

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND

# BUILDING PERMIT

This is to certify that THOMAS RYAN

Located At 147 LYNN ST

Job ID: 2012-09-4890-ALTR

CBL: 332-J-050-001

has permission to Rebuilding & enlarging front/side decks

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

**Fire Prevention Officer**

**Code Enforcement Officer / Plan Reviewer**

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
PENALTY FOR REMOVING THIS CARD**

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Footings/Setbacks prior to pouring concrete

Close In Elec/Plmb/Frame prior to insulate or gyp

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life* • [www.portlandmaine.gov](http://www.portlandmaine.gov)

Director of Planning and Urban Development  
Jeff Levine

Job ID: 2012-09-4890-ALTR

Located At: 147 LYNN ST

CBL: 332- J-050-001

## **Conditions of Approval:**

### **Zoning**

1. This permit is being approved on the basis of plans submitted along with phone calls and e-mails sent and received. Any deviations shall require a separate approval before starting that work.
2. It is understood that the rebuild of the front entry will result in the front stoop and stairs to project no more than 6' from the front of the building. The width of the front stoop and stairs shall be no wider than 7.5' as given. The roof may overhang several inches as proposed.
3. As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor.
4. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-09-4890-ALTR	Date Applied: 9/5/2012	CBL: 332- J-050-001	
Location of Construction: 147 LYNN ST	Owner Name: THOMAS RYAN	Owner Address: 147 LYNN ST PORTLAND, ME 04103	Phone: 878-3431 450-6921 (C)
Business Name:	Contractor Name: OWNER	Contractor Address:	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: <del>SB</del> R-2
Past Use: Single Family Dwelling	Proposed Use: Same: Single Family Dwelling- to rebuild & enlarge front & side decks	Cost of Work: \$1,000.00	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: R-3 Type: SB TRC09
Proposed Project Description: Rebuilding & enlarging front/side decks		Pedestrian Activities District (P.A.D.)	
Permit Taken By: Brad		<b>Zoning Approval</b>	

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<p><b>Special Zone or Reviews</b></p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetlands</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p>	<p><b>Zoning Appeal</b></p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p>	<p><b>Historic Preservation</b></p> <p><input checked="" type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p>
	<p>Maj <input type="checkbox"/> Min <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: <i>ok with conditions</i> <i>10/1/12</i></p> <p style="text-align: center;"><b>CERTIFICATION</b></p>	<p>Date:</p>	<p>Date:</p>

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



# General Building Permit Application

Entail 9/5/12  
R2 (B)

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

# 2012-09-1890-ALTR

Location/Address of Construction: <b>147 LYNN STREET, PORTLAND 04103</b>		
Total Square Footage of Proposed Structure/Area <b>56 SQ'</b>	Square Footage of Lot <b>9300 11,790</b>	Number of Stories <b>2</b>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot#  <b>332      J050</b>	Applicant : (must be owner, lessee or buyer) Name <b>THOMAS RYAN</b> Address <b>147 LYNN ST.</b> City, State & Zip <b>PORTLAND, ME 04103</b>	Telephone: <b>207 878 3431</b> <b>1000</b>
Lessee/DBA <b>RECEIVED SEP 05 2012 Dept. of Building Inspections City of Portland Maine</b>	Owner: (if different from applicant) Name Address City, State & Zip	Cost of Work: \$ <del>950.00</del> C of O Fee: \$ Historic Review: \$ Planning Amin.: \$ Total Fee: \$ <b>30-</b>
Current legal use (i.e. single family) <u><b>SINGLE FAMILY</b></u> Number of Residential Units <u><b>1</b></u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <b>RE-BUILT &amp; SLIGHTLY ENLARGE FRONT &amp; SIDE DECKS FOR EGRESS</b>		
Contractor's name: _____ Email: _____ Address: <u><b>DOING IT MYSELF</b></u> City, State & Zip _____ Telephone: _____ Who should we contact when the permit is ready: _____ Telephone: _____ Mailing address: _____		

Please submit all of the information outlined on the applicable checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

and I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature:  Date: **5 SEPT 2012**

This is not a permit; you may not commence ANY work until the permit is issued



# PORTLAND MAINE

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## Receipts Details:

**Tender Information:** Check , Check Number: 4961  
**Tender Amount:** 30.00

## Receipt Header:

**Cashier Id:** bsaucier  
**Receipt Date:** 9/5/2012  
**Receipt Number:** 47884

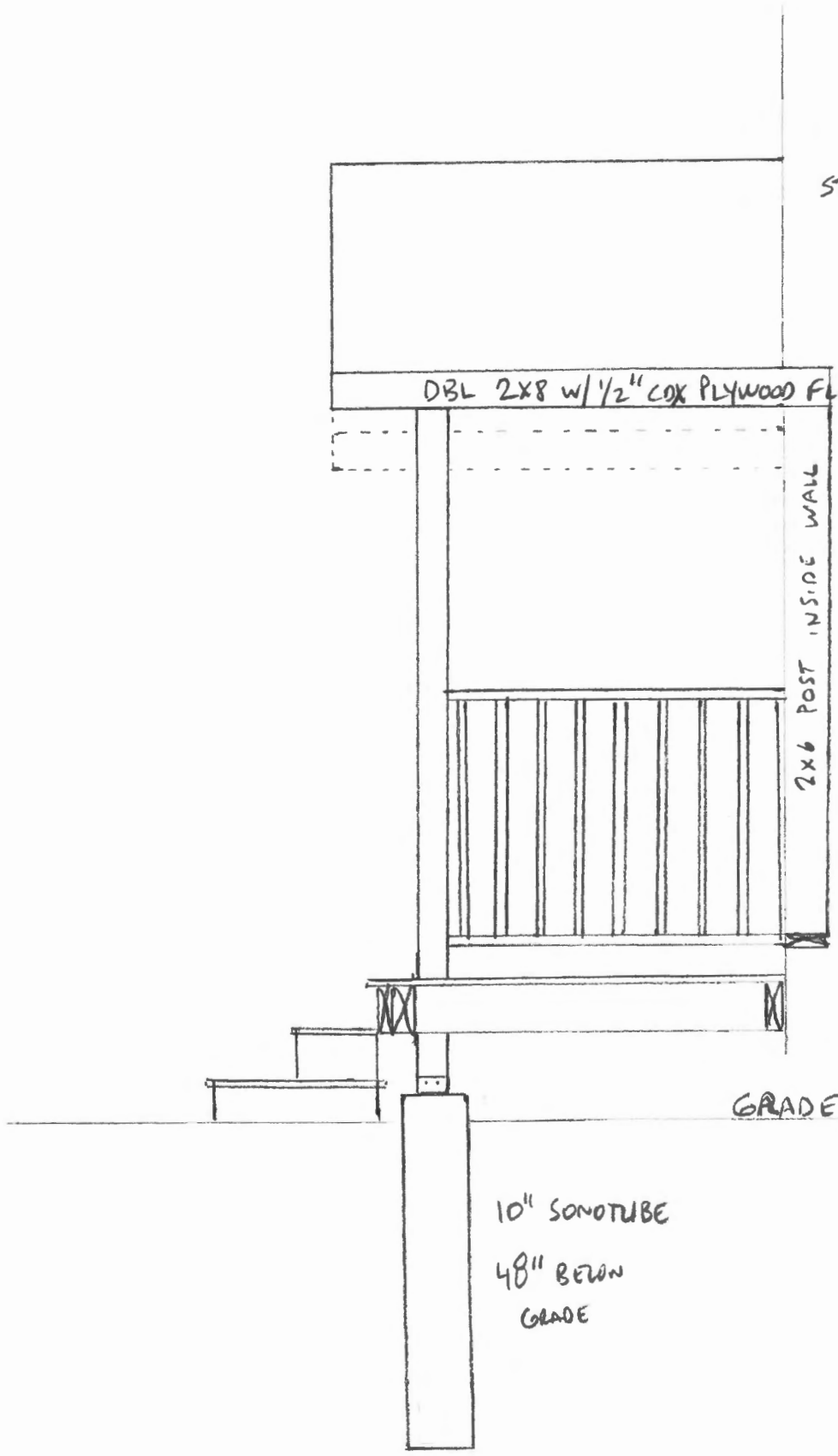
## Receipt Details:

Referance ID:	7913	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	30.00	Charge Amount:	30.00
Job ID: Job ID: 2012-09-4890-ALTR - Rebuilding & enlarging front/side decks			
Additional Comments: 147 Lynn			

Thank You for your Payment!

