

# City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 111-115 Tucker Ave. Lot #13		Owner: L.E. Lydon Const. Inc.		Phone: 799-5495		Permit No: <b>000109</b>
Owner Address: Same		Lessee/Buyer's Name: N/A		Phone: N/A		
Contractor Name: L.E. Lydon Construction Inc.		Address: 183 Mitchell Road Cape Elizabeth, ME 04107		Phone: 799-5495		Permit Issued:  FEB 15 2000
Past Use: Vacant		Proposed Use: Single Family Home		<b>COST OF WORK:</b> \$ 74,500 <b>PERMIT FEE:</b> \$ 474.00 <b>FIRE DEPT.</b> <input type="checkbox"/> Approved <input type="checkbox"/> Denied <b>INSPECTION:</b> Use Group: R3 Type: 5B Signature: <i>Holper</i> <b>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)</b> Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/> Signature: _____ Date: _____		
Proposed Project Description: Wood frame two story single family home.						
Permit Taken By: UB		Date Applied For: 2-4-00				

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

\*\*\*Call Larry Lydon for pick up 799-5495

Handwritten calculations:  

$$\begin{array}{r} 32 \\ 33.75 \\ 23.50 \\ \hline 0000 \\ 16875 \\ 9125 \end{array}$$

## CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT	ADDRESS:	DATE:	PHONE:
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		PHONE:	

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

**Zoning Appeal**

☐ Variance  
☐ Miscellaneous  
☐ Conditional Use  
☐ Interpretation  
☐ Approved  
☐ Denied

**Historic Preservation**

☐ Not in District or Landmark  
☐ Does Not Require Review  
☐ Requires Review

**Action:**

☐ Approved  
☐ Approved with Conditions  
☐ Denied

Date: \_\_\_\_\_

**PERMIT ISSUED**  
**CEO DISTRICT REQUIREMENTS**

# COMMENTS

- 2-22-00 left message w/ Larry to call to Pre-const. conversation JB
- 2-22-00 Setback inspection - received new Plot Plan to show Transformer Box in Front right corner. left side = 18' setback. Mentioned Cellar stair tread to be 10" and framing for attic scuttle. JB
- 3-3-00 Foundation inspection, drainage, dampproof, backfill JB
- 4/14 Close In - OK scuttle to be installed right rear bedroom basement floor not poured DE
- 8/14/00 OK CGO. A. Lowe

332-D-14  
000109

Inspection Record		Date
Type		
Foundation:	_____	_____
Framing:	_____	_____
Plumbing:	_____	_____
Final:	_____	_____
Other:	_____	_____



CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

LOCATION 115 Tucker Ave lot 13 332-D-014

Issued to L.E. Lydon

Date of Issue Aug. 18 2000

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 000109, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

single family use group R3 type 5B Boca 96

Limiting Conditions:

This certificate supersedes  
certificate issued

Approved:

8/17/00  
.....  
(Date)

.....  
Inspector

.....  
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

(D.C.)

# BUILDING PERMIT REPORT

DATE: 7 February 2K ADDRESS: 115 Tucker Ave. Lot #13 CBL: 332-D-014  
REASON FOR PERMIT: Two story single family dwelling.  
BUILDING OWNER: L.E. Lydon Const. Inc.  
PERMIT APPLICANT: \_\_\_\_\_ / CONTRACTOR L.E. Lydon Const. Inc.  
USE GROUP: R-3 CONSTRUCTION TYPE: 5B CONSTRUCTION COST: \$74,500 PERMIT FEES: \$474.00

The City's Adopted Building Code (The BOCA National Building code/1996 with City Amendments)  
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

## CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions are met: \*1, \*2, \*3, \*4, \*5, \*6, \*7, \*9, \*11, \*12, \*13, \*14, \*15, \*19, \*27, \*28, \*29, \*32, \*33, \*34.

