

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 110 Tucker Ave Lot #4 Portland ME		Owner: Martha Bichrest		Phone: 878-0956 842-0162		Permit No: 990909	
Owner Address: SAA		Lessee/Buyer's Name:		Phone:		Business Name:	
Contractor Name: Community Builders		Address: Scar. Me		Phone: Office 883 8194		Permit Issued AUG 20 1999	
Past Use: Vacant New Single Family Home		Proposed Use: New Single Family Home		COST OF WORK: \$98,970.00		PERMIT FEE: \$618.00	
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group 193 Type: 5B BOCA 96	
Proposed Project Description: New Single Family Home w/ attached garage				Signature:		Signature: Hoffe	
				PEDESTRIAN ACTIVITIES DISTRICT (A.D.)			
				Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied			
				Signature:		Date:	
Permit Taken By: K.		Date Applied For: Aug. 10, 1999 K.					

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED
WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

Aug. 10, 1999

SIGNATURE OF APPLICANT ADDRESS: DATE: PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

Zoning Appeal

- ☐ Variance
- ☐ Miscellaneous
- ☐ Conditional Use
- ☐ Interpretation
- ☐ Approved
- ☐ Denied

Historic Preservation

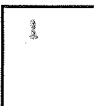
- ☒ Not in District or Landmark
- ☐ Does Not Require Review
- ☐ Requires Review

Action:

- ☐ Approved
- ☐ Approved with Conditions
- ☐ Denied

Date: _____

CEO DISTRICT



COMMENTS

8/25/99 Phone conversation w/ contractor. No problems noted. All

8/26/99 Set Backs OK. All

9/3/99 Checked Foundation, dam proof, drain tile all set JB
called Ken to remind of septic insp. under slab

9/7/99 Underslab plumbing OK (DC)

10/13/99 Mike Collins inspected and reported that they need to fire rate SR utility room w/panel JB

10/19 Roach Inc with JB, SH & Ken Chleek discussed permit
for rear deck, fire rating for garage 1 hr ceiling & walls, 45
min door request specs for roof trusses & chimney connectors
all else OK (DC)

11/23/99 Final OK for C&O

Clearance for chimney connector reduced from 18" to 6" in accordance with
Chapter 11 Boca '93 Mechanical

CBL-332-B-016

Permit: 990909

Inspection Record

Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 118 Tucker Ave 332-B-016

Issued to Martha Bichrest

Date of Issue Sept. 18 2000

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 990909, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

single family use group R3 type 5B
Boca 96

Limiting Conditions:

This certificate supersedes
certificate issued December 6 1999

Approved:

9-18-00

(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND, MAINE
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PORITION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

Single Family Dwelling
Use Group R3
Type 5B
BOCA 96'

Limiting Conditions:

Temporary Until June 30, 2000
Monies Held For Final Landscaping

**This certificate supersedes
certificate issued**

Approved:

12/6/99

(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

BUILDING PERMIT REPORT

DATE: 11 Aug 99 ADDRESS: Tucker Ave. Lot #21 CBL: 332-B-016
 REASON FOR PERMIT: Single family dwelling / attached garage
 BUILDING OWNER: Martha Bichrest
 PERMIT APPLICANT: Contractor Community Builders
 USE GROUP R-3 CONSTRUCTION TYPE 5-B

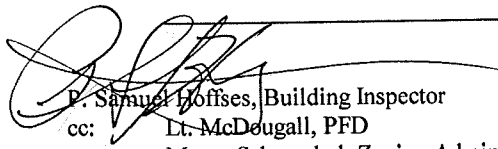
The City's Adopted Building Code (The BOCA National Building Code/1996 with City Amendments)
 The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions are met: *1, *2, *3, *4, *5, *7, *8, *9, *11, *12, *13, *14, *15, *17, *26, *27, *28, *29, *30, *32, *33, *35, *36, #31
 Approved with the following conditions:

- X1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- X2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
- X3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
- X4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' o.c. between bolts. (Section 2305.17)
- X5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete from freezing. Section 1908.0
- X7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
- X8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1996)
- X9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
- X11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2, M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 3e4" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".) Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0) - Handrails shall be on both sides of stairway. (Section 1014.7)
- X12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
- X13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0) See attached detail
- X14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
- X15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1018.6) See attached Table.
16. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)

17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.) (Section 710.0)
18. The boiler shall be protected by enclosing with (1)hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)
- *19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
- In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
- In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required) Section 920.3.2.
20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
21. The Fire Alarm System shall maintained to NFPA #72 Standard.
22. The Sprinkler System shall maintained to NFPA #13 Standard.
23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1996)
24. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
- *26. Ventilation shall meet the requirements of Chapter 12 Sections 1210.0 of the City's Building Code. (Crawl spaces & attics).
- *27. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade. No closing in of walls until all electrical (min.72 hours notice) and plumbing inspections have been done.
- *28. All requirements must be met before a final Certificate of Occupancy is issued.
- *29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (the BOCA National Building Code/1996).
- *30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993). (Chapter M-16)
31. Please read and implement the attached Land Use Zoning report requirements. *See attached*
- *32. Boring, cutting and notching shall be done in accordance with Sections 2305.4.4, 2305.5.1 and 2305.5.3 of the City's Building Code.
- *33. Glass and glazing shall meet the requirements of Chapter 24 of the building code.
34. All signage, shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code 1996).
- *35. Bridging shall be done in accordance with section 2305.16.
- *36. A Structural Analysis shall be submitted for the proposed trusses.
37. _____
38. _____


