

WATERFORD HOMES, LC

MAINE COVER SHEET

THIRD PARTY INSPECTION AGENCY

PFS CORPORATION
NORTHEAST REGION
2977 SKATFTOWN RD

BUILDING ACCEPTANCE NUMBER : #

BUILDING CODE

- 1993 BOCA NATIONAL BUILDING CODE W/AMENDMENTS
- 1993 BOCA NATIONAL PLUMBING CODE
- 1993 CABO MODEL ENERGY CODE
- 1996 NATIONAL ELECTRICAL CODE
- 1997 NFPA 31 (MECHANICAL)
- 1994 NFPA 101 (LIFE SAFETY)

MATERIALS SPECIFICATIONS

LUMBER SPECIFICATION SHALL BE :
(UNLESS NOTED OTHERWISE IN THIS DRAWING PACKAGE)
STUDS = STUD GRADE OR EQUAL
FLOOR, CEILING, JOISTS = SPF#1 OR #2
PERIMETER BANDS = SPF #2 OR EQUAL
SHED ROOF RAFTER = 5YP
MICRO LAM = 2750 Fb. 2,000,000 E

EXTERIOR FINISH MATERIALS SHALL BE :

ASPHALT OR OPTIONAL FIBERGLASS ROOF SHINGLES, CLASS C MIN.

THE BUILDER SHALL BE RESPONSIBLE FOR INSTALLING ANY HOUSE WRAP, VINYL WINDOWS VINYL SIDING, & SHINGLES NOT INSTALLED BY WATERFORD HOMES, LLC AS SITE WORK

INTERIOR FINISHES OF UNITS MUST BE CLASS "C" MIN.

THE UPPER SECTION OF HAND RAILING TO 2ND FLOOR IS SHIPPED LOOSE TO BE INSTALLED BY BUILDER/DEALER.

ALL CHASES ARE TO BE FIRESTOPPED AT THE FLOOR & CEILING BY BUILDER/DEALER.

MAINE BASEMENT REQUIREMENTS

FOR BASEMENT STAIRS FROM 7'-3" TO 8'-0" BASEMENT STAIRS ARE A COMPONENT OF THIS DESIGN WITH A MAXIMUM RISER HEIGHT OF 8 1/4"; A MINIMUM TREAD DEPTH OF 9" AND A 1" NOSING WILL BE PROVIDED ON ALL TREADS WITH TREAD WIDTH LESS THAN 10"

DRAWING INDEX

SHEET NO.	DESCRIPTION	DATE	REVISION
CV1	COVER SHEET	8-16-04	0
FN1	FOUNDATION	8-16-04	0
FP1	FLOOR PLAN	8-16-04	0
FP2	LOWER LEVEL	8-16-04	0
EV1	FRONT ELEVATION	8-16-04	0
EV2	REAR ELEVATION	8-16-04	0
EV3	SIDE ELEVATIONS	8-16-04	0
C51	CROSS SECTION	8-16-04	0
EL1	ELECTRICAL	8-16-04	0
DL1	DRAIN LAYOUT	8-16-04	0
15	DRAIN DETAILS	8-16-04	0
15A	WATER SUPPLY DETAILS	8-16-04	0
SC1	SCHEDULES	8-16-04	0
TOTAL NUMBER OF DRAWINGS: = 13			

GENERAL NOTES

THIS BUILDING SHALL BE SETBACK GREATER THAN 5'-0" FROM THE LOT LINES FOR 0 HOUR EXTERIOR WALL PROTECTION BY BUILDER.

THIS BUILDING SHALL NOT BE USED AS AN ADDITION TO ANOTHER BUILDING IF IT WILL DOWN-GRADE THE CONSTRUCTION TYPE.

THE BUILDER SHALL BE RESPONSIBLE FOR PROVIDING ALL SITE REQUIRED ELEMENTS OF EGRESS.

THE BUILDER IS RESPONSIBLE FOR WATERPROOFING BASEMENT WALL BELOW FINISH GRADE.

CEILING FANS THAT WEIGH LESS THAN 35 LBS MAY BE SUPPORTED BY OUTLET BOXES IDENTIFIED FOR SUCH USE AND SUPPORTED IN ACCORDANCE WITH NEC SEC. 370-23 AND 370-27

SITE WORK SHALL BE SUBJECT TO LOCAL BUILDING DEPARTMENT INSPECTION. THIS DRAWING SET INCLUDES THE MODULAR PORTION OF THIS PROJECT ONLY. THE BUILDER SHALL BE RESPONSIBLE FOR DESIGN AND ENGINEERING OF ALL SITE CONSTRUCTED ELEMENTS.

THE BUILDER SHALL BE RESPONSIBLE FOR INSTALLING THE HEAT (ON SITE) TO INCLUDE: TYPE, CHASES AND ALL PLUMBING (IF REQ'D.)

THE BUILDER IS RESPONSIBLE FOR INSTALLING ALL ITEMS LISTED ON WATERFORD HOMES, LLC'S SHIP LOOSE LIST PER SITE INSTALLATION PROCEDURES (IF APPLICABLE)

THE BASEMENT IS TO BE INSULATED BY BUILDER AND SHALL MEET ALL HEAT AND ENERGY REQUIREMENTS PER LOCAL & STATE CODES.

THE ROOF SYSTEM IS OF THE PANELIZED NATURE TO BE ERRECTED ON SITE BY CERTIFIED INSTALLATION CREW PER WATERFORD HOMES, LLC SITE INSTALLATION PROCEDURES MANUAL.

IMPORTANT NOTES

DO NOT SCALE DRAWINGS! ALL DIMENSIONS MUST BE VERIFIED ON SITE BY CONTRACTOR/BUILDER. ALL DIMENSIONAL VARIATIONS MUST BE IMMEDIATELY REPORTED TO WATERFORD HOMES, LLC. ALL DRAWINGS, SPECIFICATIONS AND COPIES THEREOF ARE INSTRUMENTS OF SERVICE ONLY AND REMAIN THE PROPERTY OF YOU. THE REPRODUCTION OR UNAUTHORIZED USE OF THESE DOCUMENTS FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN AUTHORIZATION BY WATERFORD HOMES, LLC IS STRICTLY PROHIBITED. ALL RIGHTS RESERVED. THIS DESIGN IS COPYRIGHTED!

BUILDING DESCRIPTION

USE GROUP : R3
CONSTRUCTION TYPE : 5B
AREA OF 1ST FLOOR : 1,152 Sq. Ft.
AREA OF 2ND FLOOR :
VOLUME OF ENCLOSED : 29,300 CU. FT.
NUMBER OF STORIES : 1
HEIGHT OF BUILDING : 16'-0 3/4"
ABOVE GRADE (FT.)
OCCUPANCY : SINGLE FAMILY
OCCUPANCY LOAD : AREA DIVIDED BY 200 PER FLOOR

TYPE OF HVAC : H.W.B.B.

TYPE OF HEAT : (ON SITE BY BUILDER)

TYPE OF CHIMNEY : (ON SITE BY BUILDER)

TYPE OF FIRE ALARM

PHOTO ELECTRIC(SMOKE) DETECTORS IN EA. BEDROOM, OUTSIDE OF EA. BEDROOM AREA, 1--FOR EA. 1,200 Sq. Ft. OF FLOOR AREA.

SPECIAL SYSTEMS : N/A

FIRE SUPPRESSION SYSTEM : N/A

THIS BUILDING MUST BE LOCATED OUTSIDE FIRE LIMITS

ENERGY CODE

* SEE ATTACHED MECCHECK *

STRUCTURAL LOADS (PSF)

ROOF/SNOW LIVE LOAD 40
ROOF DEAD LOAD 10
ATTIC LIVE LOAD (CLG. HGT. > 4'-5") 30
ATTIC LIVE LOAD (CLG. HGT. < 4'-5") 20
ATTIC LIVE LOAD (INACCESSIBLE) 10
ATTIC DEAD LOAD 10
FIRST FLOOR LIVE LOAD 40
SECOND FLOOR LIVE LOAD 30
FLOOR DEAD LOAD 10
STAIR LIVE LOAD 40
WIND-GARVE UP LIFT 20
WIND-WALL N/A
PORCHES/BALCONIES WIND LOAD GOVERN5
SEISMIC


MODULAR LABEL LOCATIONS

MAINE REQUIRES (1) DATA PLATE & (1) STATE LABEL PER DWELLING. THESE LABELS & (1) PFS LABEL ARE LOCATED IN THE KITCHEN SINK BASE CABINET. THE ADDITIONAL PFS LABELS ARE TO BE LOCATED ON THE INSIDE WALL OF A CLOSET, STAIRWELL IN BATH VANITIES WHERE APPLICABLE PER MODULE.

LOCATIONS ARE SHOWN ON THE DRAWINGS AS FOLLOWS:

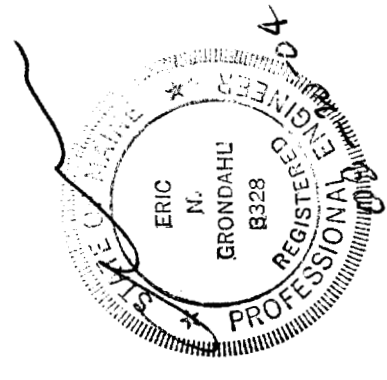
STATE LABEL = 

DATA PLATE = 

THIRD PARTY LABEL = 

MAINE WARRANTEE LABEL = 

MAINE APPROVAL USE ONLY



BUILDER DATE
OWNER DATE

DRAWN BY	RMP	DATE	8-16-04	TITLE	
CHECKED BY		DATE		SCALE	3/16" = 1'-0"
SERIAL NUMBER	Q-120-04			SHEET	CV1

BUILDER	Teal
CUSTOMER	
SITE LOCATION	Portland, Maine
MODEL	

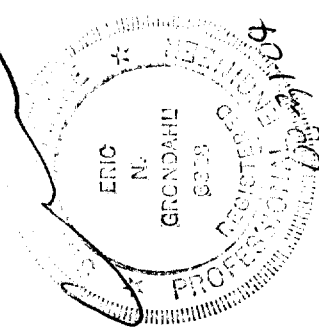
PHONE: (207) 884-1199 FAX: (207) 884-4990

REVISIONS

#	DATE	BY	CRK
1			
2			
3			
4			
5			
6			

BLDN _____ DATE _____

OWNER _____ DATE _____



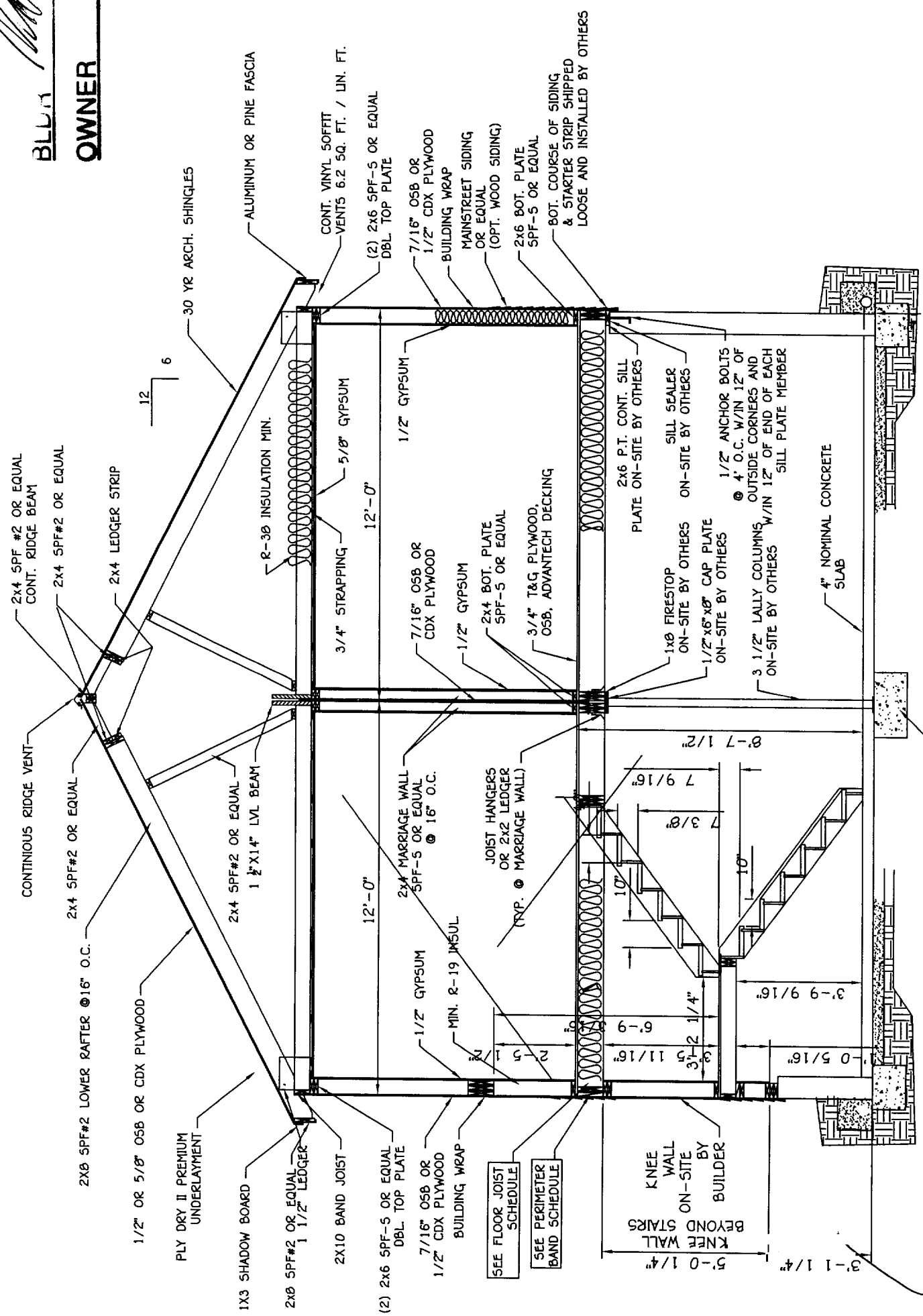
DRAWN BY	RMP	DATE	8-16-04	TITLE
CHECKED BY		DATE		SCALE
SERIAL NUMBER	1008			SHEET
MODEL	R. RANCH			CS1

BUILDER	TEAL
CUSTOMER	
SITE LOCATION	PORTLAND, ME

WATERFORD HOMES
 P.O. BOX 208 WATERFORD, ME 04988
 PHONE: (207) 884-1100 FAX: (207) 884-9000

REVISIONS			
#	DESCRIPTION	DATE	CHK BY
1	PRODUCTION	08/27/04	SA
2			
3			
4			
5			
6			
7			

IMPORTANT NOTES
 DO NOT SCALE DRAWINGS! ALL DIMENSIONS MUST BE VERIFIED ON SITE BY CONTRACTOR/BUILDER. ALL DIMENSIONAL VARIATIONS MUST BE IMMEDIATELY REPORTED TO WATERFORD HOMES, LLC. ALL DRAWINGS, SPECIFICATIONS, AND COPIES THEREOF, ARE INSTRUMENTS OF SERVICE ONLY AND REMAIN THE PROPERTY OF YOU. THE REPRODUCTION OR UNAUTHORIZED USE OF THESE DOCUMENTS FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN AUTHORIZATION BY WATERFORD HOMES, LLC IS STRICTLY PROHIBITED. ALL RIGHTS RESERVED.
THIS DESIGN IS COPYRIGHTED!



