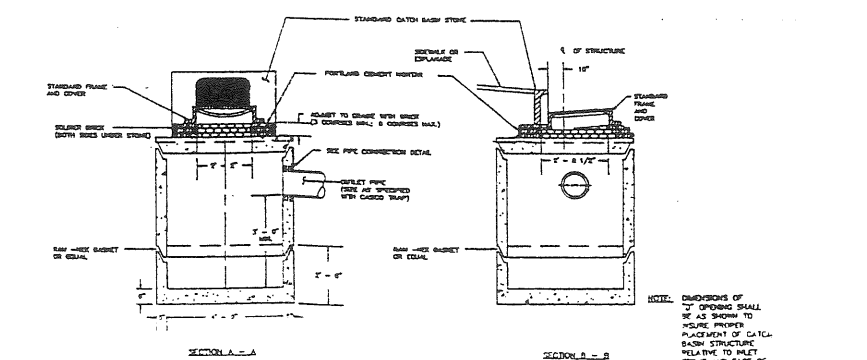
PLASTIC PIPE CONNECTION DETAIL
NOT TO SCALE



MASONRY PLUG DETAIL
NOT TO SCALE

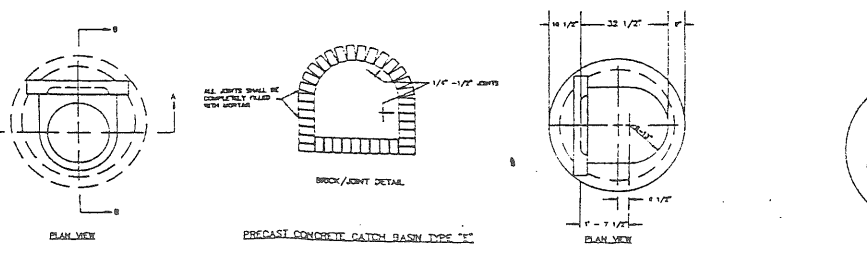


PLASTIC MANHOLE STEPS
NOT TO SCALE



SECTION A-A

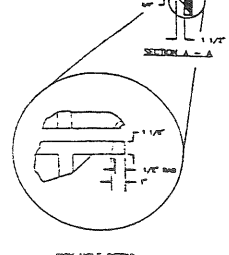
SECTION B-B



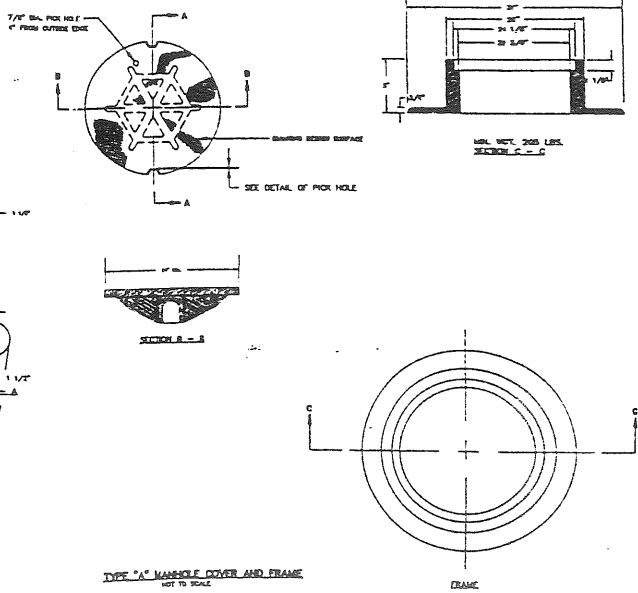
BRICK/JOINT DETAIL

PRECAST CONCRETE CATCH BASIN TYPE "A"

PLAN VIEW



PIT HOLE DETAIL

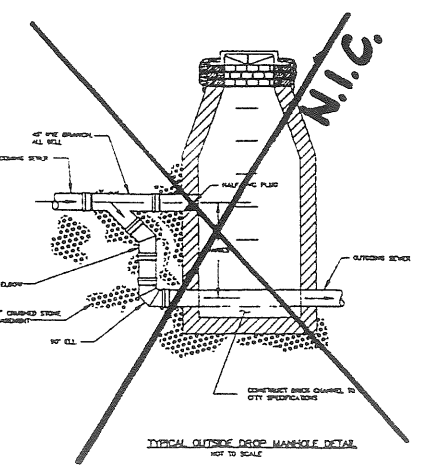


TYPE "A" MANHOLE COVER AND FRAME
NOT TO SCALE

NOTE: BOLT AND NUT REQUIRED WHERE HOOD WILL NOT OPEN COMPLETELY.