- \*1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- \*2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection) **"ALL LOT LINES SHALL BE CLEARLY MARKED BEFORE CALLING."**
- \*3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
- \*4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts. Section 2305.17
- \*5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
- \*6. Precaution must be taken to protect concrete from freezing. Section 1908.0
- \*7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1.2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1996)
- \*9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
- \*11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2, M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 34" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38"). Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0). Handrails shall be on both sides of stairway. (Section 1014.7)
- \*12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
- \*13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/4" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
- \*14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
- \*15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1010.4)
16. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours. (Section 710.0)
18. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)

- \*19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
- In the immediate vicinity of bedrooms
  - In all bedrooms
  - In each story within a dwelling unit, including basements
20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
21. The Fire Alarm System shall maintained to NFPA #72 Standard.
22. The Sprinkler System shall maintained to NFPA #13 Standard.
23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1996)
24. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
- \*26. Ventilation shall meet the requirements of Chapter 12 Sections 1210.0 of the City's Building Code. (Crawl spaces & attics).
- \*27. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
- \*28. All requirements must be met before a final Certificate of Occupancy is issued.
- \*29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code 1996).
30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code 1993). (Chapter M-16)
31. Please read and implement the attached Land Use Zoning report requirements.
- \*32. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
- \*33. Bridging shall comply with Section 2305.16.
- \*34. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2405.0)
35. All signage, shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1996).
- \*36. Minimum span of 2x8 @ 16" O.C. 40 PSI is 12'8" - @ 12" O.C. 12'8" - Cref. U.S. Spc. Book For Canadian and U.S. Species Group.

P. Samuel Hoffses, Building Inspector  
Cc: Lt. McDougall, PFD  
Marge Schmuckal, Zoning Administrator

PSH 11/28/88

\*\*On the basis of plans submitted and conditions placed on these plans any deviations shall require a separate approval.

**\*\*\*THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD.**

**\*\*\*\*CERTIFICATE OF OCCUPANCY FEE \$50.00**

Applicant: L.E. Lydan Const

Date: 2/1/2000

Address: 115 Tucker Ave. (lot #13)

C-B-L: 332-D-14

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - R-2

Interior or corner lot -

Proposed Use/Work - construct 2 story single family dwelling - No garage  
with 12' x 12' rear deck

Sevage Disposal - City

Lot Street Frontage - 50' min - 80' shown

Front Yard - 25' req - 36' shown

Rear Yard - 25' req - 75' + shown

Side Yard - 14' req - 15' + shown

Projections - 12' x 12' rear deck - rear bulkhead - side stairs

Width of Lot - 80' min req. - 80' shown

Height - 2 Stories

Lot Area - 10,000<sup>sq</sup> min, 12,000<sup>sq</sup> given

Lot Coverage/ Impervious Surface - 20% or 2,400<sup>sq</sup> max

Area per Family - 10,000<sup>sq</sup>

Off-street Parking - 2 req - 2 shown

Loading Bays - N/A

Site Plan - minor/minor

#20000016

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 1 - Zone C

ON REAR: "20' private drainage easement for a common french drain system benefiting lots 10-16"

$$\begin{array}{r} 26' \times 30' = 780 \\ 12 \times 12 = 144 \\ \hline 924 \end{array}$$

CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM

20000016  
I. D. Number

Lydon/Vose  
Applicant  
183 Mitchell Road, Cape Elizabeth, ME 04107  
Applicant's Mailing Address  
Larry Lydon  
Consultant/Agent  
799-5495  
Applicant or Agent Daytime Telephone, Fax

2/7/00  
Application Date  
Single family  
Project Name/Description

115 Tucker Ave, Portland, Maine 04103

Address of Proposed Site

332-D-014

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  
☒ New Building ☐ Building Addition ☐ Change Of Use ☒ Residential  
☐ Office ☐ Retail ☐ Manufacturing ☐ Warehouse/Distribution ☐ Parking Lot ☒ Other (specify) Lot 13  
1490 12000

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

☒ Site Plan (major/minor) ☐ Subdivision # of lots ☐ PAD Review ☐ 14-403 Streets Review  
☐ Flood Hazard ☐ Shoreland ☐ Historic Preservation ☐ DEP Local Certification  
☐ Zoning Conditional Use (ZBA/PB) ☐ Zoning Variance ☐ Other

Fees Paid: Site Plan \$300.00 Subdivision Engineer Review Date: 2/4/00

DRC Approval Status:

Reviewer Gordon Smith

☐ Approved ☒ Approved w/Conditions see attached ☐ Denied

Approval Date 2/8/00 Approval Expiration 2/8/01 Extension to ☒ Additional Sheets Attached

☒ Condition Compliance Gordon Smith 2/8/00  
signature date

Performance Guarantee

☐ Required\*

☐ Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate Of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	
	date		
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released			



CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM

20000016

I. D. Number

**Lydon/Vose**

Applicant

**183 Mitchell Road, Cape Elizabeth, ME 04107**

Applicant's Mailing Address

**Larry Lydon**

Consultant/Agent

**799-5495**

Applicant or Agent Daytime Telephone, Fax

**2/7/00**

Application Date

**Single family**

Project Name/Description

**115 Tucker Ave, Portland, Maine 04103**

Address of Proposed Site

**332-D-014**

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  
☒ New Building    ☐ Building Addition    ☐ Change Of Use    ☒ Residential  
☐ Office    ☐ Retail    ☐ Manufacturing    ☐ Warehouse/Distribution    ☐ Parking Lot    ☒ Other (specify) **Lot 13**

**1490**

**12000**

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

**Check Review Required:**

- |                                                                |                                                         |                                                |                                                  |
|----------------------------------------------------------------|---------------------------------------------------------|------------------------------------------------|--------------------------------------------------|
| <input checked="" type="checkbox"/> Site Plan<br>(major/minor) | <input type="checkbox"/> Subdivision<br># of lots _____ | <input type="checkbox"/> PAD Review            | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                          | <input type="checkbox"/> Shoreland                      | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional<br>Use (ZBA/PB)    | <input type="checkbox"/> Zoning Variance                | <input type="checkbox"/> Other _____           |                                                  |

Fees Paid:    Site Plan    **\$300.00**    Subdivision    \_\_\_\_\_    Engineer Review    \_\_\_\_\_    Date:    **2/4/00**

**Inspections Approval Status:**

Reviewer \_\_\_\_\_

- ☐ Approved    ☐ Approved w/Conditions  
see attached    ☐ Denied

Approval Date \_\_\_\_\_    Approval Expiration \_\_\_\_\_    Extension to \_\_\_\_\_    ☐ Additional Sheets  
Attached

☐ Condition Compliance

signature \_\_\_\_\_

date \_\_\_\_\_

**Performance Guarantee**

☐ Required\*

☐ Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issued	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	
	date		
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date



**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE  
PERMIT IS ISSUED**

**Minor/Minor Site Review, Building or Use Permit Pre-Application  
Detached Single Family Dwelling**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

**NOTE\*\*If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: <u>lot #13 Tucker Ave. 115</u>			
Total Square Footage of Proposed Structure <u>1490<sup>sq</sup></u>		Square Footage of Lot <u>12000<sup>sq</sup></u>	
Tax Assessor's Chart, Block & Lot Number Chart# <u>332</u> Block# <u>D</u> Lot# <u>014</u>		Owner: <u>L.E. Lydon Const. Inc.</u> <u>Paul Vose Inc.</u>	Telephone#: <u>799-5495</u>
Lessee/Buyer's Name (If Applicable) <u>N/A</u>	Owner's/Purchaser/Lessee Address: <u>SCMC.</u>	Cost Of Work: <u>\$ 74,500.<sup>00</sup></u>	Fee: <u>\$ 474.00</u>
Proposed Project Description:(Please be as specific as possible) <u>Wood frame - <del>two</del> two story - single family home</u>			<u>minnSite+300.00</u> <u>774.00</u>
Contractor's Name, Address & Telephone <u>L.E. Lydon Const. Inc. 183 Mitchell Rd. Cape Elizabeth, ME 04107</u>			799-5495 Rec'd By: <u>WR</u>

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- **All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.**
- **All plumbing must be conducted in compliance with the State of Maine Plumbing Code.**
- **All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.**
- **HVAC(Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.**

You must Include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan (Sample Attached)

call Larry Lydon  
799 5495

A "minor/minor" site plan review is required prior to permit issuance. The Site plan must be prepared and sealed by a registered land surveyor (2 copies are required). A complete plot plan (Site Plan) includes:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation ( based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