FRONT PORCH  
SIDE VIEW  
FRAMING DETAIL

N W ELEVATION



STANDARD  
STEP  
FLASHING  
FOR ROOF/SIDING

DBL 2X8 w/1/2" COX PLYWOOD FLITCH

2X6 POST INSIDE WALL

BALUSTER 4 1/2" ABOVE DECK  
5" o/c  
3 3/4" SPACE IN BETWEEN

GRADE

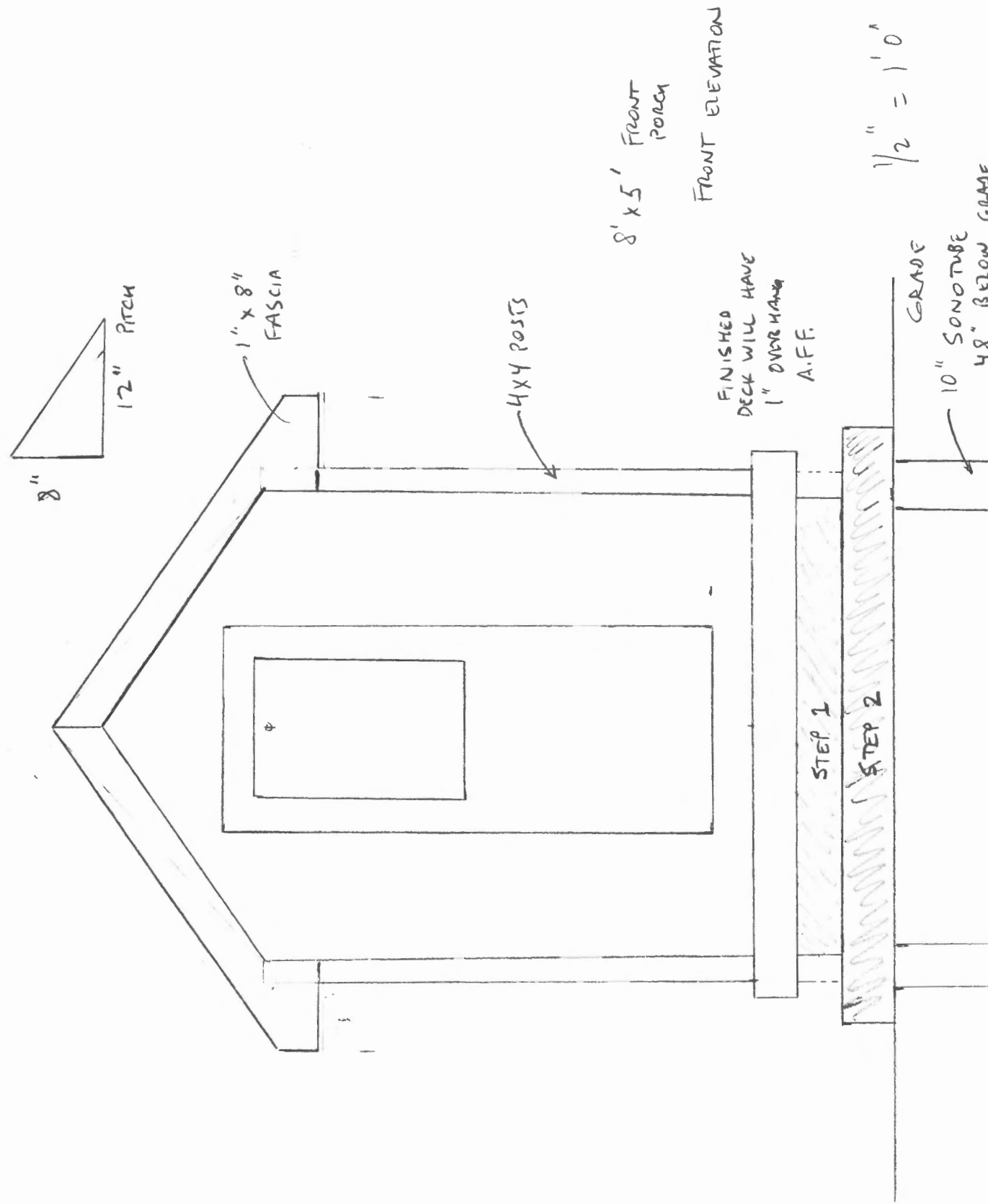
10" SONOTUBE  
48" BELOW  
GRADE

1/2" = 1' 0"

FRONT VIEW

FRONT PORCH

NE ELEVATION

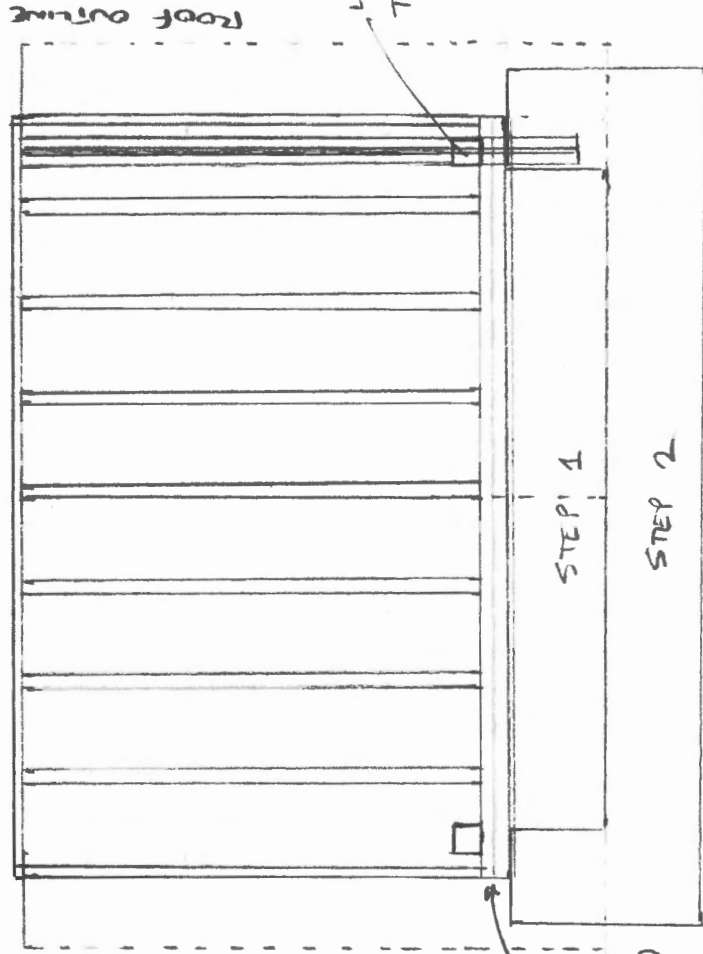




# FRONT PORCH DECK FRAMING DETAIL

LEDGER BOARD 2x8  
 ALL DECK FRAMING 2x8 @ 12" o/c  
 ALL PERPENDICULAR FRAMING UNIONS  
 TO HAVE TENO FASTENERS  
 (2x8) 9'6" o/a

POSTS TO FLOOR PLATE  
 INTO POCKET OF WALL  
 1/2" COP  
 DBL 2x8 w/PLYWOOD  
 COAR  
 2x8 RAFTERS 12" o/c  
 2x8 RIDGE



4x4 POSTS WILL HAVE AN ALUMINUM POST  
 SUPPORT ANCHOR

7 1/2" RISE

12" RUN

12" WIDE STEP

DBL  
 2x8 BOLTED  
 THROUGH  
 4x4 POST

GRADE

1/2" = 1' 0"

