

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

# CITY OF PORTLAND

BUILDING INSPECTION

## PERMIT

Please Read  
Application And  
Notes, If Any,  
Attached

Permit Number: 081227

This is to certify that BPI REALTY LLC /HardyPond construct  
has permission to install framed canopy over existing entry ramp at main entrance

AT 1039 RIVERSIDE ST - unit 4

CE 331 A001004

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise re-erected-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

*James Bonke* 12/2/08  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

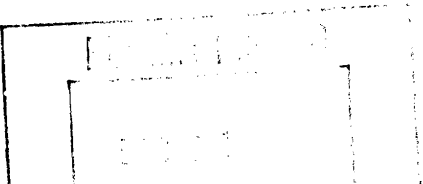
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1227	Issue Date:	CBL: 331 A001004
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Location of Construction: (1045 Riverside) 1039 RIVERSIDE ST - no. 4	Owner Name: BPI REALTY LLC	Owner Address: 1045 RIVERSIDE ST	Phone:
Business Name:	Contractor Name: HardyPond Construction	Contractor Address: 1039 Riverside St Suite 11 Portland	Phone: 2077976066
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Commercial	Zone: IM

Past Use: Commercial - Bio-Processing	Proposed Use: Commercial - Bio-Processing - install framed canopy over existing entry ramp at main entrance	Permit Fee: \$320.00	Cost of Work: \$29,500.00	CEO District: 5
Proposed Project Description: install framed canopy over existing entry ramp at main entrance		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>See Condition</i>	INSPECTION: Use Group: B/S/F Type: ZB DBL-2003 Signature: <i>Jim B 12/30/08</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: Idobson	Date Applied For: 09/30/2008	<b>Zoning Approval</b>		
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>Exemption</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK w/condition</i> Date: <i>10/1/08</i> <i>ASA</i>	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<p>Historic Preservation</p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ASA</i> Date: _____
			

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers

Re-Bar Schedule Inspection: Prior to pouring concrete

Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

Final inspection required at completion of work.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

O'malley  
Signature of Applicant/Designee

12-31-08  
Date

Joanne Burke  
Signature of Inspections Official

12/30/08  
Date

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1227	Date Applied For: 09/30/2008	CBL: 331 A001004
-----------------------	---------------------------------	---------------------

Location of Construction: 1039 RIVERSIDE ST - unit 4 (1045)	Owner Name: BPI REALTY LLC	Owner Address: 1045 RIVERSIDE ST	Phone:
Business Name:	Contractor Name: HardyPond Construction	Contractor Address: 1039 Riverside St Suite 11 Portland	Phone (207) 797-6066
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Commercial	

Proposed Use: Commercial - Bio-Processing - install framed canopy over existing entry ramp at main entrance	Proposed Project Description: install framed canopy over existing entry ramp at main entrance
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 10/06/2008

**Note:** canopy is 21'4" x 6'8" with a 8' x 2'8" projection.

**Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Jeanine Bourke      **Approval Date:** 12/30/2008

**Note:**

**Ok to Issue:**

- 1) A minimum of class C roof covering is required
- 2) Approved based on plans submitted Dec. 17, 2008 to be built as non-combustible construction, consistent with the building type.
- 3) Separate permits are required for any electrical, plumbing, HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 4) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Capt Greg Cass      **Approval Date:** 10/24/2008

**Note:**

**Ok to Issue:**

- 1) If structure is sprinkler protected this canopy must also be protected.

**Comments:**

10/3/2008-amachado: Left vcm for Jeff Frey. Is this building #4? We have permit (07-1431) which was to build a 32' x 8' steel entrance structure at the front entrance. Is this canopy replacing that?

10/6/2008-amachado: Spoke to Jeff Frey. It is building #4. The steel canopy was never built (#07-1431). This canopy is located in the same place over the front entry.

10/6/2008-amachado: Gave siteplan exemption to planning.

10/6/2008-amachado: Put permit in Jeanie's wire basket.

10/20/2008-gg: received granted site plan exemption as of 10/20/08. Filed with permit (Tammy). /gg

12/17/2008-ldobson: Jeff from Hardy Pond dropped by a plan showing the canopy built non-combustible

10/27/2008-tmm: HOLD - need fire rating between structures due to proximity based on table 602 in IBC - calle dJeff @ hardy pond construction, or to be built as non-combustible.



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>1037 Riverside St Portland Me - unit 4</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>331      A      1004</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>Bi-Processing</u> Address <u>1037 Riverside St</u> City, State & Zip <u>Portland Me 04101</u>	Telephone: <u>797-6066</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>29,500</u> C of O Fee: \$ Total Fee: \$ <u>320</u>
Current legal use (i.e. single family) <u>Commercial</u> Number of Residential Units _____ If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Install framed canopy over existing entry ramp at Main entrance</u>		
Contractor's name: <u>Hardywood Construction</u> Address: <u>7 Tree Drive</u> City, State & Zip <u>Portland Me 04101</u> Telephone: <u>797-6066</u> Who should we contact when the permit is ready: <u>Jeffrey Fry</u> Telephone: <u>651-2678</u> Mailing address: <u>same as above</u> <u>671-2678</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature]

Date: SEP 30 2003

This is not a permit; you may not commence ANY work until the permit is issue



# Application for Exemption from Site Plan Review Portland, Maine

Department of Planning and Urban Development, Planning Division and Planning Board

## 1. Applicant Information

BPI Realty LLC  
Applicant/Owner

1045 Riverside St, Portland ME 04104  
Mailing Address

Jeffrey Frey - Hardy Pond Construction  
Consultant/Agent

Phone / Fax / Cell 671-2678

## 2. Project Information

10/6/08  
Application Date

Bio Processing - building #4  
Project Name/Description

1039 Riverside St (1045)  
Address of Proposed Site

331-A-001004  
Assessor's Reference (Chart-Block-Lot)

### Description of Proposed Development:

install framed canopy over existing entry ramp at main entrance.  
21'4" x 6'8" (142.27 $\phi$ )! 8' x 2'8" (21.36 $\phi$ ) (6 h1 sf 163.63 $\phi$ )

(Please Attach Sketch/Plan of Proposal/Development)

Criteria for Exemptions: (See Section 14-523 (4) on page 2 of this application)

	Applicant's Assessment (Yes, No, N/A)	Planning Division Use Only
a) Within Existing Structures: No New Buildings, Demolitions or Additions	<u>No</u>	<input checked="" type="checkbox"/>
b) Footprint Increase Less Than 500 sq. ft.	<u>owning</u>	<input checked="" type="checkbox"/>
c) No New Curb Cuts, Driveways, Parking Areas	<u>yes</u>	<input checked="" type="checkbox"/>
d) Curbs and Sidewalks in Sound Condition/Comply with ADA	<u>yes</u>	<input checked="" type="checkbox"/>
e) No Additional Parking/No Traffic Increase	<u>yes</u>	<input checked="" type="checkbox"/>
f) No Known Stormwater Problems	<u>yes</u> OCT 20 2008	<input checked="" type="checkbox"/>
g) Sufficient Property Screening Exists	<u>yes</u>	<input checked="" type="checkbox"/>
h) Adequate Utilities	<u>yes</u>	<input checked="" type="checkbox"/>

### Planning Division Use Only

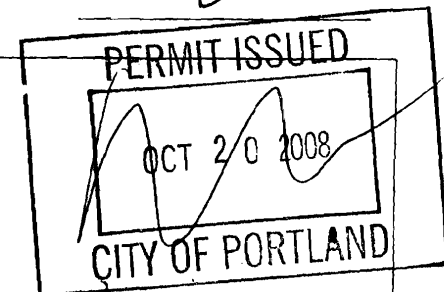
Exemption Granted  Partial Exemption  Exemption Denied

Planner's Signature

Barbara Berhydt

Date

Oct. 16, 2008





# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>1037 Riverside St Portland Me - unit 4</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# <u>331</u> Block# <u>A</u> Lot# <u>1004</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>Bi-processing</u> Address <u>1037 Riverside St</u> City, State & Zip <u>Portland Me 04104</u>	Telephone: <u>797-6066</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>29,500</u> C of O Fee: \$ Total Fee: \$ <u>320</u>
Current legal use (i.e. single family) <u>Commercial</u> Number of Residential Units _____ If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Install second canopy over existing entry ramp at Main entrance</u>		
Contractor's name: <u>Hardywood Construction</u> Address: <u>7 Tee Drive</u> City, State & Zip: <u>Portland Me 04104</u> Telephone: <u>797-6066</u> Who should we contact when the permit is ready: <u>Jeffrey Fry</u> Telephone: <u>651-2678</u> Mailing address: <u>same as above</u> <u>671-2678</u>		