SIZE	A	B	C	D	E	F	G	H
6 in.	5 1/2"	13 3/8"	13 3/4"	5 3/8"	5 7/8"	11 3/8"	6 1/2"	7 1/4"
8 in.	7 1/2"	15"	15 3/8"	5 1/2"	5 3/8"	13 3/4"	8 3/4"	9 3/8"
10 in.	9 1/2"	16"	16 1/4"	6"	4 1/2"	14 1/8"	11 1/2"	12 3/8"
12 in.	11 1/2"	17"	22"	6"	3 1/2"	17"	12 1/2"	13 3/8"

GASCO TRAP DETAIL
NOT TO SCALE



TYPICAL OUTSIDE PIPE MANHOLE DETAIL
NOT TO SCALE

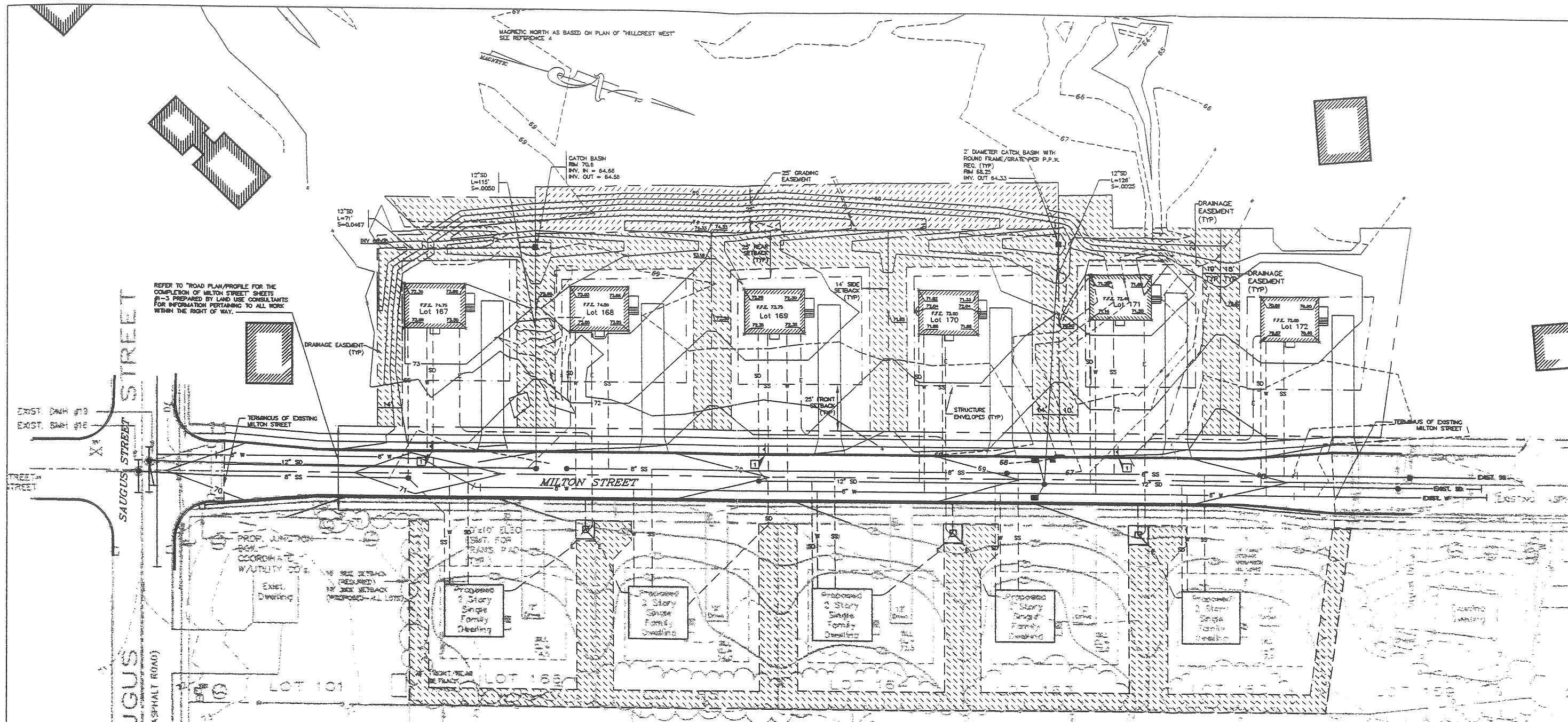
Revision

Designed: JRC
Drawn: SMC
Checked: DAK
Scale: NO SCALE
Date: APRIL 9, 1999

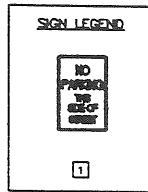
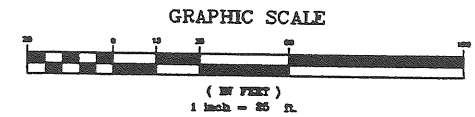
Job No.
Sheet