SCALE

DISTANCE BETWEEN PIERS  
 7'3" c/c

SIDE PORCH  
NE ELEVATION

ROLL  
FLASHING  
UNDER SIDING

SIDE PORCH  
NW  
ELEVATION

1 X 8 FASGIA

ROOF  
PITCH 5/12

BALUSTER 42" ABOVE DECK  
5" o/c  
3 3/4" SPACE  
IN BETWEEN

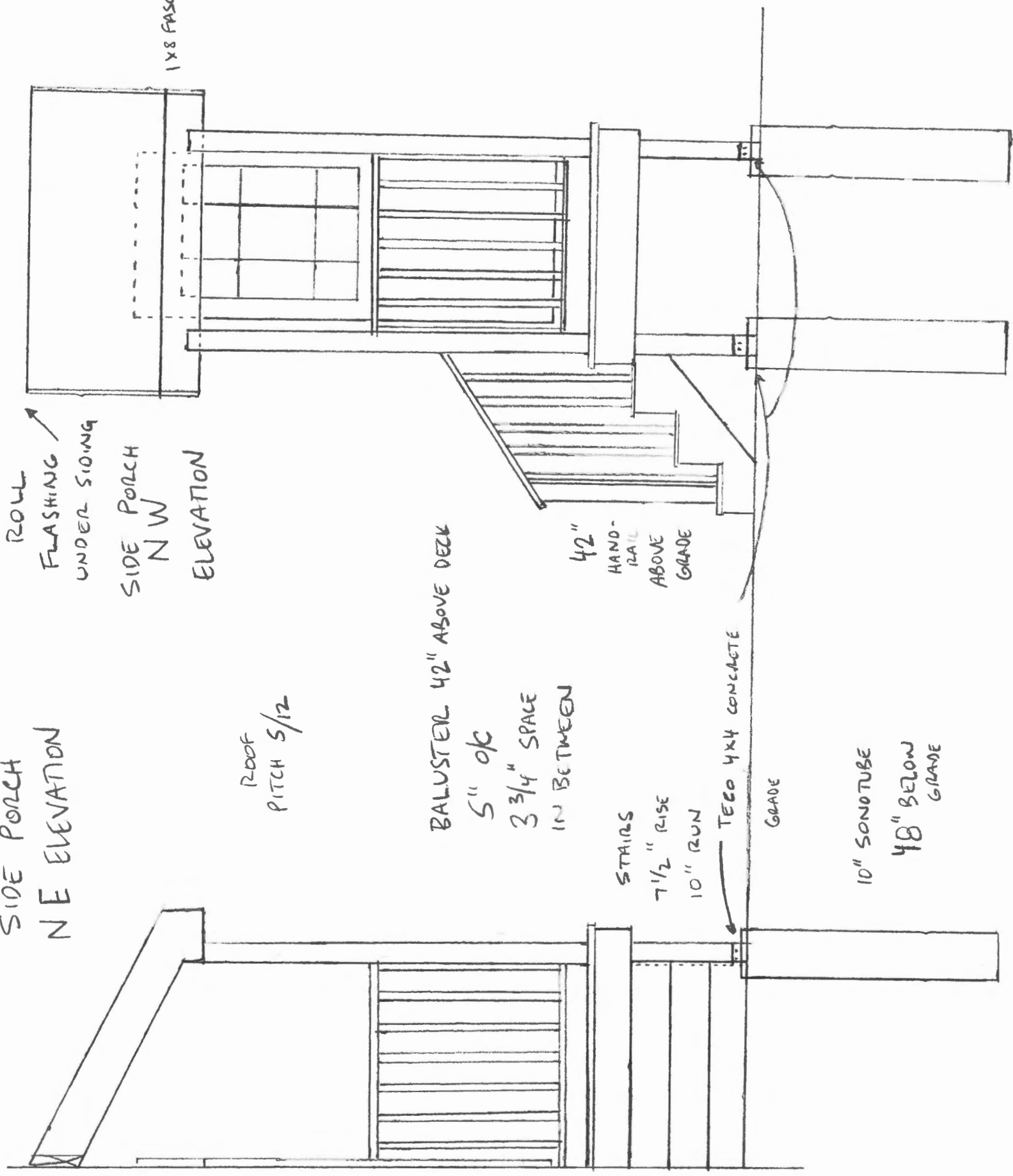
42"  
HAND-  
RAIL  
ABOVE  
GRADE

STAIRS  
7 1/2" RISE  
10" RUN

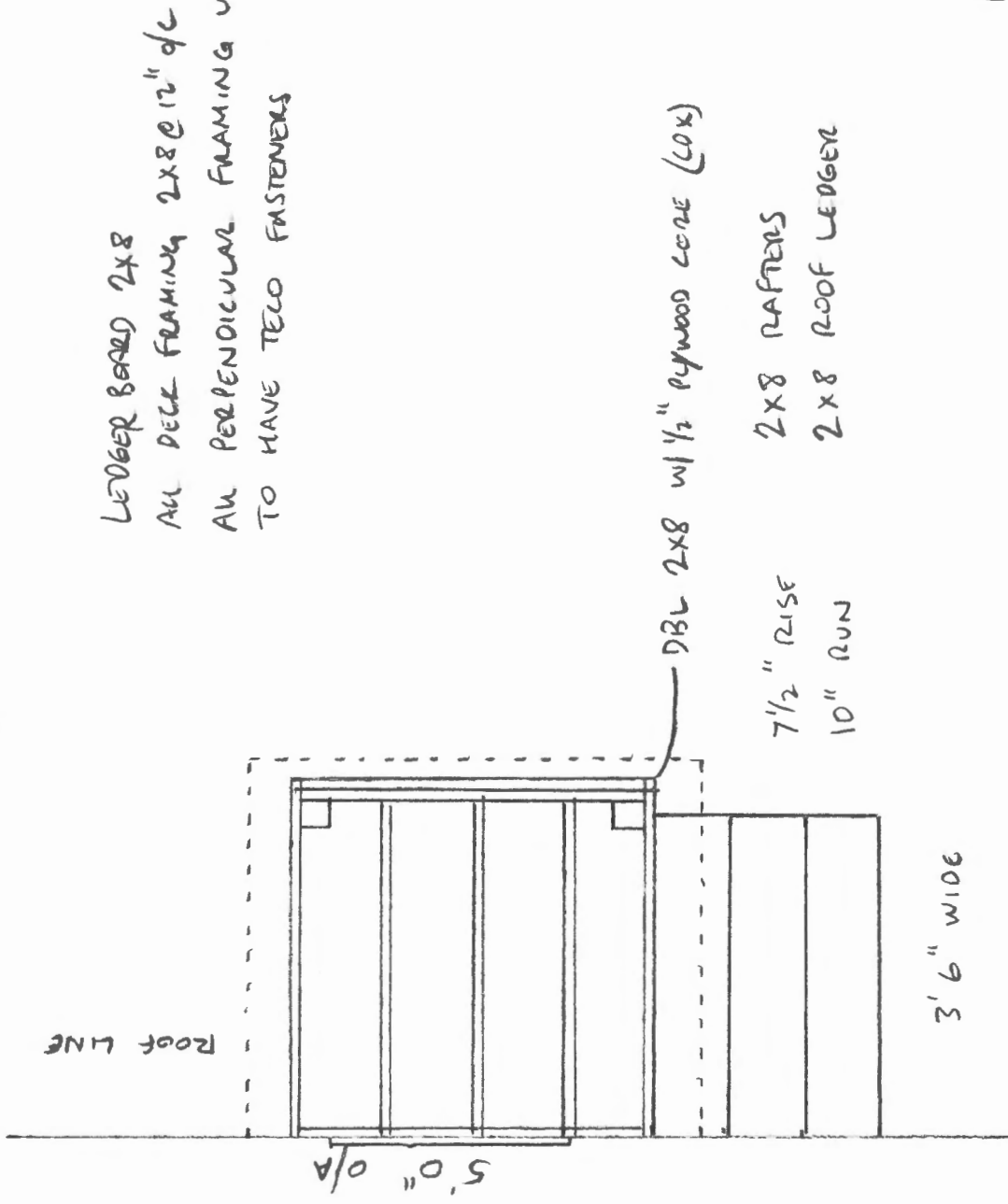
TECO 4X4 CONCRETE  
GRADE

10" SONOTUBE  
48" BELOW  
GRADE

EXISTING  
HOUSE



SIDE PORCH  
DECK FRAMING  
DETAIL



LEDGER BOARD 2x8  
ALL DECK FRAMING 2x8 @ 12" o/c  
ALL PERPENDICULAR FRAMING UNIONS  
TO HAVE TECO FASTENERS

DBL 2x8 w/ 1/2" PLYWOOD CORE (COX)  
7 1/2" RISE  
10" RUN  
2x8 RAFTERS  
2x8 ROOF LEDGER

3'6" WIDE



**Brad Saucier - Re: Plot Plan for 147 Lynn Street**

---

**From:** Thomas Ryan <dujed@aol.com>  
**To:** <BJS@portlandmaine.gov>  
**Date:** 9/17/2012 1:40 PM  
**Subject:** Re: Plot Plan for 147 Lynn Street

---

Hello Brad,

Yes, the front porch has the roof line drawn and the side porch is the small rectangle on the right side. Let me know if this is acceptable or if I need to send you another plot plan showing the prior structures.

Thanks,  
 Tom Ryan

-----Original Message-----

From: Brad Saucier <BJS@portlandmaine.gov>  
 To: Thomas Ryan <dujed@aol.com>  
 Sent: Mon, Sep 17, 2012 12:51 pm  
 Subject: Re: Plot Plan for 147 Lynn Street

Typically, permits like this need a current plot plan (no changes) and a proposed (with changes) with measurements on all sides of all structures. They can be on the same plot plan, but need to be differentiated in some way. (Typically proposed changes are highlighted or changed from the original in some way.) Are you saying the proposed changes are part of the plot plan you provided?