**4) Building Plans (Sample Attached)**

A complete set of construction drawings showing all of the following elements of construction:

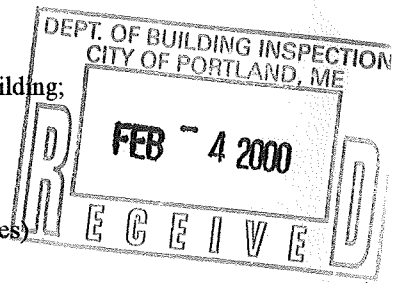
- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

**Certification**

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>2-4-00</u>
--------------------------------------------	---------------------

Site Review Fee: \$300.00/Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.



# PLUMBING APPLICATION

Department of Human Services  
Division of Health Engineering

## PROPERTY ADDRESS

Town Or Plantation	Portland
Street Subdivision Lot #	313 WARDEN AVE
PROPERTY OWNERS NAME	

Last:	DiBiase	First:	Anthony
Applicant Name:	John Bellino		
Mailing Address of Owner/Applicant (If Different)	980 Riverside St. Port Me 04103		

PORTLAND	6547	TOWN COPY
Date Permit Issued:	17, 22, 98	\$ 1, 1, 12
Local Plumbing Inspector Signature		L.P.I. # 01124
		<input type="checkbox"/> Double Fee Charged

## Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector to deny a Permit.

Signature of Owner/Applicant

Date

## Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

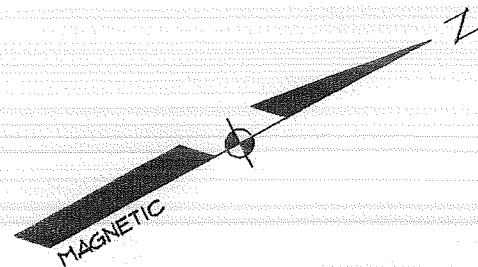
Local Plumbing Inspector Signature

Date Approved

## PERMIT INFORMATION

<b>This Application is for</b>	<b>Type Of Structure To Be Served:</b>	<b>Plumbing To Be Installed By:</b>
1. <input checked="" type="checkbox"/> NEW PLUMBING	1. <input checked="" type="checkbox"/> SINGLE FAMILY DWELLING	1. <input checked="" type="checkbox"/> MASTER PLUMBER
2. <input type="checkbox"/> RELOCATED PLUMBING	2. <input type="checkbox"/> MODULAR OR MOBILE HOME	2. <input type="checkbox"/> OIL BURNERMAN
	3. <input type="checkbox"/> MULTIPLE FAMILY DWELLING	3. <input type="checkbox"/> MFG'D. HOUSING DEALER / MECHANIC
	4. <input type="checkbox"/> OTHER — SPECIFY _____	4. <input type="checkbox"/> PUBLIC UTILITY EMPLOYEE
		5. <input type="checkbox"/> PROPERTY OWNER
		LICENSE # 92415