P. Samuel Hoffses, Building Inspector

cc: Lt. McDeugall, PFD

Marge Schmuckal, Zoning Administrator

PSH 7/24/99

****On the basis of plans submitted and conditions placed on these plans any deviations shall require a separate approval.**

Applicant: Martha Bickrest

Date: 8/19/99

Address: 110 Tucker Ave (6t.#4)

C-B-L: ~~to~~ 332-B-16

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - R-2

Interior or corner lot -

Proposed Use/Work - New Single family with attached garage ^{24'x32'} ^{22'x22'}

Sewage Disposal - City

Lot Street Frontage - 50' req - 80' shown

Front Yard - 25' req - 26' shown

Rear Yard - 25' req -

Side Yard - ~~14'~~ 14' req - 15' shown; 36' shown ^{Note!} No rear deck & stairs approved on this - not shown on plot plan - Need an Amendment

Projections -

Width of Lot - 80' req - 80' shown

Height - 2 story

Lot Area - 10,000[#] 10,378[#]

Lot Coverage/ Impervious Surface - 20% max

Area per Family - 10,000[#]

Off-street Parking - 2 req -

Loading Bays - N/A

Site Plan - minor/minor - 19990109

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 1 - Zone C on left side line: 10' Drainage easement

Range 20' undisturbed/ Natural Buffer: Drainage easement

$$\begin{array}{rcl} 24 \times 32 & = & 768 \\ 22 \times 22 & = & 484 \\ \hline & & 1252 \end{array}$$

2075.6[#] ^{OK}



- Administration
- Budgeting & Finance
- Business Plans
- Special Projects & Events

349 Woodford • Portland, ME 04103 • (207) 842-0162 / Fax (207) 761-6528

Fax Transmittal

DATE: August 18, 1999

TO: Kathy Allen - Building Inspections & Permits
City of Portland

FAX: 874-8716

FROM: Martha Bichrest

RE: Lot 4 Tucker Avenue Extension

PAGES: I am transmitting two pages including this cover page

Dear Kathy-

Here is the site plan that you need. I have furnished a copy to Jim Wendel at Duluca, Hoffman as well. Let me know if you need an original delivered.

Best regards,

Martha Bichrest
Tel: 842-0162
Fax: 761-6528

8/18.
Jim Wendell Requested
more Detail -
They faxed US Copies
to go with our
Permit

SEBAGO TECHNICS, INC.

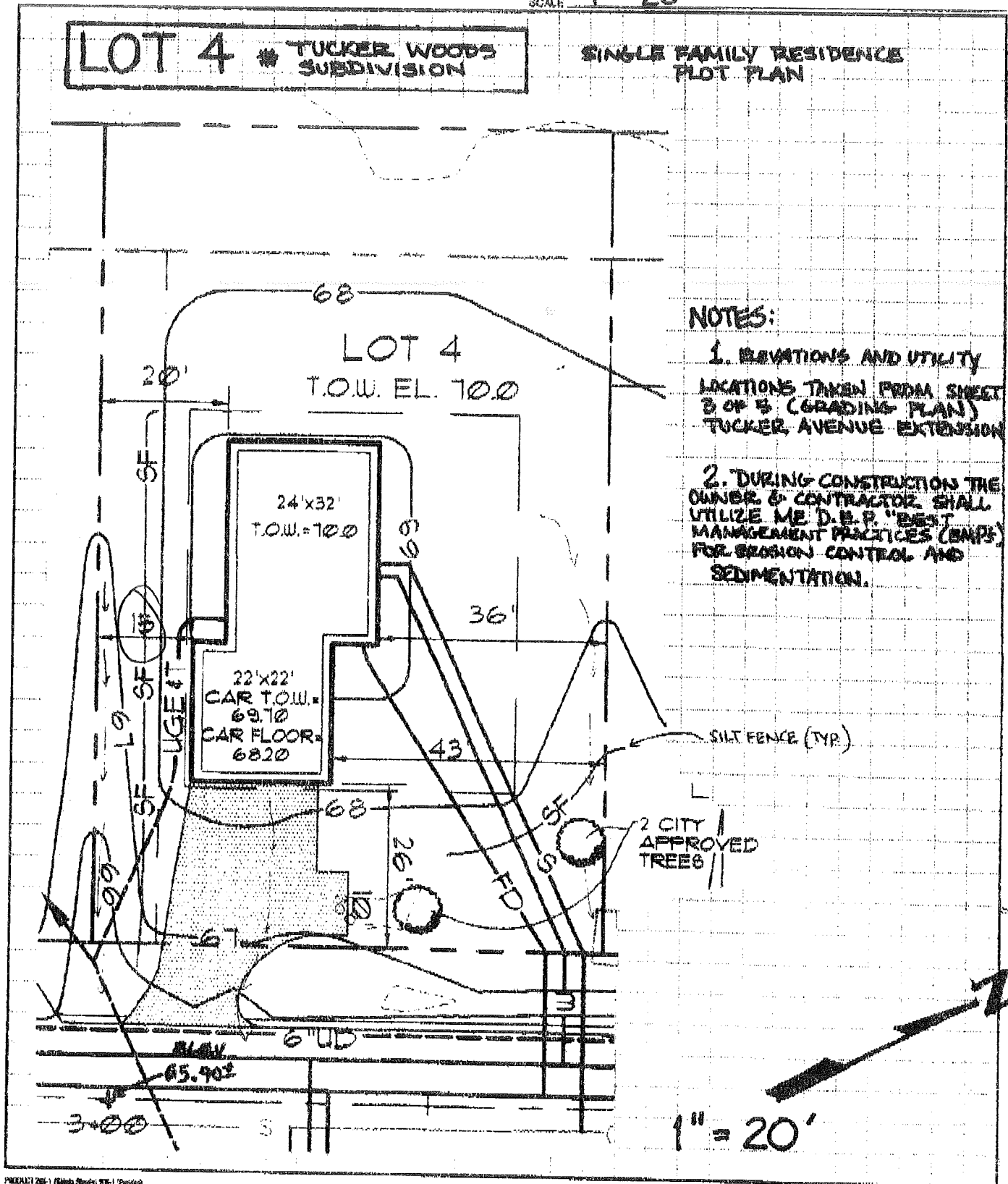
12 Westbrook Common
P.O. Box 1339
WESTBROOK, MAINE 04098
(207) 856-0277 FAX (207) 856-2206