**Brad Saucier**

Administrative Assistant  
 Inspections Division  
 City of Portland  
 (207) 874-8703

>>> Thomas Ryan <dujed@aol.com> 9/17/2012 12:17 PM >>>  
 Hello Brad,

The plot plan includes both the front deck enlargement (width only) as well as the side porch enlargement. I've included the correct setback on the side porch and there is no change on the setback for the front porch.

If you look at the right side, the setback is 53' 9" from the enlarged side porch to the sidewalk. The front porch remains unchanged at 20' 8"

Which setbacks are missing?

Thanks,  
 Tom Ryan

-----Original Message-----

From: Brad Saucier <BJS@portlandmaine.gov>  
 To: Thomas Ryan <dujed@aol.com>  
 Sent: Mon, Sep 17, 2012 11:27 am  
 Subject: Re: Plot Plan for 147 Lynn Street

Hi Tom

Unfortunately this plot plan does not show the new deck enlargement and set backs from that. Please provide that on the plot plan and send it back.

**Brad Saucier**

Administrative Assistant  
Inspections Division  
City of Portland  
(207) 874-8703

>>> Thomas Ryan <[dujed@aol.com](mailto:dujed@aol.com)> 9/15/2012 12:59 PM >>>  
Hello Brad,

I've attached a pdf of my plot plan for the proposed re-construction of my front and side porches. Please let me know if you need anything else.

Kind regards,  
Tom Ryan  
147 Lynn Street  
Portland, 04103

**Brad Saucier - Re: 147 Lynn Street Plot Plan**

---

**From:** Thomas Ryan <dujed@aol.com>  
**To:** <BJS@portlandmaine.gov>  
**Date:** 9/19/2012 12:08 PM  
**Subject:** Re: 147 Lynn Street Plot Plan

---

Hi Brad,

The original deck sizes & dimensions are 5'x7' on the front porch and 3'x5' on the side porch. The original front and side porches are to scale on the plot plan I sent today. Do you need me to write the dimensions on the plot plan and re-submit it? I'm happy to, I just want to be sure I'm giving you what you require.

Thanks,  
Tom Ryan

-----Original Message-----

From: Brad Saucier <BJS@portlandmaine.gov>  
To: Thomas Ryan <dujed@aol.com>  
Sent: Wed, Sep 19, 2012 9:50 am  
Subject: Re: 147 Lynn Street Plot Plan

Hi Tom

The issue is this: *what was the original deck size & dimensions* and to show it on the plot plan as "before" and "after". I don't think there was an issue with the shed.

**Brad Saucier**

Administrative Assistant  
Inspections Division  
City of Portland  
(207) 874-8703

>>> Thomas Ryan <dujed@aol.com> 9/19/2012 9:41 AM >>>  
Hello Brad,

I've attached the unaltered plot plan. The shed that is drawn in from my last permit was never constructed so it has been removed on the plot plan that I sent previously. Please let me know if you need anything else.

Kind regards,  
Tom Ryan

**Marge Schmuckal - Re: 147 Lynn Street revised drawings**

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**From:** Marge Schmuckal  
**To:** Thomas Ryan  
**Date:** 9/24/2012 10:48 AM  
**Subject:** Re: 147 Lynn Street revised drawings

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Hi Tom,

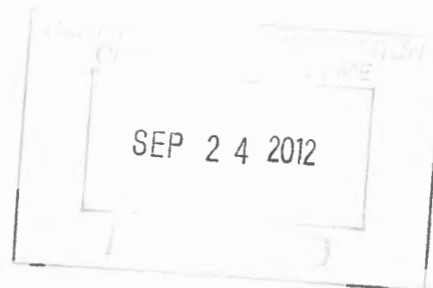
thank you for your revisions. We are not quite there yet. The section of the Ordinance that I was referring to only allows 50 square feet. Your recent submission, 6' x 9.6' = 57 sq. ft. Can you adjust the size to 6' x 8'4"? That would allow you to meet the section of the Ordinance that allows you to build within the required setback of 25'.  
thank you for your efforts on this,  
Marge

>>> Thomas Ryan <dujed@aol.com> 9/22/2012 1:19 PM >>>  
Hello Marge,

I received your phone message today and wanted to thank you for the information. I'm surprised that the current front porch doesn't conform to the code as far as it's distance off the house. I understand that because I am increasing the width, I now must alter my plans to decrease this distance to 6 feet in order to bring my front porch in line with the current code.

I've revised my drawings for the front porch and have attached them to this email. Please let me know if this will meet the requirements or if I need to submit additional information in order to have my permit application meet with your approval.

My best regards,  
Tom Ryan

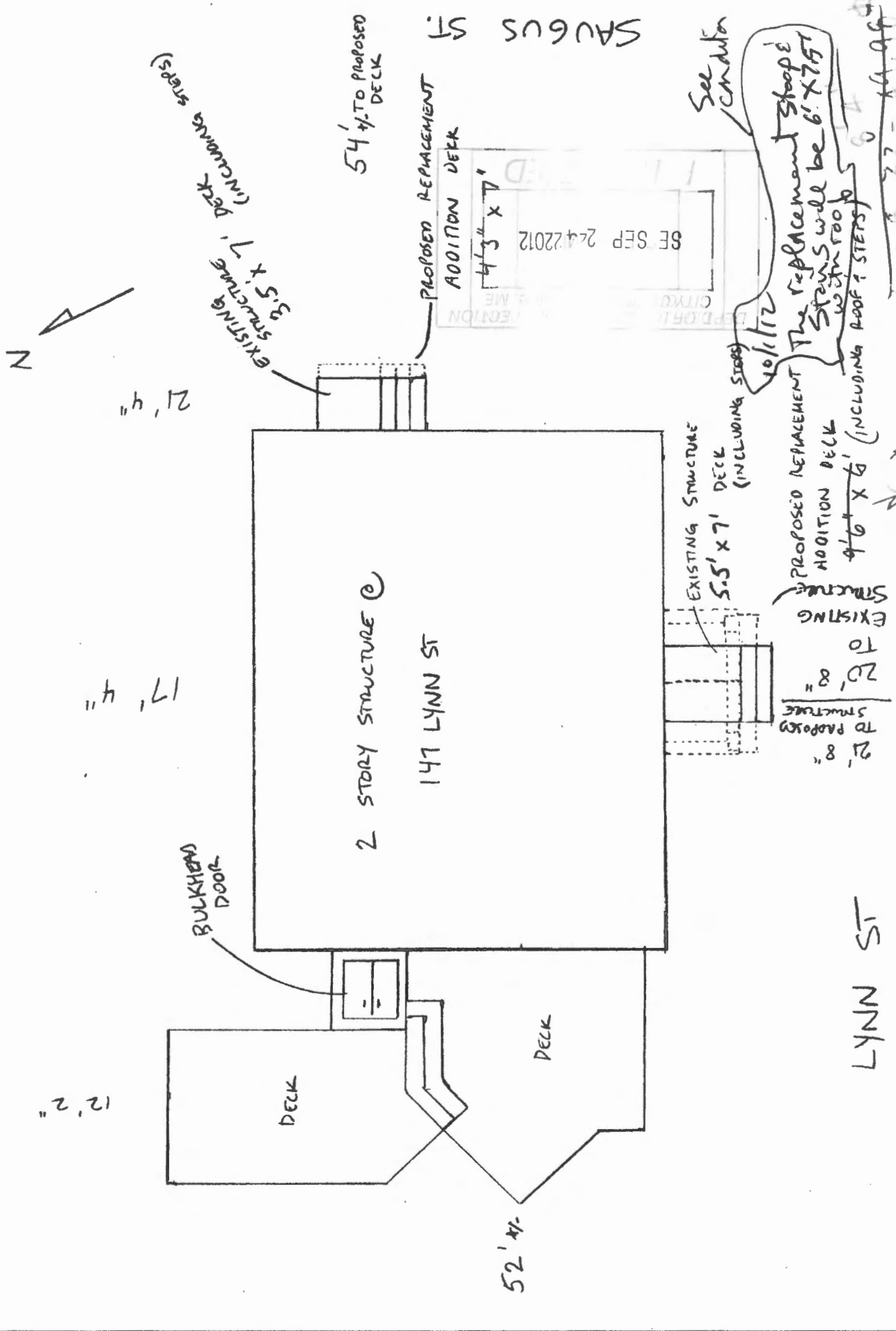


REVISED

ENLARGED PLOT PLAN  
147 LYNN STREET PORTLAND

PROPERTY LINE

1/8" = 1'0"  
SCALE



LYNN ST

2 STORY STRUCTURE @

147 LYNN ST

BULKHEAD DOOR

DECK

DECK

EXISTING STRUCTURE  
5.5' x 7' DECK  
(INCLUDING STAIRS)

