

## SPACE AND BULK REQUIREMENTS - R-2 ZONE

MINIMUM LOT SIZE: 10,000 S.F.

MINIMUM FRONTAGE: 50 FT.

**MINIMUM SETBACKS**

FRONT YARD 25 FT.

REAR YARD 25 FT.

**SIDE YARD\***

1 STORY ~~8~~ FT.

1 1/2 STORY ~~8~~ FT.

2 STORY ~~14~~ FT.

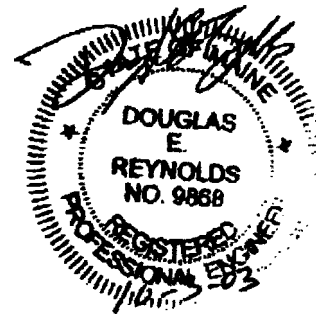
2 1/2 STORY 16 FT.

12 ft  
14 ft

MINIMUM LOT WIDTH: 80 FT.

- THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED. BUT NO SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET IN WIDTH.

THE SIDE YARDS SHOW ON THE FOLLOWING FIGURES ARE BASED UPON A 2 STORY STRUCTURE AND MAY BE INCREASED OR DECREASED DEPENDING UPON THE NUMBER OF STORIES.

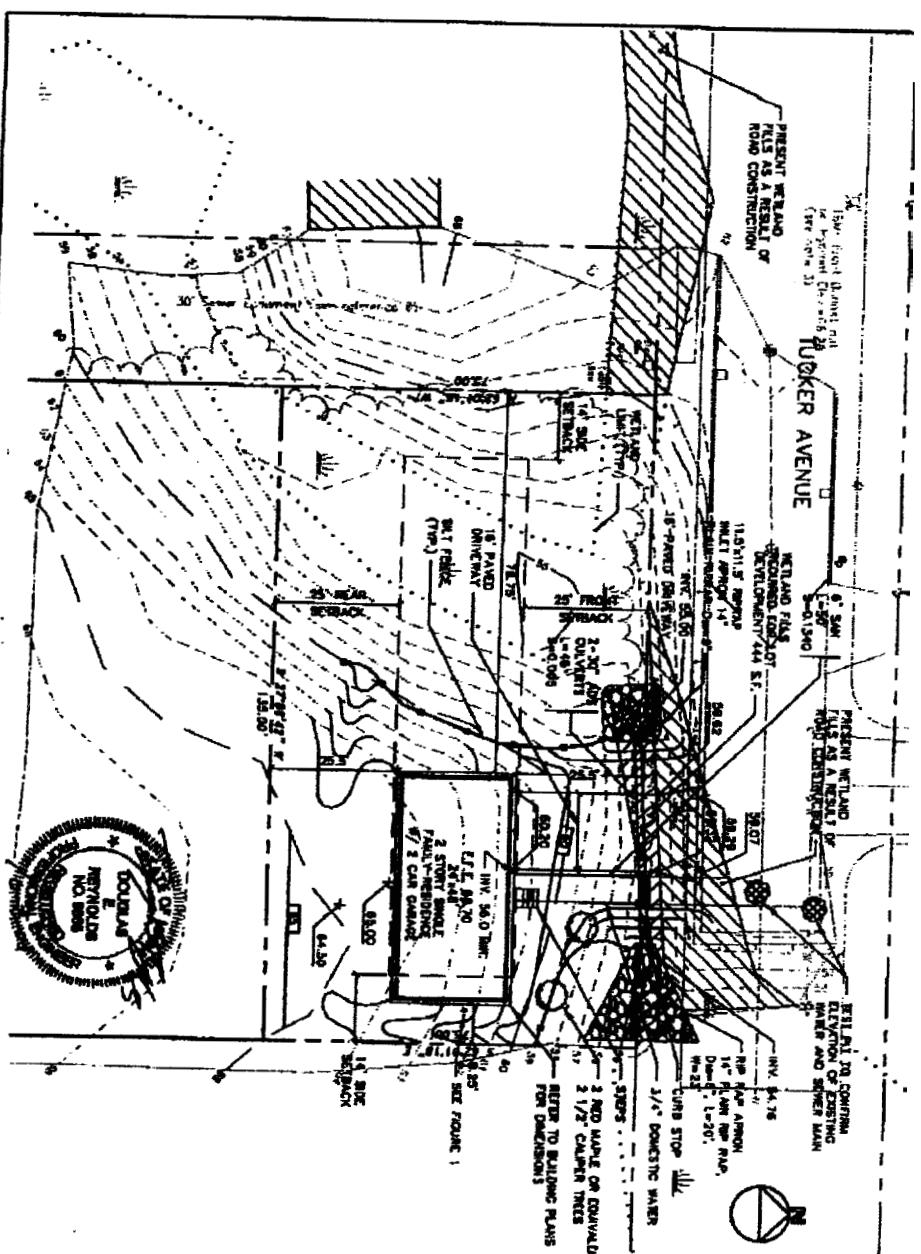


Design: BEN	Date: SEPT 03
Draft: CMH	Job No.: 735
Checked: MSP	Scale: NTS
File Name: 735-PMSE.DWG	

**GP** Traffic and Civil Engineering Services  
 PO Box 1237, 15 Shaker Road  
 Gray, ME 04039  
 207-657-8810

Drawing Name: **Space & Bulk Requirements**  
 Project: **TUCKER AVENUE, PORTLAND**

Figure No. **1**



**VERTICAL NOTES**

1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE SHOWN UNLESS OTHERWISE NOTED. SURVEY CONDUCTED BY TUCKER ASSOCIATES IN 2004.
2. THE CONTRACTOR IS SPECIFICALLY ADVISED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHILE POSSIBLE MEASUREMENTS WERE MADE IN THE FIELD, THIS INFORMATION IS NOT TO BE CONSIDERED AS A GUARANTEE OF ACCURACY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL REQUEST EXACT FIELD LOCATIONS OF ALL UTILITIES FROM THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES WHICH ARE LOCATED WITHIN THE PROJECT BOUNDARIES SHOWN ON THESE PLANS.