JOB **98475** LOT 4 TUCKER WOODS

SHEET NO. _____ OF _____

CALCULATED BY **JRS** DATE **8-11-99**

CHECKED BY _____ DATE _____

SCALE **1" = 20'****LOT 4 # TUCKER WOODS SUBDIVISION****SINGLE FAMILY RESIDENCE
PLOT PLAN**

PRODUCT 204-1 (Webb Studio) 204-1 (Product)

used for approval

received 8/18/99

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM

19990109
I. D. Number

Martha Bichrest

Applicant

349 Woodfords st, Portland, ME 04102

Applicant's Mailing Address

Consultant/Agent

Applicant or Agent Daytime Telephone, Fax

8/10/99

Application Date

Tucker Ave Lot #4

Project Name/Description

Tucker Ave, Portland Maine 04103

Address of Proposed Site

332-B-016

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):

☐ Office ☐ Retail ☐ Manufacturing ☒ New Building ☐ Warehouse/Distribution ☐ Building Addition ☐ Parking Lot ☐ Change Of Use ☒ Residential ☐ Other (specify) w/attached garage-no deck

2568

10,378

Proposed Building square Feet or # of Units

Acreage of Site

R-2 zone

Zoning

Check Review Required:

☒ Site Plan (major/minor) ☐ Subdivision # of lots ☐ PAD Review ☐ 14-403 Streets Review
☐ Flood Hazard ☐ Shoreland ☐ Historic Preservation ☐ DEP Local Certification
☐ Zoning Conditional Use (ZBA/PB) ☐ Zoning Variance ☐ Other

Fees Paid: Site Plan \$300.00 Subdivision Engineer Review Date: 8/10/99

DRC Approval Status:

Reviewer Jim Wendel

☐ Approved ☒ Approved w/Conditions see attached ☐ Denied

Approval Date 8/18/99 Approval Expiration 8/18/00 Extension to ☒ Additional Sheets Attached

☒ Condition Compliance signature date

Performance Guarantee

☐ Required*

☐ Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	date	amount	
<input type="checkbox"/> Building Permit	date		
<input type="checkbox"/> Performance Guarantee Reduced	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate Of Occupancy	date	<input type="checkbox"/> Conditions (See Attached)	
<input type="checkbox"/> Final Inspection	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	date		
<input type="checkbox"/> Performance Guarantee Released	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	date	signature	

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM

19990109
I. D. Number

Martha Bichrest

Applicant

349 Woodfords st, Portland, ME 04102

Applicant's Mailing Address

Consultant/Agent

Applicant or Agent Daytime Telephone, Fax

8/10/99

Application Date

Tucker Ave Lot #4

Project Name/Description

Tucker Ave, Portland Maine 04103

Address of Proposed Site

332-B-016

Assessor's Reference: Chart-Block-Lot

DRC Conditions of Approval

Approve, subject to site plan review addendum conditions of approval:

All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.

Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.

Your new street address is now 118 Tucker Avenue

, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.

The Development Review Coordinator (874-8300 ext.8722) must be notified five (5) working days

prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

Show all utility connections: water, sanitary, sewer, storm drain, electric, telephone, cable.

A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an Inspector for your site.

As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.

The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.

The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.

A drainage plan shall be submitted to and approved by Development Review Coordinator showing first floor elevation (FFE), sill elevation (SE), finish street/curb elevation, lot grading, existing and proposed contours, drainage patterns and paths, drainage swales, grades at or near abutting property lines, erosion control devices and locations and outlets for drainage from the property.

The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

Eroded soil shall be contained on-site. A crushed stone construction entrance shall be placed in the new drive location.

