Form # P 04

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

IN DING INSPECTION

Permit Number: 071271

This is to certify thatORLANDO CARMELA D	ICHARD B HOLDEN III JT
has permission toInstall Detached 3 Car Garag	
AT 14 TARBELL AVE	
provided that the person or persons of the provisions of the Statutes of the construction, maintenance and	rm or the Constant and state of the City of Portland regulating of buildings and suctures, and of the application on file in
this department.	

Apply to Public Works for street line and grade if nature of work requires such information.

ificatio of inspect on must be an and voten permoon proceed or learning or at there is led or learning osed-in 4 UR NO

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Department Name

Jumes M. Mally 19/34/07
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD



	aine - Building or Use			Issue Date	1	20.4007	
389 Congress Street, 0	4101 Tel: (207) 874-8703	, Fax: (207) 874-87			332 F0	004001	
Location of Construction:	Owner Name:			Owner Address:		Phone:	
14 TARBELL AVE	ORLANDO C	CARMELA D & RICH	I 14 TARBEL	L AVE			
Business Name: Contractor Name Pompeo Sand			Contractor Add		Phone		
		& Gravel	Webster Roa	Webster Road Buxton		2077768130	
Lessee/Buyer's Name	Phone:		Permit Type:			Zone:	
			Garages - D	etached		R-6	
Past Use:	Proposed Use:		Permit Fee:	Cost of Wor	k: CEO District:	7	
Single Family Home	Single Family	Single Family Home - Install Detached 3 Car Garage		00 \$40,00	00.00 5		
	Detached 3 Ca			FIRE DEPT: Approved INS			
				Denied	Use Group: $R3$	Type: 5	
			}		1 -0000	m 3	
					1 The Co	() ()	
Proposed Project Description	1: (00 22)		7		JRC 20 Signature: Im		
Install Detached 3 Car C	Garage (JXX36)		Signature:		Signature:	10/30/	
	,		PEDESTRIAN AC		TRICT (P.A.D.)		
			Action:	Approved App	proved w/Conditions	Denied	
						J	
			Signature:		Date:		
Permit Taken By:	Date Applied For:	Zoning Approval					
ldobson	10/05/2007			· · · · · · · · · · · · · · · · · · ·		 _	
1. This permit applicat	tion does not preclude the	Special Zone or Rev	riews	Zoning Appeal	Historic Pro	eservation	
Applicant(s) from meeting applicable State and Federal Rules.		Shoreland	oreland Variance		Not in Distr	rict or Landr	
2. Building permits do not include plumbing, septic or electrical work.		Wetland	[] м	Miscellaneous		equire Revie	
 Building permits are void if work is not started within six (6) months of the date of issuance. 		Flood Zone Conditional		onditional Use	Requires Re	eview	
False information may invalidate a building permit and stop all work	ay invalidate a building	Subdivision	☐ In	☐ Interpretation			
		Site Plan	☐ A ₁	pproved	Approved v	v/Condition:	
		Maj Minor M	MI I D	enied	Denied		
					1 Pen		
		Date: 19/2/102	Date:		Date:		
		1 100107					
		CERTIFICAT					
	the owner of record of the na						
	the owner to make this appl if a permit for work describe						
	o enter all areas covered by su						
SIGNATURE OF APPLICAN	т	ADDRE	SS	DATE	PH	ONE	
DECOMEDITE DESCRIPT	CHARGE OF WORK TWY					0) 15	
RESPONSIBLE PERSON IN	CHARGE OF WORK, TITLE			DATE	PHO	ONE	

11/14/07- Checked forting forms at Althouses &
pelpan for Slat pour - OK

Jun M

9/8/08- Close In inspection as - EK gan

BUILDING PERMIT INSPECTION PROCEDURES Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take pla	ce upon receipt of your building permit.
Footing/Building Location Inspec	tion: Prior to pouring concrete
Re-Bar Schedule Inspection:	Prior to pouring concrete
Foundation Inspection:	Prior to placing ANY backfill
Framing/Rough Plumbing/Electr	ical: Prior to any insulating or drywalling
Final/Certificate of Occupancy:	Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.
you if your project requires a Certificate of inspection	cur, the project cannot go on to the next
CERIFICATE OF OCCUPANIC BEFORE THE SPACE MAY BE OCCUPANICALLY BE OCCUPANICALLY BEFORE THE SPACE MAY BE OCCUPANICALLY BEFORE THE SPACE OF OCCUPANICAL BEFORE THE SPACE OF OCCUPANICA BEFORE THE SPACE OCCUPANICATION OCCUPANICATION OCCUPANICATION OC	ES MUST BE ISSUED AND PAID FOR, PIED
Signature of Applicant/Designee Signature of Inspections Official	Date Date
CBL: 332 F009 Building Permit	#: <u>071271</u>

