

					PFR	MIT ISSUED		
City of Portland, Main	e - Building or Use	Permit Applicatio	n Per	mit No:	Issue Date:	CBL:-	7	
389 Congress Street, 0410	)1 Tel: (207) 874-8703	6, Fax: (207) 874-87	16	06-1710		1 0 000	A <b>0</b> 0100	
Location of Construction:	Owner Name:		Owne	r Address:	UA UA	N = 2 / Phone:		
1039 RIVERSIDE ST	1039 RIVERS	IDE LLC	340	FORE ST				
Business Name:	Contractor Name			actor Address:	CITY (	F POPPIAN	ו מו	
		HardyPond Construction			Suite 11 Por	rtland - 20779	76066	
Lessee/Buyer's Name	Phone:	Phone:			nmercial		Zone:	
Past Use:	Proposed Use:		Perm	it Fee:	Cost of Work:	CEO District	: ]	
Commercial / New Bldg <b>(</b> )	enant fitup 🦟		\$1,385.00	\$129,000	.00 5			
Building #3 Imagishi		s office inviction	FIRE	DEPT:	Approved I	NSPECTION: /	-	
					Denied	Use Group: S	Type:	
			- Se	e Condi	time	NON SUPARETES		
Proposed Project Description:		See Conditions Signature: Creg CH38			(1)			
Tenant fitup		PEDESTRIAN ACTIVITIES			Signature TRICT (P.A.D.)			
			I LDL	SI MAN ACTI			(	
			Actio	n: Approv	ed 🗌 Appro	oved w/Conditions	Denied	
			Signa	ture:		Date:		
Permit Taken By:	Date Applied For:			Zoning	Approval			
denartin	11/22/2006							
1. This permit application	does not preclude the	Special Zone or Revi	ews	Zoning Appeal		Historic P	Historic Preservation	
Applicant(s) from meet Federal Rules.	ing applicable State and	Shoreland		U Variance	e Not in Dis		strict or Landmark	
2. Building permits do not septic or electrical work		Wetland		🗌 Miscella	neous	Does Not	Require Review	
3. Building permits are vo within six (6) months o		Flood Zone		Conditional Use		Requires	Requires Review	
False information may	False information may invalidate a building permit and stop all work.			Interpretation				
		Site Plan		Approve	d		w/Conditions	
		Maj 🗌 Minor 🔂 MM		Denied				
		OK w cadiha				1 Also	~	
		Date: Date:	NEN	Date:		Date:		

#### CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

...



# **General Building Permit Application**

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

	building
Location/Address of Construction: 1039	KINTERSIDE ST KOT S
Total Square Footage of Proposed Structure	Square Footage of Lot
7,500 SOFT	7,500 SQFT
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Owner: 1039 EINITESIDIC Telephone:
331 A on long	55 HARDY RD TA7-GOLG
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: Cost Of
IMALISTICS	1034 RIURDSIDIE BILL Work: \$129,000,000 BICGINDIA
1051 RIVERSIDE Si	Sé HARDY RD Fee: \$ 1310,00
PORTLAND, ME 04103	FALMONTH, MIR 04105 COFOFEE:\$ 5.00
Current Specific use: <u>OFFICE/WR</u> If vacant, what was the previous use?	MEHOLEN NAU STRUCTURE
Proposed Specific use: OFFICIT / WI	ARTENGUSIC -1014
Project description:	scopiers : office equipment: #06-0618
	TEN THIS PAST SPRING THE TENANT FITOP
K BEING SUBMITTED AT	+ THIS TIMIE
Contractor's name, address & telephone: HAS	BYTHIN CONST 1039 RIVERSIDIL ST SUITEIT PORTLAND 797-6066
Who should we contact when the permit is read	HOVERAU Phone:
Mailing address:	Phone:Y
Please submit all of the information out	tlined in the Commercial Application
Failure to do so will result in the automa	atic denial of your permit.
	Il scope of the project, the Planning and Developmen Department may
www.portlandmaine.gov, stop by the Building Inspe	of a permit. For further information visit us on line a NUV 2.2 mins ections office, room 315 City Hall or call 874-8703.
	RECEIVED
	ned property, or that the owner of record authorizes the proposed work and that I have his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction.
	tion is issued, I certify that the Code Official's authorized representative shall have the effective and the codes applicable to this permit.
	↓ _ / _ /
Signature of applicant	Date: 11/22/06
This is not a permit; you may	not commence ANY work until the permit is issued.