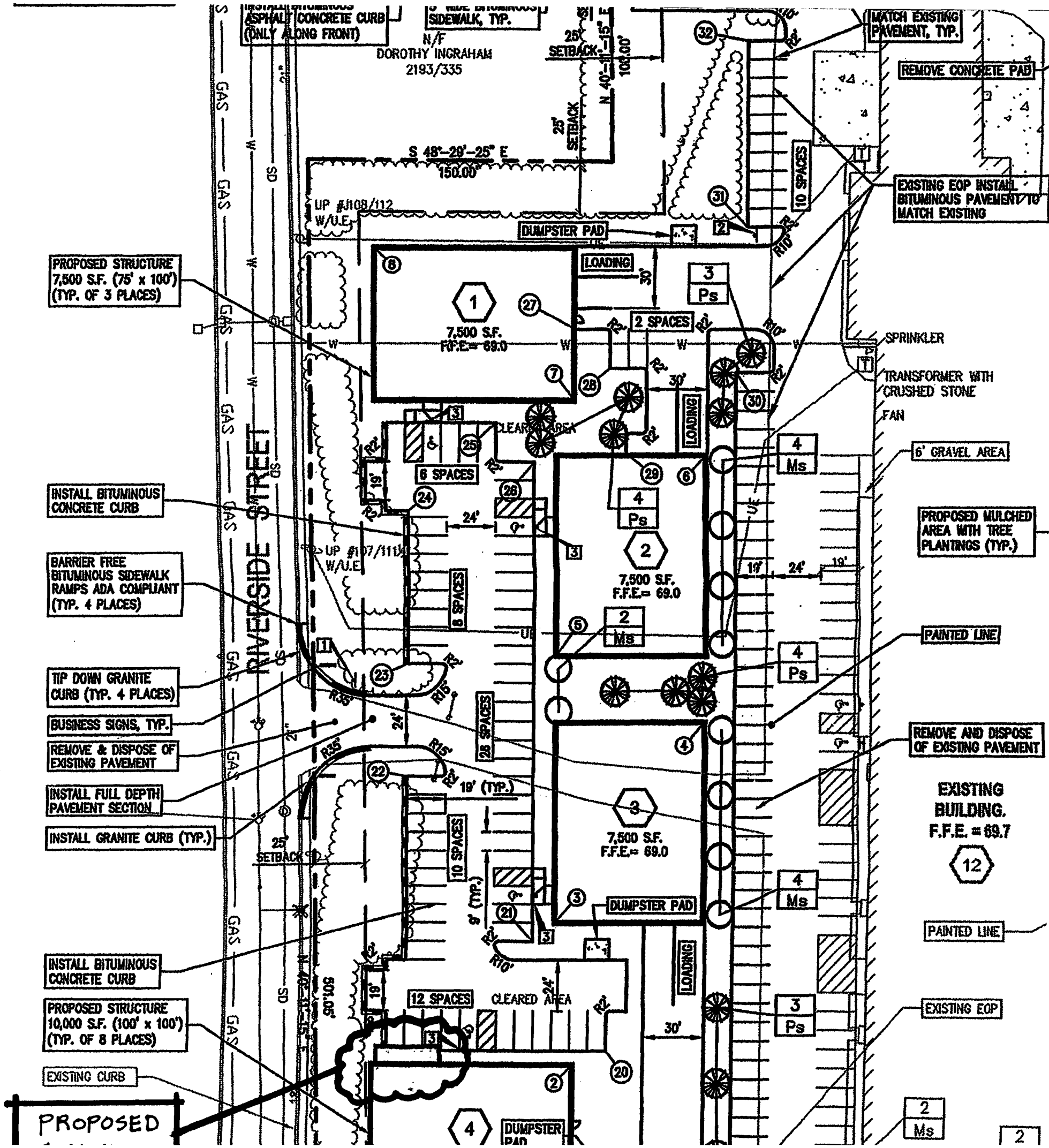
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Signature: [Signature] Date: Sept 30 2008

This is not a permit; you may not commence ANY work until the permit is issued



PROPOSED STRUCTURE  
7,500 S.F. (75' x 100')  
(TYP. OF 3 PLACES)

INSTALL BITUMINOUS  
CONCRETE CURB

BARRIER FREE  
BITUMINOUS SIDEWALK  
RAMPS ADA COMPLIANT  
(TYP. 4 PLACES)

TIP DOWN GRANITE  
CURB (TYP. 4 PLACES)

BUSINESS SIGNS, TYP.

REMOVE & DISPOSE OF  
EXISTING PAVEMENT

INSTALL FULL DEPTH  
PAVEMENT SECTION

INSTALL GRANITE CURB (TYP.)

INSTALL BITUMINOUS  
CONCRETE CURB

PROPOSED STRUCTURE  
10,000 S.F. (100' x 100')  
(TYP. OF 8 PLACES)

EXISTING CURB

PROPOSED

ASPHALT CONCRETE CURB  
(ONLY ALONG FRONT)

TRUE BITUMINOUS  
SIDEWALK, TYP.

DOROTHY INGRAHAM  
2193/335

MATCH EXISTING  
PAVEMENT, TYP.

REMOVE CONCRETE PAD

EXISTING EOP INSTALL  
BITUMINOUS PAVEMENT TO  
MATCH EXISTING

SPRINKLER

TRANSFORMER WITH  
CRUSHED STONE

FAN

6' GRAVEL AREA

PROPOSED MULCHED  
AREA WITH TREE  
PLANTINGS (TYP.)