Permit No: Date Applied For: CBL: City of Portland, Maine - Building or Use Permit 07-1271 10/05/2007 332 F004001 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716 **Location of Construction:** Owner Name: Owner Address: Phone: 14 TARBELL AVE ORLANDO CARMELA D & RICH 14 TARBELL AVE Business Name: Contractor Name: Contractor Address: Phone Pompeo Sand & Gravel Webster Road Buxton (207) 776-8130 Lessee/Buyer's Name Phone: Permit Type: Garages - Detached **Proposed Project Description:** Proposed Use: Single Family Home - Install Detached 3 Car Garage (28' x36') Install Detached 3 Car Garage (28' x 36') 10/26/2007 Dept: Zoning Status: Approved with Conditions Reviewer: Ann Machado **Approval Date:** Ok to Issue: Note: 1) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. Dept: Building Status: Approved with Conditions Reviewer: Tom Markley **Approval Date:** 10/30/2007 Note: Ok to Issue:

- 1) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 14, 7	Carboll Ave	enue, Portland, Main	Δ
14 1			
Total Square Footage of Proposed Structure/Area		Square Footage of Lot 36,720	
Tax Assessor's Chart, Block & Lot	Applicant *	nust be owner, Lessee or Buy	er* Telephone:
Chart# Block# Lot#	Applicant 1	nust be owner, Lessee of Buy	
	Name Ric	chard B. Holden, III	207-797-8785
332 FOOY , 008	Address 14	Tarbell Ave.	207-751-4018 Cell
1	City, State &	Zip Portland, ME 04	103
Lessee/DBA (If Applicable)	Owner (if di	fferent from Applicant)	Cost Of
	Name		Work: \$ 40,000
N/A	4 1 1	N/A	C of O Fee: \$ 1
	Address		
	City, State &	: Zip	Total Fee: \$ \(\frac{1000}{000}\)
		F	10tai 1 cc. #
Current legal use (i.e. single family) Sing	gle Family		DEPT
If vacant, what was the previous use?			
Proposed Specific use: Garage for ca	ars		
Is property part of a subdivision? <u>No</u>		yes, please name	0.000
Project description:			\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \
Freestanding 3 car	garage	itelache 1	
			[
Contractor's name: Pompeo Sand &	Gravel		
Address: Webster Road			10
City, State & ZipBuxton, Maine 040)38	XXCax	Telephone: 776-8130
Who should we contact when the permit is rea	dy: Richard	B. Holden, III 7	Telephone: 797-8785
Mailing address: 14 Tarbell Avenue,			
Diagon out mit all of the information	41'	4L 1: - 1.1 - CL1-1	'- 4 T2 '1 4

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature:	Date: October 1, 2007	

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

 Card Number
 1 of 1

 Parcel ID
 332 F004001

 Location
 14 TARBELL AVE

 Land Use
 SINGLE FAMILY

Owner Address ORLANDO CARMELA D & RICHARD B HOLDEN III JTS 14 TARBELL AVE

PORTLAND ME 04103

Book/Page 21810/223

Legal 332-F-4 TO 7-38 TO 41

TARBELL AVE 64-72

BEAL ST 65-73
19600 SF

Current Assessed Valuation

 Land
 Building
 Total

 \$73,700
 \$199,500
 \$273,200

2625 1008 Lot coverage 13370M2

Current Assessed valuation

Property Information

Year Built Style Story Height Sq. Ft. Total Acres
1940 Cape 1 2518 0.45

BedroomsFull BathsHalf BathsTotal RoomsAtticBasement4318Full Fin./whPier/slab

Outbuildings

 Type
 Quantity
 Year Built
 Size
 Grade
 Condition

 SHED-FRAME
 1
 1984
 16X16
 C
 A

Sales Information

Date Type Price Book/Page 09/22/2004 LAND + BLDING \$225,000 21810-223 07/01/2002 LAND + BLDING 17897-331 06/22/2000 LAND + BLDING 15552-173 01/18/2000 LAND + BLDING \$179,000 15281-286 01/25/1993 LAND + BLDING 10529-033

Picture and Sketch

Picture Sketch Tax Map

Click here to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

New Search!