•	,	ilding or Use Permit		Permit No:	Date Applied For:	CBL:
389 Congress Stre	eet, 04101 Tel:	(207) 874-8703, Fax: (2	207) 874-8716	6 06-1710	11/22/2006	331 A001001
Location of Constructi	on:	Owner Name:		Owner Address:		Phone:
1039 RIVERSIDE	ST	1039 RIVERSIDE LLO	2	340 FORE ST		
Business Name:		Contractor Name:		<b>Contractor Address:</b>	Phone	
		HardyPond Construction	on	1039 Riverside S	t Suite 11 Portland	(207) 797-6066
Lessee/Buyer's Name		Phone:		Permit Type:		
			Change of Use -	Commercial		
Proposed Use:			Propose	ed Project Description	n:	
Commercial Tenan	t fitup - Imagisti	cs warehouse with offices	Tenar	nt fitup -		
Dept: Zoning	Status:	Approved with Conditions	s <b>Reviewer</b> :	: Ann Machado	Approval D	ate: 12/01/2006
Note: 7,500 s.f w	arehouse - need	s 8 parking spaces. 18 spaces	ces in front of b	uilding, so all set.		Ok to Issue:
		s 8 parking spaces. 18 spac n the basis of plans submit		-	a separate approval b	
<ol> <li>This permit is t work.</li> </ol>	being approved o			-	a separate approval t	
<ol> <li>This permit is t work.</li> </ol>	being approved of the shall be require	n the basis of plans submit	ted. Any devia	-	a separate approval b Approval D	before starting that
<ol> <li>This permit is b work.</li> <li>Separate permiting</li> </ol>	being approved of the shall be require	n the basis of plans submit	ted. Any devia	tions shall require		before starting that
<ol> <li>This permit is twork.</li> <li>Separate permi</li> <li>Dept: Building</li> <li>Note:</li> </ol>	being approved of the shall be requir <b>Status:</b>	n the basis of plans submit ed for any new signage. Approved with Conditions	ted. Any devia	tions shall require	Approval D	Defore starting that Date: 01/02/2007 Ok to Issue: ☑
<ol> <li>This permit is twork.</li> <li>Separate permi</li> <li>Dept: Building</li> <li>Note:</li> </ol>	being approved of the shall be requir <b>Status:</b>	n the basis of plans submit	ted. Any devia	tions shall require	Approval D	Defore starting that Date: 01/02/2007 Ok to Issue: ☑
<ol> <li>This permit is twork.</li> <li>Separate permi</li> <li>Dept: Building</li> <li>Note:</li> </ol>	being approved of ts shall be requir <b>Status:</b> h compliance jus	n the basis of plans submit ed for any new signage. Approved with Conditions	tted. Any devia s <b>Reviewer</b> I mixed uses pu	tions shall require	<b>Approval D</b> 302.3.1 of the 2003 II	Pate: 01/02/2007 Ok to Issue: ✓ 3C
<ol> <li>This permit is twork.</li> <li>Separate permi</li> <li>Dept: Building</li> <li>Note:</li> <li>1) 1) Must Furnis</li> </ol>	being approved of ts shall be requir <b>Status:</b> h compliance jus	n the basis of plans submit ed for any new signage. Approved with Conditions tification for non-separated	tted. Any devia s <b>Reviewer</b> I mixed uses pu	tions shall require : Mike Nugent	<b>Approval D</b> 302.3.1 of the 2003 II	Pate: 01/02/2007 Ok to Issue: ✓ 3C
<ol> <li>This permit is twork.</li> <li>Separate permi</li> <li>Dept: Building</li> <li>Note:</li> <li>1) 1) Must Furnisi</li> <li>Dept: Fire</li> <li>Note:</li> </ol>	being approved of ts shall be requir <b>Status:</b> h compliance jus <b>Status:</b>	n the basis of plans submit ed for any new signage. Approved with Conditions tification for non-separated Approved with Conditions	tted. Any devia s <b>Reviewer</b> I mixed uses pu	tions shall require : Mike Nugent	<b>Approval D</b> 302.3.1 of the 2003 II	Pate: $01/02/2007$ Ok to Issue: $\checkmark$ BC Date: $12/05/2006$
<ol> <li>This permit is b work.</li> <li>Separate permi</li> <li>Dept: Building Note:         <ol> <li>Must Furnish</li> <li>Dept: Fire</li> <li>Note:                 <ol> <li>All construction</li> </ol> </li> </ol></li></ol>	being approved of ts shall be requir <b>Status:</b> h compliance jus <b>Status:</b> n shall comply w	n the basis of plans submit ed for any new signage. Approved with Conditions tification for non-separated Approved with Conditions	s <b>Reviewer</b> I mixed uses pu <b>Reviewer</b>	tions shall require Mike Nugent rsuant to Section 3 Cptn Greg Cass	<b>Approval D</b> 302.3.1 of the 2003 II	Pate: $01/02/2007$ Ok to Issue: $\checkmark$ BC Date: $12/05/2006$