CROSS SECTION

FLOOR PERIMETER BAND SCHEDULE

24W	(2)	2x8	SPF #2	OR EQUAL
26W	(2)	2x8	SPF #2	OR EQUAL
28W	(2)	2x10	SPF #2	OR EQUAL
30W	(2)	2x10	SPF #2	OR EQUAL
32W	(2)	2x10	SPF #2	OR EQUAL
32W	(2)	2x12	SPF #2	OR EQUAL

NOTE: ALL PERIMETER BANDS HAVE 7/16" OSB OR 1/2" CDX PLYWOOD BETWEEN 2x MEMBERS

FLOOR JOIST SCHEDULE

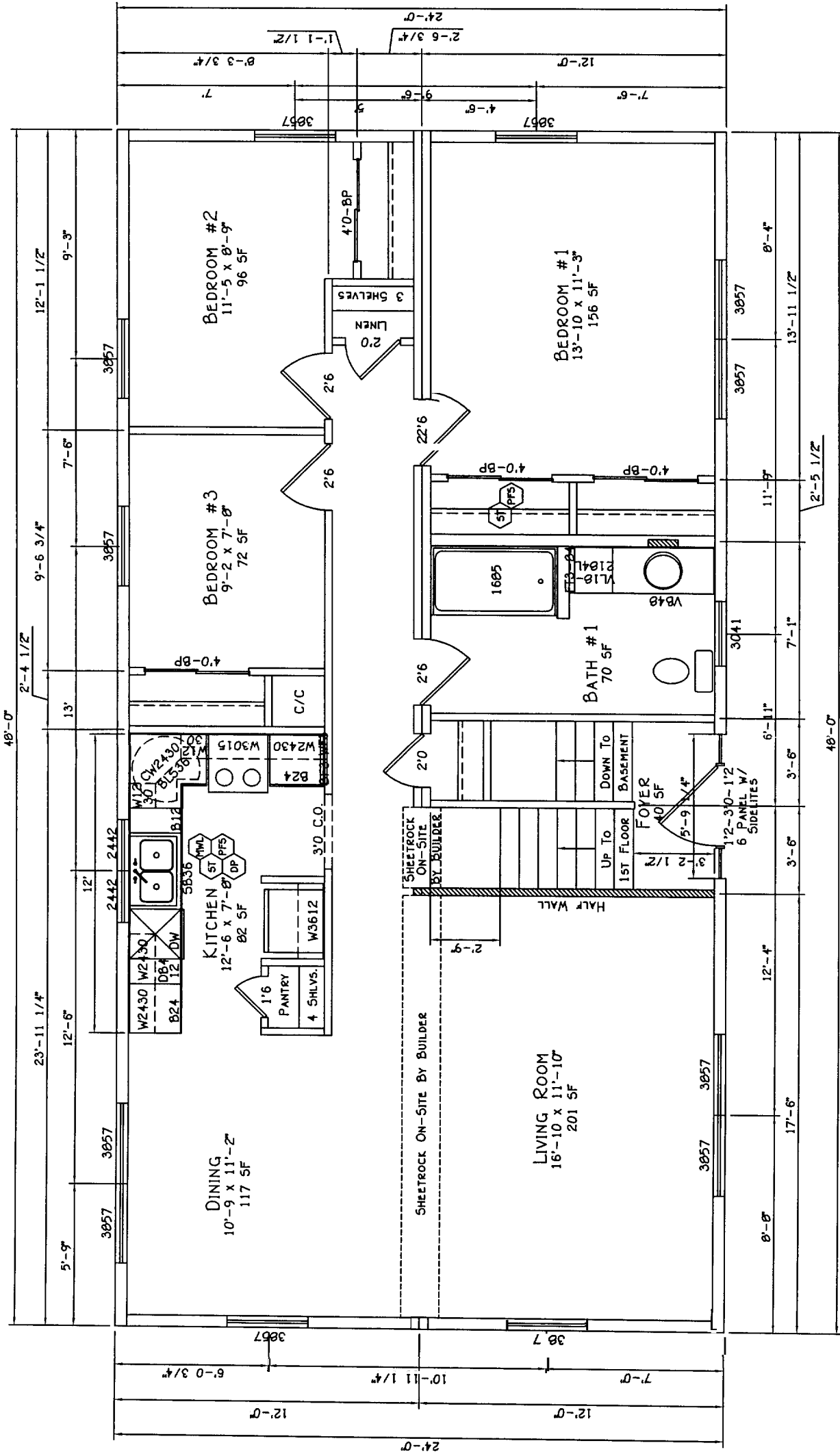
24W	2x8	SPF #2	OR EQUAL @ 16" OC
26W	2x8	SPF #2	OR EQUAL @ 16" OC
28W	2x10	SPF #2	OR EQUAL @ 16" OC
30W	2x10	SPF #2	OR EQUAL @ 16" OC
32W	2x10	SPF #2	OR EQUAL @ 12" OC
32W	2x12	SPF #2	OR EQUAL @ 16" OC

OR PRE ENGINEERED FLOOR JOISTS

Eric N. Grandahl

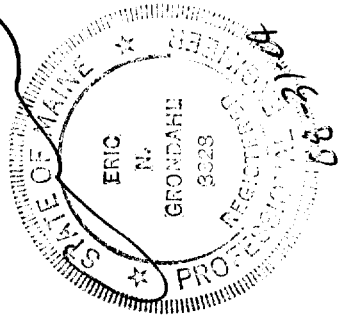
BLDR _____ DATE _____

OWNER _____ DATE _____



STATE LABEL = ST
 DATA PLATE = DP
 THIRD PARTY LABEL = PPS
 MAINE WARRANTEE LABEL = MWL

FIRST FLOOR PLAN



IMPORTANT NOTES
 DO NOT SCALE DRAWINGS! ALL DIMENSIONS MUST BE VERIFIED ON SITE BY CONTRACTOR/BUILDER. ALL DIMENSIONAL VARIATIONS MUST BE IMMEDIATELY REPORTED TO WATERFORD HOMES, LLC. ALL DRAWINGS, SPECIFICATIONS, AND COPIES THEREOF, ARE INSTRUMENTS OF SERVICE ONLY AND REMAIN THE PROPERTY OF YOU. THE REPRODUCTION OR UNAUTHORIZED USE OF THESE DOCUMENTS FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN AUTHORIZATION BY WATERFORD HOMES, LLC IS STRICTLY PROHIBITED. ALL RIGHTS RESERVED.
THIS DESIGN IS COPYRIGHTED!

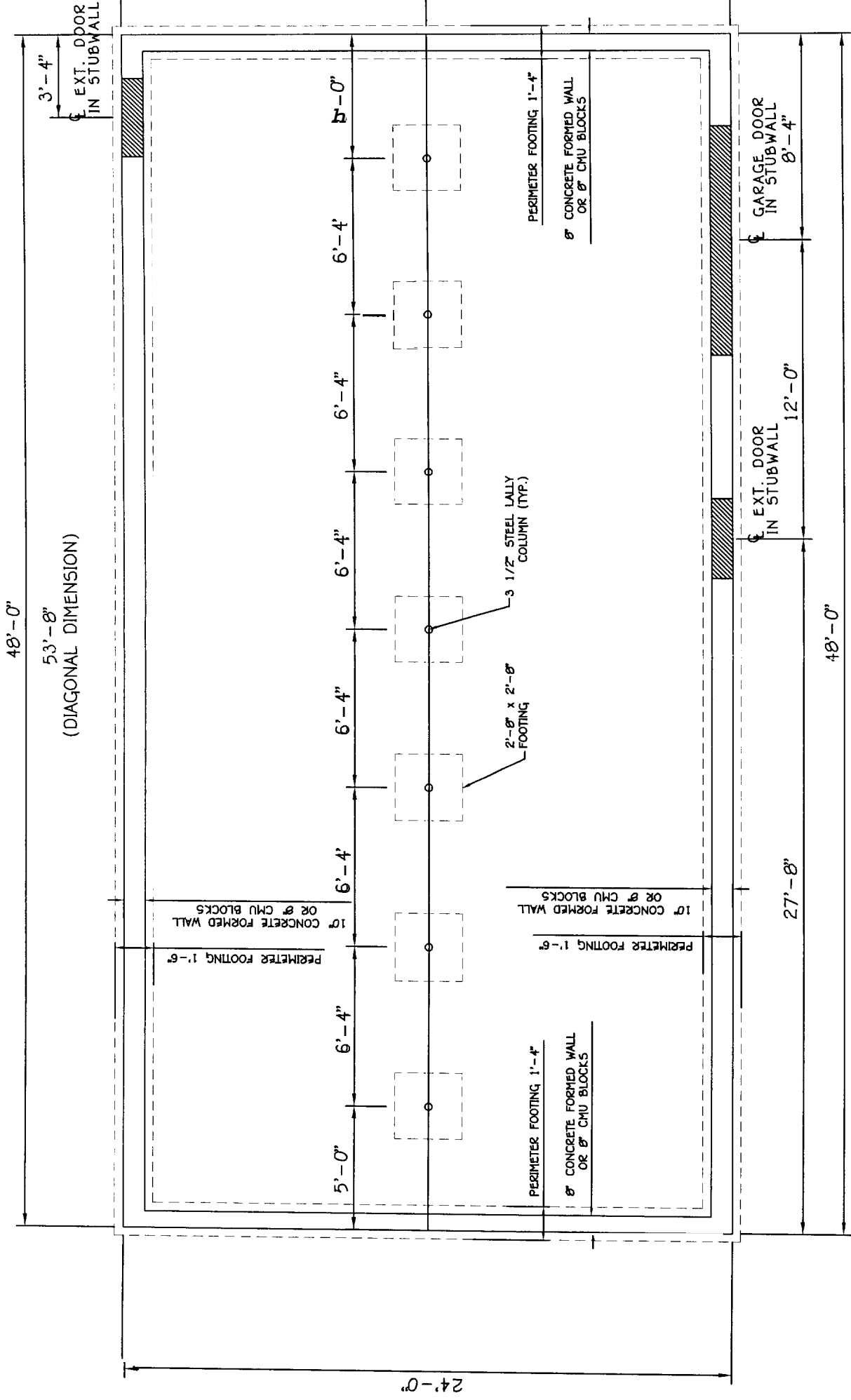
REVISIONS

#	DESCRIPTION	DATE	BY	CHK BY
1	PRODUCTION	08-27-04	SA	-
2				
3				
4				
5				
6				
7				

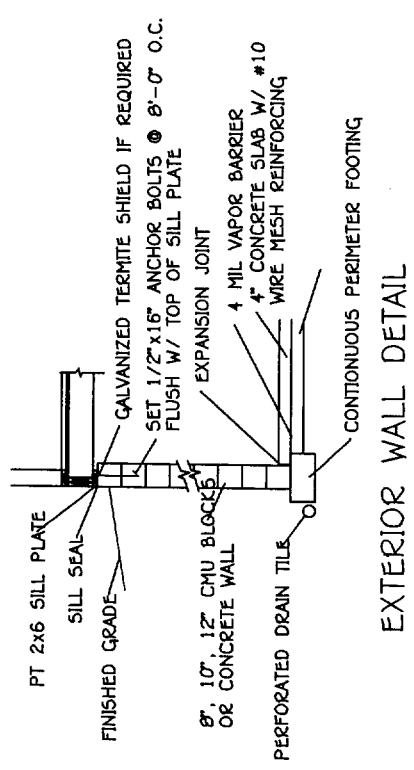
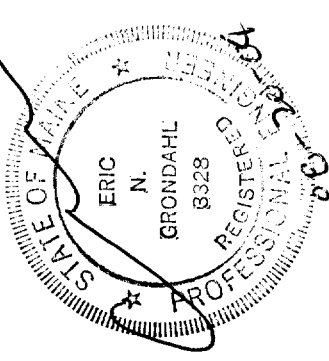
WATERFORD HOMES
 P.O. BOX 206 WATERFORD, ME 04888
 PHONE: (207) 864-1100 FAX: (207) 864-4906

Builder: Teal
Customer: -
Site Location: Portland, Maine
Model: -
Serial Number: 1008

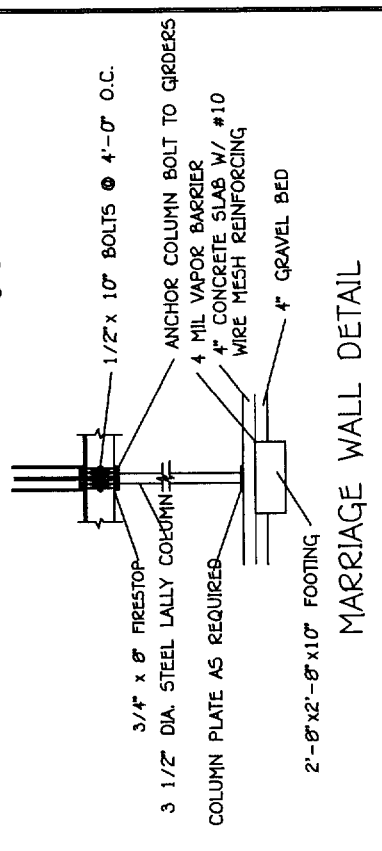
Drawn By: RMP
Checked By: -
Date: 8-16-04
Scale: 3/16" = 1'-0"
Sheet: FP1



BLDR _____ DATE _____
 OWNER _____ DATE _____



EXTERIOR WALL DETAIL



MARRIAGE WALL DETAIL

NOTE:
 FOUNDATION AND DETAILS SHOWN ARE FOR THIS STRUCTURE ONLY. PROVIDING BASIC DIMENSIONS AND SUPPORT REQUIREMENTS. ACTUAL FOUNDATION DESIGN SHALL BE DONE BY A REGISTERED ARCHITECT OR PROFESSIONAL ENGINEER BASED ON SITE SOIL CONDITIONS AND STATE, LOCAL CODE REQUIREMENTS. CONSTRUCTION OR DESIGN.

WATERFORD HOMES, LLC ASSUMES NO RESPONSIBILITY FOR FOUNDATION FOR HEATED BASEMENTS INSULATION REQUIREMENTS SHALL BE BASED ON ENERGY AND HEAT LOSS CALCULATIONS PER STATE CODES.

IMPORTANT NOTES
 DO NOT SCALE DRAWINGS! ALL DIMENSIONS MUST BE VERIFIED ON SITE BY CONTRACTOR/BUILDER. ALL DIMENSIONAL VARIATIONS MUST BE IMMEDIATELY REPORTED TO WATERFORD HOMES, LLC. ALL DRAWINGS, SPECIFICATIONS, AND COPIES THEREOF, ARE INSTRUMENTS OF SERVICE ONLY AND REMAIN THE PROPERTY OF YOU. THE REPRODUCTION OR UNAUTHORIZED USE OF THESE DOCUMENTS FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN AUTHORIZATION BY WATERFORD HOMES, LLC IS STRICTLY PROHIBITED. ALL RIGHTS RESERVED.
THIS DESIGN IS COPYRIGHTED!

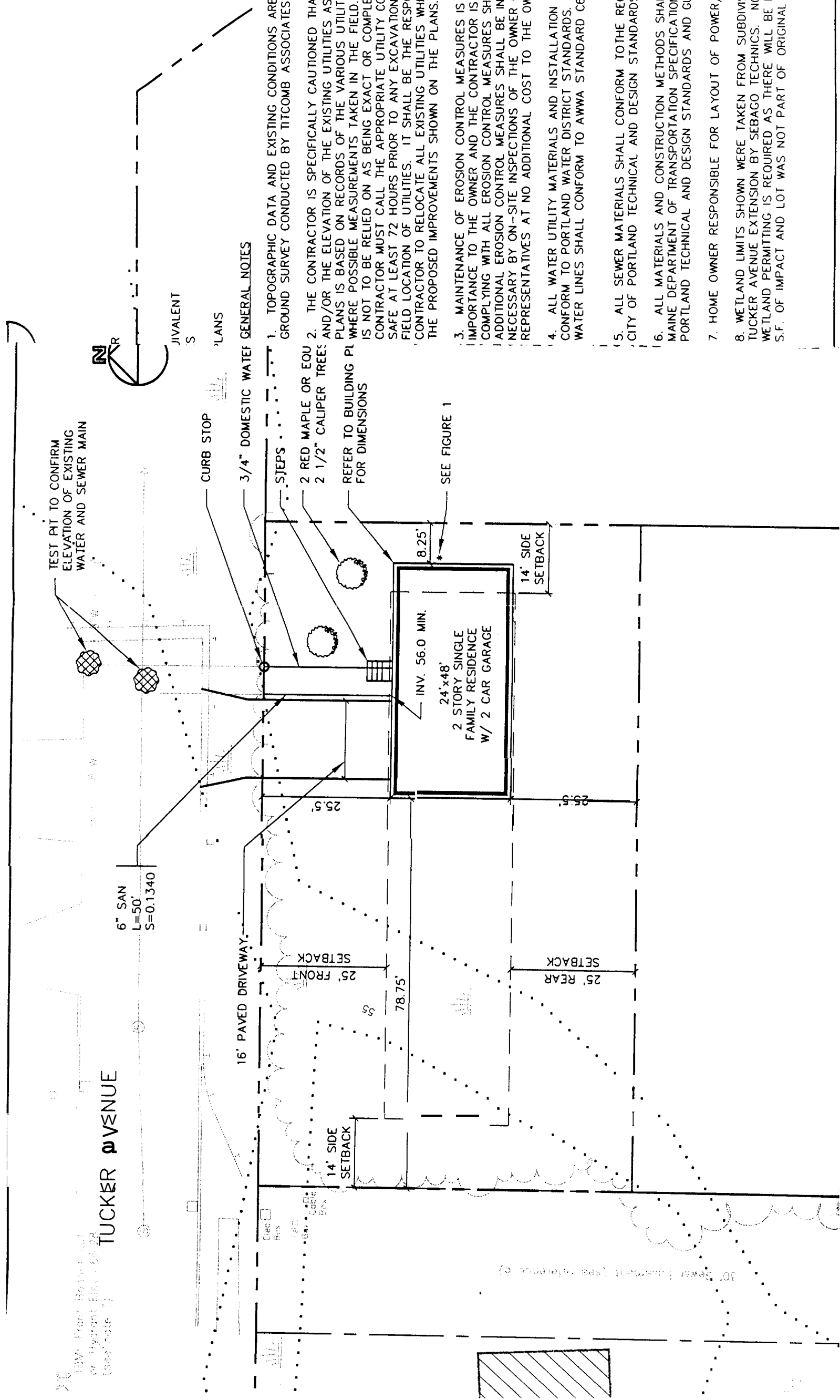
REVISIONS	
#	DESCRIPTION
1	
2	
3	
4	
5	
6	
7	