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number

Parcel ID 332 F004001 Location 14 TARBELL AVE

Land Use SINGLE FAMILY

Owner Address ORLANDO CARMELA D & RICHARD B HOLDEN III JTS

14 TARBELL AVE PORTLAND ME 04103

Book/Page 21810/223

Legal 332-F-4 TO 7-38 TO 41

TARBELL AVE 64-72 BEAL ST 65-73 19600 SF

Current Assessed Valuation

 Land
 Building
 Total

 \$73,700
 \$199,500
 \$273,200

Property Information

Year BuiltStyleStory HeightSq. Ft.Total Acres1940Cape125180.45

Bedrooms Full Baths Half Baths Total Rooms Attic Basement
4 3 1 8 Full Fin./wh Pier/slab

Outbuildings

 Type
 Quantity
 Year Built
 Size
 Grade
 Condition

 SHED-FRAME
 1
 1984
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Sales Information

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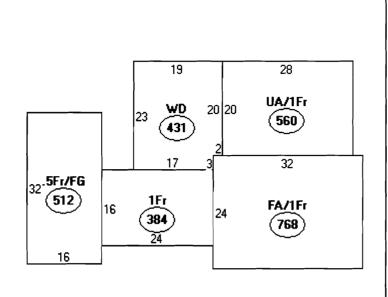
Picture and Sketch

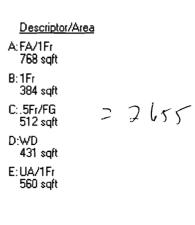
Picture Sketch Tax Map

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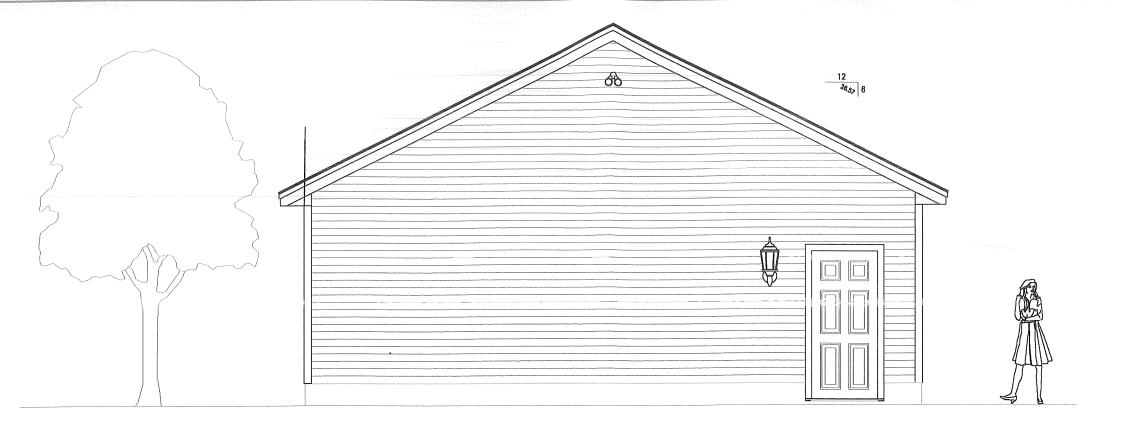
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New Search!