Planning Conditions of Approval

Inspections Conditions of Approval

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. Along rear of property is 20' required to maintained as an undisturbed/natural buffer and drainage easement.
3. On the left side property line is a 10' drainage easement.
4. No rear deck and stairs are being approved on this permit. This deck and stairs must be shown on your plot plan showing the correct setbacks. They cannot go beyond the window envelope as shown on the approved and recorded subdivision plan.

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

19990109

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☒ New Building ☐ Building Addition ☐ Change Of Use ☒ Residential
☐ Office ☐ Retail ☐ Manufacturing ☐ Warehouse/Distribution ☐ Parking Lot ☐ Other (specify) **w/attached garage-no deck**

2568

10,378

R-2 zone

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Plan **\$300.00** Subdivision _____ Engineer Review _____ Date: **8/10/99**

Inspections Approval Status:

Reviewer **Marge Schmuckal**

- ☐ Approved ☒ **Approved w/Conditions**
see attached ☐ Denied

Approval Date **8/19/99** Approval Expiration _____ Extension to _____ ☒ Additional Sheets Attached

☒ Condition Compliance _____
signature _____ date _____

Performance Guarantee

☐ Required*

☐ Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issued | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | |
| | date | | |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | | | |

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3. On the left side property line is a 10' drainage easement.
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They cannot go beyond the window envelope as shown on the approved and recorded subdivision plan.
A separate permit is need for this deck and stairs prior to their construction.
5. Separate permits shall be required for future decks, shed, pool, and/or garage.

Fire Conditions of Approval

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
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☐ Office ☐ Retail ☐ Manufacturing ☐ Warehouse/Distribution ☐ Parking Lot ☐ Other (specify) _____

2568

10,378

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

<input checked="" type="checkbox"/> Site Plan (major/minor)	<input type="checkbox"/> Subdivision # of lots _____	<input type="checkbox"/> PAD Review	<input type="checkbox"/> 14-403 Streets Review
<input type="checkbox"/> Flood Hazard	<input type="checkbox"/> Shoreland	<input type="checkbox"/> Historic Preservation	<input type="checkbox"/> DEP Local Certification
<input type="checkbox"/> Zoning Conditional Use (ZBA/PB)	<input type="checkbox"/> Zoning Variance	<input type="checkbox"/> Other _____	

Fees Paid: Site Plan **\$300.00** Subdivision _____ Engineer Review _____ Date: **8/10/99**

Inspections Approval Status:

Reviewer _____

☐ Approved ☐ Approved w/Conditions
see attached ☐ Denied

Approval Date _____ Approval Expiration _____ Extension to _____ ☐ Additional Sheets
Attached

☐ Condition Compliance

signature

date

Performance Guarantee

☐ Required*

☐ Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

☐ Performance Guarantee Accepted

date

amount

expiration date

☐ Inspection Fee Paid

date

amount

☐ Building Permit Issued

date

☐ Performance Guarantee Reduced

date

remaining balance

signature

☐ Temporary Certificate of Occupancy

date

☐ Conditions (See Attached)

☐ Final Inspection

date

signature

☐ Certificate Of Occupancy

date

☐ Performance Guarantee Released

date

signature

☐ Defect Guarantee Submitted

submitted date

amount

expiration date

☐ Defect Guarantee Released

date

signature

Tucker Ave Lot #4

**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE
PERMIT IS ISSUED**

**Minor/Minor Site Review, Building or Use Permit Pre-Application
Detached Single Family Dwelling**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: <u>Lot 4 Tucker Ave Extension</u>		
Total Square Footage of Proposed Structure <u>2568</u>		Square Footage of Lot <u>10,378</u>
Tax Assessor's Chart, Block & Lot Number Chart# <u>332</u> Block# <u>B</u> Lot# <u>0116</u>	Owner: <u>Martha Bickrest</u>	Telephone#: <u>842-0162</u>
Lessee/Buyer's Name (If Applicable)	Owner's/Purchaser/Lessee Address: <u>349 Woodford St</u>	Cost Of Work: <u>\$98,970.00</u> Fee: <u>\$350.00</u>
Proposed Project Description: (Please be as specific as possible) <u>New single family home (Ken & P - 870 6412)</u>		
Contractor's Name, Address & Telephone <u>Community Builders Ken Doellette Scarborough 883-8154</u>		Rec'd By: <u>[Signature]</u>

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must Include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan (Sample Attached)

A "minor/minor" site plan review is required prior to permit issuance. The Site plan must be prepared and sealed by a registered land surveyor (2 copies are required). A complete plot plan (Site Plan) includes:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation (based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

4) Building Plans (Sample Attached)

A complete set of construction drawings showing all of the following elements of construction:

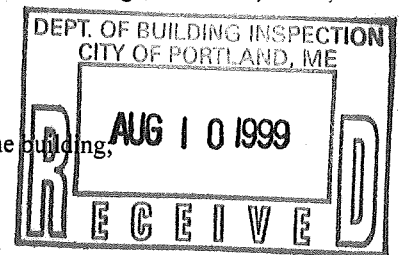
- Cross Sections w/ Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Ken Doellette</u>	Date: <u>8-10-99</u>
--	----------------------

Site Review Fee: \$150.00/Building Permit Fee: \$25.00 for the 1st \$1000. cost plus \$5.00 per \$1,000.00 construction cost thereafter.