3 of 3

DETAILS



PLAN VIEW



- LEGEND**
- Iron pin found
 - Granite monument found
 - N/F No or formerly
 - ▨ Existing building
 - U Utility pole
 - Catch basin
 - Sewer manhole
 - Edge of pavement
 - Spot elevation
 - Existing contour
 - Drain manhole
 - Water valve
 - Capped Iron Rod Set PLS #1273
 - Subdivision Lot Number
 - Potential Edge of Driveway
 - Potential Building Location
 - Potential Contour

NOTES

THE PURPOSE OF THIS PLAN IS TO SHOW THE RECONFIGURATION OF CERTAIN LOTS PURSUANT TO SECTION 14-400(3) OF THE LAND USE CODE OF ORDINANCES OF THE CITY OF PORTLAND.

DEVELOPMENT OF THE PARCELS PROPOSED AS PART OF THIS PLAN SHALL BE IN ACCORDANCE WITH DIVISION 6 (SECTIONS 14-76 THROUGH 14-81) OF CHAPTER 14, LAND USE, OF THE CODE OF ORDINANCES OF THE CITY OF PORTLAND, SUPPLEMENT 5, DATED JANUARY 1998. EXCERPTS OF THE DIMENSIONAL REQUIREMENTS ARE PRESENTED BELOW:

MINIMUM LOT SIZE	10,000 S.F.
MINIMUM FRONTAGE	50 FT.
MINIMUM SETBACKS:	
FRONT YARD	25 FT.
REAR YARD	25 FT.
SIDE YARD *	
1 STORY	12 FT.
1 1/2 STORES	12 FT.
2 STORES	14 FT. ±
2 1/2 STORES	16 FT.
MINIMUM LOT WIDTH	60 FT.

* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN TWELVE (12) FEET IN WIDTH. ± SIDE YARDS SHOWN ON PLAN ARE 14 FEET AND MAY BE INCREASED OR DECREASED DEPENDING UPON NUMBER OF STORES.

STRUCTURE ENVELOPES AS SHOWN ON THIS PLAN REPRESENT THE MAXIMUM AREA FOR CONSTRUCTION OF THE PRINCIPAL STRUCTURE. ANY CHANGES TO SUCH AREA MUST RECEIVE THE WRITTEN APPROVAL OF THE CITY OF PORTLAND PLANNING AUTHORITY PRIOR TO COMMENCEMENT OF CONSTRUCTION AND MUST BE RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS WITH A REFERENCE TO THE PLAN BOOK AND PAGE FOR THIS PLAN.

EACH LOT SHALL REQUIRE THE SUBMISSION OF A SITE PLAN FOR REVIEW AND APPROVAL PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, AND SHALL BE SUBJECT TO REVIEW PURSUANT TO ARTICLE V OF CHAPTER 14 OF THE PORTLAND CITY CODE.

MINIMUM ELEVATIONS FOR THE LOWEST BUILDING OPENING AND BUILDING SILL MUST BE AS DEPICTED ON THIS PLAN. THE LOWEST BUILDING OPENING ELEVATION SHALL BE CALCULATED AS AN ELEVATION A MINIMUM OF SIX INCHES ABOVE THE ROAD CENTERLINE ELEVATION. THE BUILDING SILL ELEVATION SHALL BE CALCULATED AS AN ELEVATION A MINIMUM OF TWO FEET ABOVE THE ROAD CENTERLINE ELEVATION. MODIFICATION OF THE MINIMUM BUILDING OPENING ELEVATION FOR ANY LOT MAY BE APPROVED BY THE PORTLAND PLANNING AUTHORITY UNDER SITE PLAN REVIEW, PROVIDED THAT AN ACCEPTABLE GRADING PLAN DEMONSTRATES POSITIVE DRAINAGE FLOWS AWAY FROM THE PROPOSED OPENING. SAID MODIFICATIONS SHALL BE APPROVED IN WRITING BY THE PORTLAND PLANNING AUTHORITY PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. ANY CHANGES TO SUCH ELEVATIONS MUST BE RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS, WITH REFERENCE TO THE PLAN BOOK AND PAGE NUMBERS FOR THIS PLAN.