PAINTED LINE

REMOVE AND DISPOSE  
OF EXISTING PAVEMENT

EXISTING  
BUILDING.  
F.F.E. = 69.7

12

PAINTED LINE

EXISTING EOP

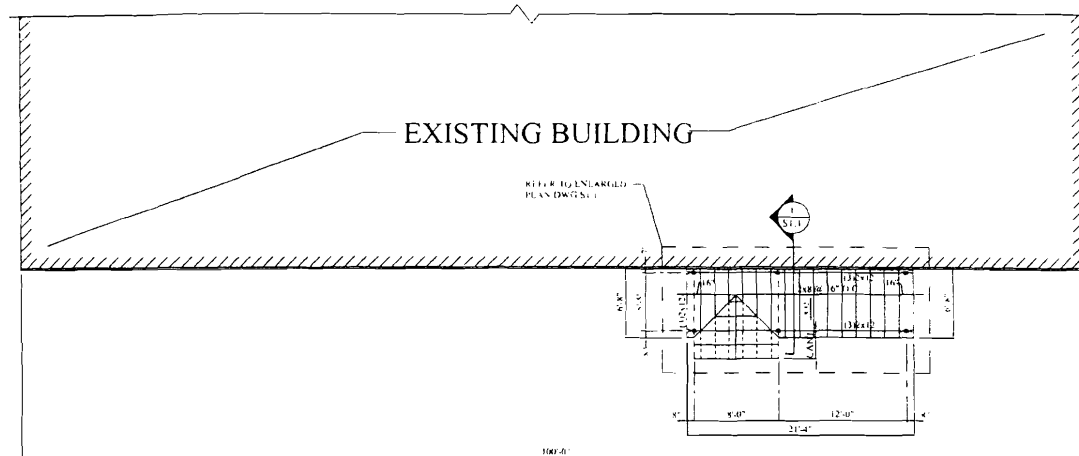
2  
Ms

2



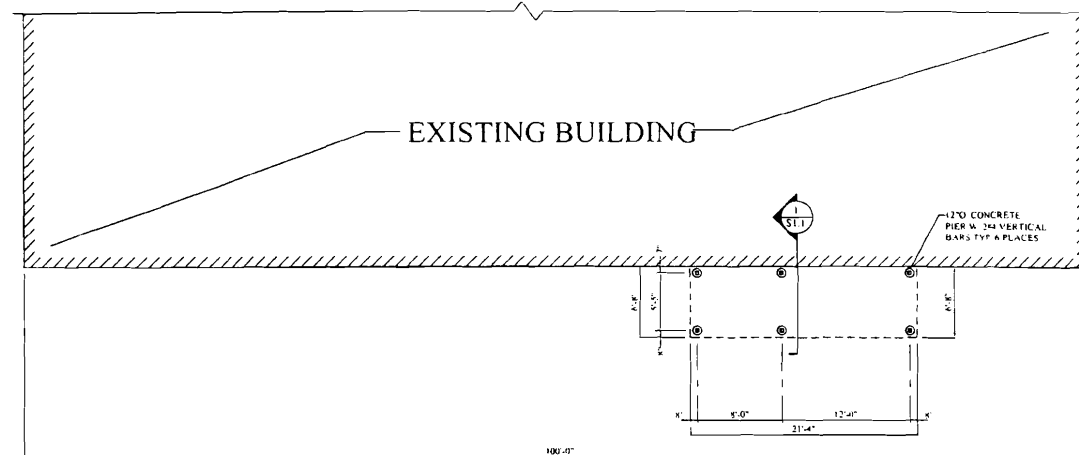
work shall conform to ACI 318-Latest Edition.  
 curing shall be at 28 days shall be.  
 SI for footings and piers.  
 shall be air entrained 4% to 6%  
 shall not be placed in water or on frozen ground  
 shall conform to ASTM A615 Grade 60 deformed  
 shall be detailed, fabricated and erected in accordance  
 Latest edition.  
 shall conform to ASTM A307 unless noted otherwise

design shall be in accordance with the AITC timber  
 manual or the national design specifications (NDS)  
 all framing members shall be visually graded, minimum  
 grade-Pine-Fir (SPF), kiln dried to 19% maximum moisture  
 all lumber shall be used where wood is in contact with  
 masonry or concrete. Timber shall be southern yellow pine  
 with a CO to 0.4 #/CF in accordance with AWWA C-18.  
 all fasteners shall be used at all timber to timber connections or  
 to masonry or concrete in accordance with the design drawings.  
 all H2.5A hurricane anchors where timber framing and/or  
 masonry shall bear on timber beams or bearing walls  
 all fasteners shall conform with IBC 2006  
 all sheathing shall be 5/8" APA rated plywood w/ H-clips. Attach  
 supports using 8d nails spaced at 6" o.c. at panel edges  
 at all intermediate supports.



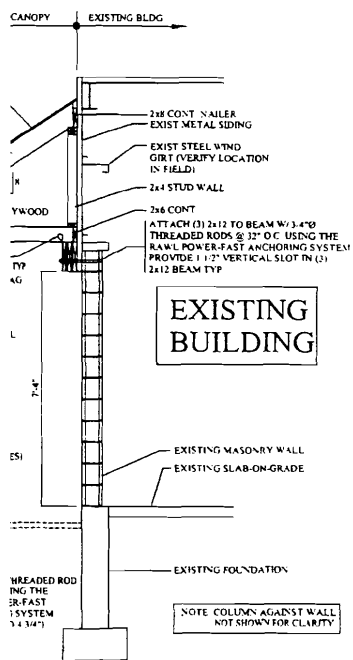
CANOPY FRAMING PLAN

1/8" = 1'-0"

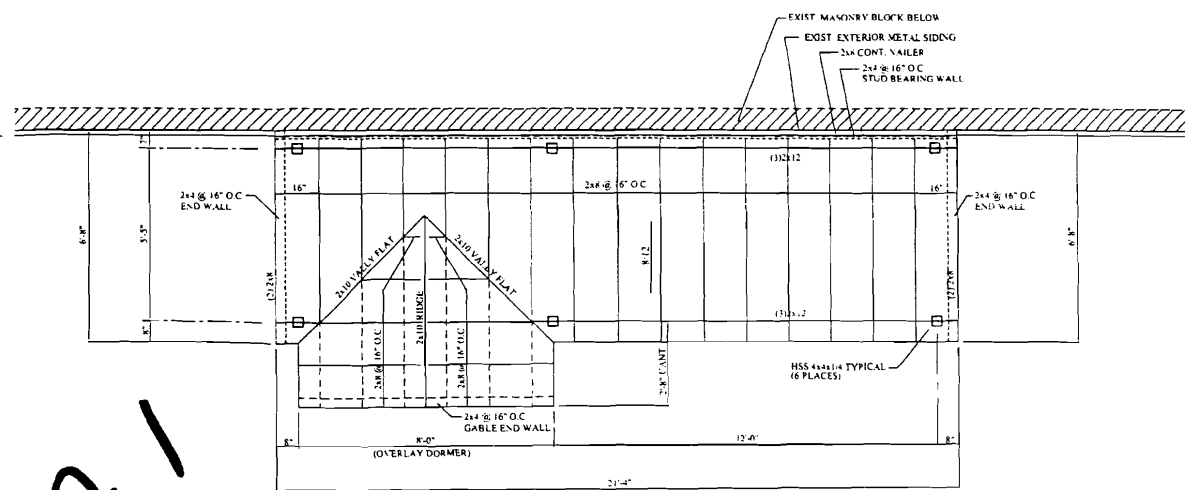


CANOPY FOUNDATION PLAN

1/8" = 1'-0"

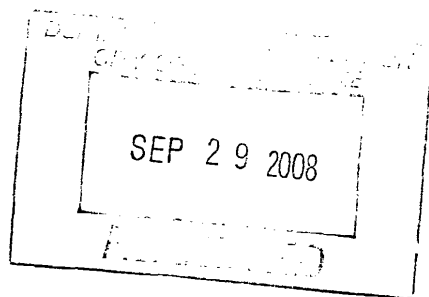


EXISTING BUILDING



ENLARGED ROOF FRAMING PLAN

3/8" = 1'-0"



**MFL ENGINEERING**  
 3 GOLDENWOOD DRIVE  
 SCARBOROUGH, MAINE 04074  
 TEL: (207) 885-1522  
 FAX: (207) 885-1522  
 CELL: (207) 329-3717  
 EMAIL: mflengr@maine.rr.com



rev.	date	description	author

designed by MFL  
 drawn by MFL  
 checked by MFL  
 scale: NOTED  
 date: September 29, 2008  
 plot date: September 29, 2008  
 project #: 28004

**BIOPROCESSING ENTRY CANOPY**  
 1039 RIVERSIDE STREET  
 PORTLAND, MAINE  
 ENTRY CANOPY FOUNDATION, FRAMING AND DETAILS

**S1.1**

*ADT 331A-1*

SECTION 1 S1.1  
 1/4" W  
 TYP  
 1/4" ON ALL STRUCTURAL STEEL

Rebar shall conform to ACI 318—Latest Edition.  
 Minimum curing time shall be 28 days for footings and piers.  
 Concrete shall be air entrained 4% to 6%.  
 Concrete shall not be placed in water or on frozen ground.  
 Reinforcement shall conform to ASTM A615 Grade 60 deformed steel bars.  
 Details shall be detailed, fabricated and erected in accordance with the latest edition of the code of practice.  
 All steel shall conform to ASTM A307 unless noted otherwise.

Timber shall be in accordance with the AITC timber grading rules and the national design specifications (NDS).

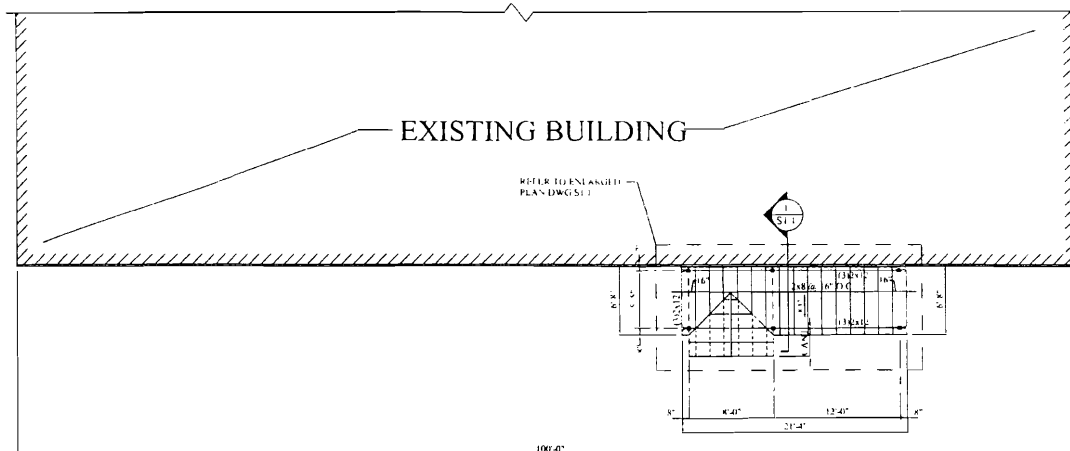
Timber framing members shall be visually graded, minimum grade—Pine-Fir (SPF), kiln dried to 19% maximum moisture content.