3. MAINTENANCE OF DESIGN CONFORMS TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, AS APPLICABLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE PORTLAND ENGINEERING DEPARTMENT. ALL NECESSARY PERMITS SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES WHICH ARE LOCATED WITHIN THE PROJECT BOUNDARIES SHOWN ON THESE PLANS.
4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, AS APPLICABLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE PORTLAND ENGINEERING DEPARTMENT. ALL NECESSARY PERMITS SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES WHICH ARE LOCATED WITHIN THE PROJECT BOUNDARIES SHOWN ON THESE PLANS.
5. ALL SETBACKS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND ENGINEERING DEPARTMENT AND DESIGN STANDARDS AND SPECIFICATIONS.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, AS APPLICABLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE PORTLAND ENGINEERING DEPARTMENT. ALL NECESSARY PERMITS SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES WHICH ARE LOCATED WITHIN THE PROJECT BOUNDARIES SHOWN ON THESE PLANS.
7. HOME OWNER RESPONSIBLE FOR LAYOUT OF POWER/TELEPHONE/CABLE.
8. WETLAND LIMITS SHOWN WERE TAKEN FROM THE PORTLAND ENGINEERING DEPARTMENT AND CITY OF PORTLAND RECORDS. WHILE POSSIBLE MEASUREMENTS WERE MADE IN THE FIELD, THIS INFORMATION IS NOT TO BE CONSIDERED AS A GUARANTEE OF ACCURACY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL REQUEST EXACT FIELD LOCATIONS OF ALL UTILITIES FROM THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES WHICH ARE LOCATED WITHIN THE PROJECT BOUNDARIES SHOWN ON THESE PLANS.