WATERFORD
 H O M E S
 P.O. BOX 286 WATERFORD, ME 04988 PHONE (207) 584-1101 FAX (207) 583-4466

BUILDER	Teal
CUSTOMER	
SITE LOCATION	Portland, Maine
MODEL	
SERIAL NUMBER	Q-120-04
SHEET	FN1
DRAWN BY	RMP
CHECKED BY	
DATE	8-16-04
TITLE	

2/8
 EBM: Front Boundary
 or Hydrant Elevation 28
 (See Note 3)

TUCKER AVENUE

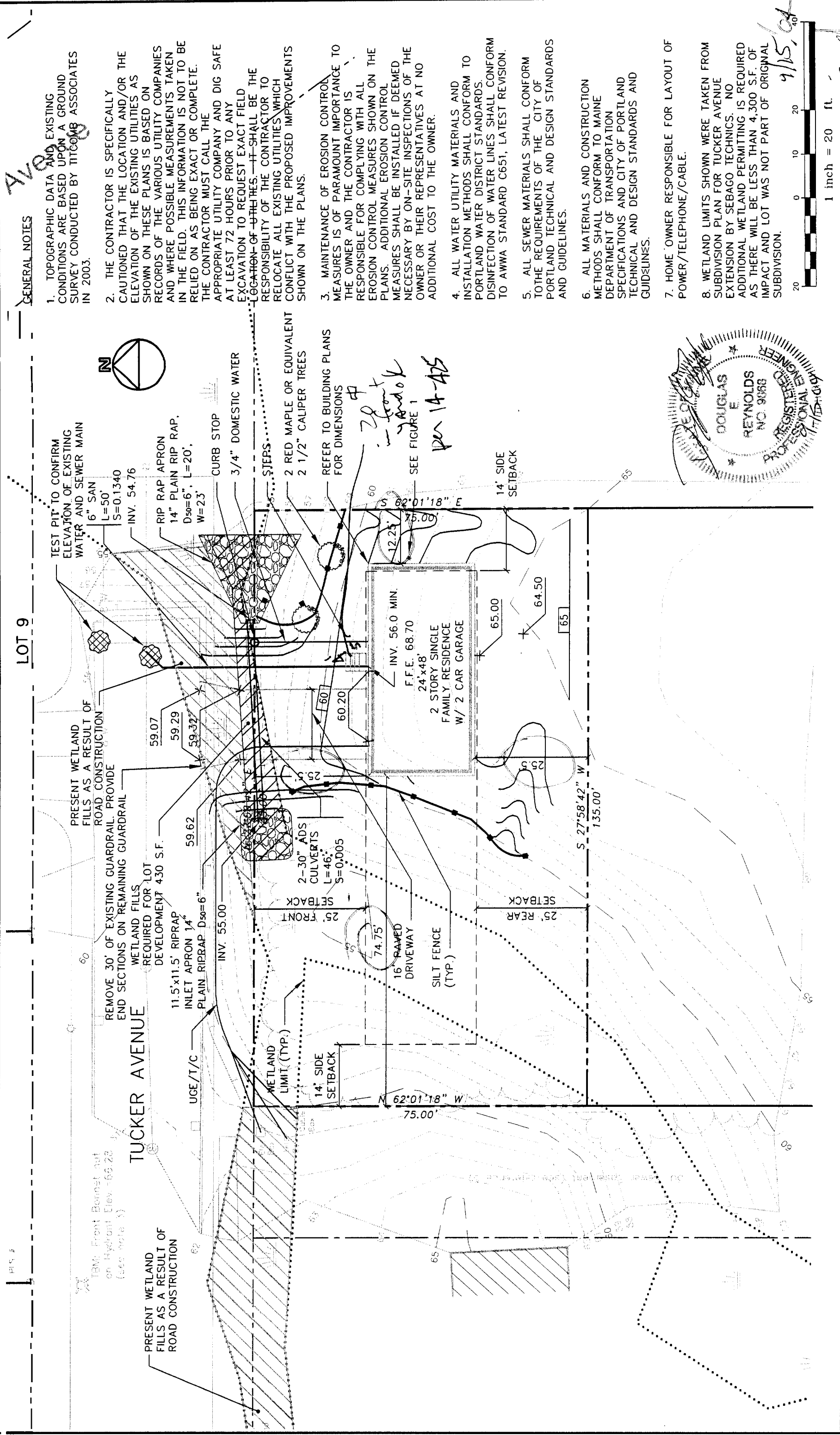


JVALENT
 S
 LANS

GENERAL NOTES

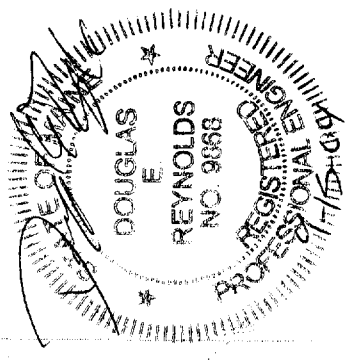
1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2003.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
7. HOME OWNER RESPONSIBLE FOR LAYOUT OF POWER/TELEPHONE/CABLE
8. WETLAND LIMITS SHOWN WERE TAKEN FROM SUBDIVISION PLAN FOR TUCKER AVENUE EXTENSION BY SEBAGO TECHNICS. NO ADDITIONAL WETLAND PERMITTING IS REQUIRED AS THERE WILL BE LESS THAN 4,300 S.F. OF IMPACT AND LOT WAS NOT PART OF ORIGINAL SUBDIVISION.

10' Sewer Elevation (see elevation 3)



GENERAL NOTES

1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2003.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
7. HOME OWNER RESPONSIBLE FOR LAYOUT OF POWER/TELEPHONE/CABLE.
8. WETLAND LIMITS SHOWN WERE TAKEN FROM SUBDIVISION PLAN FOR TUCKER AVENUE EXTENSION BY SEBAGO TECHINCS. NO ADDITIONAL WETLAND PERMITTING IS REQUIRED AS THERE WILL BE LESS THAN 4,500 S.F. OF IMPACT AND LOT WAS NOT PART OF ORIGINAL SUBDIVISION.



	Date: SEPT 03	Drawing Name: Site, Grading & Wetland Fill Plan	Figure No. 1
Design: DER	Draft: CAH	Project: TUCKER AVENUE, PORTLAND	
Checked: DER	Scale: 1"=20'	Drawing No. 1	
File Name: 735-PBASE	Revision	Project: TUCKER AVENUE, PORTLAND	

GP Gorrill-Palmer Consulting Engineers, Inc.	
Traffic and Civil Engineering Services	
PO Box 1237 15 Shaker Road Gray, ME 04039	207-657-6910 FAX: 207-657-6912 E-Mail: mailbox@gorrillpalmer.com

Tucker Avenue

TUCKER AVENUE



TEST PNT TO CONFIRM ELEVATION OF EXISTING WATER AND SEWER MAIN

REMOVE 30' OF EXISTING GUARDRAIL. PROVIDE END SECTIONS ON REMAINING GUARDRAIL

UGE/T/C

6" SAN
L=50'
S=0.1340

CURB STOP

3/4" DOMESTIC WATER

Exposed Iron Rod
PLUS #11 @ 12"

Clear Box

Test

SS

SS

SS

SS

SS

SS

SS

STEPS

2 RED MAPLE OR EQUIVALENT
2 1 1/2" CALIPER TREES
REFER TO BUILDING PLANS FOR DIMENSIONS

INV. 56.0 MIN.

24'x48'
2 STORY SINGLE
FAMILY RESIDENCE
W/ 2 CAR GARAGE

12.25'

SEE FIGURE 1

14' SIDE
SETBACK

14' SIDE
SETBACK

25' FRONT
SETBACK

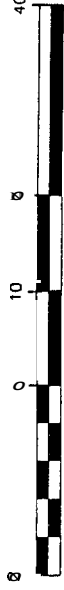
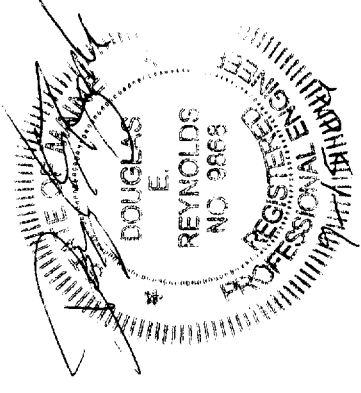
74.75'

16' PAVED
DRIVEWAY

25' REAR
SETBACK

25.5'

30' Power Equipment (see note 3)



1/15/11

Design:	DER	Date:	SEPT 03
Draft:	CAH	Job No.:	735
Checked:	DER	Scale:	1"=20'
File Name:		735-PBASE	

Rev.	Date	Revision

GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services
PO Box 1237
15 Shaker Road
Croy, ME 04039
207-657-6910
FAX: 207-657-6912
E-Mail: mailbox@gorrillpalmer.com

Drawing Name: Layout and Utility Plan
Project: TUCKER AVENUE, PORTLAND
Figure No. 2



Icker Avenue

TUCKER AVENUE

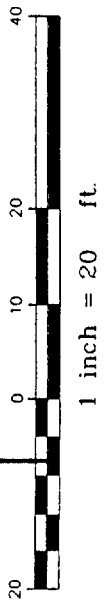
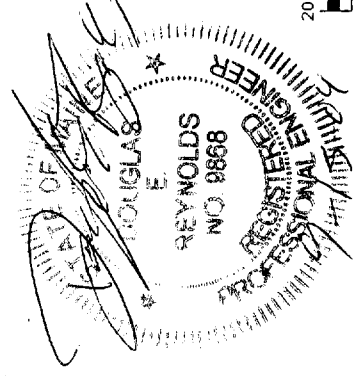
BM: Front Bore
on Hydrant Elev.
(see note 3)

PRESENT WETLAND
FILLS AS A RESULT OF
ROAD CONSTRUCTION

PRESENT WETLAND
FILLS AS A RESULT OF
ROAD CONSTRUCTION

WETLAND FILLS
REQUIRED FOR LOT
DEVELOPMENT 430 S. F.

24'x48'
2 STORY SINGLE
FAMILY RESIDENCE
W/ 2 CAR GARAGE



Design:	DER	Date:	SEPT 03
Draft:	CAH	Job No.:	735
Checked:	DER	Scale:	1"=20'
File Name:	735-PBASE		

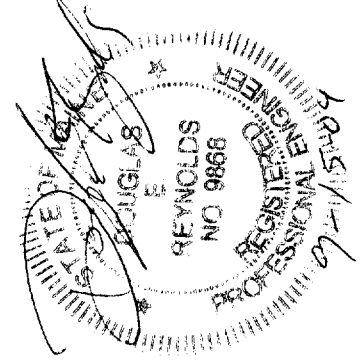
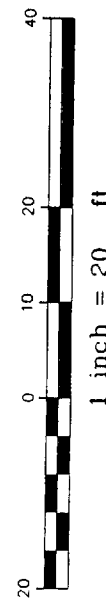
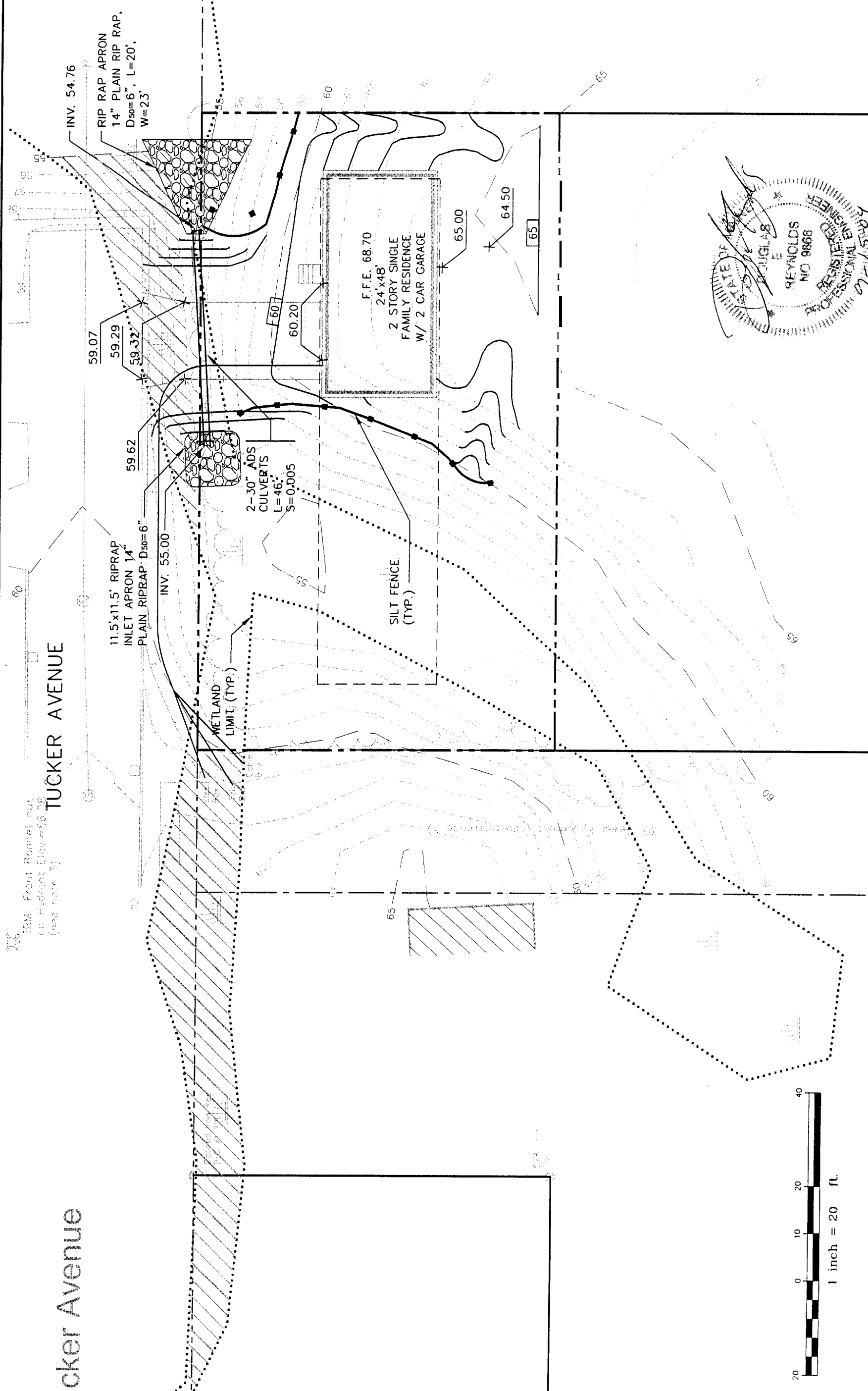
GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services

PO Box 1237
15 Shaker Road
Gray, ME 04039
207-657-6910
FAX: 207-657-6912
E-Mail: mailbox@gorrillpalmer.com

Drawing Name:
Project:

Wetland Fill Plan
TUCKER AVENUE, PORTLAND

Figure No.
4



Tucker Avenue

20%
 IBM: Front Bonnet nut
 on Hydrant Elev = 66.28
 (see note 3)

Design:	DER	Date:	SEPT 03
Draft:	CAH	Job No.:	735
Checked:	DER	Scale:	1"=20'
File Name:	735-PBASE		

Rev.	Date	Revision

GP Gorrill-Palmer Consulting Engineers, Inc.
 Traffic and Civil Engineering Services
 PO Box 1237
 15 Shaker Road
 Gray, ME 04039
 207-657-6910
 FAX: 207-657-6912
 E-Mail: mailbox@gorrillpalmer.com

Drawing Name: **Grading and Drainage Plan**
 Project: **TUCKER AVENUE, PORTLAND**