Timber shall be used where wood is in contact with masonry or concrete. Timber shall be southern yellow pine or white pine. Timber shall be 2x4 or 2x6 in accordance with AWPA C-18. Timber shall be used at all timber to timber connections or connections to steel design drawings.

Use H2.5A hurricane anchors where timber framing and/or masonry are connected to steel beams or bearing walls.

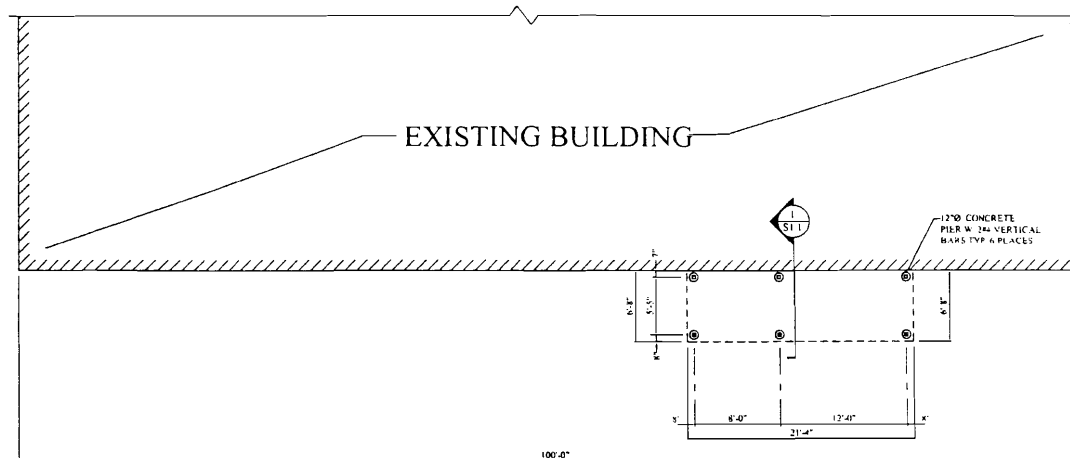
Connections shall conform with IBC 2006.

Roof sheathing shall be 5/8" APA rated plywood w/ H-clips. Attach roof sheathing using 8d nails spaced at 6" o.c. at panel edges and at intermediate supports.



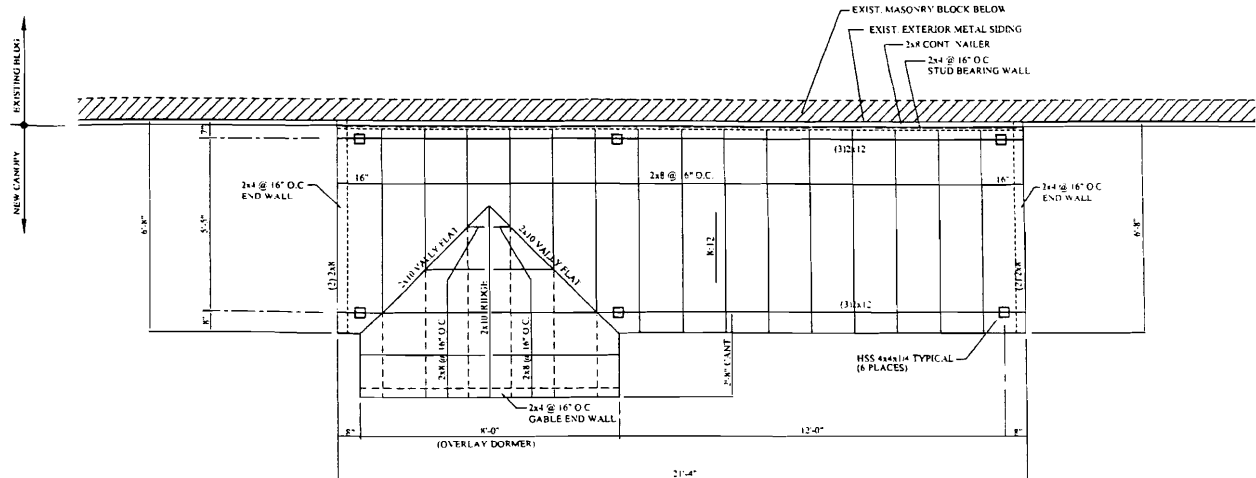
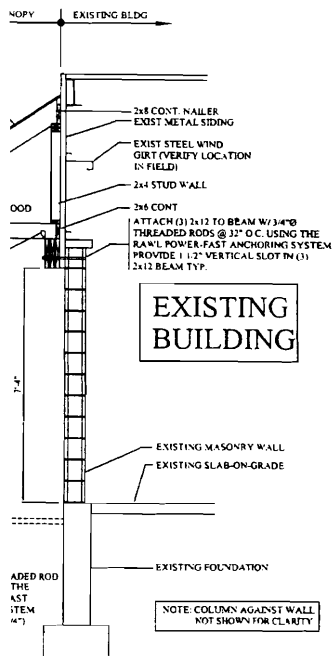
CANOPY FRAMING PLAN

1/8" = 1'-0"



CANOPY FOUNDATION PLAN

1/8" = 1'-0"



ENLARGED ROOF FRAMING PLAN

3/8" = 1'-0"

SECTION

1  
S1.1

ALL STRUCTURAL STEEL

MFL ENGINEERING

3 GOLDENWOOD DRIVE  
 SCARBOROUGH, MAINE 04074

TEL: (207) 885-1522  
 FAX: (207) 885-1522  
 CELL: (207) 329-3717

EMAIL: mmeasure@engineer.com



rev.	date	description	appr'd

designed by: MFL  
 drawn by: MFL  
 checked by: MFL  
 scale: NOTED  
 date: September 29, 2008  
 plot date: September 29, 2008  
 project #: 28004

BIOPROCESSING ENTRY CANOPY  
 1039 RIVERSIDE STREET  
 PORTLAND, MAINE  
 ENTRY CANOPY FOUNDATION, FRAMING AND DETAILS

S1.1

shall conform to ACI 318-Latest Edition.  
 at 28 days shall be.  
 for footings and piers.  
 be air entrained 4% to 6%  
 if be placed in water or on frozen ground  
 shall conform to ASTM A615 Grade 60 deformed  
 re detailed, fabricated and erected in accordance  
 test edition.  
 ll conform to ASTM A307 unless noted otherwise

shall be in accordance with the AITC timber  
 code or the national design specifications (NDS)

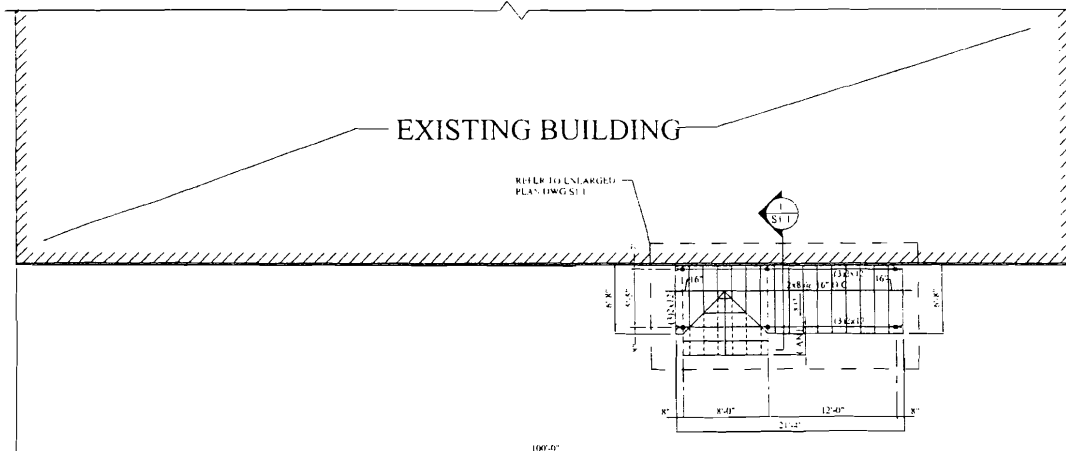
Framing members shall be visually graded, minimum  
 -Pine-Fir (SPF), kiln dried to 19% maximum moisture

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 or masonry. Timber shall be southern yellow pine  
 to 0.4 #/CF in accordance with AWPAC-18.  
 shall be used at all timber to timber connections or  
 design drawings.