## Comments:

12/19/2006-Idobson: Please see attached sheet - w/ permit

1/2/2007-ldobson: I entered the conditions in the computer. but have not opened because we are awaiting the physical permit from MJN

 PERMIT ISSUED	
JAN - 2 2007	
CITY OF PORTLAND	

&w&bPage

## Reply

To: Deirdre@hardypond.com, CC: mcharek1@maine.rr.com Subject: Re: 1039 Riverside St./Imagistics



BC:



N

#### Message:

I'm going to sign off, Michael, can you provide compliance rational for the non-separated mixed uses, please see Section 302.3.1.

Also please provide U.L Listings for the fire separation assemblies. Thank!

>>> "Deirdre Gaudreau" <Deirdre@hardypond.com> 12/26/06 4:34 PM >>> Mr., Nugent, Please review the following letter from Robert Gaudreau addressing your concerns about the space for Imagistics at 1039 Riverside Street. Please call with any questions.

Deirdre Gaudreau Office Manager Hardypond Construction 1039 Riverside St. - Suite 11 Portland, ME 04103 (207) 797-6066



State of Maine Department of Public Safety Construction Permit



Not Sprinkled

Reviewed for Barrier Free

**# 16164** 

**1039 RIVERSIDE LLC LOT 3 (IMAGISTICS OFFICES)** 

Located at: 1039 RIVERSIDE STREET

PORTLAND

Occupancy/Use: BUSINESS

Permission is hereby given to:

1039 RIVERSIDE LLC

55 HARDY ROAD FALMOUTH, ME 04105

to construct or alter the afore referenced building according to the plans hitherto filed with the Commissioner and now approved.

No departure from application form/plans shall be made without prior approval in writing. This permit is issued under the provision of Title 25, Chapter 317, Section 2448 and the provisions of Title 5, Section 4594 - F.

Nothing herein shall excuse the holder of this permit for failure to comply with local ordinances, zoning laws, or

other pertinent legal restrictions. Each permit issued shall be displayed/available at the site of construction.