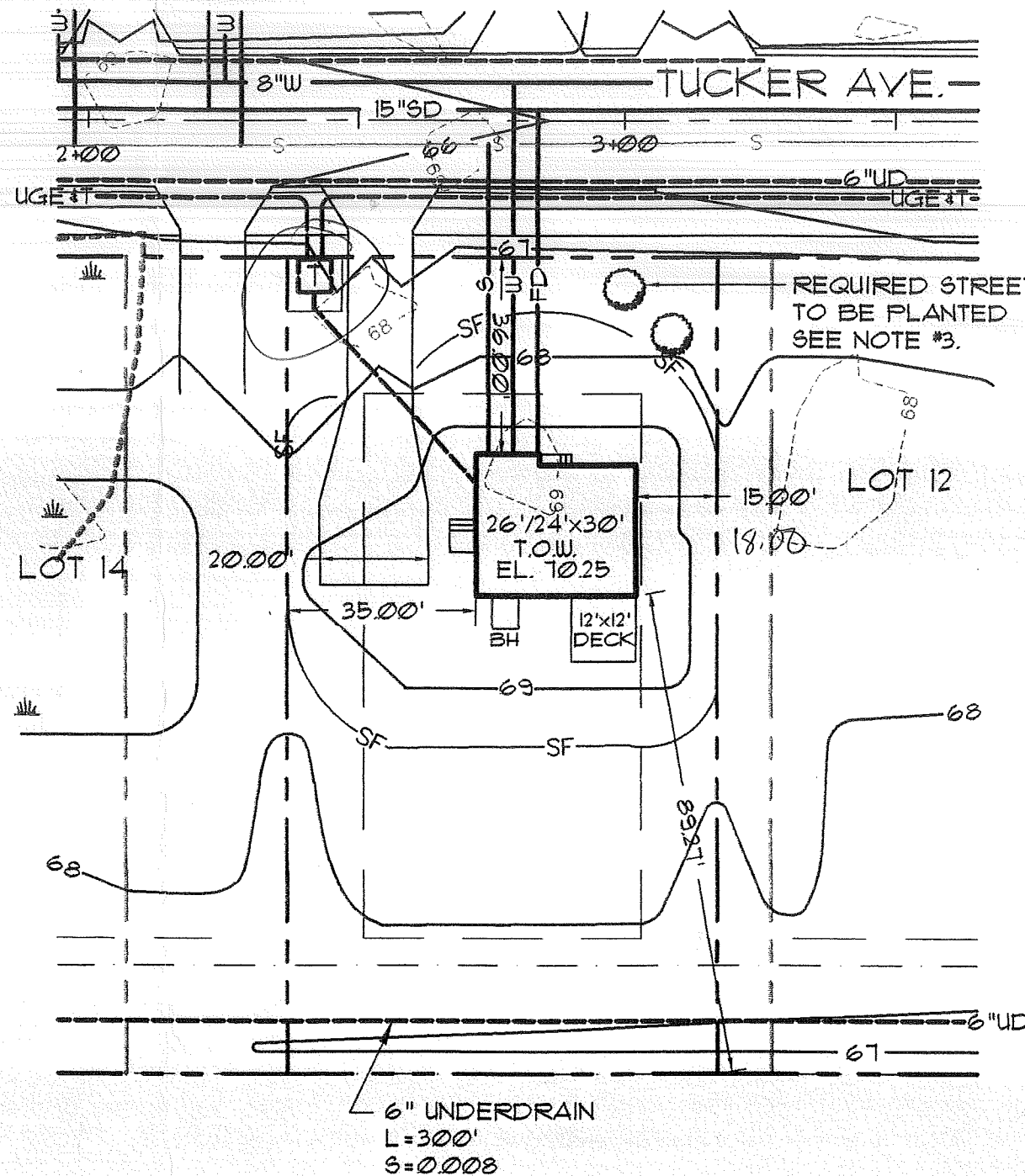
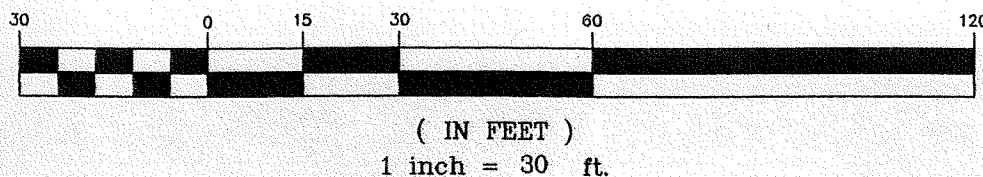
Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Column 2 Number Type of Fixture	Column 1 Number Type of Fixture
<b>OR</b> HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.  HOOK-UP: to an existing subsurface wastewater disposal system.	Hosebibb / Sillcock	Bathub (and Shower)
	Floor Drain	Shower (Separate)
	Urinal	Sink
	Drinking Fountain	Wash Basin
	Indirect Waste	Water Closet (Toilet)
<b>OR</b> PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.	Water Treatment Softener, Filter, etc.	Clothes Washer
	Grease / Oil Separator	Dish Washer
	Dental Cuspidor	Garbage Disposal
	Bidet	Laundry Tub
	Other: _____	Water Heater
<b>OR</b> TRANSFER FEE [\$6.00]	<b>Fixtures (Subtotal) Column 2</b>	<b>Fixtures (Subtotal) Column 1</b>
<b>SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE</b>		<b>Total Fixtures</b>
		<b>Fixture Fee</b>
		<b>Transfer Fee</b>
		<b>Hook-Up &amp; Relocation Fee</b>
		<b>Permit Fee (Total)</b>