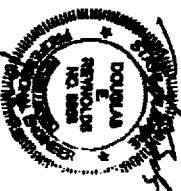
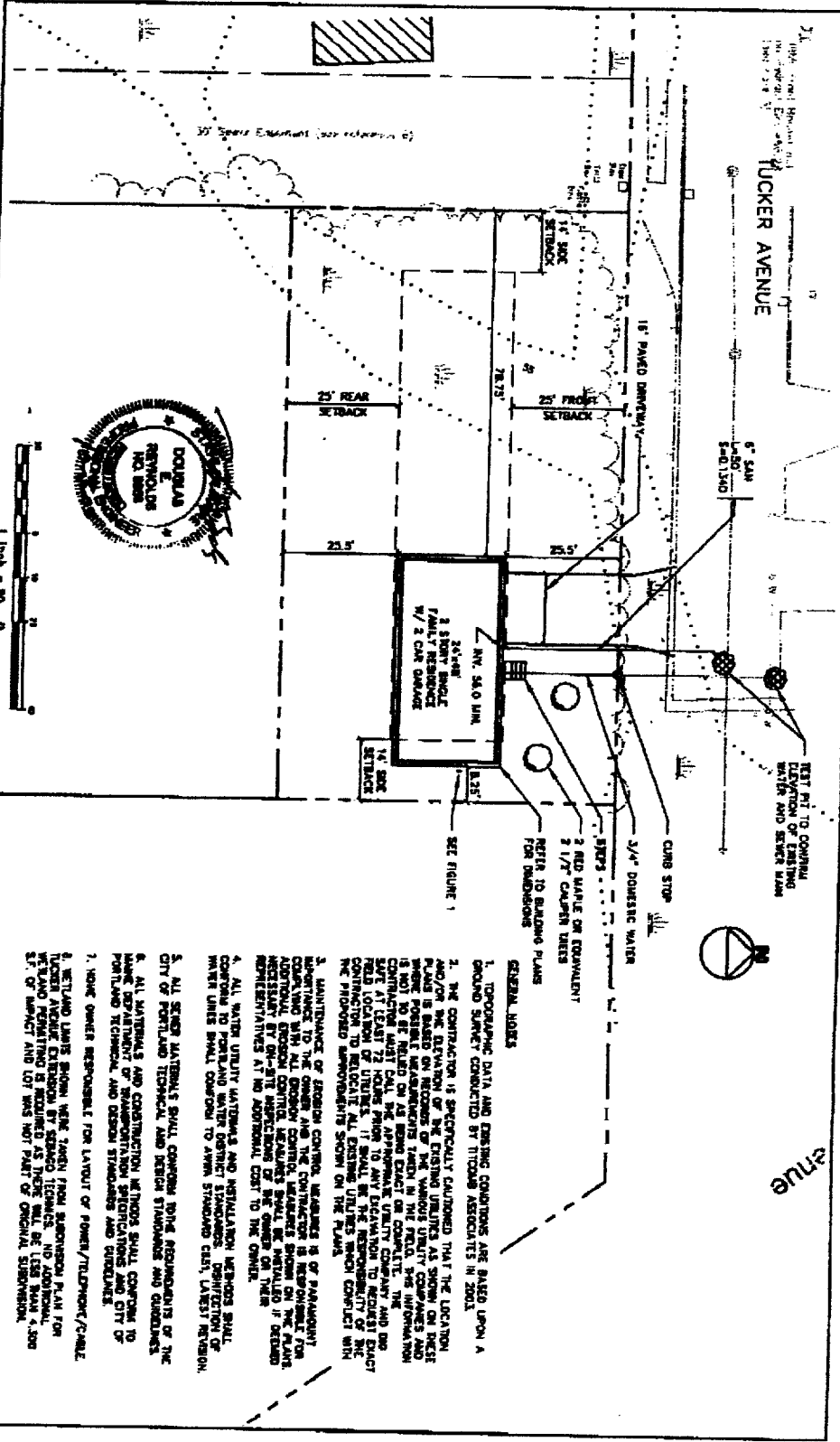
DATE	DESCRIPTION