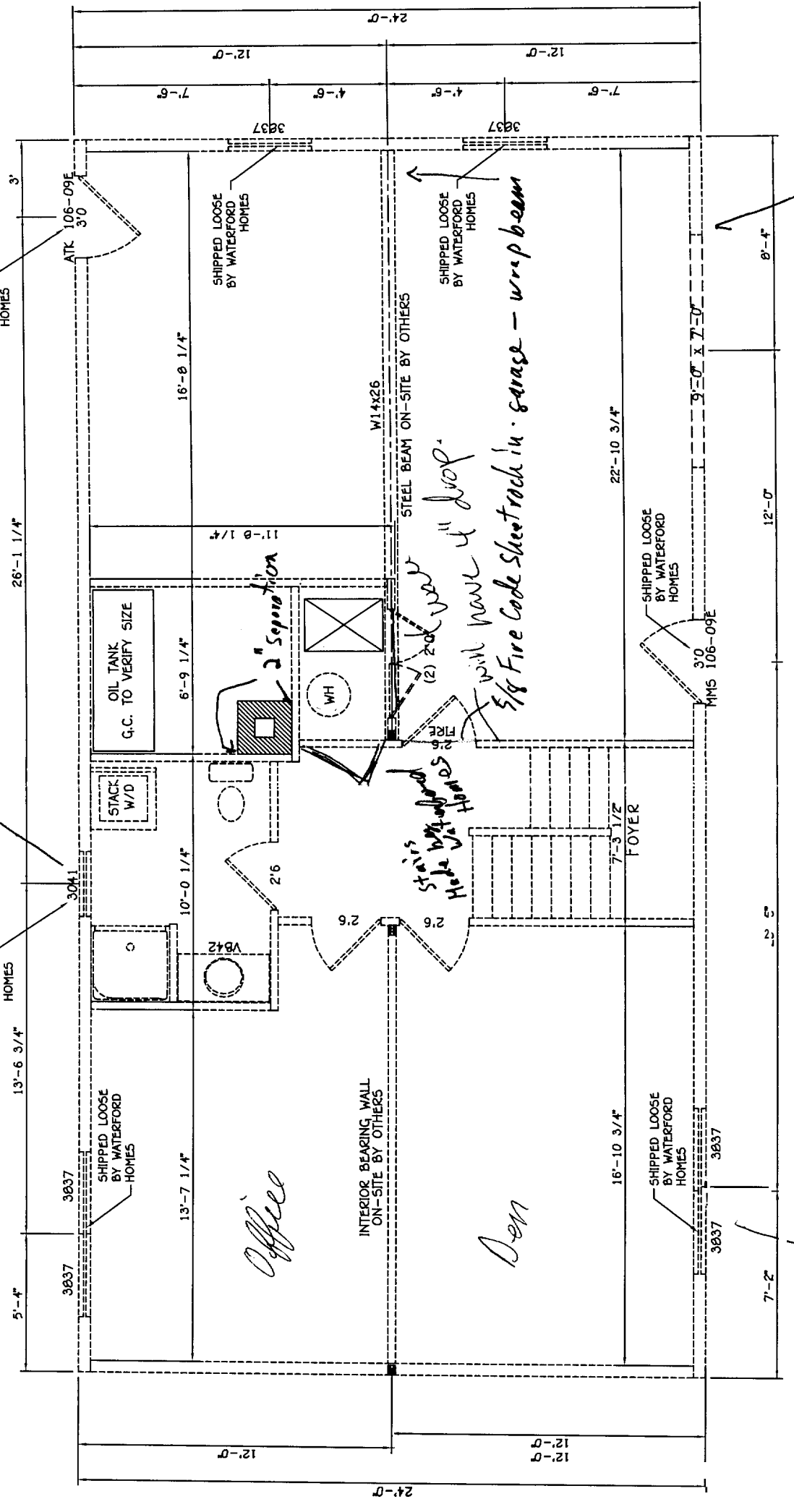
Figure No. **3**

BLDR _____ DATE _____

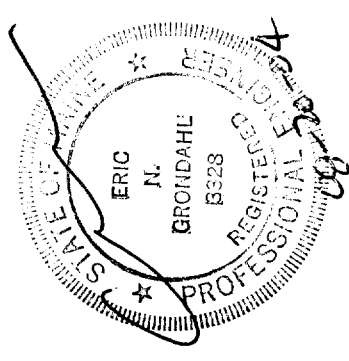
OWNER _____ DATE _____

153 Tucker
Neal Adam
409-0507

Tempered W. rslaw



LOWER LEVEL PLAN



NOTE: ALL MATERIALS FOR LOWER LEVEL SUPPLIED & INSTALLED BY OTHERS & IS THE BUILDER'S RESPONSIBILITY TO MEET ALL MEANS OF EGRESS & LIGHT & VENT REQUIREMENTS.

WATERFORD HOMES IS TO SHIP LOOSE LOWER LEVEL WINDOWS & DOORS AS NOTED ON PLAN

REVISIONS		
#	DESCRIPTION	DATE
1		
2		
3		
4		
5		
6		
7		

IMPORTANT NOTES

DO NOT SCALE DRAWINGS! ALL DIMENSIONS MUST BE VERIFIED ON SITE BY CONTRACTOR/BUILDER. ALL DIMENSIONAL VARIATIONS MUST BE IMMEDIATELY REPORTED TO WATERFORD HOMES, LLC. ALL DRAWINGS, SPECIFICATIONS, AND COPIES THEREOF, ARE INSTRUMENTS OF SERVICE ONLY AND REMAIN THE PROPERTY OF YOU. THE REPRODUCTION OR UNAUTHORIZED USE OF THESE DOCUMENTS FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN AUTHORIZATION BY WATERFORD HOMES, LLC IS STRICTLY PROHIBITED. ALL RIGHTS RESERVED.

THIS DESIGN IS COPYRIGHTED!

WATERFORD HOMES

PHONE: (207) 583-5100 FAX: (207) 583-1900

BUILDER	Teal
CUSTOMER	
SITE LOCATION	Portland, Maine
MODEL	

DRAWN BY	RMP	DATE	8-16-04
CHECKED BY		DATE	
SERIAL NUMBER	Q-120-04	TITLE	
SCALE	3/16" = 1'-0"	SHEET	FP2

Note
The only steps will be
to the Front Door

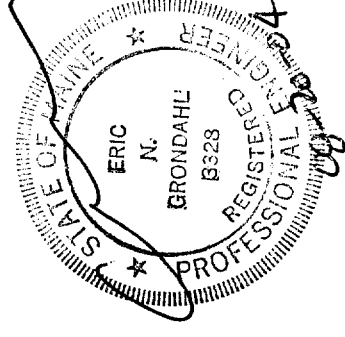
Header Sched.	Header Size
0 - 3'0"	(3) 2x6
3'1" - 4'6"	(3) 2x8
4'7" - 5'8"	(3) 2x10
5'9" - 7'0"	(3) 2x12

BLDR DATE

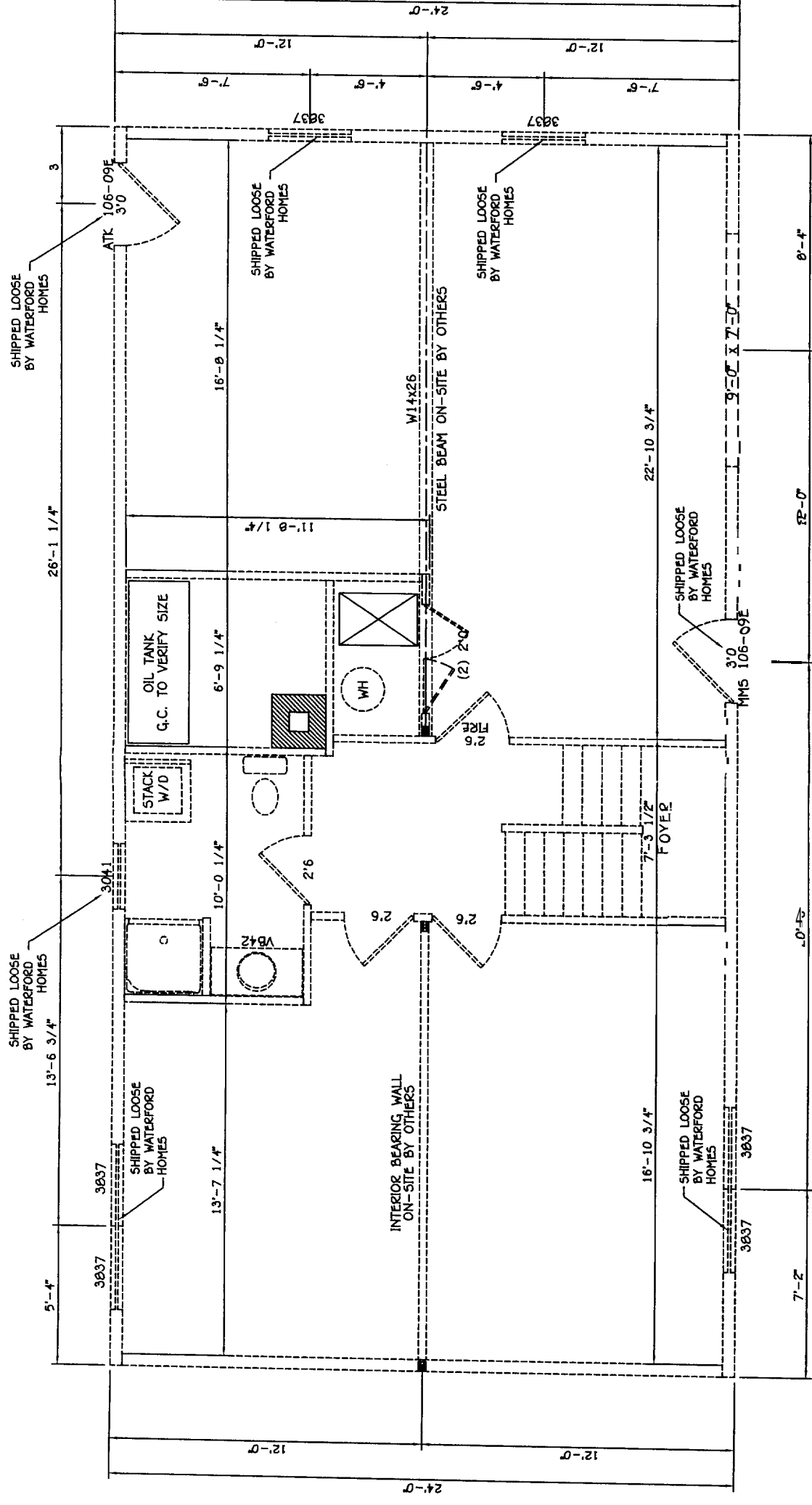
OWNER DATE

153 Tucker
Neal Adam
409-0507

SEP 29 2004



NOTE: ALL MATERIALS FOR LOWER LEVEL SUPPLIED & INSTALLED BY OTHERS & IS THE BUILDER'S RESPONSIBILITY TO MEET ALL MEANS OF EGRESS & LIGHT & VENT REQUIREMENTS.
WATERFORD HOMES IS TO SHIP LOOSE LOWER LEVEL WINDOWS & DOORS AS NOTED ON PLAN



LOWER LEVEL PLAN

IMPORTANT NOTES
DO NOT SCALE DRAWINGS! ALL DIMENSIONS MUST BE VERIFIED ON SITE BY CONTRACTOR/BUILDER. ALL DIMENSIONAL VARIATIONS MUST BE IMMEDIATELY REPORTED TO WATERFORD HOMES, L.L.C. ALL DRAWINGS, SPECIFICATIONS, AND COPIES THEREOF, ARE INSTRUMENTS OF SERVICE ONLY AND REMAIN THE PROPERTY OF YOU. THE REPRODUCTION OR UNAUTHORIZED USE OF THESE DOCUMENTS FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN AUTHORIZATION BY WATERFORD HOMES, L.L.C. IS STRICTLY PROHIBITED. ALL RIGHTS RESERVED.
THIS DESIGN IS COPYRIGHTED!

REVISIONS

#	DESCRIPTION	DATE	CHK BY
1			
2			
3			
4			
5			
6			
7			

WATERFORD
H O M E S, L.L.C.
P.O. BOX 206 WATERFORD, ME 04988
PHONE (207) 883-4100 FAX: (207) 883-6900

Teal BUILDER
CUSTOMER
SITE LOCATION: Portland, Maine
MODEL: -

DRAWN BY: RMP
CHECKED BY: DATE: 8-16-04
SERIAL NUMBER: Q-120-04
SCALE: 3/16" = 1'-0"
SHEET: FP2

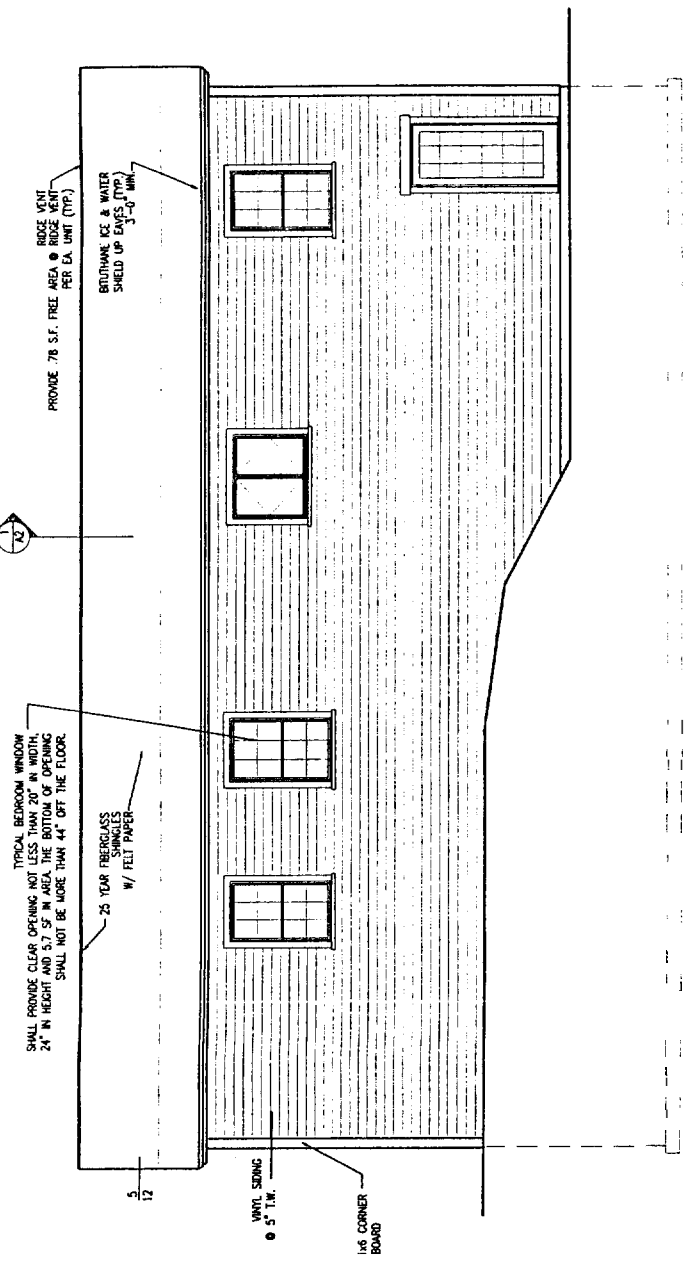
REVISIONS		DATE	BY
1			
2			
3			
4			

DATE	PROJECT #	DRAWN BY:	CHECKED BY:	DRAWING SCALE
07/06/03	DLP			

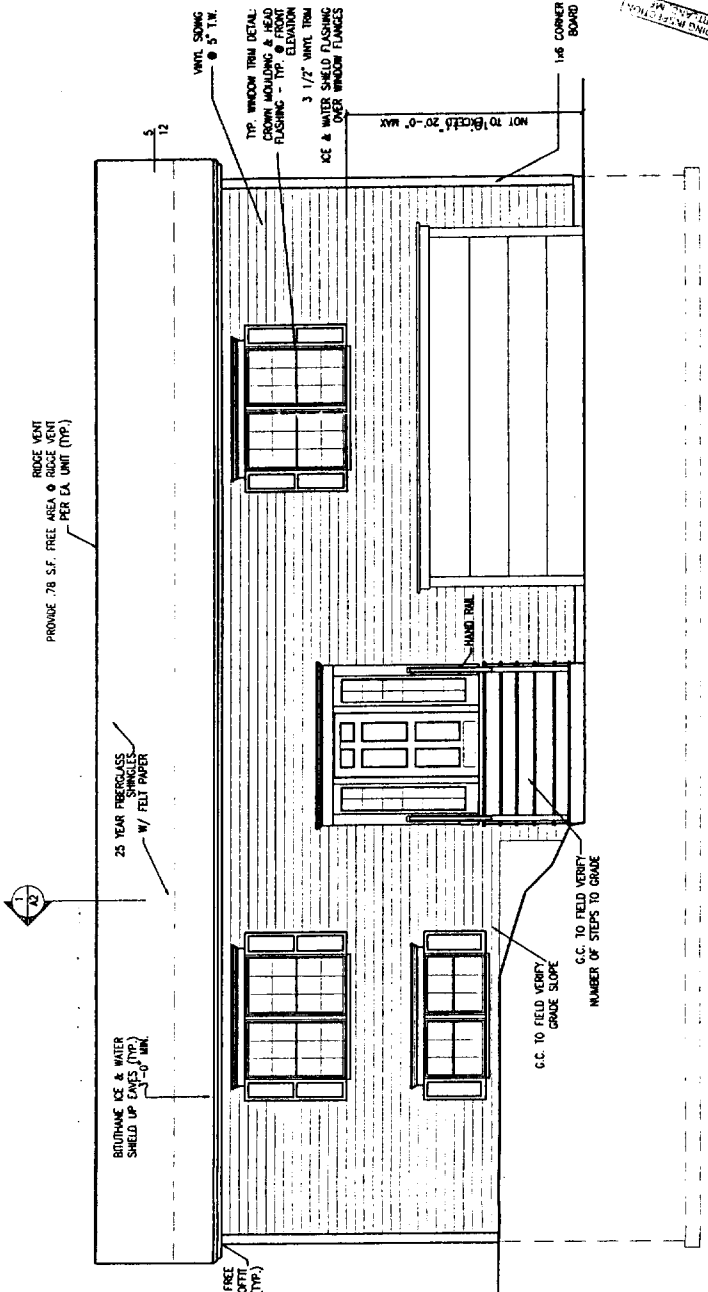
SHEET TITLE	ELEVATIONS	SECTION

A-2

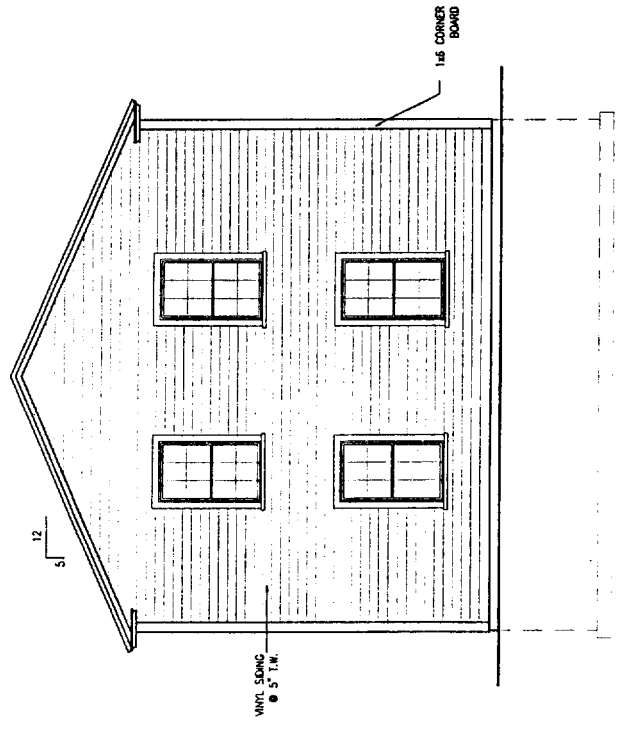
SEP 29 2003
 DEPT. OF BUILDING INSPECTION
 CITY OF PHOENIX, AZ