EXISTING STRUCTURE  
TO PROPOSED STRUCTURE  
2'8" TO 20'8"

PROPOSED REPLACEMENT HOODITION DECK  
4'6" x 6' (INCLUDING ROOF STEPS)

PROPOSED REPLACEMENT HOODITION DECK  
4'3" x 7'

54' 1/2' TO PROPOSED DECK

EXISTING STRUCTURE  
3.5' x 7' DECK  
(INCLUDING STAIRS)



See conditions

The replacement Stoop Stairs will be 6' x 7.5' with roof

10/1/12

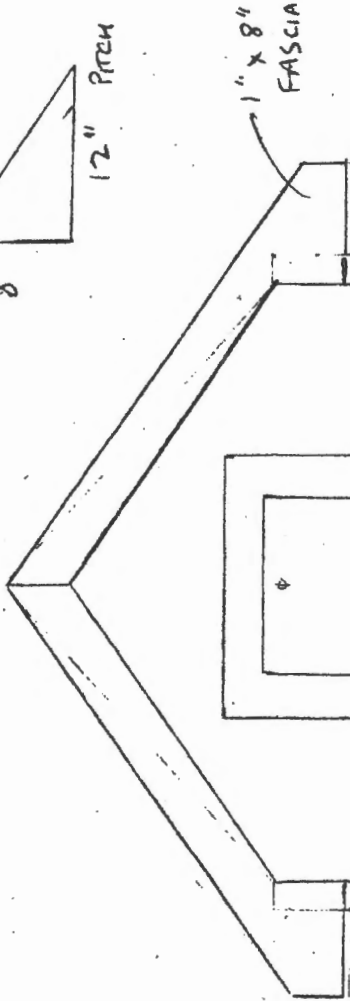
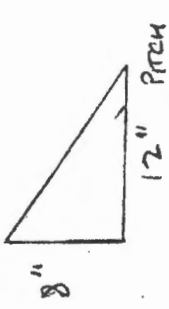
147 8.33 = 14.96

R22



REVISED FRONT VIEW FRONT PORCH NE ELEVATION

SEP 24 2012



8' x 4' FRONT PORCH

FRONT ELEVATION

FINISHED DECK WILL HAVE 1" OVERHANG A.F.F.

1/2" = 1' 0"

10" SONOTUBE 48" BELOW GRADE

STEP 1

STEP 2

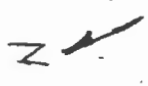
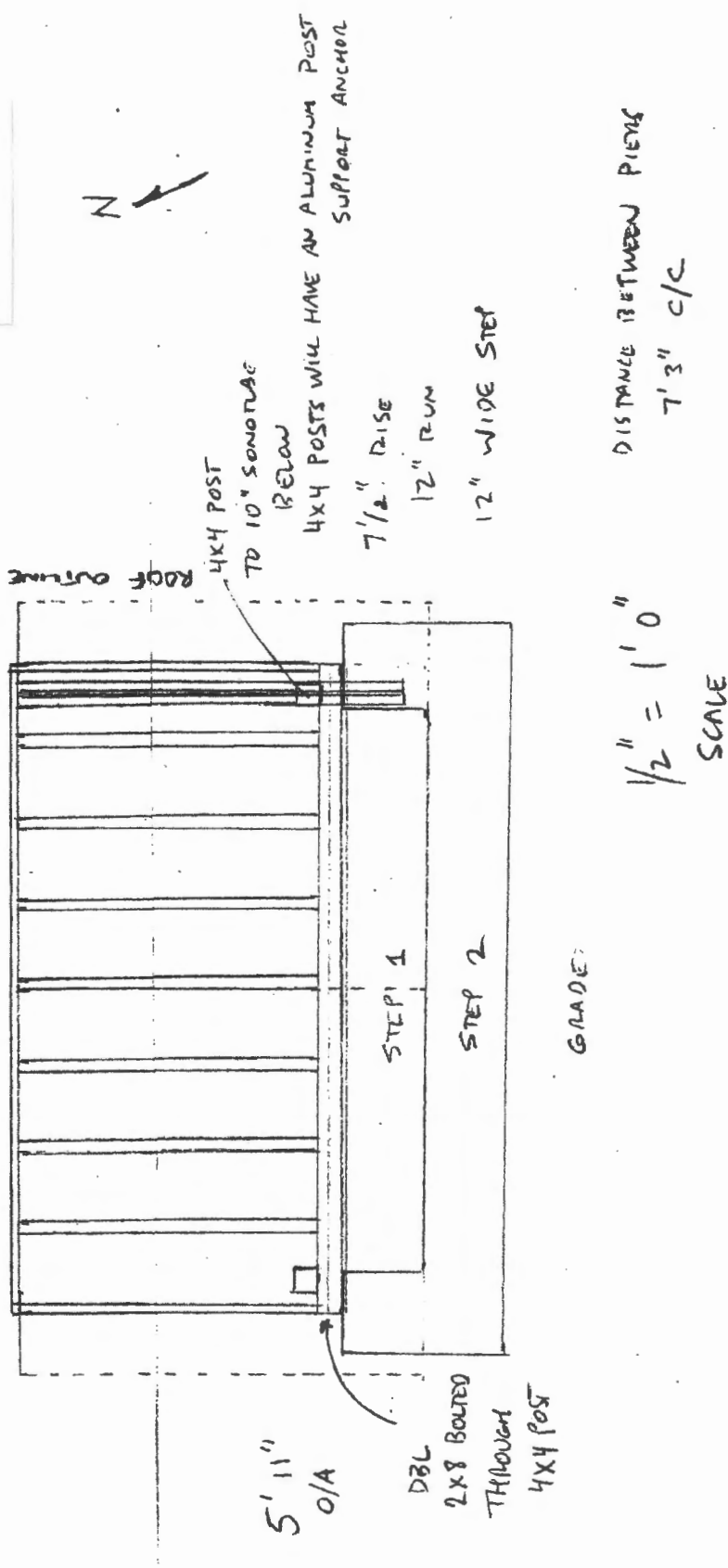
GRADE

# REVISED FRONT PORCH DECK FRAMING DETAIL

LEDGER BOARD 2x8  
 ALL DECK FRAMING 2x8 @ 12" o/c  
 ALL PERPENDICULAR FRAMING UNIONS  
 TO HAVE TENO FASTENERS  
 (2x8) 9'6" o/a

1/2" COB  
 DBL 2x8 w/PLYWOOD  
 INTO POCKET OF WALL  
 POSTED TO FLOOR PLATE  
 FOR ROOF SUPPORT  
 2x8 RAFTERS 12" o/c  
 2x8 RIDGE

DEPT. OF PLANNING & REVISION  
 CITY OF WASHINGTON, D.C.  
 SEP 24 2012



5' 11"  
o/a

DBL  
2x8 BOLTED  
THROUGH  
4x4 POST

GRADE

1/2" = 1' 0"  
SCALE

DISTANCE BETWEEN PIERS  
7' 3" c/c

4x4 POSTS WILL HAVE AN ALUMINUM POST  
SUPPORT ANCHOR

7 1/2" RISE

12" RUN

12" WIDE STEP

STEP 1

STEP 2

**Marge Schmuckal - Follow up 147 Lynn Street**

---

**From:** Thomas Ryan <dujed@aol.com>  
**To:** <mes@portlandmaine.gov>  
**Date:** 9/26/2012 10:31 AM  
**Subject:** Follow up 147 Lynn Street

---

Hello Marge,

I wanted to inquire if you received my last email about calculating the dimensions of the front porch? If the roof line is part of that calculation, I just need to know so I can revise my plans.