-12.5A hurricane anchors where timber framing end/or  
 or on timber beams or bearing walls.

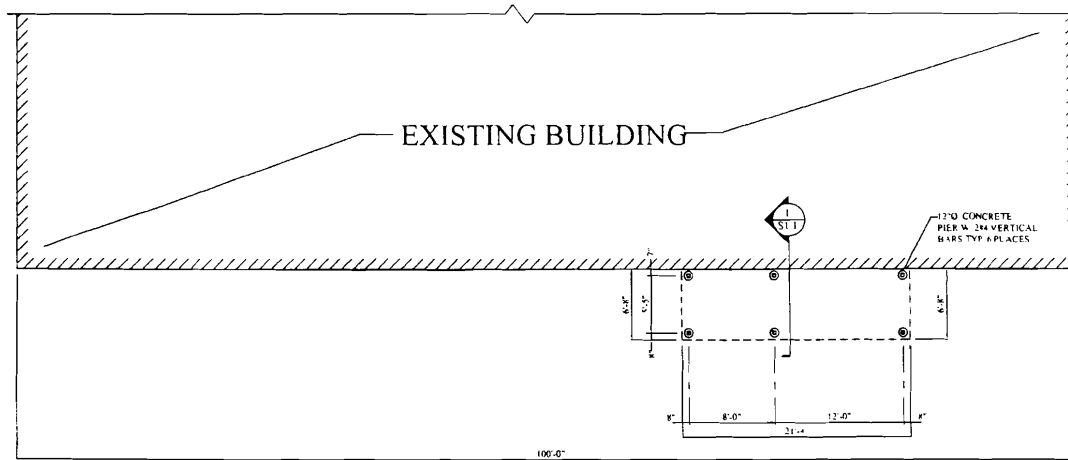
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shall be 5/8" APA rated plywood w/ H-clips. Attach  
 supports using 8d nails spaced at 6" o.c. at panel edges  
 intermediate supports.



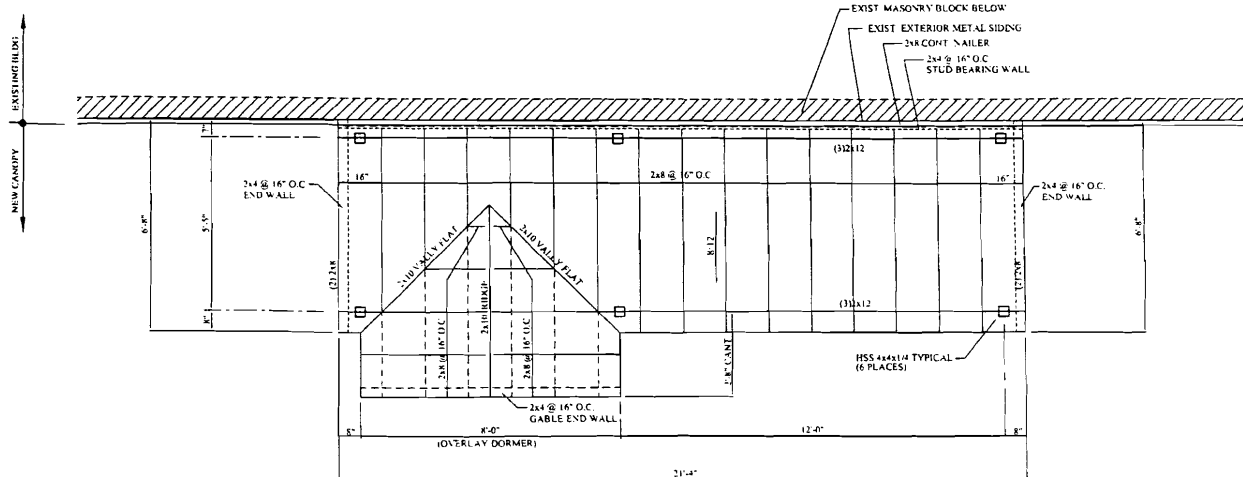
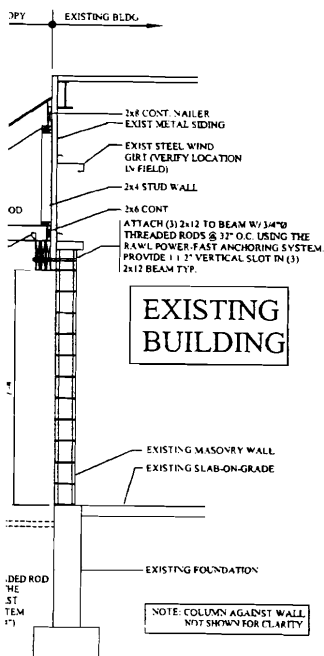
CANOPY FRAMING PLAN

1/8" = 1'-0"



CANOPY FOUNDATION PLAN

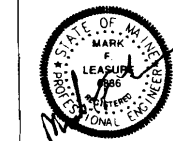
1/8" = 1'-0"



ENLARGED ROOF FRAMING PLAN

3/8" = 1'-0"

**MFL ENGINEERING**  
 3 GOLDENWOOD DRIVE  
 SCARBOROUGH, MAINE 04074  
 TEL: (207) 885-1522  
 FAX: (207) 885-1522  
 CELL: (207) 328-3717  
 EMAIL: mlesure@maine.rr.com



designed by	checked by	scale	date	plot date	project #
MFL	MFL	NOTED	September 29, 2008	September 29, 2008	28004

**BIOPROCESSING ENTRY CANOPY**  
 1039 RIVERSIDE STREET  
 PORTLAND, MAINE  
 ENTRY CANOPY FOUNDATION, FRAMING AND DETAILS

**S1.1**

shall conform to ACI 318-Latest Edition.  
 at 28 days shall be:  
 for footings and piers.  
 be air entrained 4% to 6%  
 be placed in water or on frozen ground.  
 shall conform to ASTM A615 Grade 60 deformed  
 be detailed, fabricated and erected in accordance  
 test edition.  
 ll conform to ASTM A307 unless noted otherwise

shall be in accordance with the AITC timber  
 ual or the national design specifications (NDS)

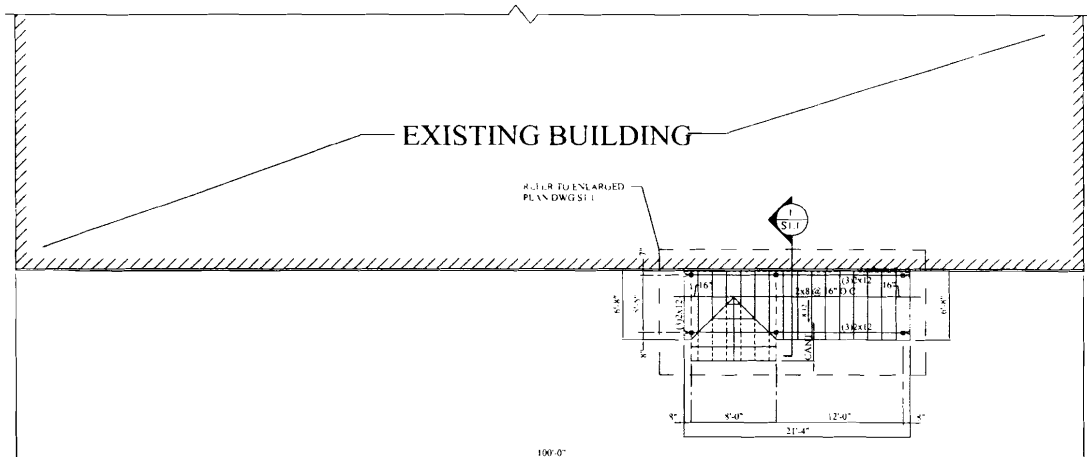
framing members shall be visually graded, minimum  
 -Pine-Fir (SPF), kiln dried to 19% maximum moisture

lumber shall be used where wood is in contact with  
 or masonry. Timber shall be southern yellow pine  
 to 0.4 #/CF in accordance with AWPA C-18.  
 shall be used at all timber to timber connections or  
 design drawings.

42.5A hurricane anchors where timber framing and/or  
 or on timber beams or bearing walls.