**NOTE:**

1. ELEVATION AND UTILITY LOCATION TAKEN FROM SHEET 3 OF 5 (GRADING PLAN) TUCKER AVENUE EXTENSION.
2. DURING CONSTRUCTION THE OWNER AND/OR CONTRACTOR SHALL UTILIZE ME. D.E.P. "BEST MANAGEMENT PRACTICES (B.M.P.'S) FOR EROSION CONTROL & SEDIMENTATION CONTROL.
3. IF TWO TREES EXIST WHICH ARE LARGER THAN 2" DIA. TRUNK, THEY MAY BE SUBSTITUTED FOR THE PROPOSED STREET TREES, AS LONG AS THE SPECIES IS ON THE CITY'S ACCEPTABLE TREE LIST.
4. TBM FOR SITE PLAN IS THE RIM ELEVATION ON THE FIELD CATCH BASIN LOCATED IN THE FRONT CORNER OF LOT 14. TBM= ELEVATION 66.0:

**GRAPHIC SCALE**



Received  
2-22-00  
JB



**Sebago Technics**  
Engineering & Planning for the Future  
One Chabot Street  
Westbrook, Me 04098-1339  
Tel (207) 856-0277

**SINGLE FAMILY RESIDENCE PLOT PLAN**  
OF:  
**LOT 13 TUCKER WOODS SUBDIVISION**  
TUCKER AVENUE  
PORTLAND, MAINE  
FOR:  
**PAUL VOSE**  
P.O. BOX 7543  
PORTLAND, ME. 04112

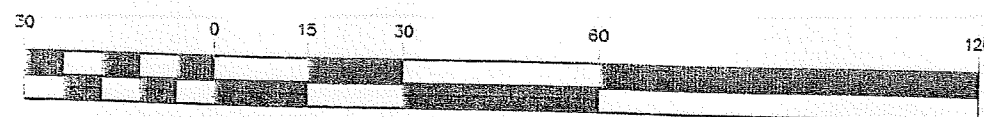
DESIGN BY:  
DRAWN BY: PLS  
CHECKED BY: JRS  
DATE: 2-16-00  
SCALE: 1"=30'  
FIELD BK: -----  
PROJ. NO: 99401  
DRAWING: 99401LOT13  
**SHEET 1 OF 1**



NOTE:

1. ELEVATION AND UTILITY LOCATION TAKEN FROM SHEET 3 OF 5 (GRADING PLAN) TUCKER AVENUE EXTENSION.
2. DURING CONSTRUCTION THE OWNER AND/OR CONTRACTOR SHALL UTILIZE ME. D.E.P. "BEST MANAGEMENT PRACTICES (B.M.P.'S) FOR EROSION CONTROL & SEDIMENTATION CONTROL.
3. IF TWO TREES EXIST WHICH ARE LARGER THAN 2" DIA. TRUNK, THEY MAY BE SUBSTITUTED FOR THE PROPOSED STREET TREES, AS LONG AS THE SPECIES IS ON THE CITY'S ACCEPTABLE TREE LIST.
4. TBM FOR SITE PLAN IS THE RIM ELEVATION ON THE FIELD CATCH BASIN LOCATED IN THE FRONT CORNER OF LOT 14. TBM= ELEVATION 66.0.

GRAPHIC SCALE



( IN FEET )  
1 inch = 30 ft.