CITY OF PORTLAND, ME
BOCA 1996 Plan Review Record
One and Two Family Dwelling

Valuation: \$98,970.00 Plan Review # 1082/99
Fee: \$618.00 Date: 11 AUG. 99

Building Location: LOT # 4 Tucker Ave. CBL: 332-B-016

Building Description: Single Family dwelling / ATT. garage

Reviewed by: S. Noffses

Use or Occupancy: R-3 Type of Construction: 5-B
*NR: Not Required NA: Not Applicable SR: See Report X: OK per plan

Correction List		
NO:	Description	Code Section
1.	All site plan and building Code requirements shall be completed before a certificate of occupancy can or will be issued.	111.0
2.	Foundation drain	1813.5.2
3.	Foundation anchors	1813.0
4.	Private garages	407.0
5.	Chimneys and vents NFPA 211 The BOCA National/Mech. Code 93 ch. 12	
6.	Guardrails	1021
7.	Handrails	1022
8.	Headroom in hab. table spaces	1204.0
9.	STAIR Construction	1014.0
10.	Headroom stairways	1014.4
11.	Sleeping room egress	1018.6
12.	Smoke detectors	920.3.2

Foundations (Chapter 18)

Wood Foundation (1808)

NA Design
NA Installation

Footings (1807.0)

OK Depth below (outside) grade 4' minimum;
but below frost line except for insulated footings.
NA Insulated footing provided
X Soil bearing value (table 1804.3)
X Footing width
X Concrete footing (1810.0) .3.1, 3.2

Foundation Walls

X Design (1812.1)
X Minimum thickness Tables 1812.3.2.(1) & 1812.3.2 (2)
SA Water-proofing and damp-proofing Section 1813
X Sill plate (2305.17)
SA Anchorage bolting in concrete (2305.17)
X Columns (1912)
SA Crawl space (1210.2) Ventilation
SA Crawl opening size (1210.2.1)

Floors (Chapter 16-23)

X Joists - Non sleeping area LL40PSF (Table - 1606)
X Joists - Sleeping area LL30PSF (Table - 1606)
X Grade
X Spacing
X Span
X Girder 4" bearing 2305

Floors (contd.)

- ☒ Bearing (1 1/2" minimum on wood or steel 3" on masonry) and lapped (3")
- ☒ Bridging (2305.16)
- ☒ Boring and notching (2305.5.1)
- ☒ Cutting and notching (2305.3)
- ☒ Fastening table (2305.2)
- ☒ Floor trusses (AFPANDS Chapter 35)
- ☒ Draft stopping (721.7)
- ☒ Framing of openings (2305.11) (2305.12)
- ☒ Flooring - (2304.4) 1" solid - 1/2" particle board
- ☒ Concrete floors (1905) 3 1/2" 6 mil polyethylene vapor retarder
- _____
- _____
- _____
- _____
- _____

Wall Construction (Chapter 2300)

- ☒ Design (1609) wind loads
- ☒ Load requirements
- ☒ Grade
- ☒ Fastening schedule (Table 2305.2)
- ☒ Wall framing (2305.4.1)
- ☒ Double top plate (2305.4.2)
- ☒ Bottom plates: (2305.4.3)
- ☒ Notching and boring: (2305.4.4) studs
- ☒ Non load bearing walls (2305.5)
- ☒ Notching and boring (2305.5.1)
- ☒ Wind bracing (2305.7)
- ☒ Wall bracing required (2305.8.1)
- ☒ Stud walls (2305.8.3)
- ☒ Sheathing installation (2305.8.4)
- ☒ Minimum thickness of wall sheathing (Table 2305.13)
- ☒ Metal construction
- ☒ Masonry construction (Chapter 21)
- ☒ Exterior wall covering (Chapter 14)
- ☒ Performance requirements (1403)
- ☒ Materials (1404)
- ☒ Veneers (1405)
- ☒ Interior finishes (Chapter 8)
- _____
- _____
- _____

Roof-Ceiling Construction (Chapter 23)

- _____ Roof rafters - Design (2305.15) spans
- _____ Roof decking and sheathing (2305.15.1) 5/8" boards and (2307.3) (Table 2307.3.1(2))
- SA _____ Roof trusses (2313.3.1)
- _____
- _____
- _____
- _____
- _____

Roof Coverings (Chapter 15)

- X _____ Approved materials (1404.1)
- X _____ Performance requirement (1505)
- X _____ Fire classification (1506)
- X _____ Material and installation requirements (1507)
- NA _____ Roof structures (1510.0)
- X _____ Type of covering (1507)

Chimneys and Fireplaces BOCA Mechanical/1993

- SA _____ Masonry (1206.0)
- NA _____ Factory - built (1205.0)
- NA _____ Masonry fireplaces (1404)
- NA _____ Factory - built fireplace (1403)

Mechanical 1993 BOCA Mechanical Code

SA _____

State Plumbing Code

Public Sewer

Public Water

Load Design Criteria

Floor live load sleeping	<u>30 PSF</u>	<u>X</u>
Floor live load non sleeping	<u>40 PSF</u>	<u>X</u>
Roof live load	<u>42 PSF</u>	<u>X</u>
Roof snow load	<u>46 PSF</u>	<u>X</u>
Seismic Zone	<u>2</u>	<u>X</u>
Weathering area	<u>S</u>	<u>A</u>
Frost line depth	<u>4' MIN</u>	<u>X</u>