DATE	DESCRIPTION

**GP** Gerald Palmer Consulting Engineers, Inc.  
 Traffic and Civil Engineering Services  
 2100 N. W. 10th St.  
 Portland, Oregon 97209  
 Phone: 503.253.1100  
 Fax: 503.253.1101  
 Website: www.gpcorp.com

Site, Grading & Wetland Fill Plan  
 TUCKER AVENUE, PORTLAND

1/4" = 1'-0" (SEE SCALE)  
 TUCKER AVENUE



1 inch = 20 ft

**GENERAL NOTES**

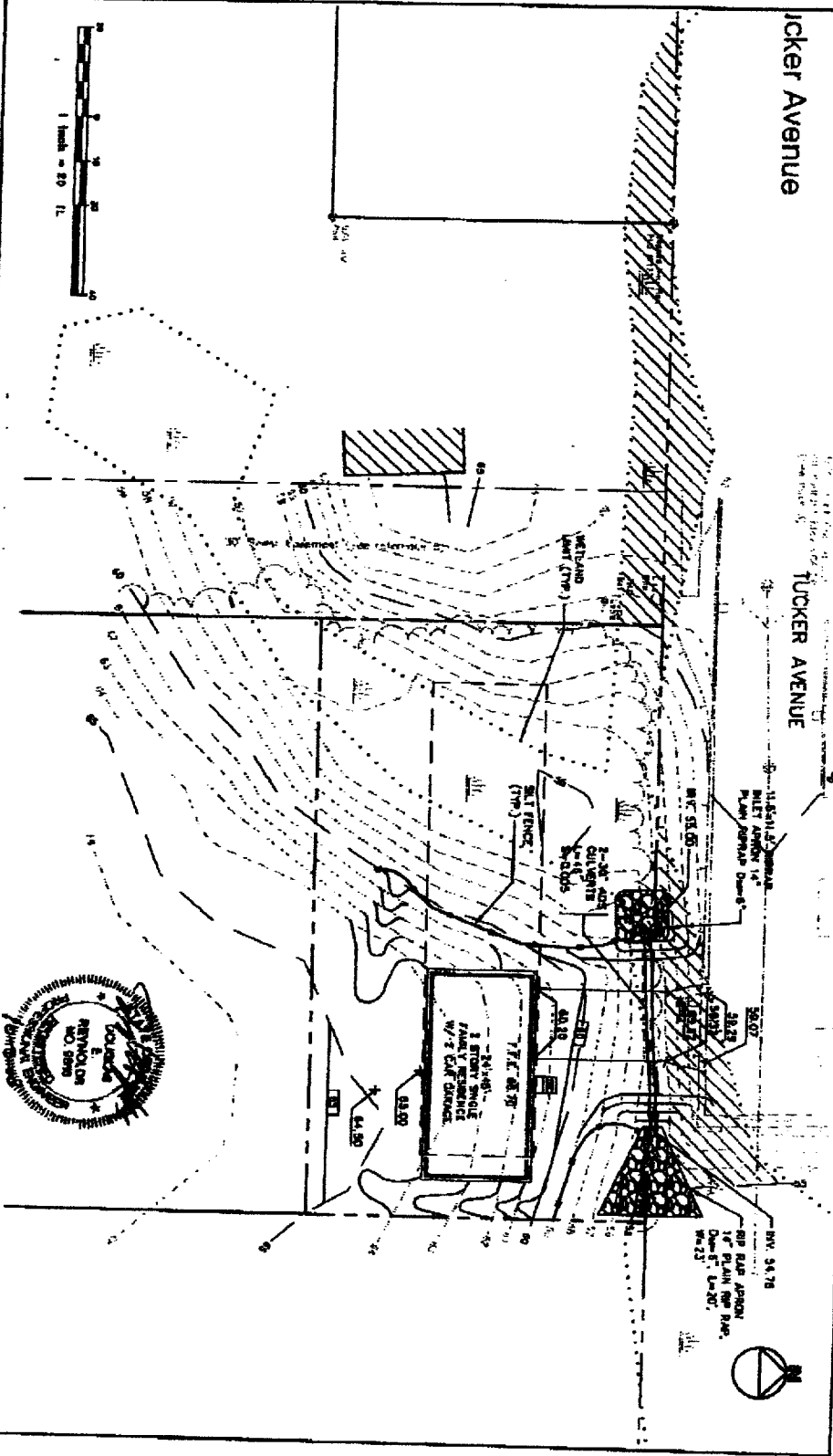
1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2003.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE DEPTH OF ANY EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS AND FIELD SURVEY DATA. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY EXCAVATION OR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE UTILITY COMPANIES AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS. ALL UTILITIES SHALL BE PROTECTED AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ANY UTILITIES DAMAGED DURING THE PROJECT.
3. MAINTENANCE OF EXISTING CONTROL MEASUREMENTS IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL CONTROL MEASUREMENTS SHOWN ON THESE PLANS. ADDITIONAL EXISTING CONTROL MEASUREMENTS SHALL BE ESTABLISHED IF DELETED MEASUREMENTS ARE IN ADDITIONAL COST TO THE OWNER.
4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PERMITS AND THE DOMESTIC STANDARDS, SPECIFICATION OR WATER UTILITIES SHALL CONFORM TO APPLICABLE STANDARDS, SPECIFICATIONS, AND METHODS.
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
7. THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PORTLAND AND THE PORTLAND WATER BUREAU.
8. WETLAND LIMITS SHOWN WERE TAKEN FROM A SUBSEQUENT PLAN FOR TUCKER AVENUE EXTENSION BY SERRA CONSULTING ENGINEERS, INC. (SEE PERMITTING RECORDS FOR THESE PLANS). THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ANY EXISTING UTILITIES AND THE LOCATION AND DEPTH OF ANY EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