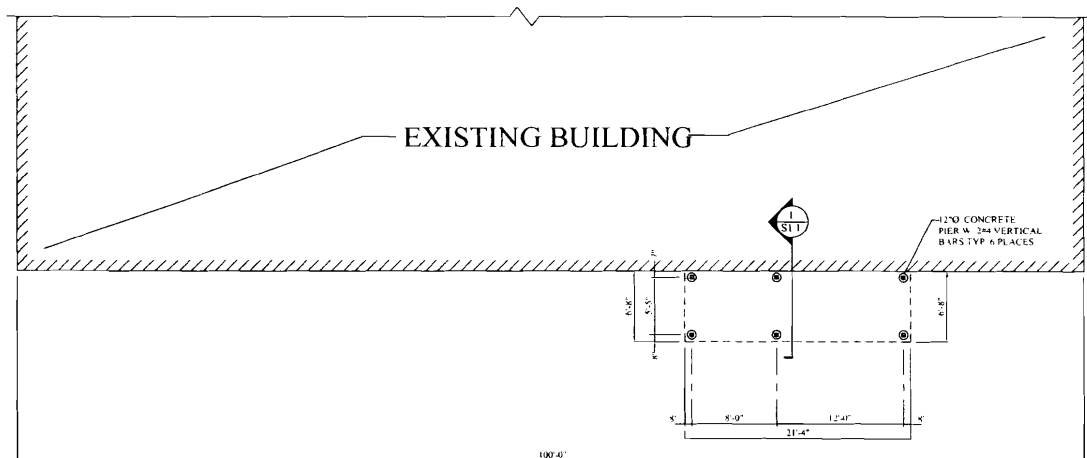
ied shall conform with IBC 2006

all be 5/8" APA rated plywood w/ H-clips. Attach  
 ports using 8d nails spaced at 6" o.c. at panel edges  
 intermediate supports.



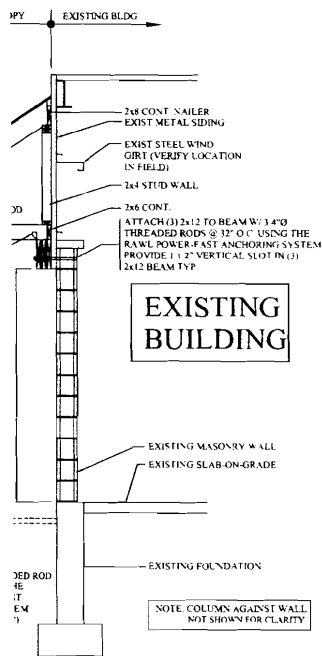
**CANOPY FRAMING PLAN**

1/8" = 1'-0"

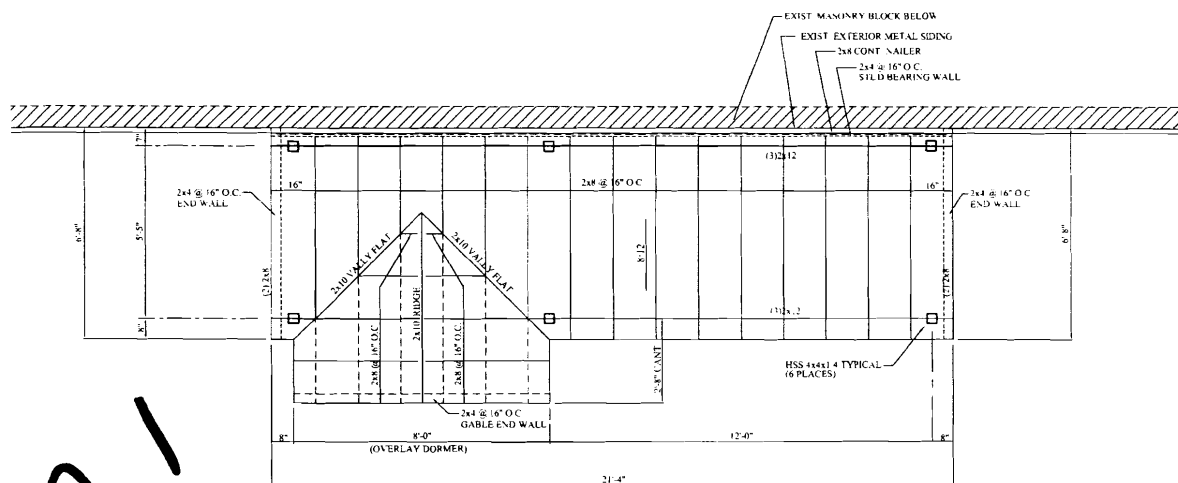


**CANOPY FOUNDATION PLAN**

1/8" = 1'-0"



**EXISTING BUILDING**



**ENLARGED ROOF FRAMING PLAN**

3/8" = 1'-0"

SEP 29 2008

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 CELL: (207) 329-3717  
 EMAIL: mmeasure@maine.rr.com



rev.	date	description	app'd

designed by: MFL	plot date: September 29, 2008
drawn by: MFL	project #: 28004
checked by: MFL	
scale: NOTED	
date: September 29, 2008	

**BIOPROCESSING ENTRY CANOPY**  
 1039 RIVERSIDE STREET  
 PORTLAND, MAINE  
 ENTRY CANOPY FOUNDATION, FRAMING AND DETAILS

**S1.1**

*ADT 331A-1*

SECTION 1 S1.1  
 ALL STRUCTURAL STEEL

shall conform to ACI 318—Latest Edition.  
 at 28 days shall be:  
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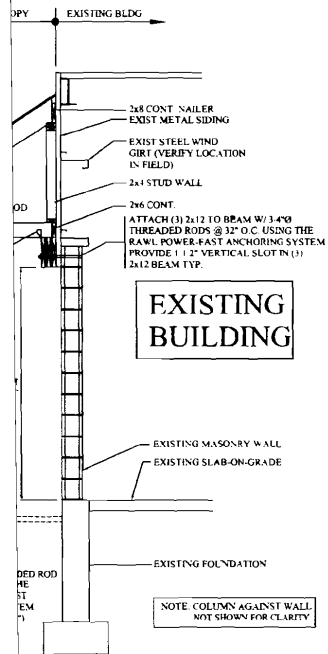
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 manual or the national design specifications (NDS)

framing members shall be visually graded, minimum  
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lumber shall be used where wood is in contact with  
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H2.5A hurricane anchors where timber framing and/or  
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shall be 5/8" APA rated plywood w/ H-clips. Attach  
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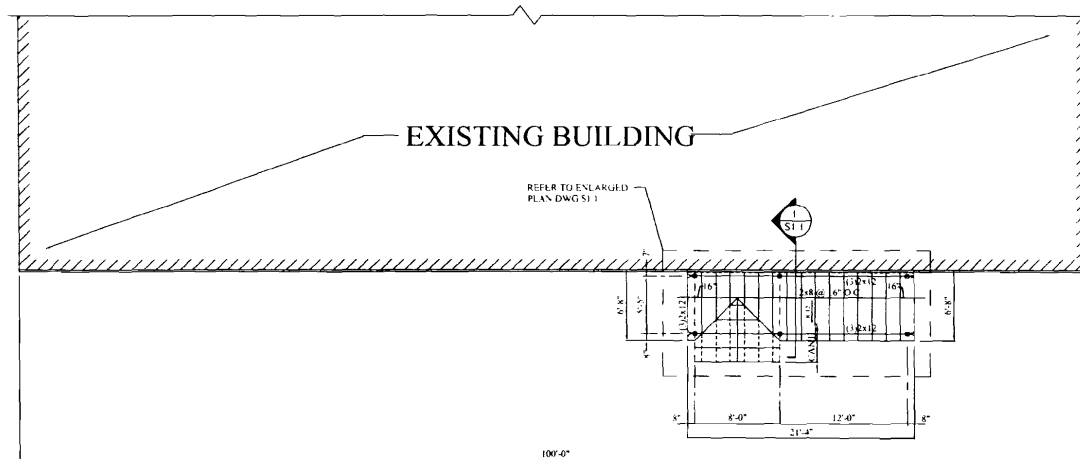
EXISTING BUILDING