Glazing (Chapter 24)

<u>SR</u>	Labeling (2402.1)
<u>SR</u>	Louvered window or jalousies (2402.5)
<u>SR</u>	Human impact loads (2405.0)
<u>SR</u>	Specific hazardous locations (2405.2)
<u>SR</u>	Sloped glazing and skylights (2404)
<u>SR</u>	
<u>SR</u>	
<u>SR</u>	
<u>SR</u>	
<u>SR</u>	

Private Garages (Chapter 4)

<u>SR</u>	General (407)
<u>SR</u>	Beneath rooms (407.3)
<u>SR</u>	Attached to rooms (407.4)
<u>SR</u>	Door sills (407.5)
<u>SR</u>	Means of egress (407.8)
<u>SR</u>	Floor surface (407.9)
<u>SR</u>	
<u>SR</u>	
<u>SR</u>	

Egress (Chapter 10)

- ~~-----~~ ~~X~~ One exit from dwelling unit (1010.2)
- ~~-----~~ ~~SA~~ Sleeping room window (1010.4)
- ~~-----~~ ~~A~~ EXIT DOOR (1017.3) 32" W 80" H
- ~~-----~~ ~~SA~~ Landings (1014.3.2) stairway
- ~~-----~~ ~~NA~~ Ramp slope (1016.0)
- ~~-----~~ ~~SA~~ Stairways (1014.3) 36" W
- ~~-----~~ ~~SA~~ Treads (1014.6) 10" min.
- ~~-----~~ ~~SA~~ Riser (1014.6) 7 3/4" max.
- ~~-----~~ ~~SA~~ Solid riser (1014.6.1)
- ~~-----~~ ~~NA~~ Winders (1014.6.3)
- ~~-----~~ ~~NA~~ Spiral and Circular (1014.6.4)
- ~~-----~~ ~~SA~~ Handrails (1022.2.2.) Ht.
- ~~-----~~ ~~SA~~ Handrail grip size (1022.2.4) 1 1/4" to 2"
- ~~-----~~ ~~SA~~ Guards (1012.0) 36" min.
- ~~-----~~
- ~~-----~~
- ~~-----~~

Smoke Detectors (920.3.2)

- ~~-----~~ ~~SA~~ Location and interconnection
- ~~-----~~ ~~SA~~ Power source

Dwelling Unit Separation Table 602

PLUMBING APPLICATION

332-B-016

Department of Human Sciences
Division of Health Engineering

PROPERTY ADDRESS

Town or
Plantation

Portland

Street
Subdivision Lot #

Lot 4 Tucker Ave

PROPERTY OWNERS NAME

Last:

Bichrest

First:

Martha

Applicant
Name:

ANDY MACMILLAN

Mailing Address of
Owner/Applicant
(If Different)

25 Atlantic St
Rockland ME 04841

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspectors to deny a Permit.

Andy MacMillan
Signature of Owner/Applicant

Date

9/4/99

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature

Date Approved

PERMIT INFORMATION

This Application is for

1. ☒ NEW PLUMBING
2. ☐ RELOCATED PLUMBING

Type of Structure To Be Served:

1. ☒ SINGLE FAMILY DWELLING
2. ☐ MODULAR OR MOBILE HOME
3. ☐ MULTIPLE FAMILY DWELLING
4. ☐ OTHER - SPECIFY _____

Plumbing To Be Installed By:

1. ☒ MASTER PLUMBER
2. ☐ OIL BURNERMAN
3. ☐ MFG'D. HOUSING DEALER/MECHANIC
4. ☐ PUBLIC UTILITY EMPLOYEE
5. ☐ PROPERTY OWNER

LICENSE # 1071331

Hook-Up & Piping Relocation Maximum of 1 Hook-Up

HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.

OR

HOOK-UP: to an existing subsurface wastewater disposal system.

PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.

OR

TRANSFER FEE
[\$6.00]

Number

Column 2

Type of Fixture

2

Hosebibb / Sillcock

Floor Drain

Urinal

Drinking Fountain

Indirect Waste

Water Treatment Softener, Filter, etc.

Grease / Oil Separator

Dental Cuspidor

Bidet

Other: _____

Fixtures (Subtotal)
Column 2

Number

Column 1

Type of Fixture

1

Bathtub (and Shower)

1

Shower (Separate)

1

Sink

2

Wash Basin

2

Water Closet (Toilet)

1

Clothes Washer

1

Dish Washer

1

Garbage Disposal

1

Laundry Tub

1

Water Heater

9

Fixtures (Subtotal)
Column 1

2

Fixtures (Subtotal)
Column 2

11

Total Fixtures

Fixture Fee

Transfer Fee

Hook-Up & Relocation Fee

44

Permit Fee
(Total)

SEE PERMIT FEE SCHEDULE
FOR CALCULATING FEE



DeLUCA-HOFFMAN ASSOCIATES, INC.
CONSULTING ENGINEERS

778 MAIN STREET
SUITE 8
SOUTH PORTLAND, MAINE 04106
TEL. 207 775 1121
FAX 207 879 0896

- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- TRAFFIC STUDIES AND MANAGEMENT
- PERMITTING
- AIRPORT ENGINEERING
- SITE PLANNING
- CONSTRUCTION ADMINISTRATION

MEMORANDUM

TO: Code Enforcement
Kandi Talbot, Planner

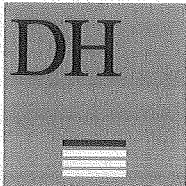
FROM: Chris Earle, Construction Representative
Reviewed by Steve Bushey, P.E., Acting Development Review Coordinator

DATE: August 2, 2000

RE: Certificate of Occupancy – 118 Tucker Avenue

On July 27, 2000, the site was reviewed for compliance with the conditions of approval.