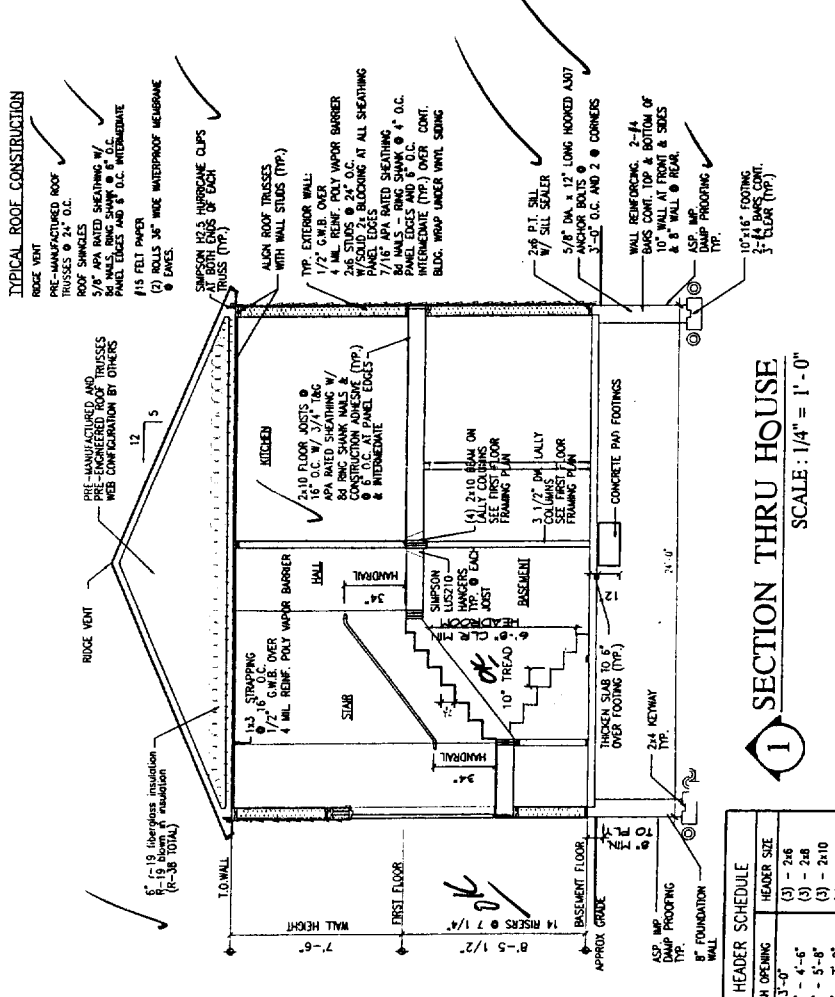
REAR ELEVATION
 SCALE: 1/4" = 1'-0"



FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION
 (RIGHT SIDE ELEVATION SIMILAR) SCALE: 1/4" = 1'-0"



SECTION THRU HOUSE
 SCALE: 1/4" = 1'-0"

ROUGH OPENING	HEADER SIZE
0 - 3'-0"	(3) - 2x6
3'-1" - 4'-6"	(3) - 2x8
4'-7" - 5'-8"	(3) - 2x10
5'-9" - 7'-0"	(3) - 2x12

NOTE: PROVIDE JAMBS BOTH ENDS AS FOLLOWS:
 (1) 2x6 JAMBS PLUS 2x6 KING UP TO 4'-6" ROUGH OPENING
 (2) 2x6 JAMBS PLUS (2) 2x6 KINGS UP TO 7'-0" ROUGH OPENING

GENERAL NOTES:

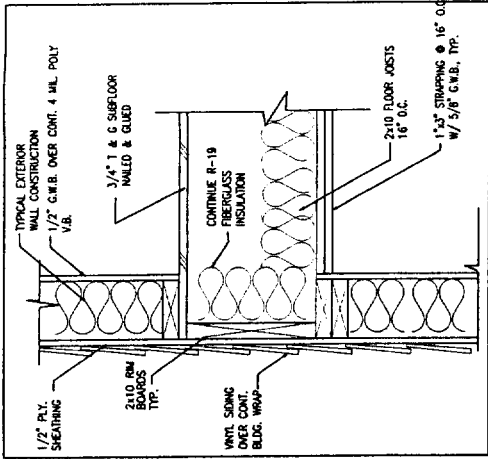
- All work shall be in accordance with BOCA Basic Building Code, NFPA-70 National Electric Code, Maine State Plumbing Code, ASHRAE, U.L., NFPA Codes, Americans with Disabilities Act 1990 (ADA) and all local, State and Federal requirements.
- All applicable Federal, State and Municipal regulations shall be followed, including the Federal Department of Labor Occupational Safety and Health act.
- All required City and State permits must be obtained before any construction begins.
- It is the contractor's sole responsibility to determine erection procedures and sequence to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, sheeting, temporary bracing, guys or tie-downs. Such material shall remain the property of the contractor after completion of the project.
- Structural, Mechanical, Electrical and Plumbing design and installation by others shall be performed in accordance with local, State and Federal standards.
- All fire ratings indicated shall be continuous to underside of fire rated ceiling or underside of roof deck. Seal all openings & mechanical penetrations with approved fire rating material.
- Becomes must maintain a 42" guardrail height and shall be kept free and clear of ice and snow at all times to ensure the second means of egress.
- HVC installation to be in accordance with ASHRAE, NFPA-50A OR NFPA-50B and all Federal, local and State codes. Ventilation or heat equipment shall be in accordance with NFPA-9, NFPA-211, NFPA-31, NFPA-54 and NFPA-70 as applicable.

FRAMING NOTES:

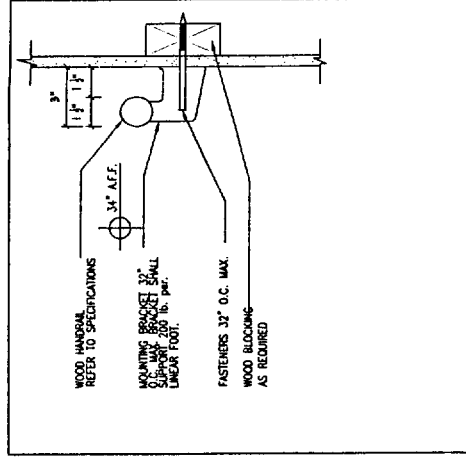
- All exterior walls to be 2x6 wood stud walls with 2x4 studs @ 16" O.C. and 2x4 corner p.t. plate w/ 5/8" dia. x 12" long anchor bolts @ 4'-0" O.C. CRUSHED ROCK OR COMPACTED STRUCTURAL FILL TO BE MINIMUM 3" CLEAR FROM FACE OF WALL.
- All interior walls to be 2x4 wood stud walls (UNLESS NOTED OTHERWISE) w/ ONE LAYER 1/2" G.B. EACH SIDE.
- INSTALL BLOCKING BEHIND ALL SURFACE APPLIED PARTITIONS, TRIM, AND SHELVES WHEN MOUNTED ON WALLS.
- THE LOCATION OF ALL DOOR FRAMES SHALL BE 4 1/2" (UNLESS NOTED OTHERWISE) FROM ADJACENT WALLS.

FOUNDATION NOTES:

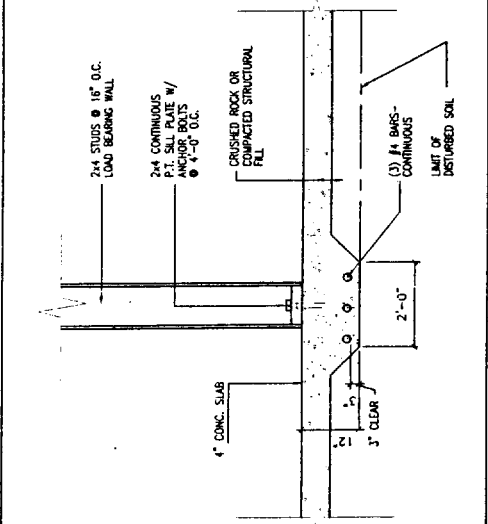
- PROVIDE SILL SEALER ON TOP OF ALL FOUNDATION WALLS.
- FOUNDATION WALLS SHALL BE BACKFILLED SIMULTANEOUSLY ON BOTH SIDES.
- ALL STEEL REINFORCING IN FOOTINGS TO BE A MINIMUM 3" CLEAR FROM BOTTOM OF FOOTING.
- ALL STEEL REINFORCING IN FOUNDATION WALLS BELOW GRADE TO BE MINIMUM 2" CLEAR FROM FACE OF WALL.
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESURE PRESERVATIVE TREATED W/CCA TO 0.4/0.6 RETENTION PER ANPA.
- ALL CONCRETE SURFACES SHALL HAVE A STEEL TROWEL & LIGHT BROOM FINISH.
- SET BOTTOM OF FOOTINGS MIN. 4'-0" BELOW GRADE.
- SET ALL FOOTINGS ON UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL.
- REMOVE EXCESS FILL.
- FIRST FLOOR SLAB SHALL BE 4" THICK CONCRETE SLAB ON GRADE W/ REBAR MESH REINFORCEMENT. PROVIDE CONTROL JOINTS @ 15'-0" SPACING (22557).
- ALL CONCRETE SHALL BE 3000 PSI (12) STRENGTH AT 28 DAYS.
- ALL CONCRETE SHALL BE AIR ENTRAINED 4-6 7/8.
- ALL OTHER ADJUSTURES SHALL BE PRE-APPROVED.



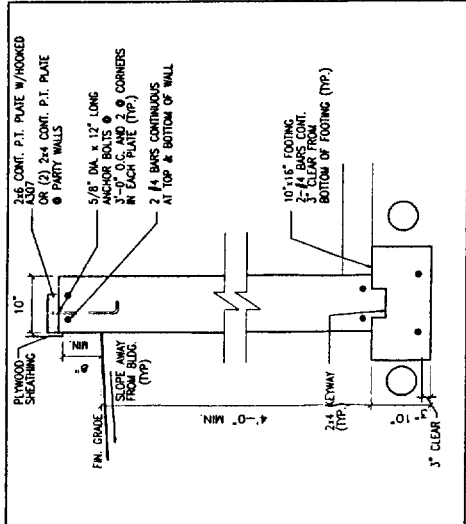
1 1/2" = 1'-0"



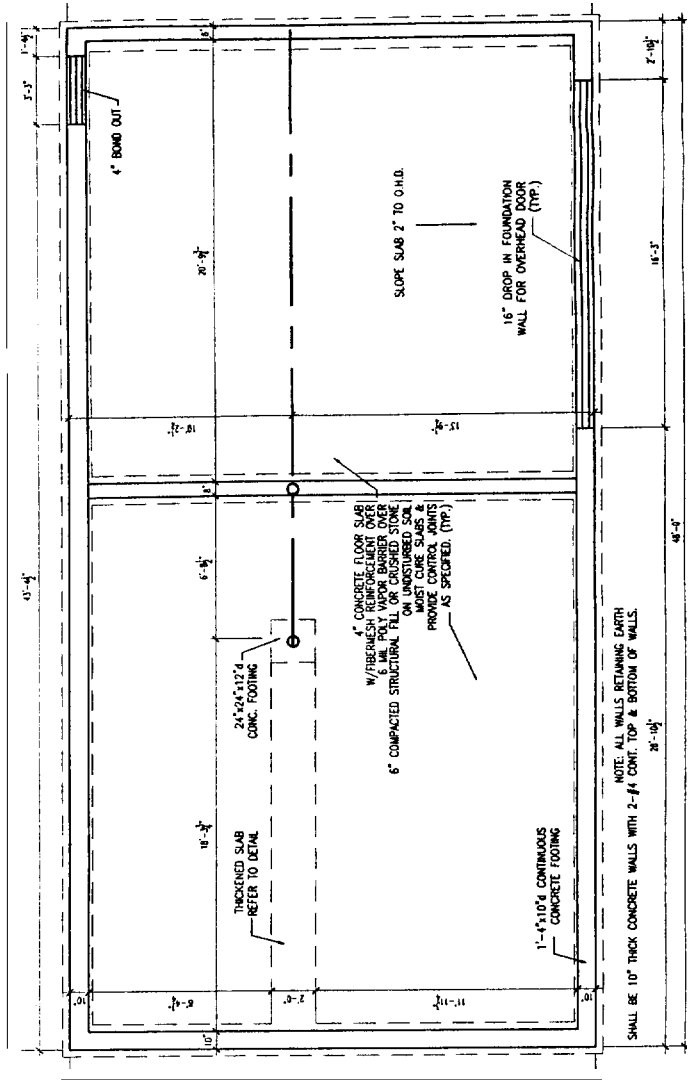
4 HANDRAIL DETAIL NTS



1 1" = 1'-0"



3 SCALE: 1" = 1'-0"



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

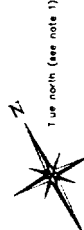
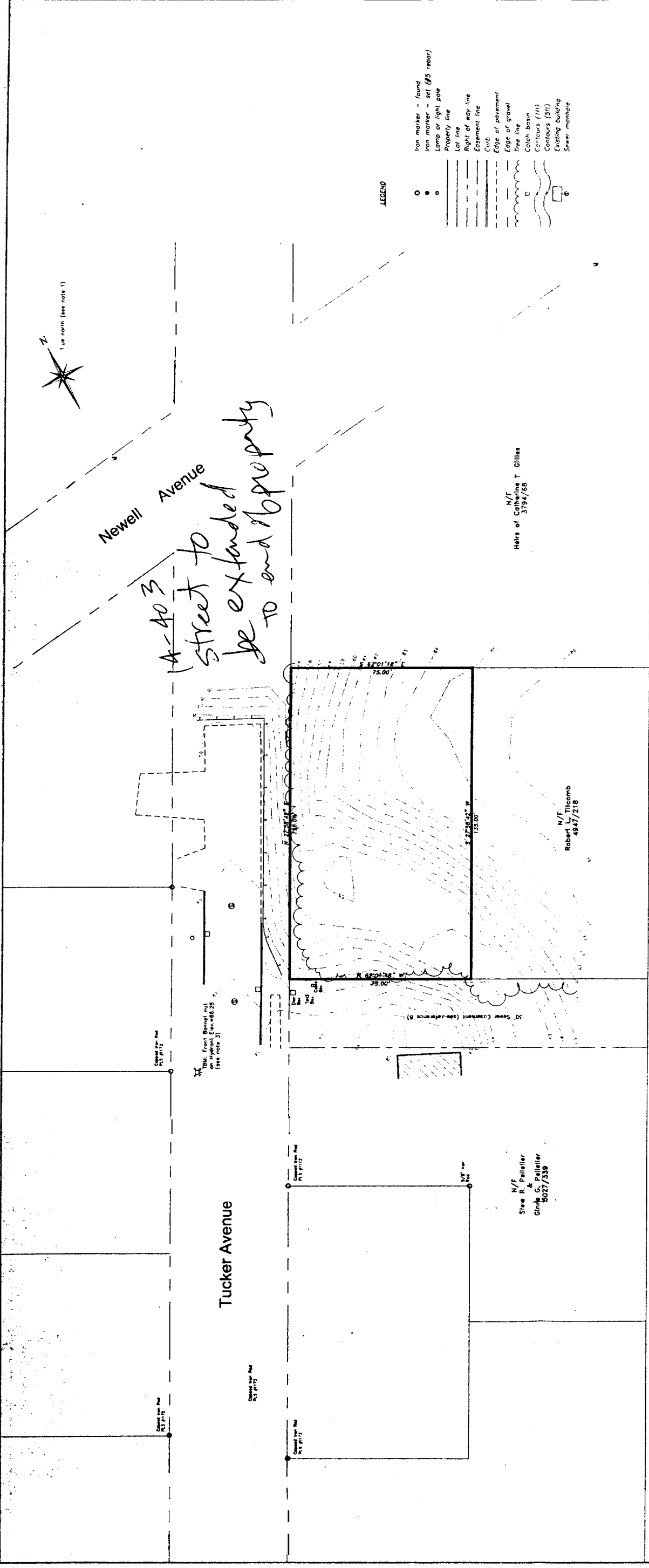
REVISIONS	
#	DATE