**GP** Correll-Palmer Consulting Engineers, Inc.  
 Traffic and Civil Engineering Division  
 2200 NE Oregon Street, Suite 200  
 Portland, Oregon 97232  
 Phone: 503-241-1100  
 Fax: 503-241-1101  
 Website: www.correllpalmer.com

Layout and Utility Plan  
 TUCKER AVENUE, PORTLAND

Jacker Avenue

TUCKER AVENUE



DATE	BY	CHKD

NO.	DATE	BY	CHKD

**GP** Gerrit-Palmer Consulting Engineers, Inc.  
 Traffic and Civil Engineering Services

Grading and Drainage Plan  
 TUCKER AVENUE, PORTLAND.

Sheet No. 3

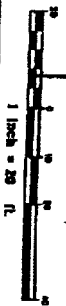
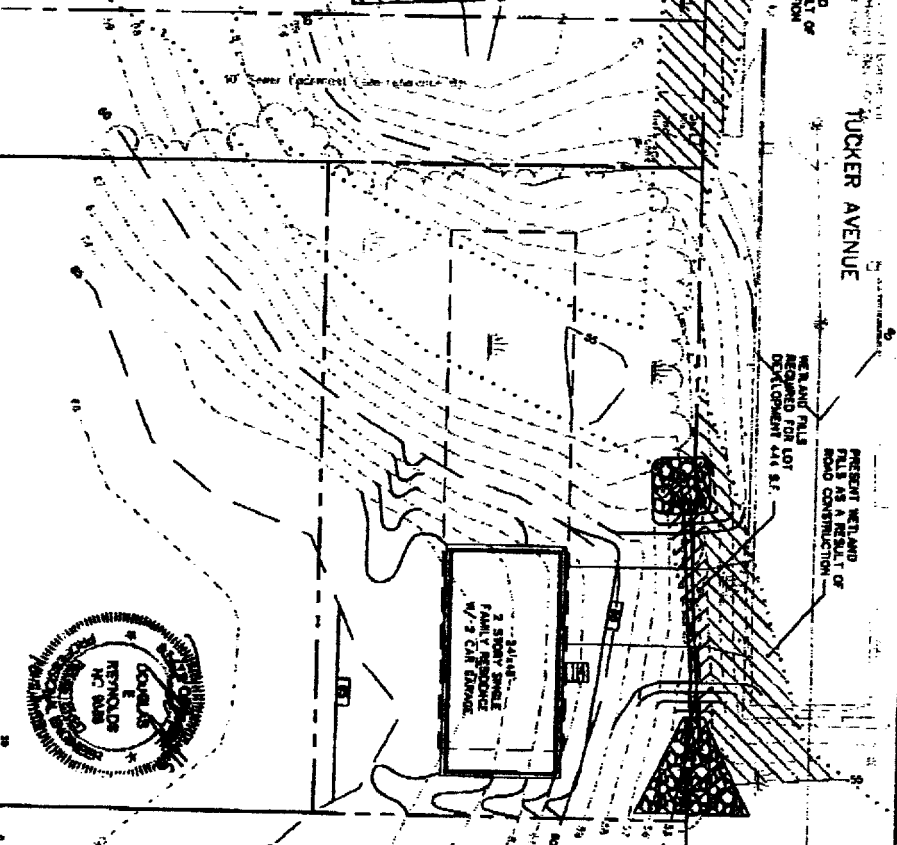
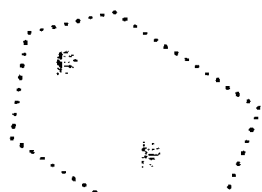
Jacker Avenue