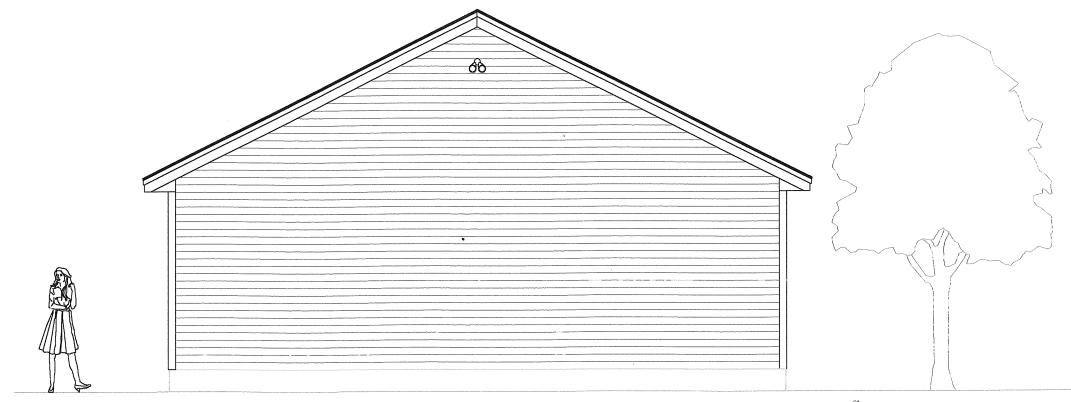




PLUMBING APPLICATI	ON			Department of Health and Human Se Division of Environmental Health	
PROPERTY ADDRESS		_			
Town or Plantation # 20 + 1/4 - 1/4 / 1/4					
Street Subdivision Lot # 14 75 - 64 / VL.		CPORTLAND ()	PERM	17 # 9887 TOWN COR	
PROPERTY OWNERS NAME		Date Permit Jesued:	06	\$ 300 FEE Charge	
ist: Carrioth First: Dr/s.	J. J.		KLUL ctor Signature	_ L.P.I.# 0171414	
Applicant Name: Donall La Coi,			Y TOTAL		
Mailing Address of Owner/Applicant (If Different)	oun // 14084	332	FC	POC	
Owner/Applicant Statement I certify that the information submitted is correct to the knowledge and understand that any falsification is reas Plumbing Inspectors to deny a Permit.	best of my	I have inspected th compliance with th		prized above and found it to be in	
Signature of Owner/Applicant	Date	e Local Plumbing I	nspector Signature	Date App	
	PERM	IT INFORMATION			
This Application is for	pe of Structi	ure To Be Served:	Plun	Plumbing To Be Installed By:	
PLUMBING 3. MULTIPI		MOBILE HOME	2. □ OIL BI 3. □ MFG'I 4. □ PUBL	ER PLUMBER URNERMAN D. HOUSING DEALER/MECHA IC UTILITY EMPLOYEE ERTY OWNER E # 19637	
Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Number	Column 2 Type of Fixture	Number	Column 1 Type of Fixture	
HOOK-UP: to public sewer in		Hosebibb / Sillcock	1/1	Bathtub (and Shower)	
those cases where the connection is not regulated and inspected by the local Sanitary District.		Floor Drain		Shower (Separate)	
OR		Urinal	Maria Stad Paris Salah Salah Salah Salah Salah Salah Salah Salah Salah Salah Salah	Sink	
	. Driv			Wash Basin	
HOOK-UP: to an existing subsurface wastewater disposal system.	Drinking Fountain Indirect Waste			Water Closet (Toilet)	
PIPING RELOCATION: of sanitary lines, drains, and piping without		Water Treatment Softener, Filter, etc.		Clothes Washer	
new fixtures.		Grease / Oil Separator		Dish Washer	
	l Company				
	_	Roof Drain		Garbage Disposal	
Y OR		Bidet		Laundry Tub	
TRANSFER FEE		Other: Fixtures (Subtotal)		Water Heater Fixtures (Subtotal)	
[\$6.00]		Column 2	4	Column 1	
	Υ		>	Fixtures (Subtotal) Column 2	
The state of the s	RMIT FEE S CALCULATI		14	Total Fixtures	
				Fixture Fee	
				Transfer Fee Hook-Up & Relocation Fe	
 Control of the control of the control				Hook op a Holocation i e	