NOTE: COLUMN AGAINST WALL NOT SHOWN FOR CLARITY

SECTION

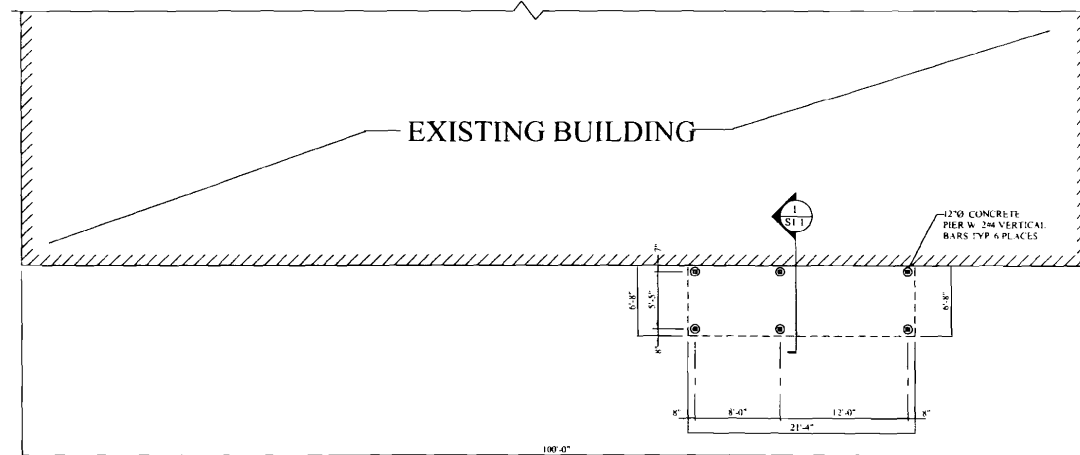
1  
S1.1

ALL STRUCTURAL STEEL



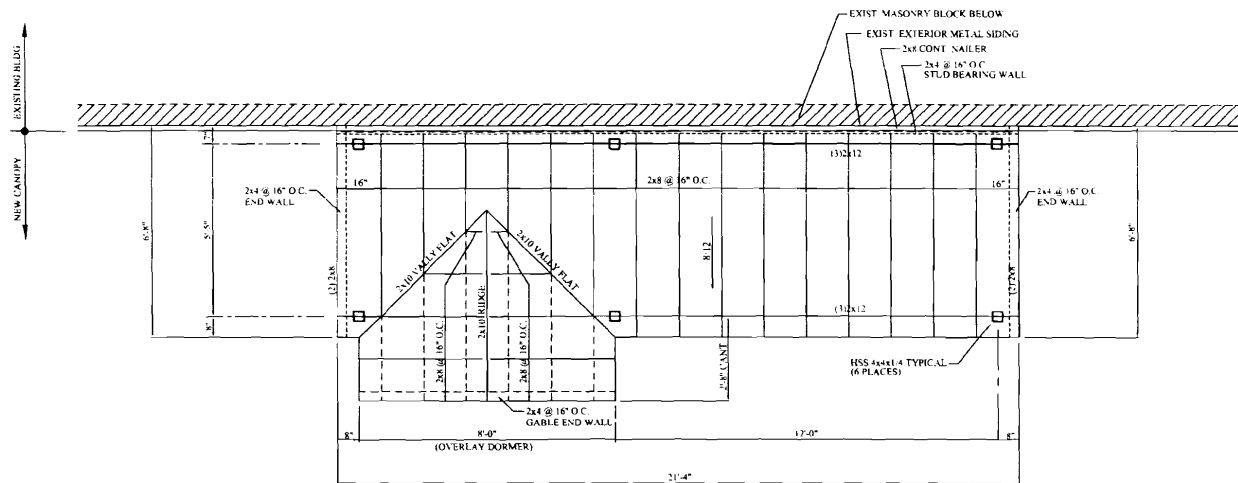
CANOPY FRAMING PLAN

1/8" = 1'-0"



CANOPY FOUNDATION PLAN

1/8" = 1'-0"



ENLARGED ROOF FRAMING PLAN

3/8" = 1'-0"

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designed by: MFL			
drawn by: MFL			
checked by: MFL			
scale: NOTED			
date: September 29, 2003			
plot date: September 29, 2008			
project #: 28004			

**BIOPROCESSING ENTRY CANOPY**  
 1039 RIVERSIDE STREET  
 PORTLAND, MAINE  
 ENTRY CANOPY FOUNDATION, FRAMING AND DETAILS

**S1.1**

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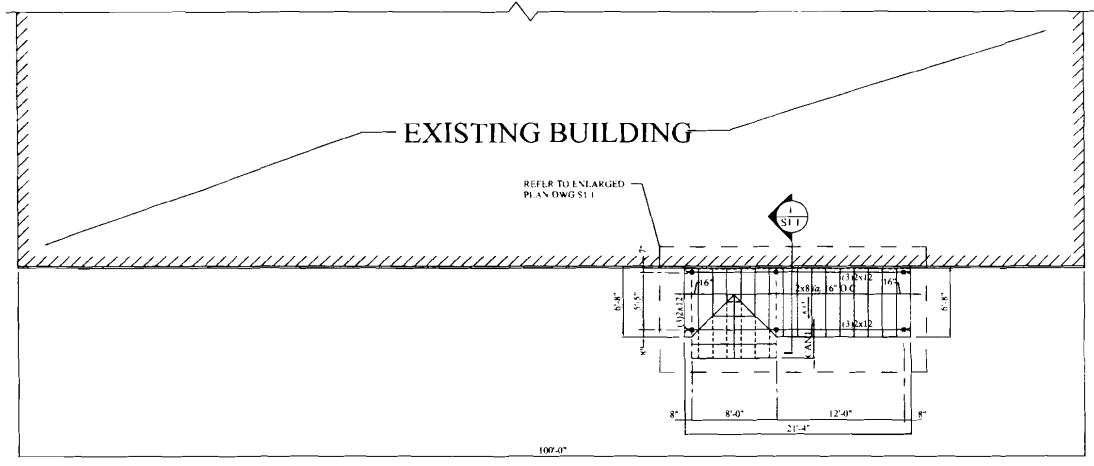
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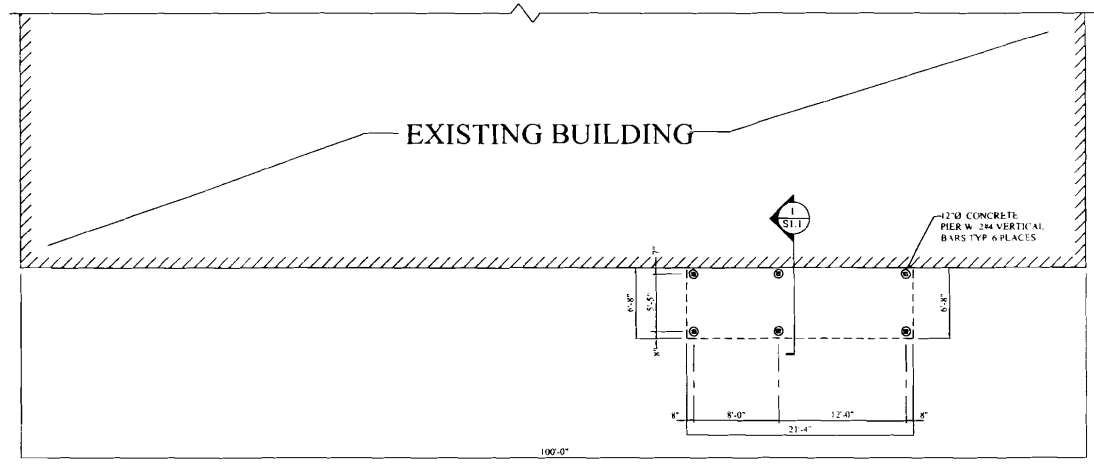
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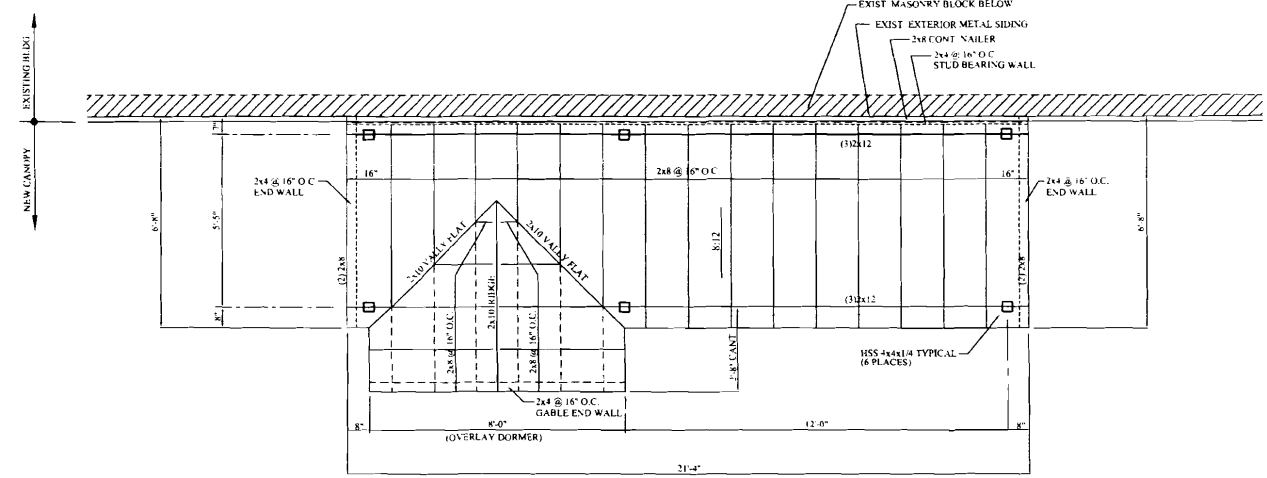
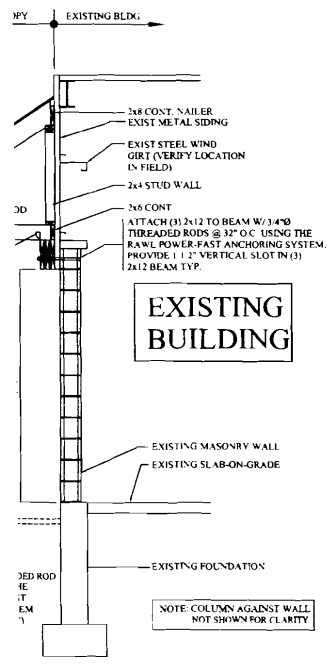
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**CANOPY FRAMING PLAN**  
 1/8" = 1'-0"