PRESERVE WETLAND  
FILLS AS A RESULT OF  
ROAD CONSTRUCTION

TUCKER AVENUE

PRESERVE WETLAND  
FILLS AS A RESULT OF  
ROAD CONSTRUCTION

3.85 AC. WETLAND  
FILLS AS A RESULT OF  
ROAD CONSTRUCTION  
W/2 C&I EXPOSED



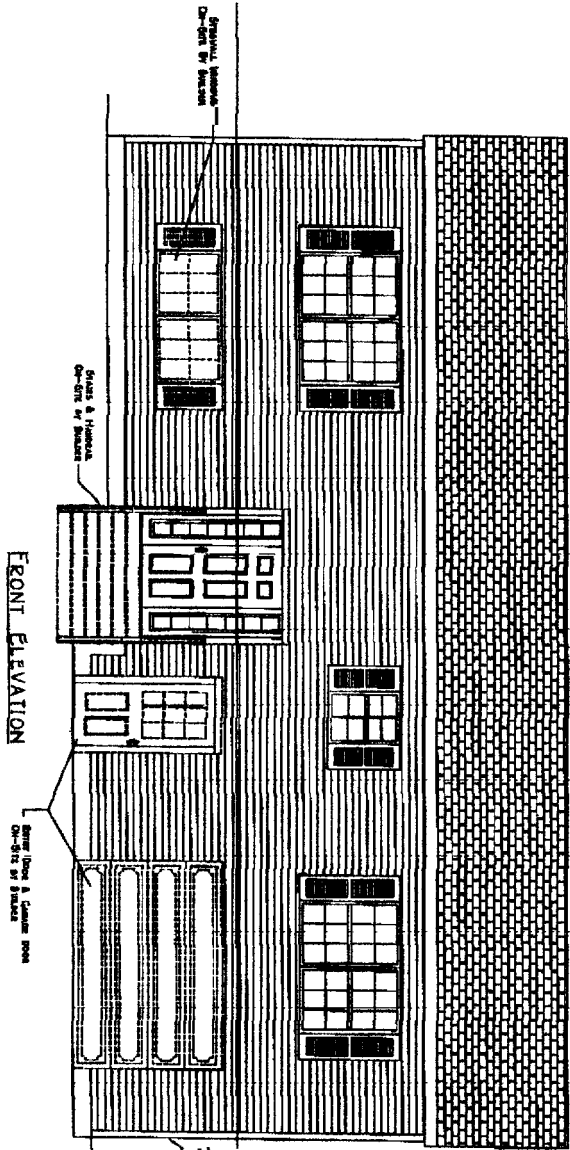
Project No.	100-100-000
Sheet No.	4
Date	10/1/78
Scale	1" = 20'