This permit will expire at midnight on the 01 th of March 2007

Dated the 01 th day of September A.D. 2006

Muchael P. ConTaria

Commissioner

**Copy-2 Architect** 

Comments:

MICHAEL CHAREK

25 HARTLEY STREET PORTLAND, ME 04103



CITY OF PORTLAND BUILDING CODE CERTFICATE 389 Congress St., Room 315 Portland, Maine 04 101

TO: Inspector of Buildings City of Portland, Maine Department of Planning & Urban Development Division of Housing & Community Service

FROM: Michael R. Charek

RE: <u>Certificate of Design</u>

DATE: September 28, 2006

These plans and / or specifications covering construction work on:

1039 Riverside Street:

Existing 7,500 sf pre-engineered steel building, fit-up for tenant.

~

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the <u>2003 International Building Code</u> and local amendments to the best of my knowledge and belief.

(SEAL) (STERED ARCHI	Signature: <u><u>N</u>.</u>
MICHAEL R. OULDER	Title: Principal
* CHAREN *	Firm: Michael Charek Architects
As per Maine State Law of the 11/4 (5) \$50,000.00 or more in new construction, terain expansion, addition, or modification for	Address: 25 Hartley Street
Building or Structures, shall be prepared by a registered design Professional.	Portland, ME 04103



### ACCESSIBILITY CERTIFICATE

Designer:	Micha	el R. Charek
Address of I	Project:	1039 Riverside Street
Nature of Pr	oject:	Existing 7,500 sf pre-engineered steel
	2	building, fit-up for tenant.

The undersigned, to the best of his knowledge, agrees that The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.

(SEAL)	Signature: <u><u>M</u>.<u>(X</u> Title: <u>Principal</u> Firm: Michael Charek Architects</u>
	Address: 25 Hartley Street Portland, ME 04103 Phone: 207-761-0556

NOTE: If this project is a new Multi Family Structure of 4 units or more, this project must also be designed in compliance with the Federal Fair Housing Act. On a separate submission, please explain in narrative form the method of compliance.



State of Maine Department of Public Safety

**Construction Permit** 

**Not Sprinkled** 

Reviewed for Barrier Free

# 16164

**1039 RIVERSIDE LLC LOT 3 (IMAGISTICS OFFICES)** 

Located at: 1039 RIVERSIDE STREET

PORTLAND

Occupancy/Use: BUSINESS

Permission is hereby given to: 1039 RIVERSIDE LLC

> 55 HARDY ROAD FALMOUTH, ME 04105

to construct or alter the afore referenced building according to the plans hitherto filed with the Commisioner and now approved. No departure from application form/plans shall be made without prior approval in writing. This permit is issued under the provision of Title 25, Chapter 317, Section 2448 and the provisions of Title 5, Section 4594 - F.

Nothing herein shall excuse the holder of this permit for failure to comply with local ordinances, zoning laws, or

other pertinent legal restrictions. Each permit issued shall be displayed/available at the site of construction.

This permit will expire at midnight on the 01 th of March 2007

Dated the 01 th day of September A.D. 2006

Michael P. ConTara

Commissioner

**Copy-2 Architect** 

Comments:

MICHAEL CHAREK

25 HARTLEY STREET PORTLAND, ME 04103



CITY OF PORTLAND BUILDING CODE CERTFICATE 389 Congress St., Room 315 Portland, Maine 04 101

TO:Inspector of Buildings City of Portland, Maine<br/>Department of Planning & Urban Development<br/>Division of Housing & Community Service

FROM: Michael R. Charek

RE: <u>Certificate of Design</u>

DATE: September 28, 2006

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1039 Riverside Street:

Existing 7,500 sf pre-engineered steel building, fit-up for tenant.

Have been designed and drawn up by the undersigned, a Maine registered Architect/ Engineer according to the <u>2003 International Building Code</u> and local amendments to the best of my knowledge and belief.