DATE:	07/08/03
PROJECT #:	
DRAWN BY:	DLP
CHECKED BY:	
DMA W/ING SCALE:	

SHEET TITLE	
GENERAL NOTES	
DETAILS	
FOUNDATION PLAN	

G-1

SEP 29 2003
DEPT OF BUILDING INSPECTION
CITY OF PORTLAND, ME



Newell Avenue

A-403
Street to
be extended
to end of property

Tucker Avenue

N/F
Heirs of Catherine T Ollias
3794/68

N/F
Robert L. Tilcomb
4847/216

N/F
Sue R. Pelletier
Ginle G. Pelletier
8027/339

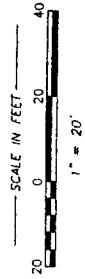
Beal Street

LEGEND

- Iron marker - found
- Iron marker - set (#5 rebar)
- Lemo or light pole
- Property line
- Lot line
- Right of way line
- Easement line
- Curb
- Edge of pavement
- Edge of gravel
- Tree line
- Catch basin
- ~ Contours (1ft)
- ~ Contours (5ft)
- Existing Building
- Sewer manhole

OWNERS OF RECORD
W & C, LLC
Book 18751, Page 211

AREA
10.125 square feet / 0.23 acres



PLAN OF
BOUNDARY SURVEY

MADE FOR
W. & C. LLC

DATE: June 13, 2003 SCALE: 1"=20'

BOOK# 635

FILE# 2291

Tilcomb Associates
133 Gray Road
Fairmont, Maine 04105

CERTIFICATION
This survey substantially conforms to the current standards of practice set forth by the Maine State Board of Licensure for Land Surveyors

Exceptions
1) No monumentation
2) No description of adjacent property
3) No written report



State of Maine, Cumberland ss
Registry of Deeds
at _____ h _____ m _____ Page _____
Plan Book _____ and recorded in
Attest: _____ Register

REFERENCES

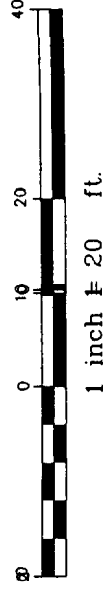
- 1) Plan of Forest Avenue Terrace by A.L. Eliot, CE, dated May 7, 1910 and recorded in Plan Book 12 Page 5.
- 2) Records of City Survey of Tucker Avenue dated November 4, 1915, on file at the City of Portland Engineering Department, Town Book 87 Page 180.
- 3) Plan of Property in Portland, Maine, made for Miss H. Jones by H. & E.C. Jones, Surveyors, October 1915 and recorded in Plan Book 109 Page 35.
- 4) Standard Boundary Survey, made for Thomas Roberts, by R.P. Tilcomb Associates, Inc., dated September 9, 1988.
- 5) Proposed Plan of Tucker Avenue Extension made for Design Group, Inc. by R.P. Tilcomb Associates, Inc., dated October 1998, recorded in Plan Book 198, page 150.
- 6) City of Portland Department of Public Works plan of Beal Avenue Branch of the Presumptive North Interceptor, dated 1978.

NOTES

- 1) Bearings are referenced to True North, as determined by astronomical observation.
- 2) Book and Page Book references are to the Cumberland County Registry of Deeds.
- 3) Elevations and contours are based on the 1929 datum and are not to be used for any other purpose. The first angle point westerly of Farnham Street Elevation: 109.3

GENERAL NOTES

1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2003.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
7. HOME OWNER RESPONSIBLE FOR LAYOUT OF POWER/TELEPHONE/CABLE.
8. WETLAND LIMITS SHOWN WERE TAKEN FROM SUBDIVISION PLAN FOR TUCKER AVENUE EXTENSION BY SEBAGO TECHNICS. NO ADDITIONAL WETLAND PERMITTING IS REQUIRED AS THERE WILL BE LESS THAN 4,300 S.F. OF IMPACT AND LOT WAS NOT PART OF ORIGINAL SUBDIVISION.



Drawing Name: **Site, Grading & Wetland Fill Plan**
 Project: **TUCKER AVENUE, PORTLAND**

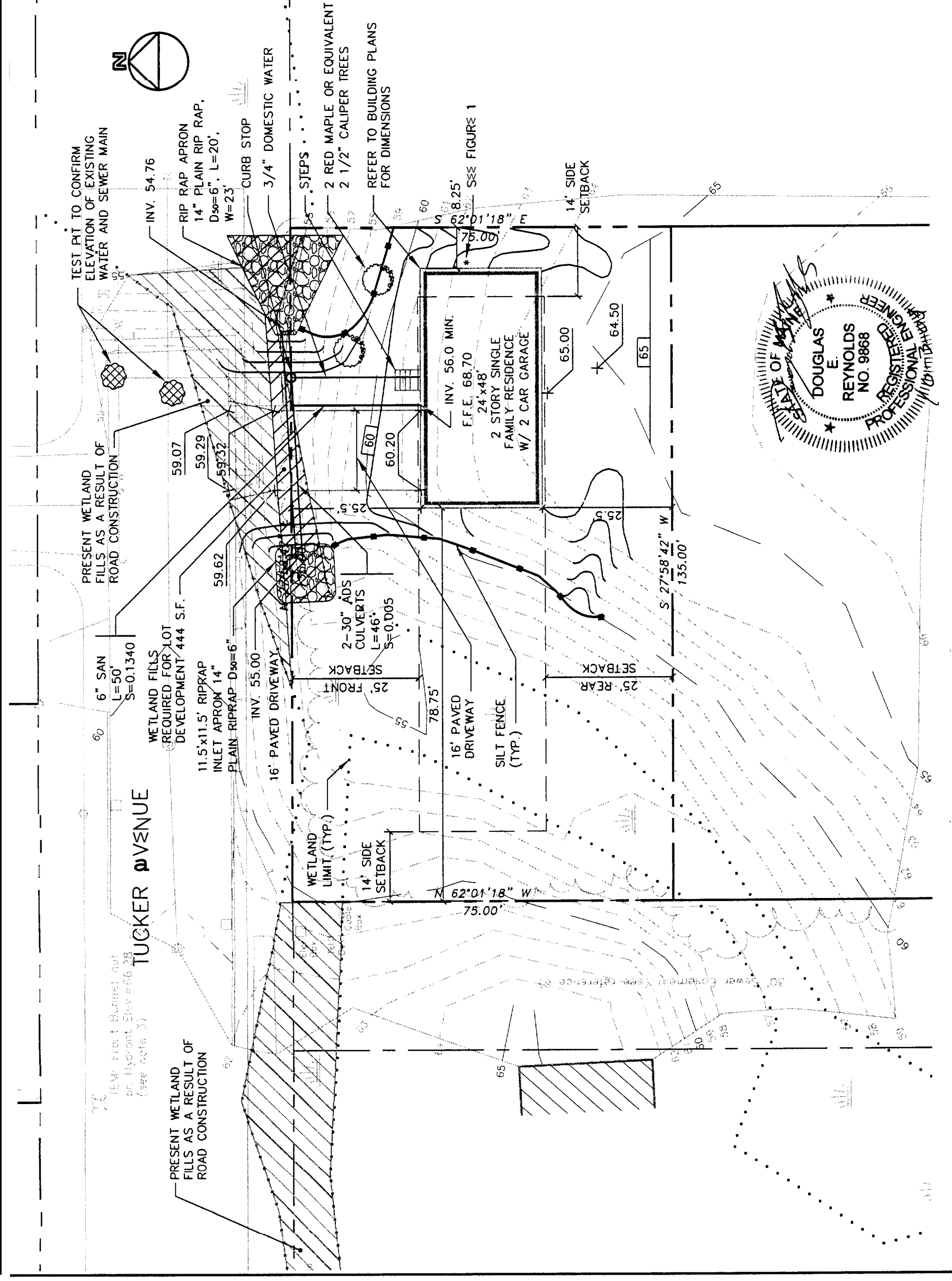
Drawing Name:
 Project:

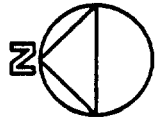
PO Box 1237
 15 Shaker Road
 Gray, ME 04039
 207-657-6910
 FAX: 207-657-6912
 E-Mail: mailbo@gorrillpalmer.com

GIP Gorrill-Palmer Consulting Engineers, Inc.
 Traffic and Civil Engineering Services

Design:	DER	Date:	SEPT 03
Draft:	CAH	Job No.:	735
Checked:	DER	Scale:	1"=20'
File Name:	735-PBASE		

Rev.	Date	Revision





TUCKER AVENUE

Tucker Avenue

11.5'x11.5' RIPRAP
INLET APRON 14"
PLAIN RIPRAP D₅₀=6"

INV. 54.76
RIP RAP APRON
14" PLAIN RIP RAP,
D₅₀=6", L=20',
W=23'

INV. 55.00

2-30" ADS
CULVERTS
L=46'
S=0.005

SILT FENCE
(TYP.)

WETLAND
LIMIT (TYP.)

F.F.E. 68.70
24'x48'
2 STORY SINGLE
FAMILY RESIDENCE
W/ 2 CAR GARAGE.

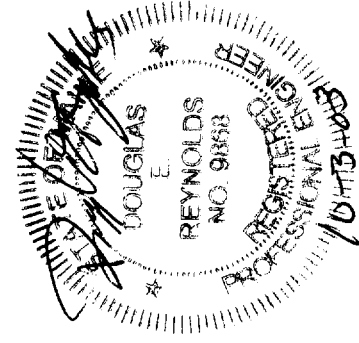


Figure No. 3

Drawing Name: Grading and Drainage Plan
Project: TUCKER AVENUE, PORTLAND

GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services
P.O. Box 1237
15 Shaker Road
Croy, ME 04039
207-657-6910
FAX: 207-657-6912
E-Mail: mailbox@gorrillpalmer.com

Design:	DER	Date:	SEPT 03
Draft:	CAH	Job No.:	735
Checked:	DER	Scale:	1"=20'
File Name:		735-PBASE	

Rev.	Date	Revision



TUCKER AVENUS

icker Avenue

PRESENT WETLAND
FILLS AS A RESULT OF
ROAD CONSTRUCTION

PRESENT WETLAND
FILLS AS A RESULT OF
ROAD CONSTRUCTION

WETLAND FILLS
REQUIRED FOR LOT
DEVELOPMENT 444 S.F.

24'x48'
2 STORY SINGLE
FAMILY RESIDENCE
W/ 2 CAR GARAGE

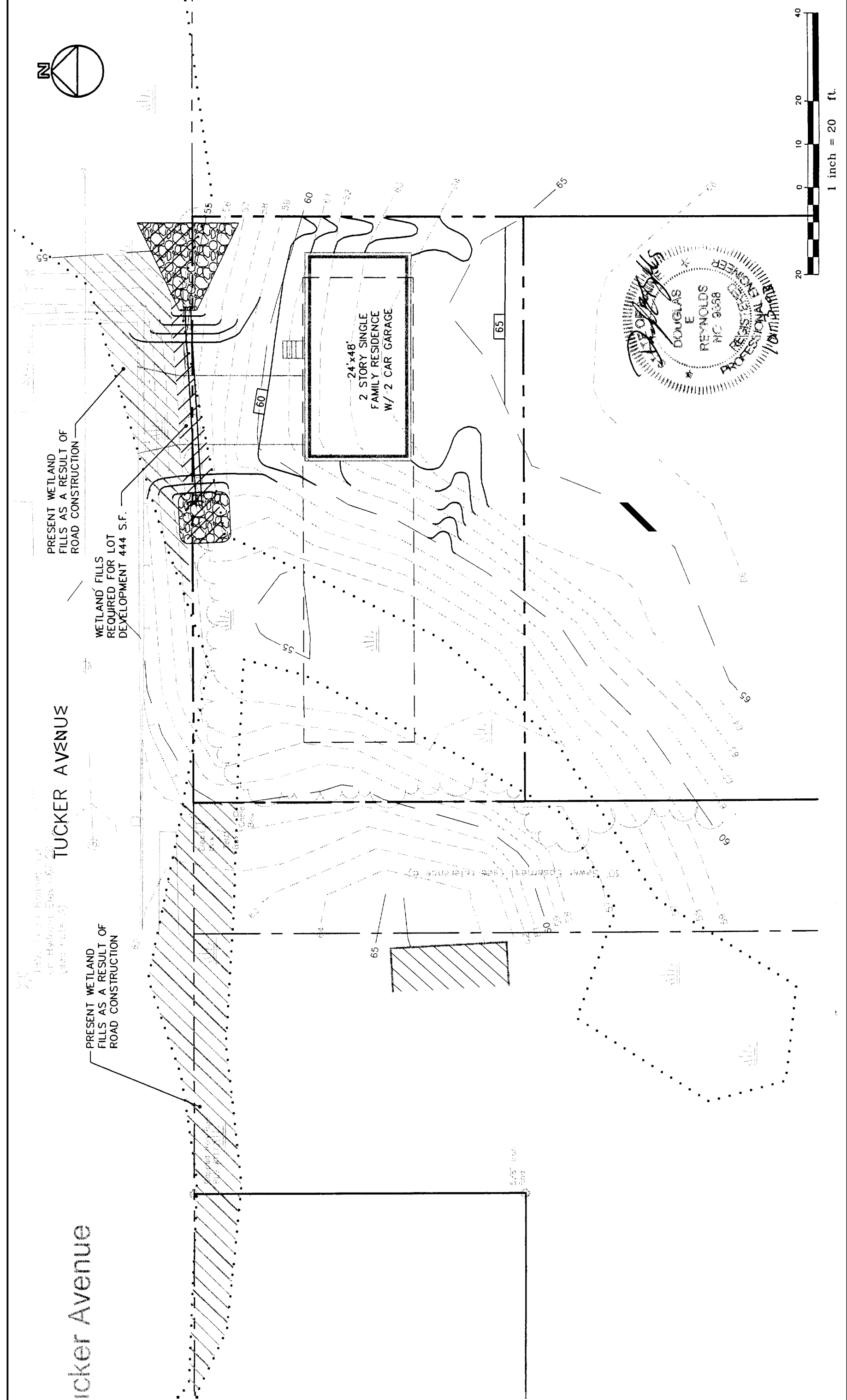
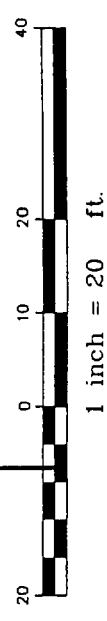
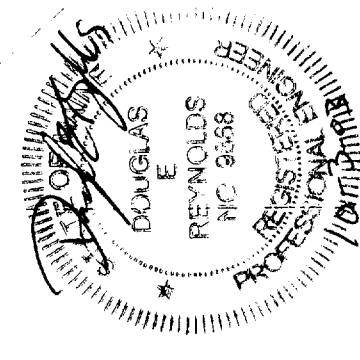