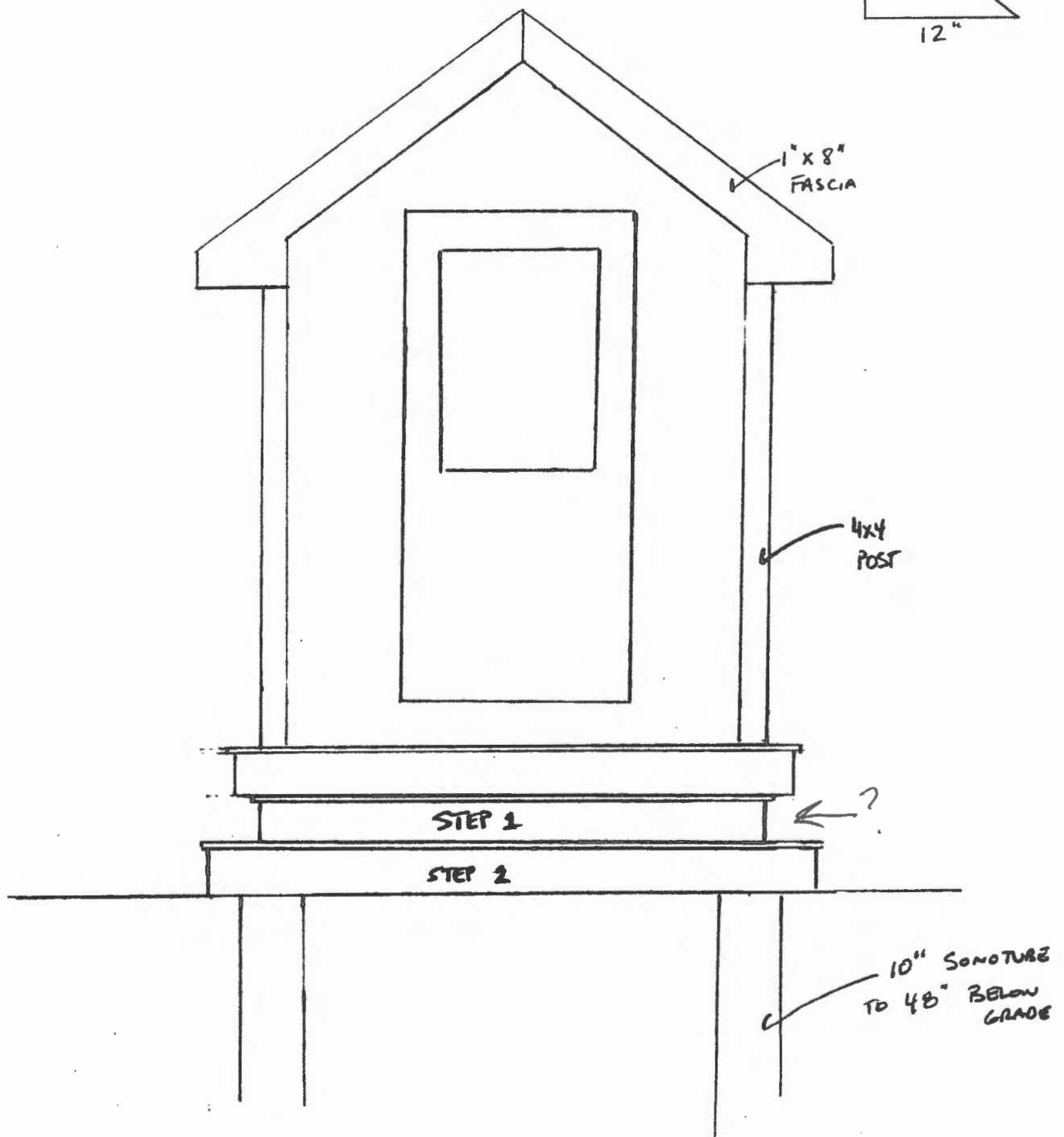
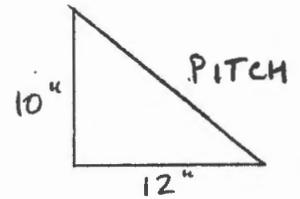
Respectfully,  
Tom Ryan

Projecting from the house

*"The deck is 7.5" x 4' with the steps pushing the overall dimensions to 7.5' x 6' (45 square feet)".*

RE2 VERSION  
FRONT PORCH  
FRONT VIEW

NE ELEVATION  
 $\frac{1}{2}'' = 1'0''$



RE-2 VERSION

FRONT PORCH  
DECK FRAMING  
DETAIL

1" = 1' 0"

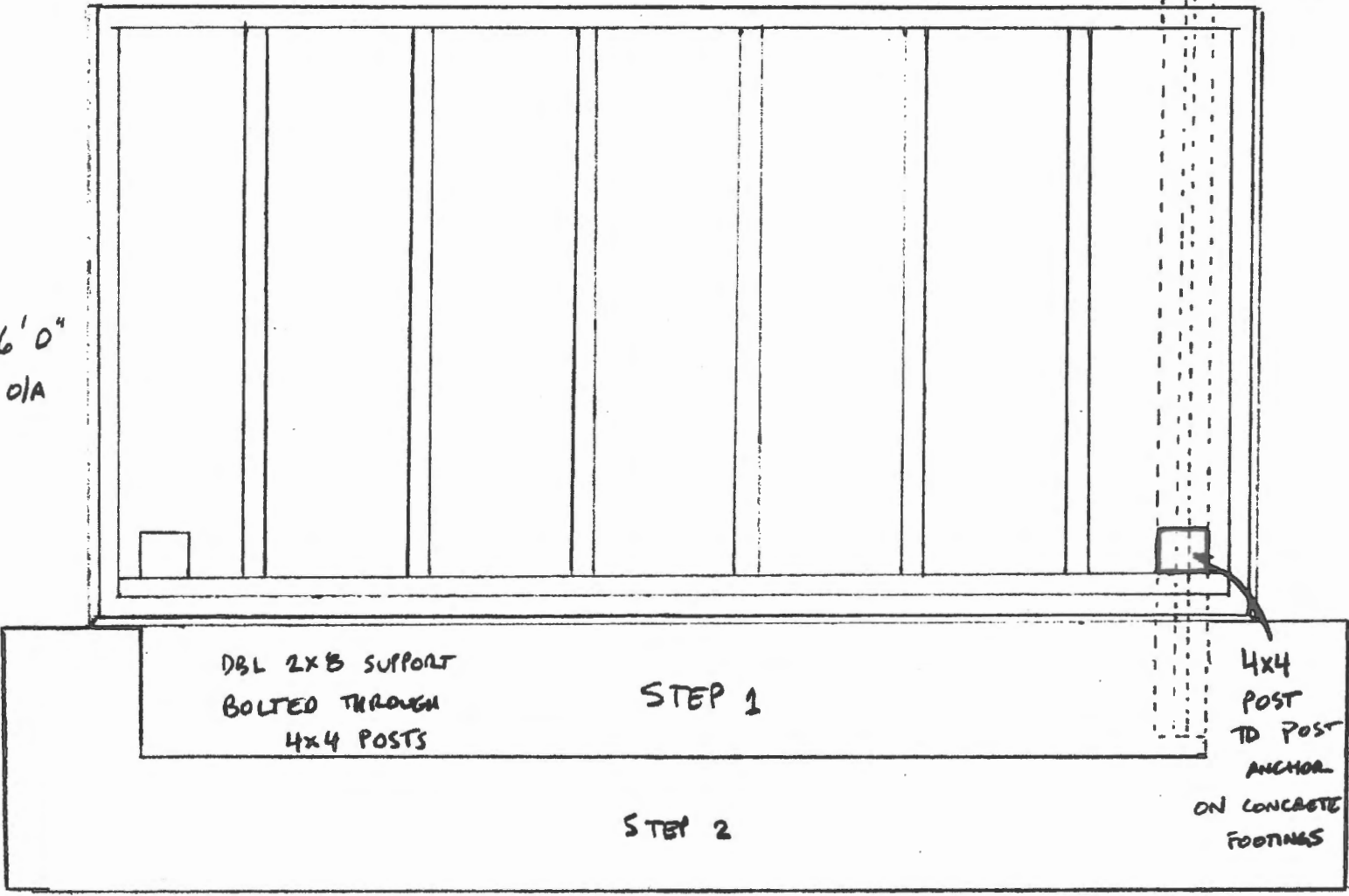
7' 4" o/a

ALL PERPENDICULAR FRAMING UNIONS  
TO HAVE 2x8 TENO FASTENERS  
ALL DECK FRAMING 2x8 @ 12" o/c  
2x8 LEDGER BOARD

DBL 2x8  
w/ 1/2" COX  
PLYWOOD FLITCH  
ROOF SUPPORT

INTO  
POSTED  
POCKET

6' 0"  
o/a



DBL 2x8 SUPPORT  
BOLTED THROUGH  
4x4 POSTS

STEP 1

STEP 2

4x4  
POST  
TO POST  
ANCHOR  
ON CONCRETE  
FOOTINGS

**Marge Schmuckal - Re: 147 Lynn Street revised drawings**

**From:** Thomas Ryan <dujed@aol.com>  
**To:** <MES@portlandmaine.gov>  
**Date:** 9/24/2012 12:00 PM  
**Subject:** Re: 147 Lynn Street revised drawings

Hello Marge,

Thank you for getting back to me. When calculating this, does the width of the roof dimension come into play? Because the roof line currently on my drawing is 9.5' but I assumed that because it's above, it doesn't apply as square footage.

The deck is 7.5" x 4' with the steps pushing the overall dimensions to 7.5' x 6' (45 square feet).