(SEAL) (SEAL)	Signature: N. V.
Michael R.	ζ ΰ
CHAREK *	Firm: Michael Charek Architects
As per Maine State Law \$50,000.00 or more in new construction, the expansion, addition, or modification for Dividing of Structures shall be appendiced	Address: 25 Hartley Street
Building or Structures, shall be prepared by a registered design Professional.	Portland, ME 04103

389 Congress Street • Portland, Maine 04101 • (207) 874-8703 • FACSIMILE (207) 874-8716 • TTY (207) 874-8936



CITY OF PORTLAND BUILDING CODE CERTIFICATE 389 Congress St., Room 315 Portland, Maine 04101

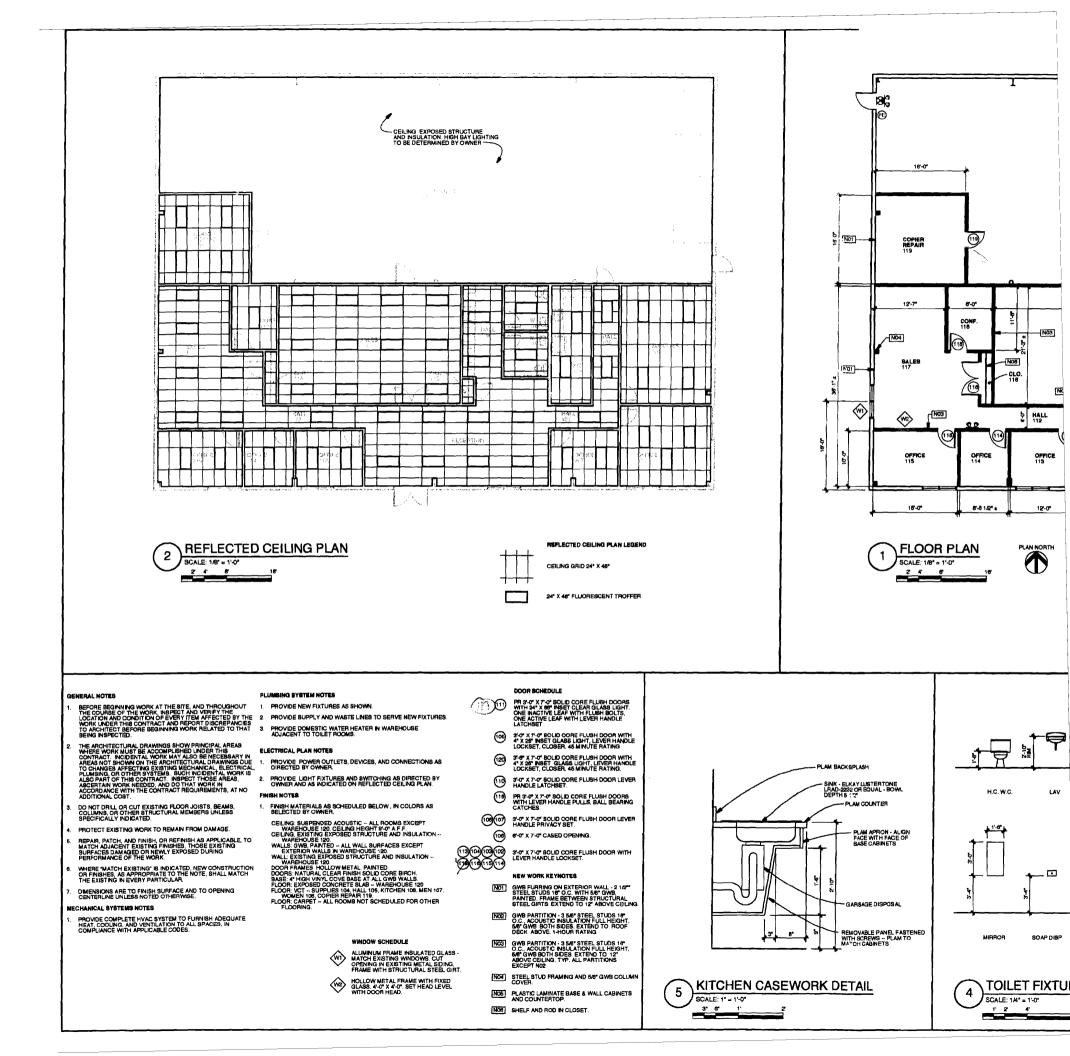
### ACCESSIBILITY CERTIFICATE

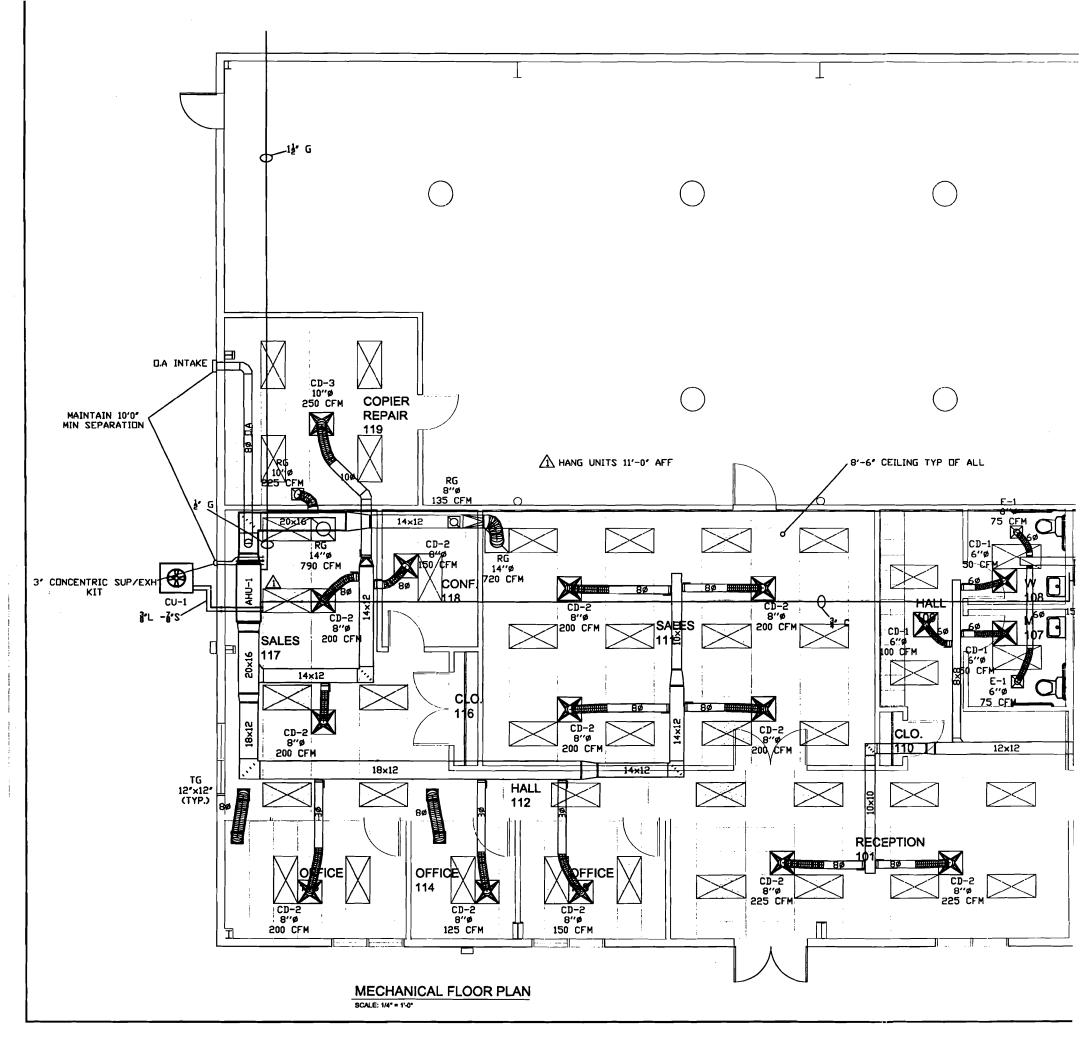
Designer:	Micha	el R.	Cha	rek			
Address of P	roject:	1039	Rive	erside	Stre	eet	
Nature of Pro	ject: _	Exist	ting	7,500	sfj	pre-engineered	steel
	-	bui	Lding	g, fit−ι	ıp fo	or tenant.	