SOUTH ELEVATION SCALE: 12"=1'-0



NORTH ELEVATION

A4 SCALE: 12"=1'-0

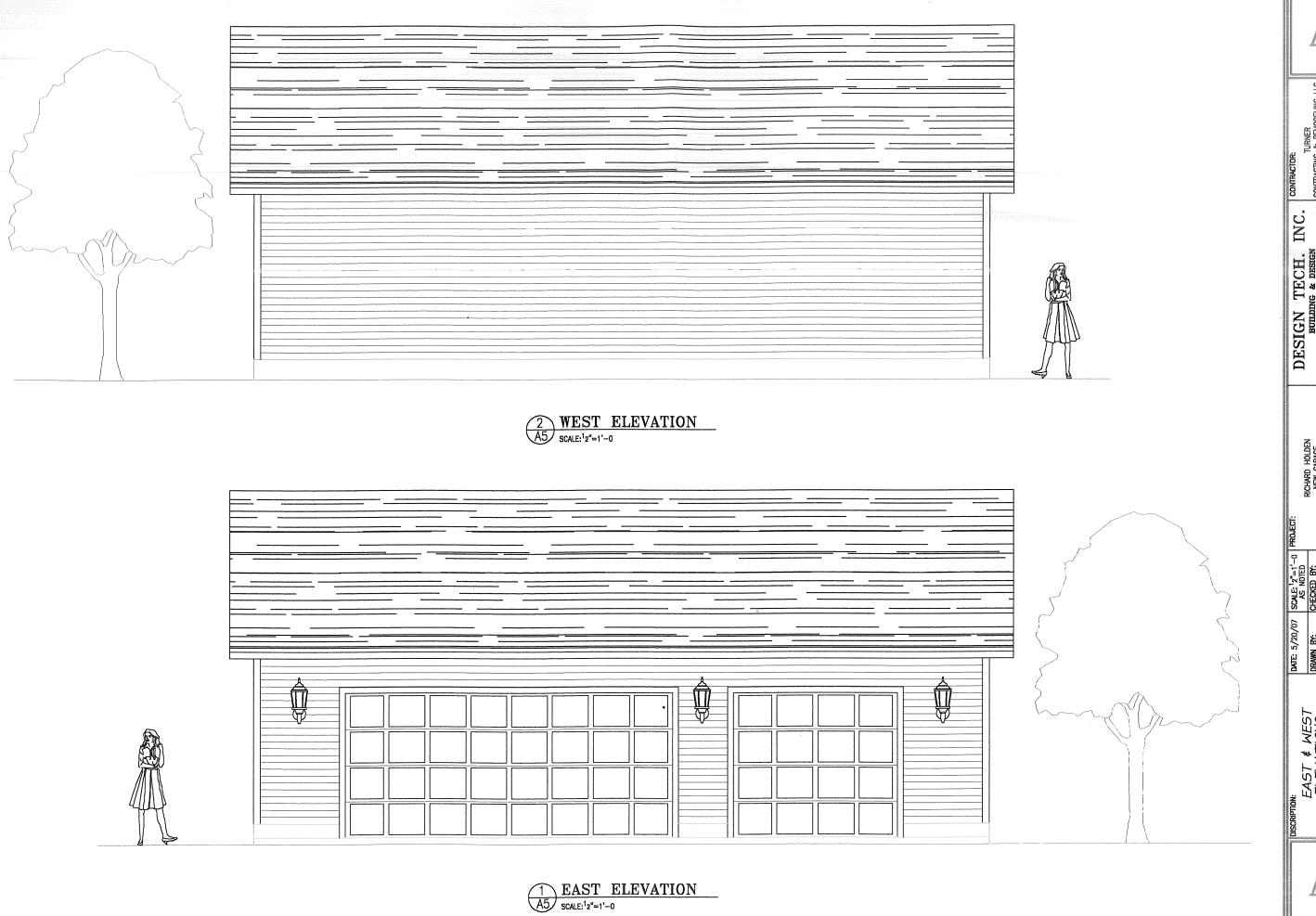
DR 714 27

7× 6"=

DESIGN

MORTH ¢ SOUTH ELEVATIONS

A4



A5

EAST & WEST ELEVATIONS

A5

RICHARD HOLDEN 14 TAR BELL ROAD PORTLAND, MAINE

- NEW GARAGE

	ì
	DRAWING SCHEDULE:
	COVER SHEET
S1	SITE PLAN
F1	FOUNDATION PLAN
A1	FIRST FLOOR PLAN
A2	SECTIONS & DETAILS
A3	ROOF FRAMING
A4	NORTH & SOUTH ELEVATION PLAN
A5	EAST & WEST ELEVATION PLAN

GENERAL NOTES:

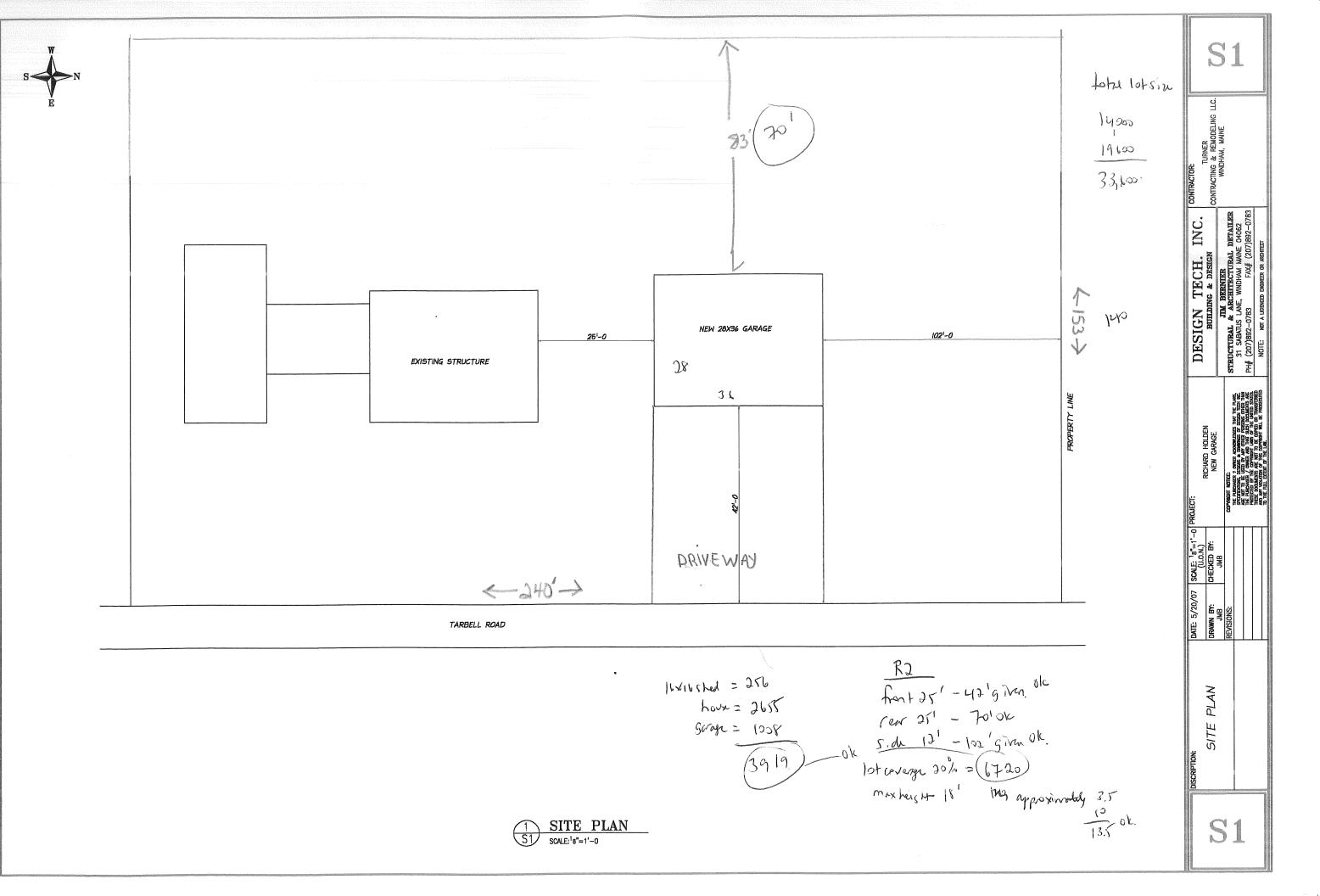
DRAWINGS ARE FOR REPRESENTATION ONLY.
 ALL ELEVATIONS & DIMENSIONS ARE TO BE
VERIFIED W/ THE OWNER & GENERAL CONTRACTOR
PRIOR TO CONSTRUCTION.