Let me know when you have a minute.

Thanks,  
 Tom Ryan

*of scaled differently  
 w/ conditions*

—Original Message—

**From:** Marge Schmuckal <MES@portlandmaine.gov>  
**To:** Thomas Ryan <dujed@aol.com>  
**Sent:** Mon, Sep 24, 2012 10:49 am  
**Subject:** Re: 147 Lynn Street revised drawings

Hi Tom,

thank you for your revisions. We are not quite there yet. The section of the Ordinance that I was referring to only allows 50 square feet. Your recent submission, 6' x 9.6' = 57 sq. ft. Can you adjust the size to 6' x 8'4"? That would allow you to meet the section of the Ordinance that allows you to build within the required setback of 25'.  
 thank you for your efforts on this,

Marge

>>> Thomas Ryan <dujed@aol.com> 9/22/2012 1:19 PM >>>  
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I've revised my drawings for the front porch and have attached them to this email. Please let me know if this will meet the requirements or if I need to submit additional information in order to have my permit application meet with your approval.

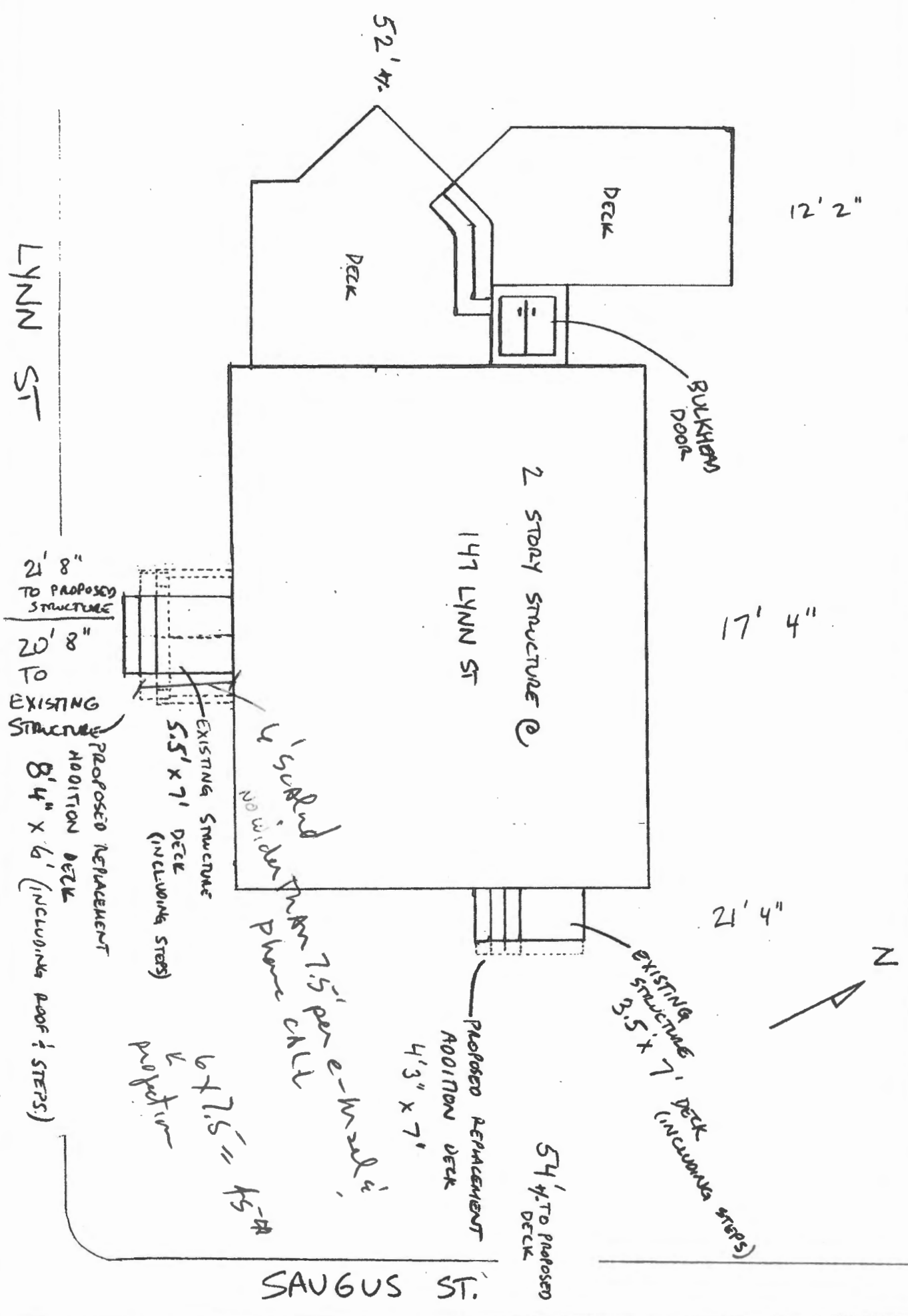
My best regards,  
 Tom Ryan

RE: JENSEN

ENLARGED PLOT PLAN  
147 LYNN STREET PALMAD

PROPERTY LINE

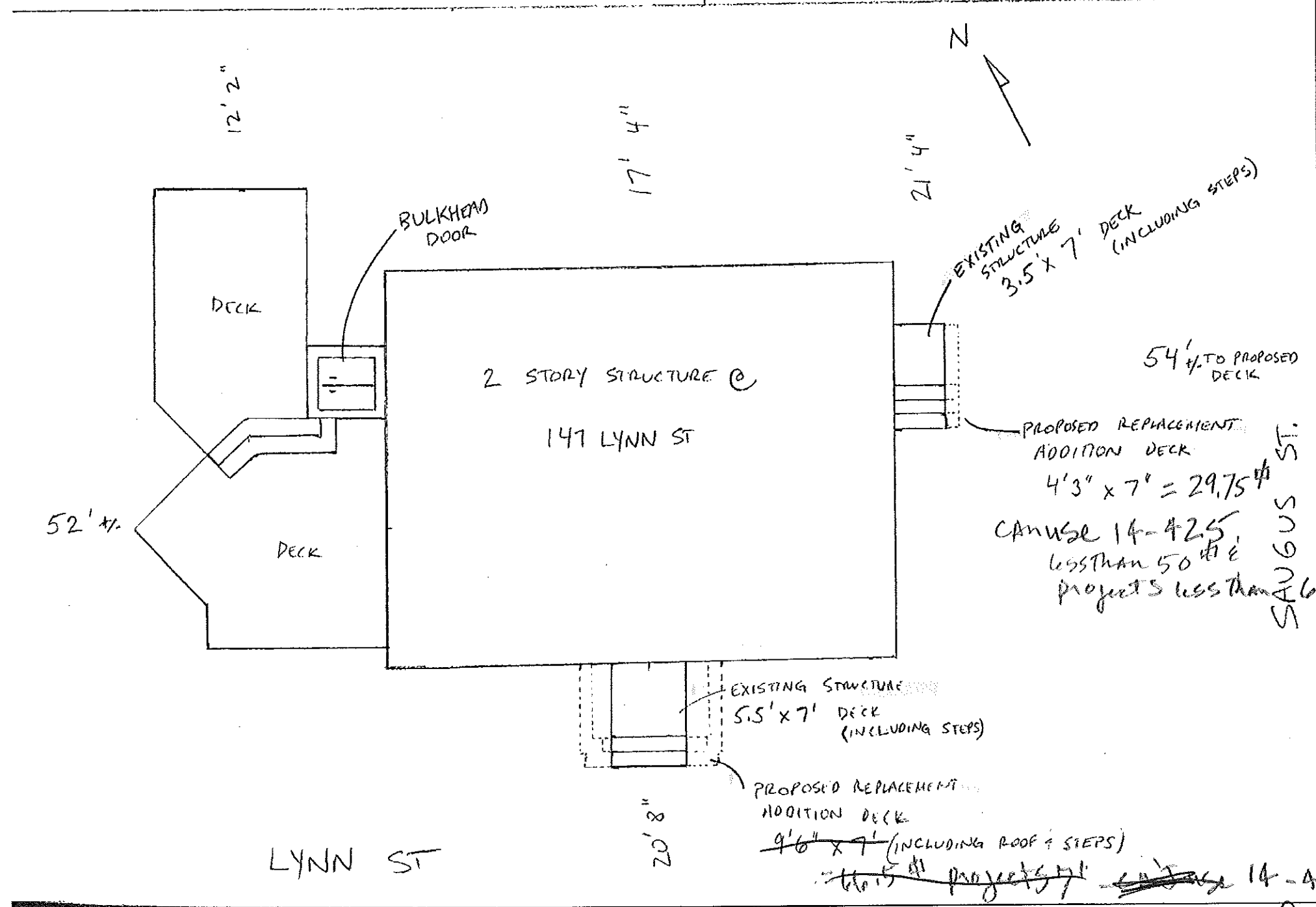
1/8" = 1'0"  
SCALE



ENLARGED PLOT PLAN  
147 LYNN STREET PORTLAND

1/8" = 1'0"  
SCALE

R-2 Zone



54' 1/2" TO PROPOSED DECK

PROPOSED REPLACEMENT ADDITION DECK  
4'3" x 7" = 29.75 sq ft  
CAN USE 14-425'  
LESS THAN 50 sq ft  
PROJECTS LESS THAN 26'