The undersigned, to the best of his knowledge, agrees that The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.

CITERED ARCHING	Signature:	
(SEAL) OF MAIL	Firm: Michael Charek Architects	
4 OF L	Address: 25 Hartley Street	
	Portland, ME 04103	
	Phone:207-761-0556	

NOTE: If this project is a new Multi Family Structure of 4 units or more, this project must also be designed in compliance with the Federal Fair Housing Act. On a separate submission, please explain in narrative form the method of compliance.





	AIR HANDLING UNIT SCHEDULE												
TAG	AREA SERVED		HEATING MBH IN	MANUFACTURER	MODEL NUMBER	ELECTRIC VOLTS/PHASE	MCA AMPS	MAX FUSE	WEIGHT	STAGES	CFM	MIN O.A CFM	REMARKS
		50	100	VEDY	CHORADONDUN							T	r
AHU-1	LEFT SIDE OFFICES	5.0	120	YORK	GY9S120D20DH11	120 / 1	17.3	20.0	250 LBS	1H 1C	2,075	205	
AHU-2	RIGHT SIDE OFFICES	4.0	80	YORK	GY9S080C16DH11	120 / 1	17.3	20.0	250 LBS	1H 1C	1,600	160	
		L	l							:			

REMARKS:

	CONDENSING UNIT SCHEDULE										
TAG	AREA SERVED		HEATING MBH IN	MANUFACTURER	MODEL NUMBER	ELECTRIC VOLTS/PHASE	MCA AMPS	MAX FUSE	WEIGHT	STAGES	REMARKS
CU-1	AHU-1	5.0		YORK	H1RA060S25	230 / 3	21.3	35.0	228 LBS	1C	
CU-2	AHU-2	4.0		YORK	H1RA048S25	530 / 3	17.3	30.0	206 LBS	1C	
					•						

REMARKS:

	AIR DEVICE SCHEDULE										
TAG	SIZE	MAX CFM	MAX NC	THROW 00500 FPM	REMARKS						
CD-1	6'	98-157	<15-15	1-2-4							
CD-5	8'	175-279	<15-19	2-3-6							
CD-3	10'	273-436	<15-21	3-4-8							
RG	12" X 12"			++							
TG-1	15. X 15.			<u></u>							
EG-1	10° × 10°										

		UNIT	HEATER SCH	IEDULE				
AREA SERVED	HEATING MBH IN	MANUFACTURER	MODEL NUMBER	ELECTRIC VOLTS/PHASE	MCA AMPS	WEIGHT	STAGES	REMARKS
WAREHOUSE	 200	DAYTON	4LX60	115 / 1	<15	165 LBS	1H	
	 		·····					
			AREA SERVED COOLING HEATING MANUFACTURER	AREA SERVED COOLING HEATING MANUFACTUREP MODEL NUMBER		AREA SERVED COOLING HEATING MANUFACTUREP MODEL NUMBER VOLTS/PHASE AMPS	AREA SERVED COOLING HEATING MANUFACTURER MODEL NUMBER VOLTS/PHASE MCA WEIGHT	AREA SERVED COOLING HEATING MANUFACTURER MODEL NUMBER VOLTS/PHASE AMPS WEIGHT STAGES

EQUIPPED HOLES (UH ON

PVASHER &

\*\*\*\*\*\*\*

REMARKS

		EXHAUST FAN SCHEDULE									
FE-1 TULET 350 FANTECH FR-225 115 / 1 (15 10 185 V/ R5K8 R0D	TAG	area served	CFM	MANUFACTURER	MODEL NUMBER	ELECTRIC VOLTS/PHASE	AMPS	WEIGHT	REMARKS		
	EF-1	TOILET	350	FANTECH	FR-225	115 / 1	<15	10 LBS	W/ RSK8 BDD		