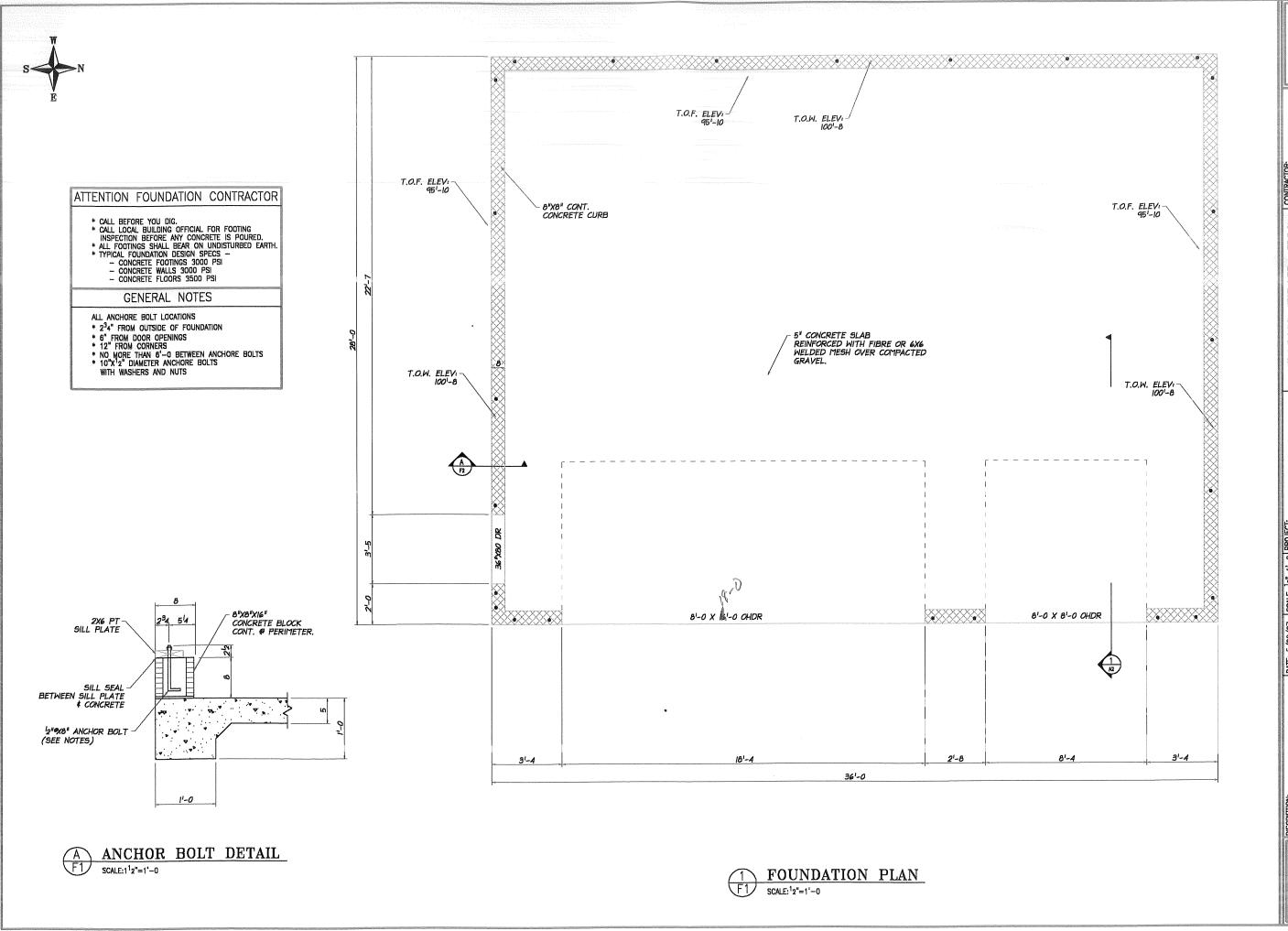
DESIGN TECH. INC. BUILDING & DESIGN

JIM BERNIER STRUCTURAL & ARCHITECTURAL DETAILER

31 SABATUS LANE, WINDHAM MAINE 04062 PH# (207)892-0783 FAX# (207)892-0783

NOTE: NOT A LICIENCED ENGINEER OR ABOUTED

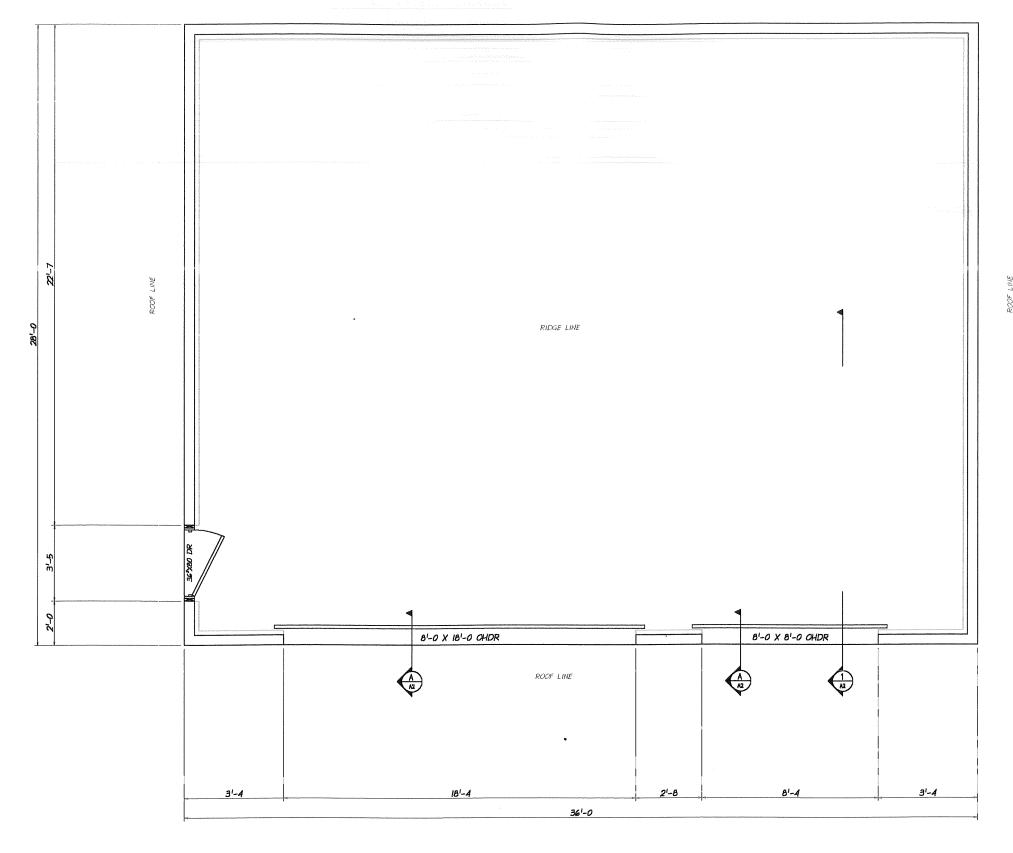




STRUCTURAL & ARCHITECTURAL DETAILER
31 SABATUS LANE, WINDHAM MAINE 04062
PH# (207)892-0783 FAX# (?07)90-INC. DESIGN TECH.
BUILDING & DESIGN DRAWN BY: JMB REVISIONS:

FOUNDATION PLAN DRAW

RI



TLOOR PLAN
SCALE: 12"=1'-0

A1

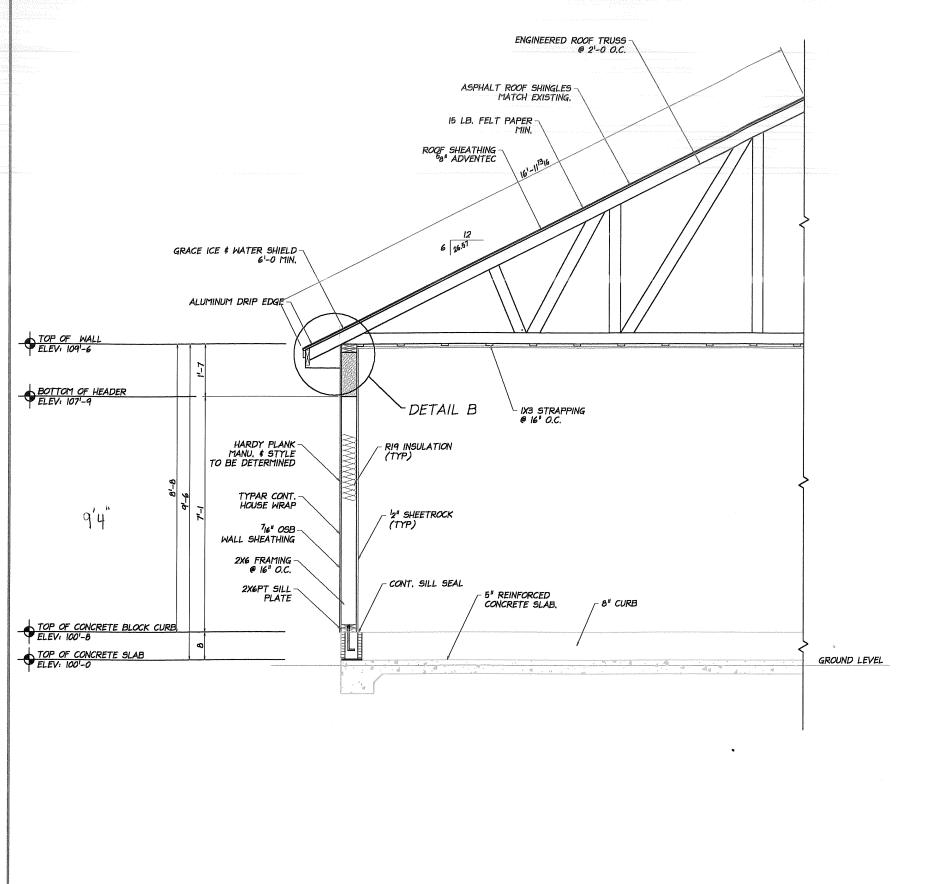
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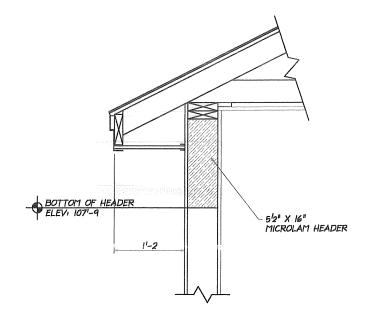
DESIGN

A1

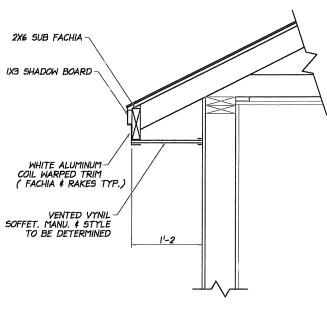
PLAN

FLOOR









DETAIL B
SCALE:112"=1'-0



DESIGN TECH, INC.

BUILDING & DESIGN

CHARLING

STRUCTURAL & ARCHITECTURAL DETAILER
31 SABATUS LANE, WINDHAM MAINE 04062
PH# (207)892-0783

NOTE. NOT A LICENCER DEWREN OR ARCHITECT SCALE: AS NOTED CHECKED BY: JMB DETAIL # SECTIONS A2