Figure No.
4

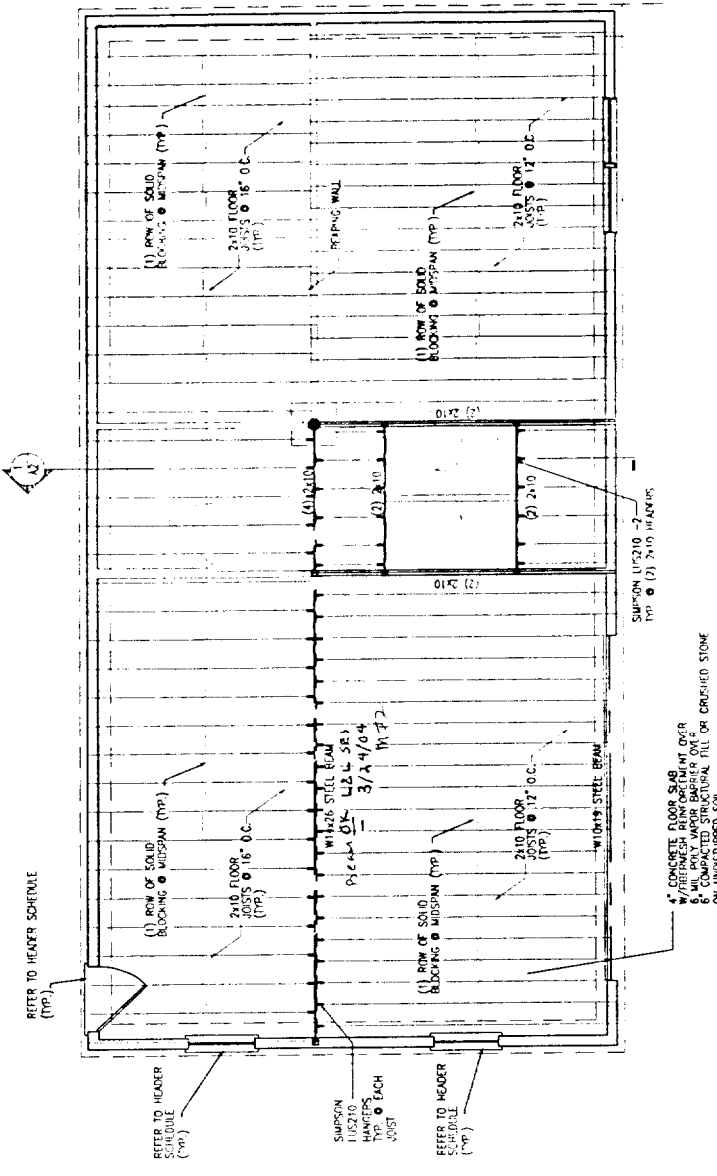
Drawing Name: **Wetland Fill Plan**
Project: **TUCKER AVENUE, PORTLAND**

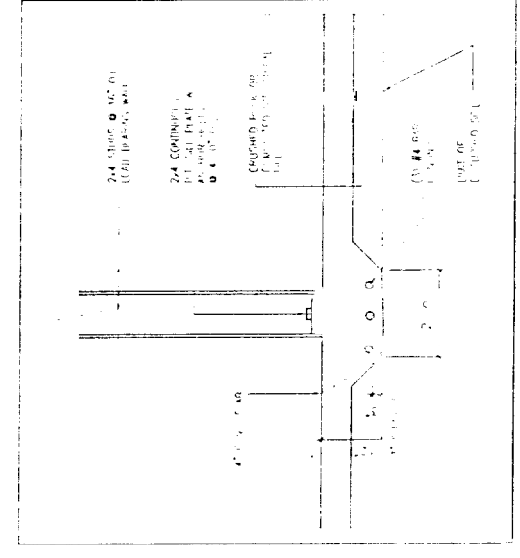
GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services
PO Box 1237
15 Shaker Road
Croy, ME 04039
207-657-6910
FAX: 207-657-6912
E-Mail: mailbox@gorrillpalmer.com

Design:	DER	Date:	SEPT 03
Draft:	CAH	Job No.:	735
Checked:	DER	Scale:	1"=20'
File Name:	735-PBASE		

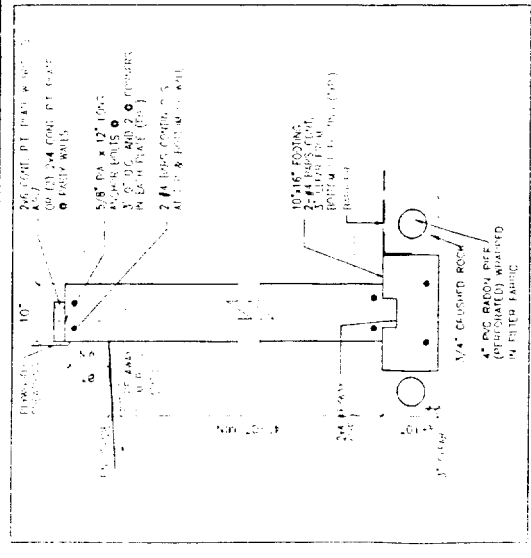
Rev	Date	Revision
-	-	-

	153 TURNER AVE PORTLAND, ME 04103	REVISIONS 1 2 3	DATE: 04/10/04 PROJECT: 153 TURNER AVE DRAWN BY: J. B. BROWN CHECKED BY: J. B. BROWN DRAWING SCALE: AS SHOWN	SHEET TITLE: FLOOR PLANS FRAMING PLAN ROOF PLAN	<h1 style="font-size: 2em;">A-1</h1>
--	--------------------------------------	--------------------------	--	--	--------------------------------------

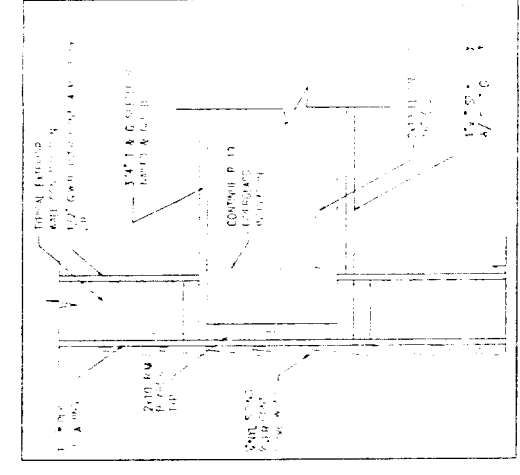




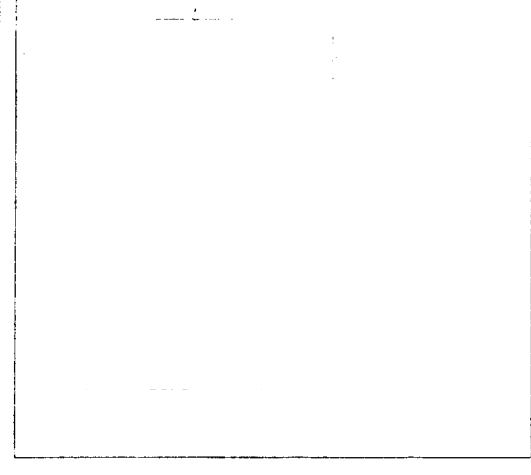
1 THICKENED SLAB DETAIL 1'-0"



3 TYPICAL FOUNDATION WALL



2 FLOOR FRAMING DETAIL



4 HANDRAIL DETAIL

GENERAL NOTES:

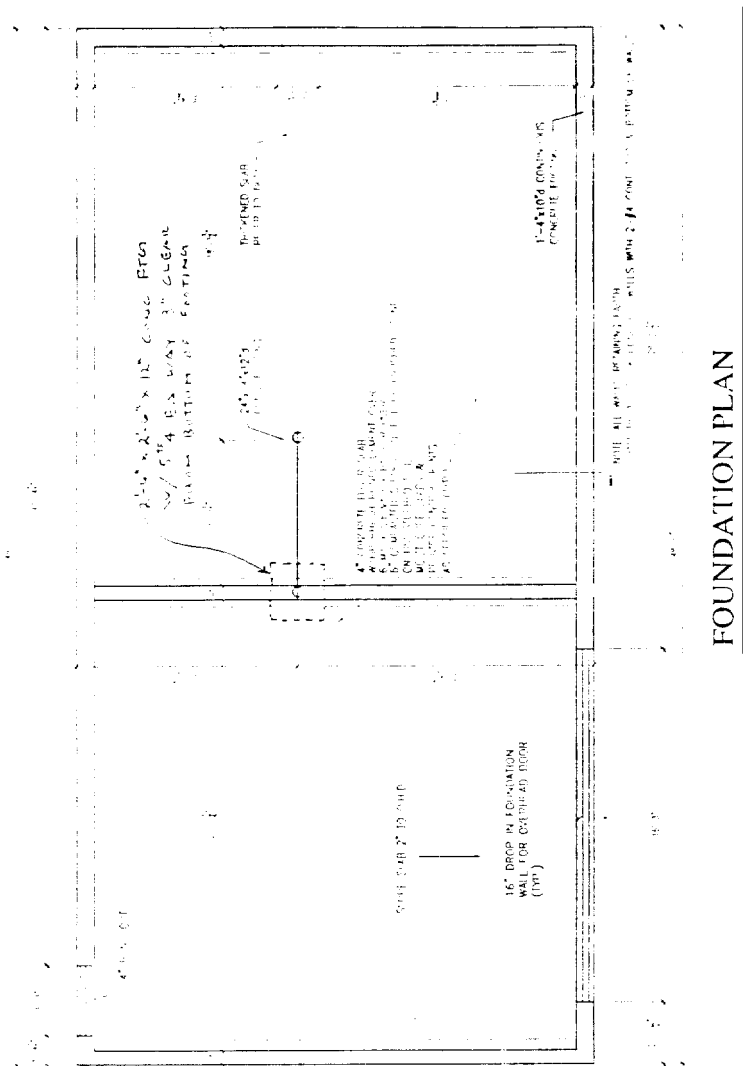
- All work shall be in accordance with the Building Code, Mechanical National Electric Code, Fire State Plumbing Code, and all other applicable codes, standards and regulations.
- All applicable permits shall be obtained from the appropriate authority before construction begins.
- All required City and State permits must be obtained before any construction begins.
- It is the contractor's sole responsibility to determine erection procedures and sequence to be followed. The contractor shall be responsible for obtaining all necessary permits, approvals, and clearances. The contractor shall be responsible for the property of the contractor after completion of the project.
- Structural, Mechanical, Electrical and Plumbing design and installation shall be performed in accordance with local, State and Federal codes.
- All fire ratings indicated shall be continuous to underside of fire rated ceiling or underside of roof deck. Seal all openings & mechanical penetrations with appropriate fire rating material.
- Building shall be completed in accordance with MEA 111 (16) for Fire Alarm and MEA 111 (16) for Smoke Detectors.
- Building shall have approved smoke detector in accordance with MEA 111 (16) for Fire Alarm and MEA 111 (16) for Smoke Detectors.
- Permit for electrical work shall be provided in all cases in accordance with MEA 101. Local authority having jurisdiction needs to provide written requirements.
- Recessed lighting shall be installed in accordance with MEA 111 (16) for Fire Alarm and MEA 111 (16) for Smoke Detectors.
- MECA exception to be in accordance with MEA 111 (16) for Fire Alarm and MEA 111 (16) for Smoke Detectors.

FRAMING NOTES:

- All exterior walls to be 2x6 wood stud walls.
 - 2x6 OC w/ 1/2" G.W.B. AND WATER RESISTIVE BARRIER.
 - APA RATED SHEATHING ON EXTERIOR FACE OF WALL.
- All interior walls to be 2x4 wood stud walls (UNLESS NOTED OTHERWISE) w/ 1/2" G.W.B. EACH SIDE.
- USUAL BRICKING BEHIND ALL BRICK APPLIED EXTERIOR, TOP AND SILLING WHEN MOUNTED ON WALLS.
- THE LOCATION OF ALL EXTERIOR BRICK SHALL BE 4" FROM THE FACE OF THE WALL.

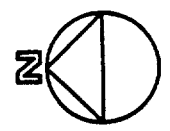
FOUNDATION NOTES:

- ALL EXTERIOR WALLS SHALL BE 4" THICK CONCRETE SLAB ON GRADE WITH 4" MINIMUM COVER.
- SET BOTTOM OF FOOTINGS MIN. 4'-0" BELOW GRADE.
- SET ALL FOOTINGS ON UNPREPARED SOIL OR COMPACTED GRANULAR FILL.
- PAINT FLOOR IN SLAB.
- FIRST FLOOR SLAB SHALL BE 4" THICK CONCRETE SLAB ON GRADE WITH 4" MINIMUM COVER.
- ALL EXTERIOR WALLS SHALL BE 4" THICK CONCRETE SLAB ON GRADE WITH 4" MINIMUM COVER.
- ALL EXTERIOR WALLS SHALL BE 4" THICK CONCRETE SLAB ON GRADE WITH 4" MINIMUM COVER.
- ALL EXTERIOR WALLS SHALL BE 4" THICK CONCRETE SLAB ON GRADE WITH 4" MINIMUM COVER.
- ALL EXTERIOR WALLS SHALL BE 4" THICK CONCRETE SLAB ON GRADE WITH 4" MINIMUM COVER.
- ALL EXTERIOR WALLS SHALL BE 4" THICK CONCRETE SLAB ON GRADE WITH 4" MINIMUM COVER.



FOUNDATION PLAN

avenue



TEST PIT TO CONFIRM ELEVATION OF EXISTING WATER AND SEWER MAIN

TUCKER AVENUE

6" SAN
L=50'
S=0.1340

14' SIDE SETBACK

CURB STOP

3/4" DOMESTIC WATER

2 RED MAPLE OR EQUIVALENT
2 1/2" CALIPER TREES

REFER TO BUILDING PLANS FOR DIMENSIONS

GENERAL NOTES

1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2003.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
7. HOME OWNER RESPONSIBLE FOR LAYOUT OF POWER/TELEPHONE/CABLE.
8. WETLAND LIMITS SHOWN WERE TAKEN FROM SUBDIVISION PLAN FOR TUCKER AVENUE EXTENSION BY SEBAGO TECHNICS. NO ADDITIONAL WETLAND PERMITTING IS REQUIRED AS THERE WILL BE LESS THAN 4,300 S.F. OF IMPACT AND LOT WAS NOT PART OF ORIGINAL SUBDIVISION.

INV. 56.0 MIN.
24' x 48'
2 STORY SINGLE FAMILY RESIDENCE W/ 2 CAR GARAGE

SEE FIGURE 1

30" Sewer Easement (see reference B)

CITY OF PORTLAND
APPROVED SITE PLAN

Subject to Dept. Conditions

Date of Approval: 2-19-04

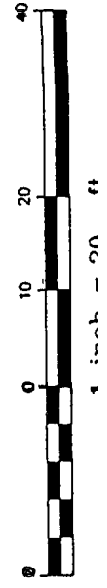
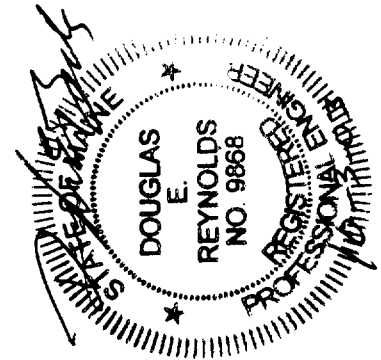


Figure No.

2

Layout and Utility Plan

TUCKER AVENUE, PORTLAND

Drawing Name:

Project

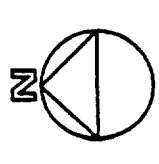
PO Box 1237
15 Shaker Road
Gorham, ME 04039

207-657-6910
207-657-6912
E-Mail: mailbox@gorrillpalmer.com

GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services

Design:	DER	Date:	SEPT 03
Draft:	CAH	Job No.:	735
Checked:	DER	Scale:	1"=20'
File Name: 735-PBASE			

Rev.	Date	Revision



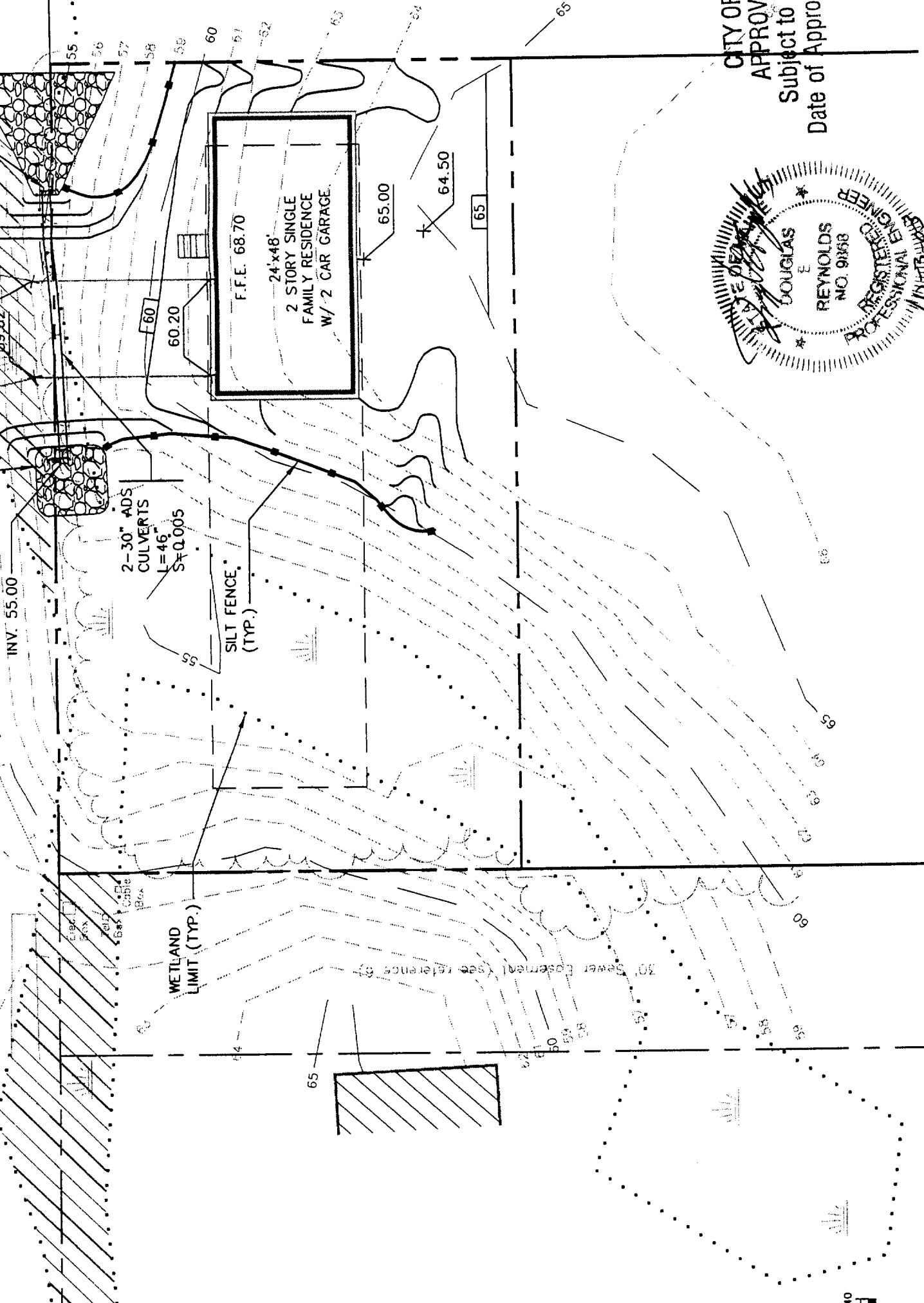
TUCKER AVENUE

Jucker Avenue

Low Point Drainage
on Hydrant Elev = 68.28
(see note 3)

11.5'x11.5' RIPRAP
INLET APRON 14"
PLAIN RIPRAP D₅₀=6"

INV. 54.76
RIP RAP APRON
14" PLAIN RIP RAP,
D₅₀=6", L=20',
W=23'



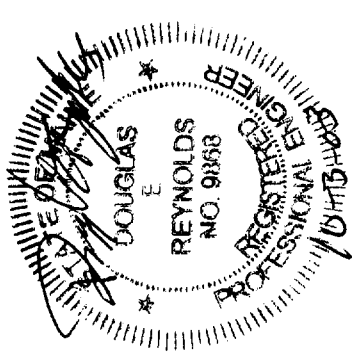
INV. 55.00

2-30" ADS
CULVERTS
L=46'
S=0.005

SILT FENCE
(TYP.)