# Sebago Technics

Engineering & Planning for the Future

One Chabot Street  
Westbrook, Me 04098-1339  
Tel (207) 856-0277

SINGLE FAMILY RESIDENCE PLOT PLAN

LOT 13 TUCKER WOODS SUBDIVISION

TUCKER AVENUE  
PORTLAND, MAINE

FOR:

PAUL VOSE

P.O. BOX 7543

PORTLAND, ME. 04112

DESIGN BY:

DRAWN BY: PLS

CHECKED BY: JRS

DATE: 2-3-00

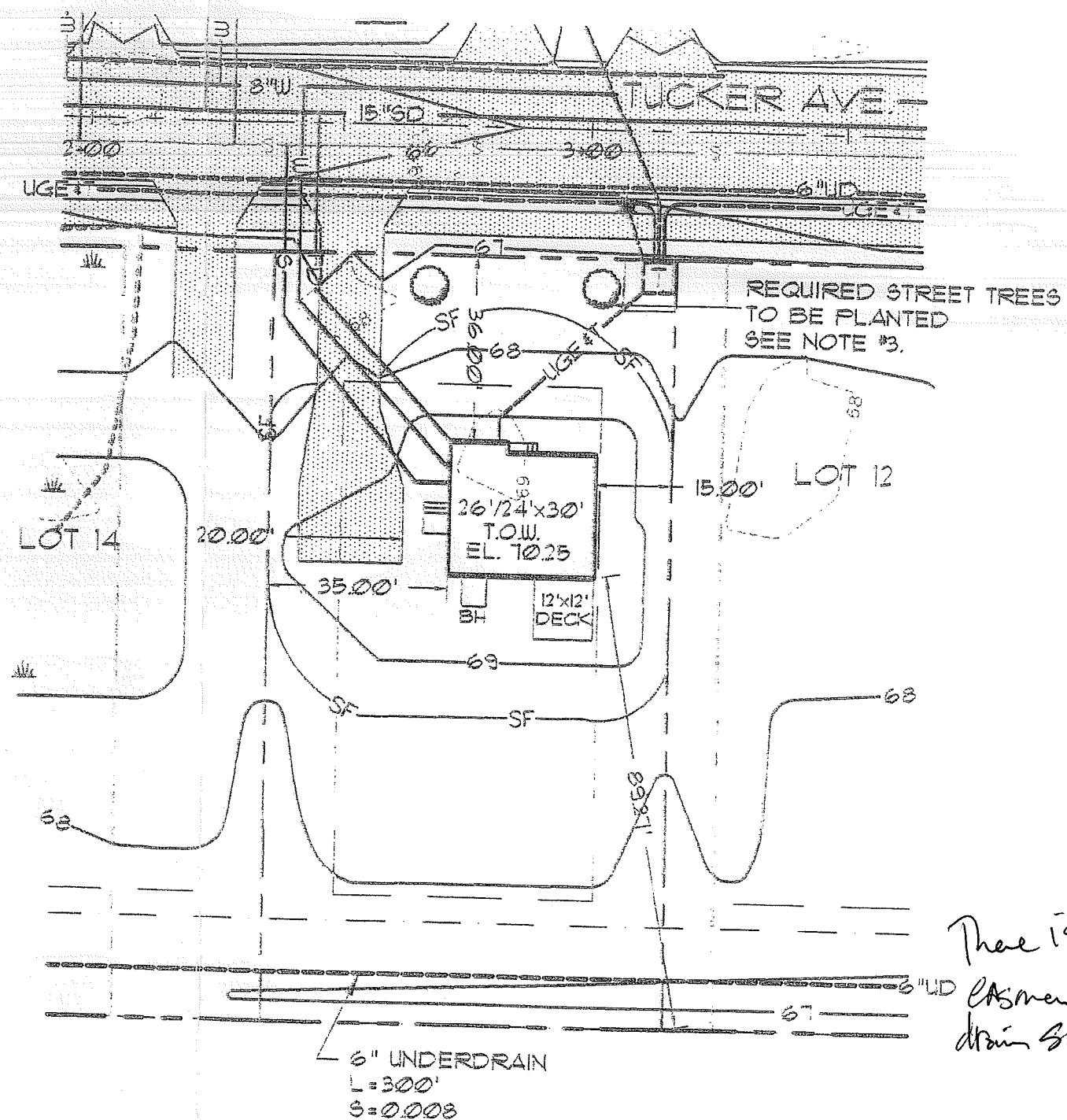
SCALE: 1" = 30'

FIELD BK: -----

PROJ. NO: 99401

DRAWING: 99401LOT13

SHEET 1 OF 1



There is a 20' private drainage easement for a common French drain system benefiting