A MINIMUM OF TWO TREES PER LOT SHALL BE CONSERVED OR PLANTED IN THE FRONT YARD OF EACH LOT MEETING THE CITY OF PORTLAND'S AGRICULTURAL SPECIFICATION AND STANDARD OF PRACTICE AND LANDSCAPE DESIGN GUIDELINES. DEVELOPER MAY CONTRACT FOR THE PLACEMENT OF LANDSCAPING, BUT SHALL REMAIN ULTIMATELY LIABLE TO THE CITY OF PORTLAND FOR FINANCIAL OBLIGATION FOR COMPLIANCE WITH CITY ORDINANCES AND APPROVALS. SUCH FINANCIAL OBLIGATION SHALL BE NEITHER TRANSFERABLE NOR WAIVABLE BY THE DEVELOPER PURSUANT TO CONDITIONS AND LIMITATIONS OF SECTION 6 OF THE CITY OF PORTLAND, MAINE TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.

ALL DRIVEWAYS SHALL BE PAVED WITHIN ONE (1) YEAR OF THE RECEIPT OF CERTIFICATE OF OCCUPANCY.

PRIVATE DRAINAGE EASEMENTS, TREE CLEARING, CONSTRUCTION OF BUILDINGS, FILLING, REGRADING, OR OTHER OBSTRUCTIONS SHALL BE PROHIBITED WITHIN THE PRIVATE DRAINAGE EASEMENTS, UNLESS APPROVED IN WRITING BY THE CITY OF PORTLAND PLANNING DEPARTMENT UNDER SITE PLAN REVIEW.

- REFERENCES**
1. PLAN OF "FOREST AVENUE TERRACE", DATED MAY 17, 1910, RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 12, PAGE 5.
 2. PLAN OF "WOODFORDS GARDENS", DATED NOV. 16, 1996, RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 13, PAGE 75.
 3. PLAN SHOWING A PORTION OF "WOODFORDS GARDENS", DATED AUG. 5, 1993, RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 136, PAGE 140.
 4. PLAN OF "MILFLOREST WEST", DATED 5/19/1988, RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 176, PAGE 32.
 5. PLAN OF A "STANDARD BOUNDARY SURVEY AT 115-127 TARBELL AVE.", DATED AUG. 16, 1988, MADE BY DEVLANSBERRY & ASSOC., INC.
 6. PLAN/PROFILE OF MILTON STREET MADE BY LAND USE CONSULTANTS DATED 04/08/99

TOTAL AREA LOTS = 101,417.42 S.F. / 2.33 ACRES
 ELEVATIONS ARE BASED ON INFORMATION PROVIDED BY LAND USE CONSULTANTS, BEING THE SAME VERTICAL DATUM AS SHOWN ON THE PLAN PROFILE OF MILTON STREET. SEE REFERENCE 6. BENCH MARK: FRONT SPURLINE NUT ON HILARIAN AT GRANITREE AND BEVERLY STREETS ELEVATION = 73.82.

NO PUBLIC SERVICES (I.E. SHOW FLOWING, TRASH REMOVAL, LIGHTING) WILL BE PROVIDED UNLESS AND UNTIL THIS SECTION OF MILTON STREET IS ACCEPTED BY THE CITY COUNCIL.

4	1/13/00	REVISED SD SERVICE: LOTS 165, 168 & 169
3	1/7/00	REVISED PER COMMENTS FROM CITY OF PORTLAND
2	12/20/99	MODIFIED LOTS 171 AND 172
1	9/24/99	MODIFIED LOT LAYOUT EAST OF MILTON STREET
Rev.	Date	Revision

PLANNING BOARD WORKSHOP SUBMISSION	7/30/99	AMP
Issued For	Date	By

Designer: AMP Draft: JBC, V.V. Date: 1/6/00
 Checked: Soder: 1" = 25' Job No.: 99060

This plan shall not be modified without written permission from Gorrill-Palmer Consulting Engineers, Inc. (GPCEI). Any alterations, unauthorized or otherwise, shall be at the user's sole risk and without liability to GPCEI.

Gp Gorrill-Palmer Consulting Engineers, Inc.
 PO Box 1237 Traffic and Civil Engineering Services 207-657-6910
 31 Main Street Gray, ME 04039 FAX: 207-657-6912
 E-Mail: gpcei@maine.rr.com

Drawing Name: **Conceptual Development Plan**
 Project: **MILTON STREET EXTENSION**

Drawing No. **5**