It is our opinion that a **permanent certificate of occupancy could be issued**, assuming Code Enforcement has no outstanding issues.



DeLUCA-HOFFMAN ASSOCIATES, INC.
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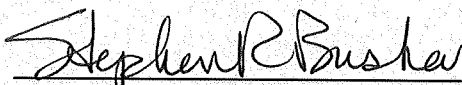
332-B-16

- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- TRAFFIC STUDIES AND MANAGEMENT
- PERMITTING
- AIRPORT ENGINEERING
- SITE PLANNING
- CONSTRUCTION ADMINISTRATION

MEMORANDUM

TO: ✓ Code Enforcement – Dave Caddell
FROM: Steve Bushey, Acting Development Review Coordinator
DATE: December 6, 1999
SUBJECT: Request for Permanent Certificate of Occupancy
118 Tucker Avenue

I have reviewed the site conditions at 118 Tucker Avenue for compliance with the conditions of approval. The site's landscaping cannot be completed until spring; therefore, at this time I recommend issuance of a **Temporary Certificate of Occupancy until June 30, 2000**, assuming Codes Enforcement has no other issues.


Stephen R. Bushey, P.E.

c: Kandi Talbot, Planning Department

10/19/99 12:58 TX/RX NO.9889 P.003

Job	Truss	Truss Type	Qty	Ply	HILLSIDE LUMBER CO. INC.
988403	008	QUEENPOST	10	1	
WOOD STRUCTURES INC., WILDEFORD, ME					

40-32 JUN 8 1998 WILDEFORD, ME, Inc. Thu SEP 09 10:30:54 1999 Page 1

1-0-0	5-8-13	11-0-0	16-3-3	22-0-0	23-0-0
1-0-0	5-8-13	5-3-3	5-3-3	5-8-13	1-0-0

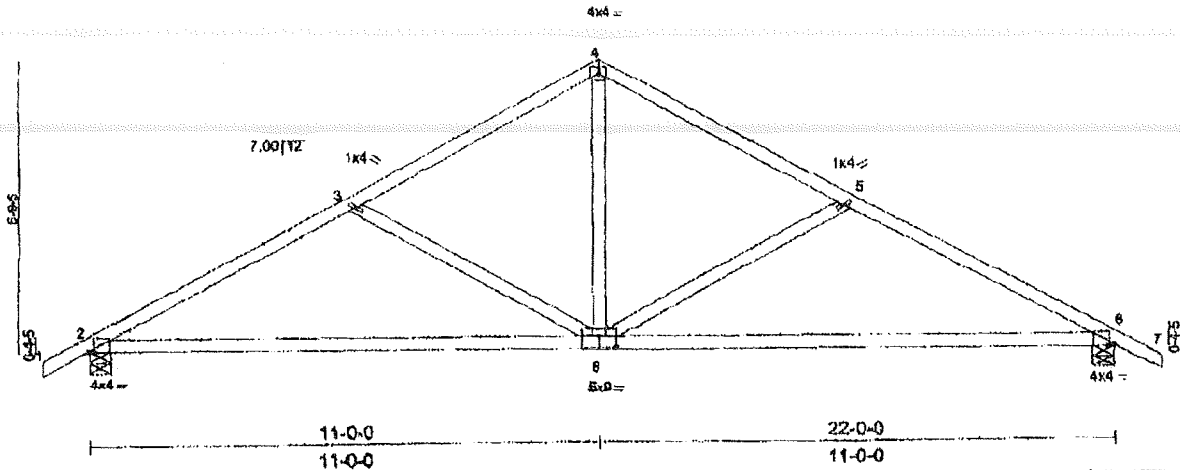


Plate Orbits (X,Y): (2-0-1-5, 6-0-0), (6-0-1-5, 6-0-0), (10-0-1-5, 6-0-0)													
LOADING (psf)		SPACING		2-0-0		Q&I		DEFL (in) (loc)		l/def		PLATES GRIP	
TOLL 42.0		Plate Increase		1.15		TC 0.57		Vert(LL) -0.08		8		>999	
TODL 7.0		Lumber Increase		1.15		BC 0.74		Vert(TL) -0.44		2-6		>607	
BCCL 0.0		Rep Stress Incr		YES		WB 0.49		Horz(TL) 0.08		8		n/a	
BCOL 10.0		Code		BOCA/ANSI85				1st LC LL Min l/def = 240				Weight: 75 lb	

LUMBER

TOP CHORD 2 X 4 SPF No.2
BOT CHORD 2 X 4 SPF 1650F 1.6E
WEBS 2 X 4 SPF-3 Std

REACTIONS (lb/size) 2=1593/0-5-L, 6=1593/0-6-S

FORCES (lb) - First Load Case Only

TOP CHORD 1-2=24, 2-3=1745, 3-4=1248, 4-5=1248, 5-6=1745, 6-7=24
BOT CHORD 2-8=1492, 6-9=1492
WEBS 3-8=497, 4-6=725, 5-6=467

NOTES

- 1) This truss has been checked for unbalanced loading conditions.
- 2) All plates are M20 plates unless otherwise indicated.
- 3) This truss has been designed with ANSI/TPI 1-1995 criteria.