**CANOPY FOUNDATION PLAN**  
 1/8" = 1'-0"



**ENLARGED ROOF FRAMING PLAN**  
 3/8" = 1'-0"

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rev	date	description

designed by: MFL	checked by: MFL	scale: NOTED	date: September 29, 2008	proj. date: September 29, 2008	project #: 28004
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**BIOPROCESSING ENTRY CANOPY**  
 1039 RIVERSIDE STREET  
 PORTLAND, MAINE  
 ENTRY CANOPY FOUNDATION, FRAMING AND DETAILS

**S1.1**

**NOTATION**  
 (1) S1.1  
 ALL STRUCTURAL STEEL

PROPOSED STRUCTURE  
7,500 S.F. (75' x 100')  
(TYP. OF 3 PLACES)

INSTALL BITUMINOUS  
CONCRETE CURB

BARRIER FREE  
BITUMINOUS SIDEWALK  
RAMPS ADA COMPLIANT  
(TYP. 4 PLACES)

TIP DOWN GRANITE  
CURB (TYP. 4 PLACES)

BUSINESS SIGNS, TYP.

REMOVE & DISPOSE OF  
EXISTING PAVEMENT

INSTALL FULL DEPTH  
PAVEMENT SECTION

INSTALL GRANITE CURB (TYP.)

INSTALL BITUMINOUS  
CONCRETE CURB

PROPOSED STRUCTURE  
10,000 S.F. (100' x 100')  
(TYP. OF 8 PLACES)

EXISTING CURB

PROPOSED

INSTALL BITUMINOUS  
ASPHALT CONCRETE CURB  
(ONLY ALONG FRONT)

INSTALL BITUMINOUS  
SIDEWALK, TYP.

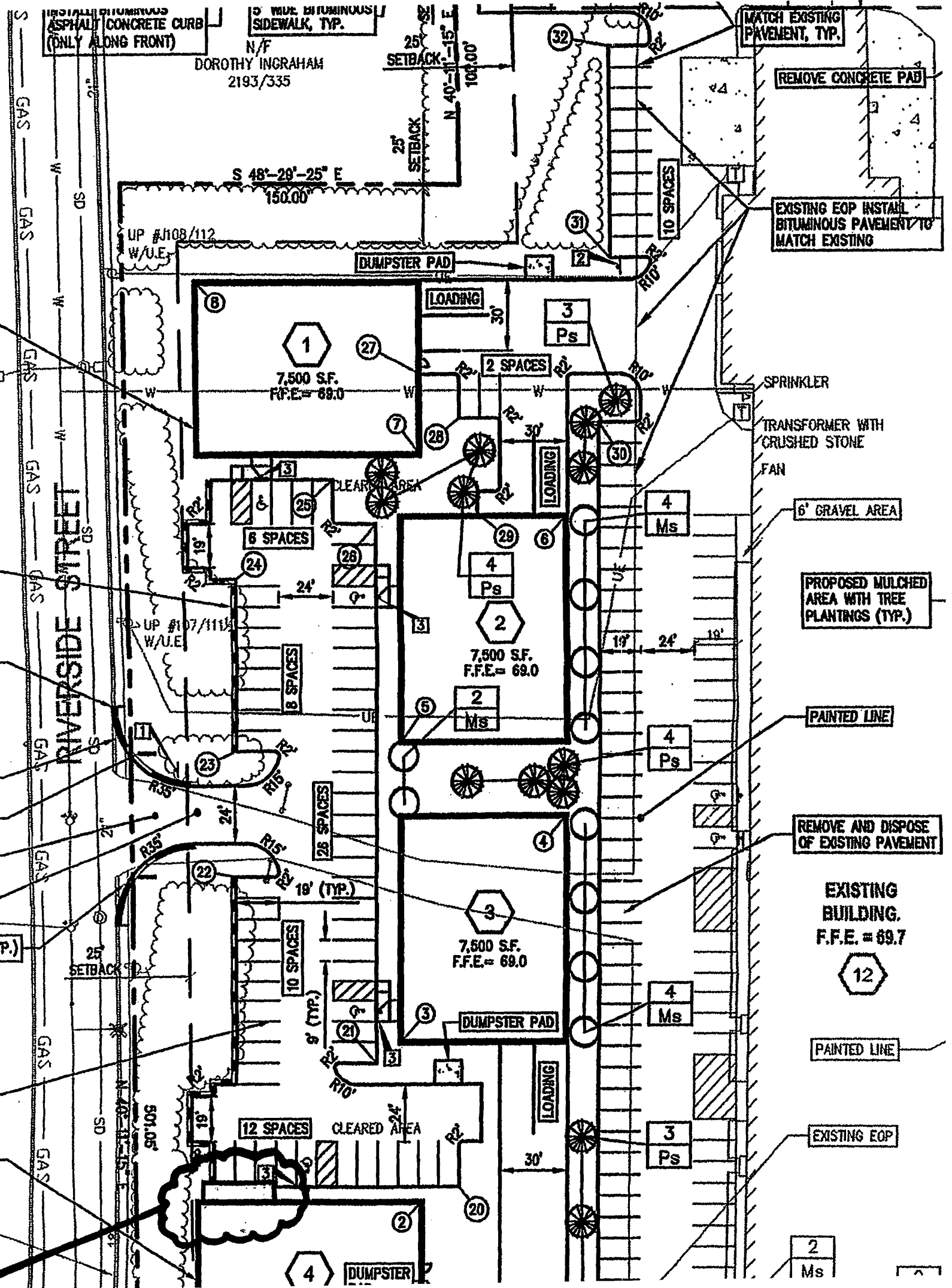
DOROTHY INGRAHAM  
2193/335

25' SETBACK  
N 40°-31'-15" E  
100.00'

MATCH EXISTING  
PAVEMENT, TYP.

REMOVE CONCRETE PAD

EXISTING EOP INSTALL  
BITUMINOUS PAVEMENT TO  
MATCH EXISTING



S 48°-29'-25" E  
150.00'

UP #108/112  
W/U.E.

UP #107/111  
W/U.E.

RIVERSIDE STREET

1  
7,500 S.F.  
F.F.E. = 69.0

2  
7,500 S.F.  
F.F.E. = 69.0

3  
7,500 S.F.  
F.F.E. = 69.0

EXISTING  
BUILDING.  
F.F.E. = 69.7

12

4 DUMPSTER

2 Ms