WETLAND
LIMIT (TYP.)

F.F.E. 68.70
24'x48'
2 STORY SINGLE
FAMILY RESIDENCE
W/ 2 CAR GARAGE.



CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 2-19-04

Design:	DER	Date:	SEPT 03
Draft:	CAH	Job No.:	735
Checked:	DER	Scale:	1"=20'
File Name: 735-PBASE			

Rev.	Date	Revision

GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services

PO Box 1237
15 Shaker Road
Croy, ME 04039
207-657-6910
FAX: 207-657-6912
E-Mail: motbox@gorrillpalmer.com

Drawing Name: Grading and Drainage Plan
Project: TUCKER AVENUE, PORTLAND

Figure No. **3**

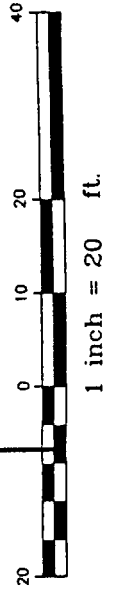


Figure No. **4**

Wetland Fill Plan

TUCKER AVENUE, PORTLAND

Drawing Name:

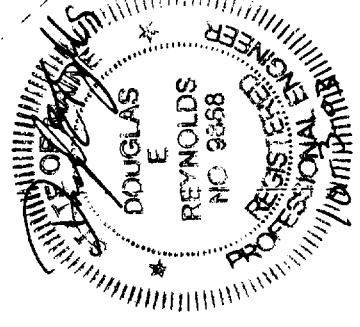
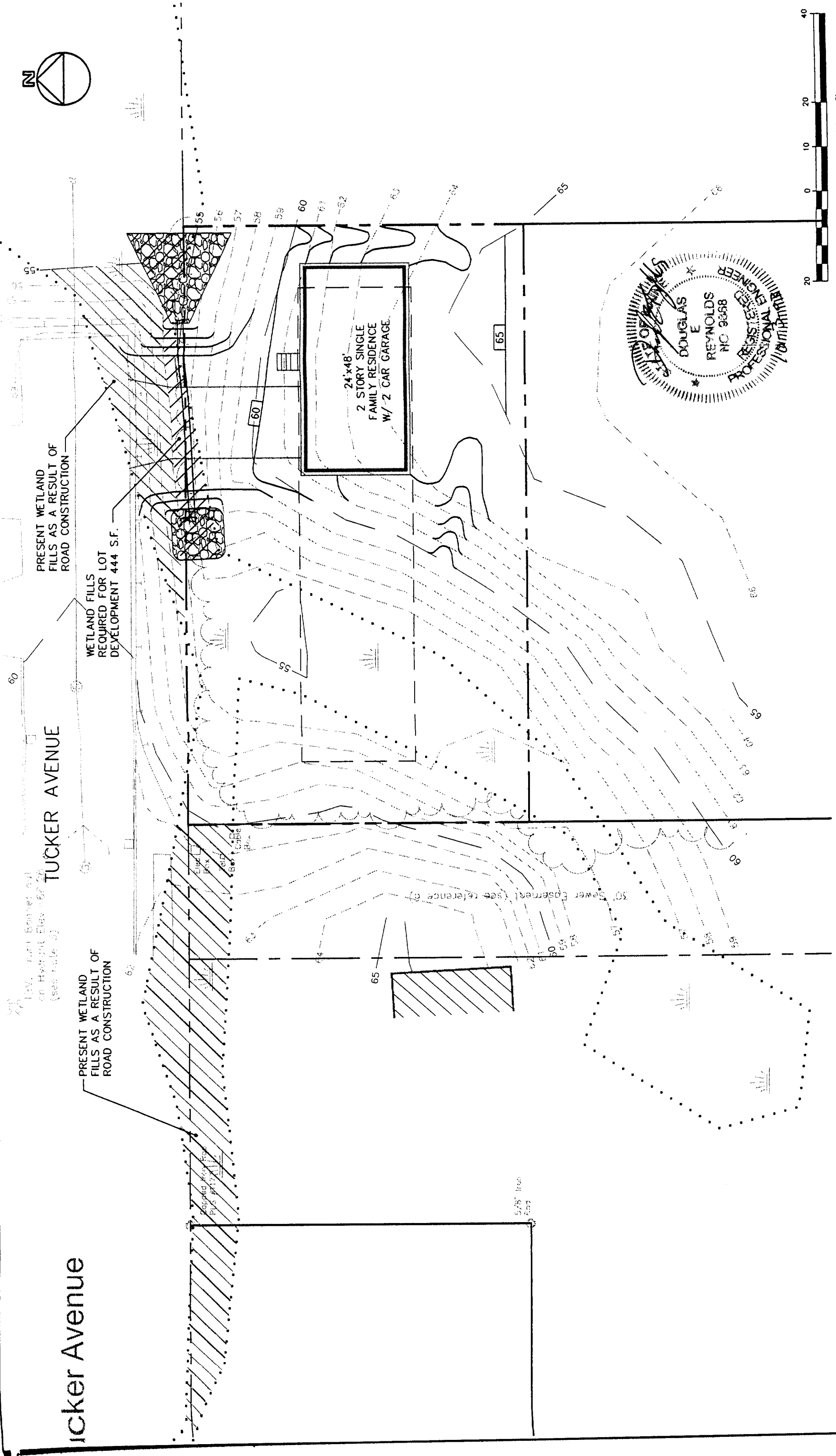
Project:

GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services

PO Box 1237
 15 Shaker Road
 Gray, ME 04039
 207-657-6910
 FAX: 207-657-6912
 E-Mail: mailbox@gorrillpalmer.com

Design:	DER	Date:	SEPT 03
Draft:	CAH	Job No.:	735
Checked:	DER	Scale:	1"=20'
File Name:		735-PBASE	

Rev.	Date	Revision



24'x48'
 2 STORY SINGLE
 FAMILY RESIDENCE
 W/ 2 CAR GARAGE

TUCKER AVENUE

Tucker Avenue

PRESENT WETLAND
FILLS AS A RESULT OF
ROAD CONSTRUCTION

WETLAND FILLS
REQUIRED FOR LOT
DEVELOPMENT 444 S.F.

PRESENT WETLAND
FILLS AS A RESULT OF
ROAD CONSTRUCTION

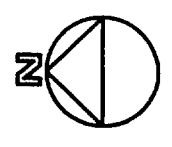
1/4" = 1' (see note 3)
 on Hydrant Elev. 67.24
 (see note 3)

30" Sewer Easement (see reference 6)

669964 (see note 3)
 Elev. 67.17

5.78' High
 5' Foot

venue



TEST PIT TO CONFIRM
ELEVATION OF EXISTING
WATER AND SEWER MAIN

TUCKER AVENUE

IPM: Proj: B, final not
on Hydrant Elev. = 56.28
(see note 3)

6" SAN
L=50'
S=0.1340

8" W

CURB STOP
3/4" DOMESTIC WATER
STEPS
2 RED MAPLE OR EQUIVALENT
2 1/2" CALIPER TREES
REFER TO BUILDING PLANS
FOR DIMENSIONS

SEE FIGURE 1

24'x48'
2 STORY SINGLE
FAMILY RESIDENCE
W/ 2 CAR GARAGE

INV. 56.0 MIN.

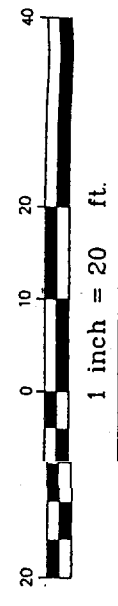
16' PAVED DRIVEWAY

25' FRONT
SETBACK

14' SIDE
SETBACK

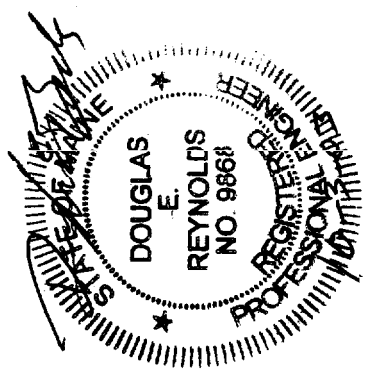
25' REAR
SETBACK

30" Sewer Easement (see reference b)



GENERAL NOTES

1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2003.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
7. HOME OWNER RESPONSIBLE FOR LAYOUT OF POWER/TELEPHONE/CABLE.
8. WETLAND LIMITS SHOWN WERE TAKEN FROM SUBDIVISION PLAN FOR TUCKER AVENUE EXTENSION BY SEBAGO TECHNICS. NO ADDITIONAL WETLAND PERMITTING IS REQUIRED AS THERE WILL BE LESS THAN 4,300 S.F. OF IMPACT AND LOT WAS NOT PART OF ORIGINAL SUBDIVISION.

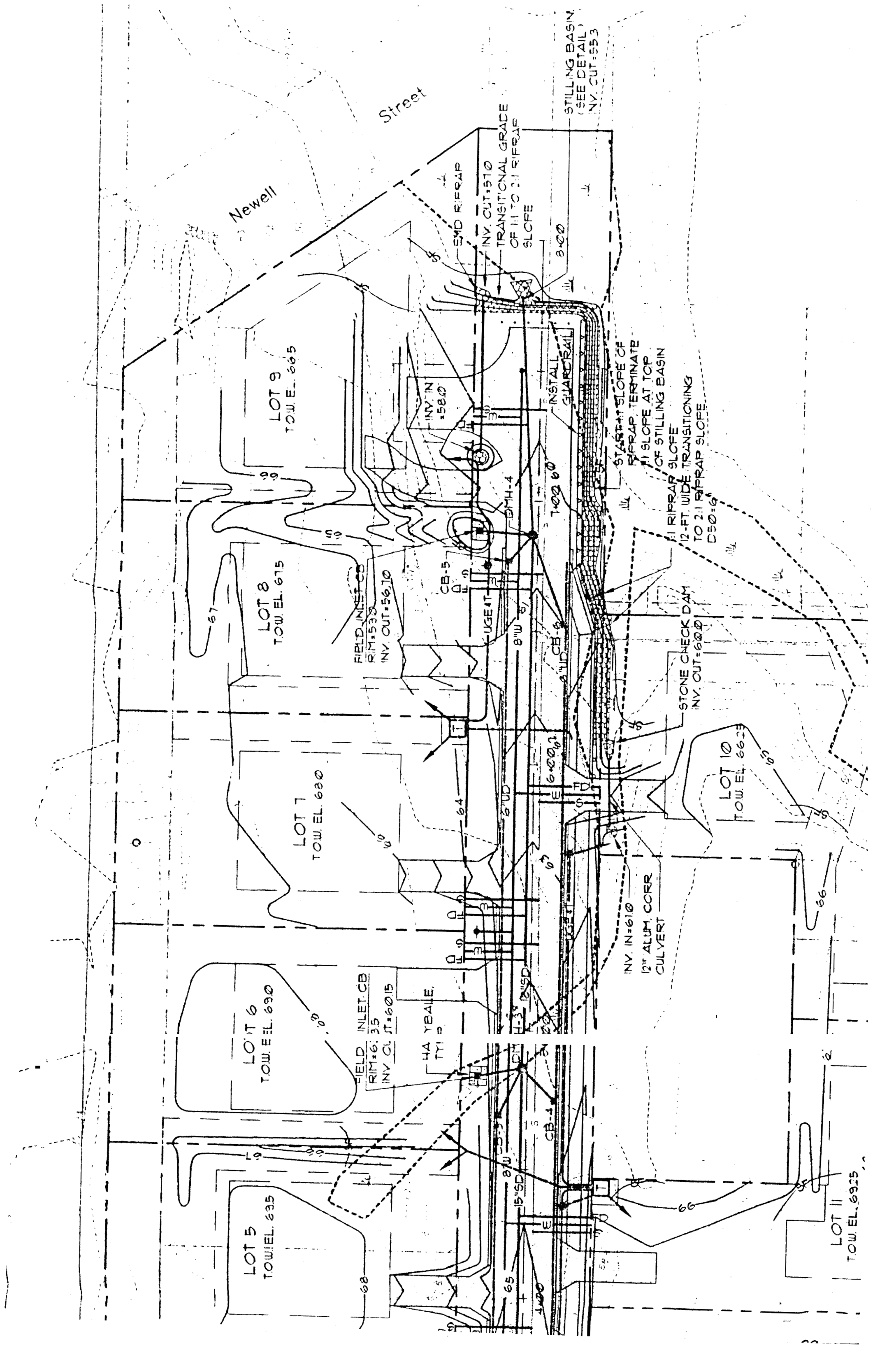


Design:	DER	Date:	SEPT 03
Draft:	CAH	Job No.:	735
Checked:	DER	Scale:	1"=20'
File Name:		735-PBASE	

Rev.	Date	Revision

GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services
PO Box 1237
15 Shaker Road
Gray, ME 04039
207-657-6910
FAX: 207-637-6912
E-Mail: mail@gorrillpalmer.com

Drawing Name: **Layout and Utility Plan**
Project: **TUCKER AVENUE, PORTLAND**
Figure No. **2**



Newell

Street

LOT 9
TOW. EL. 665

LOT 8
TOW. EL. 675

LOT 7
TOW. EL. 680

LOT 6
TOW. EL. 690

LOT 5
TOW. EL. 635

LOT 10
TOW. EL. 6625

LOT 11
TOW. EL. 6925

FIELD INLET CB
RIM 53.9
INV. OUT 56.10

FIELD INLET CB
RIM 6.35
INV. CL JT 60.15

HA YBASE
TY 1.2

END RIPRAP
INV. CUT 57.0
TRANSITIONAL GRADE
OF 1:1 TO 2:1 RIPRAP
SLOPE

STILLING BASIN
(SEE DETAIL)
NY CUT 553

START SLOPE OF
RIPRAP TERMINATE
1:1 SLOPE AT TOP
OF STILLING BASIN

1:1 RIPRAP SLOPE
12-FT. WIDE TRANSITIONING
TO 2:1 RIPRAP SLOPE
D50=6'

STONE CHECK DAM
INV. OUT 60.0

INV. IN 61.0
12" ALUM. CORR
CULVERT

INSTALL
GUARDSAIL

UGRAT

HA YBASE
TY 1.2

END RIPRAP

INV. IN 58.0

CB-5

UGRAT

CB-5

UGRAT

HA YBASE
TY 1.2

CB-4

CB-1

HA YBASE
TY 1.2

15" SD

8" W

15" SD

8" W

15" SD

8" W

15" SD

8" W

15" SD

8" W

7'0" 6'0"

8" W

8" W

8" W

8" W

8" W

8" W

8" W

8" W

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0

3'0" 0