LOAD CASE(S) Standard

BRACING

TOP CHORD Sheathed or 3-6-1 on center purlin spacing.
BOT CHORD Rigid ceiling directly applied or 10-0-0 on center bracing.

TX/RX NO.9889 10/19/99 12:58 P.004

TOTAL P.04

Job	Truss	Truss Type	Qty	Ply	Hillside LBR DMT DESG
987313	1001	SCISSORS	10	1	
WOOD STRUCTURES INC., BUDDESFORD, ME			30-323 JUN 9 1998 MITEK Industries, Inc. TUB SEP 21 06:30:14 1999 Page 1		

1-0-0 7-0-0 11-0-0 15-0-0 22-0-0 23-0-0
1-0-0 7-0-0 4-0-0 4-0-0 7-0-0 1-0-0

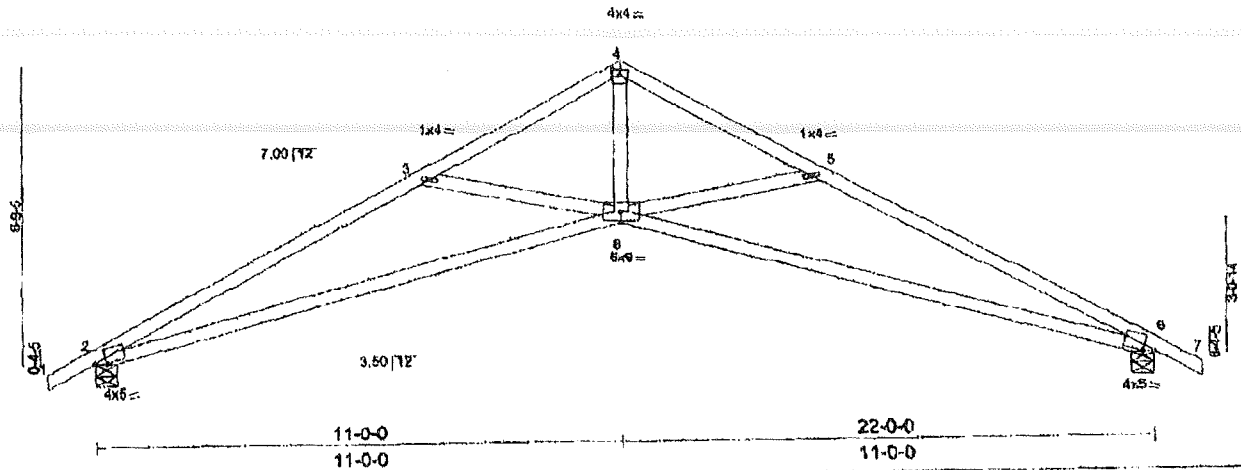


PLATE ORIGIN (K.Y.) 12-0-2-12-0-0-13 14-0-2-14-0-0-13 15-0-2-15-0-0-13				DEFL (in) (loc) Vdef			PLATES GRIP	
LOADING (psi)	SPACING	2-0-0	CEI	TO	0.78		M20	109/123
TCLL 42.0	Plates Increase	1.15	BC	0.94				
TDDL 7.0	Lumber Increase	1.15	WB	0.52				
BOLL 0.0	Rep Stress Incr	YES						
BDDL 10.0	Code	BOCA/ANSI96						

LUMBER
TOP CHORD 2 X 4 SPF 1650F 1.5E
BOT CHORD 2 X 4 SPF 1650F 1.5E
WEBS 2 X 4 SPF-S Stud *Except
4-6 2 X 4 SPF No.2

BRACING
TOP CHORD Sheathed or 2-10-10 on center purlin spacing.
BOT CHORD Rigid ceiling directly applied or 10-0-0 on center bracing.

REACTIONS (lb/size) 2=1393/0-5-4, 6=1393/0-5-4

FORCES (lb) - First Load Case Only
TOP CHORD 1-3=21, 2-3=3077, 3-4=2388, 4-5=2388, 5-6=3077, 6-7=21
BOT CHORD 2-6=2750, 6-6=2750
WEBS 4-6=1991, 3-8=574, 5-8=574

NOTES
1) This truss has been checked for uniform loading conditions.
2) All plates are M20 plates unless otherwise indicated.
3) Bearing at joints 2, 6 considers parallel to grain value using ANSI/TPI 1-1986 angle to grain formula. Building designer should verify capacity of bearing surface.
4) This truss has been designed with ANSI/TPI 1-1986 criteria.

LOAD CASE(S) Standard

10/19/99 12:58 TX/RX NO.9889 P.002

[illegible]