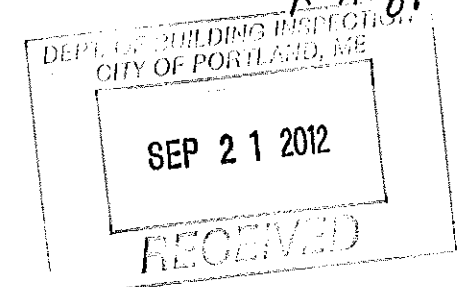
EXISTING STRUCTURE 5.5' x 7' DECK (INCLUDING STEPS)

PROPOSED REPLACEMENT ADDITION DECK 9'6" x 7' (INCLUDING ROOF & STEPS)

~~14-425'~~ ~~PROJECTS~~

ok to use

see PERMITS - see e-mail w/ photo  
Stoop & stairs to be no more than 6' projection from the house  
17.58' x 7' = 45 sq ft





02/14/2017 17:31 FAX

002/002

# MOST CURRENT PLAN

**INSPECTION OF F.H. ...**

**I HEREBY CERTIFY TO GOD FOR**  
**THESE PLANS AND TO THE INSURANCE**  
**COMPANIES AND TO THE INSURANCE**

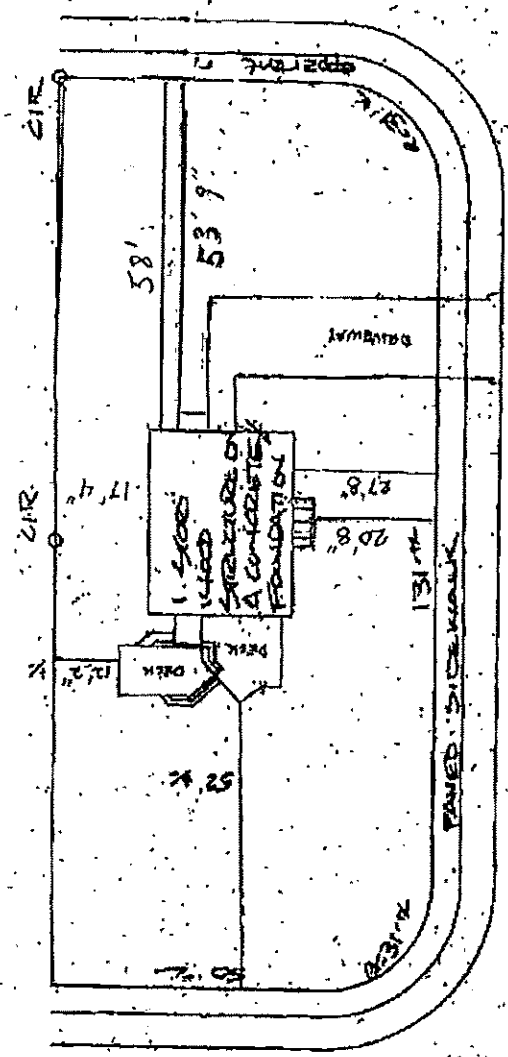
Inspection Date: 01-19-2012  
Scale: 1" = 30'

BUYERS: BRUCE & DENISE M. BOWMAN  
SELLERS: ABUS, LAURIE ZANSKY

The information is not in harmony with current deed description.  
The building setbacks are not in conformity with town zoning requirements.  
The dwelling does not appear to fall within the special flood hazard zone as delineated by the Federal Emergency Management Agency.  
The land does not appear to fall within the special flood hazard zone as indicated on community-panel # 220251-0007B.

RECEIVED  
SEP 17 2012  
Dept. of Building Inspections  
City of Portland Maine

SAUGUS STREET (BIRMINGHAM)



LYNN STREET (BIRMINGHAM)

DEPT. OF BUILDING INSPECTIONS  
CITY OF PORTLAND  
MAY 12 2008

THIS PROPERTY IS SUBJECT TO ALL RIGHTS AND EASEMENTS OF RECORD. THOSE THAT ARE EVIDENT ARE SHOWN. THIS PLAN MIGHT NOT PRESENT CONFLICTS WITH ABUTTING DEEDS.

BRUCE R. BOWMAN, INC.  
178 Gray Road  
Cumberland, Maine 04112  
Phone: 207-749-0555  
Fax: 207-749-0555

PLAN BOOK PAGE 107

THIS PLAN IS NOT FOR RECORDING PURPOSES

RECEIVED  
 SEP 19 2012  
 Dept of Building Inspections  
 City of Portland, Maine

02/14/2017 17:31 FAX

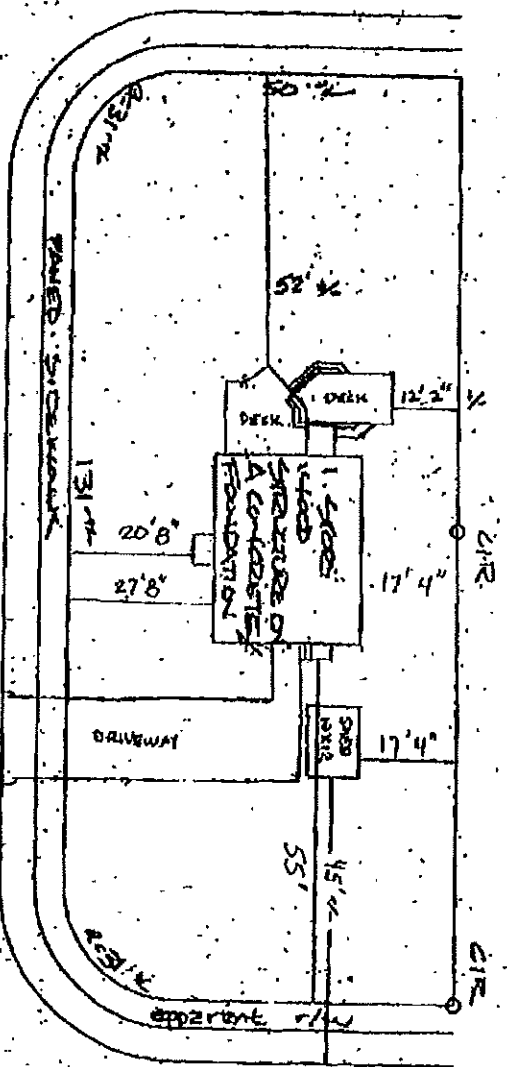
002/002

**INSPECTION OF**  
**I HEREBY CERTIFY TO THE**  
 THE BUILDING SUBJECTS TO THIS PLAN ARE IN CONFORMANCE WITH THE CURRENT CODES AND REGULATIONS.  
 The building setbacks are in conformity with town zoning requirements.  
 The detailing does not appear to fall within the special flood hazard zone as designated by the Federal Emergency Management Agency.  
 The land does not appear to fall within the special flood hazard zone as indicated on community-panel # 2008-0009B.

*Most Cleverest Plan*

Inspection Date: 01-19-2016  
 Scale: 1" = 30'

DESIGNER: JAMES J. DANIEL  
 ARCHITECT: JAMES J. DANIEL  
 ENGINEER: JAMES J. DANIEL

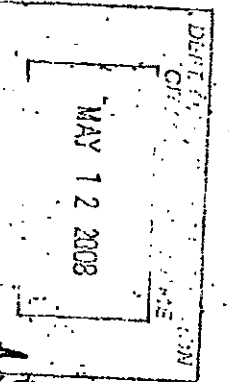


SAUGUS STREET (BITUMINOUS)

THIS PROPERTY IS SUBJECT TO ALL RIGHTS AND EASEMENTS OF RECORD. THOSE THAT ARE EVIDENT ARE SHOWN. THIS PLAN MIGHT NOT REVEAL CONFLICTS WITH ADJUTING DEEDS.

BRUCE R. BOWMAN, INC.  
 178 Gray Road  
 Portland, Maine 04106  
 Tel: 603-763-0888  
 Fax: 603-763-0889

PLAYBOOK PAGE 17  
 THESE PLANS NOT FOR RECORDING DRAWING



*[Handwritten Signature]*