Author	GP
Checked	GP
Drawn	GP
Scale	1" = 20'

**GP** Corbett-Palmer Consulting Engineers, Inc.  
 Wetland and Civil Engineering Services  
 714 N. 1st St.  
 Portland, Oregon 97208  
 Phone: 503-228-1111  
 Telex: 503000 GP

Wetland Fill Plan  
 TUCKER AVENUE, PORTLAND

Sheet No. 4



**IMPORTANT NOTE**  
 DO NOT HOLD RESPONSIBILITY FOR ANY DAMAGE TO PROPERTY OR PERSONS OR ANY OTHER CONSEQUENCES THAT MAY BE INCURRED BY THE USER OF THIS DESIGN. THE USER OF THIS DESIGN IS ADVISED THAT THIS DESIGN IS NOT TO BE USED FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN PERMISSION OF WATERFORD HOMES. THIS DESIGN IS COPYRIGHTED.

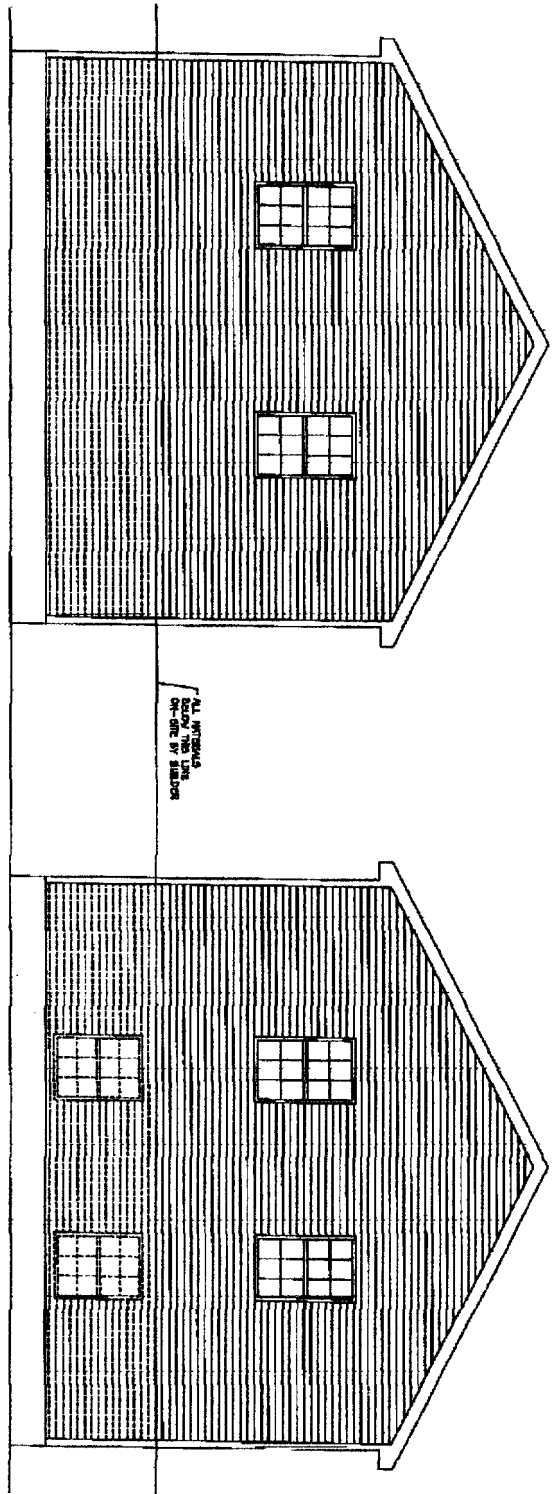
NO.	REVISIONS	DATE	BY

**WATERFORD HOMES**  
 1000 WATERFORD DRIVE  
 PORTLAND, MAINE 04106

**TEAL**  
 CUSTOMER  
 PORTLAND, MAINE

DATE: 08/16/2004  
 TIME: 11:54 AM

PROJECT NO: Q-120-04  
 SHEET NO: EV1



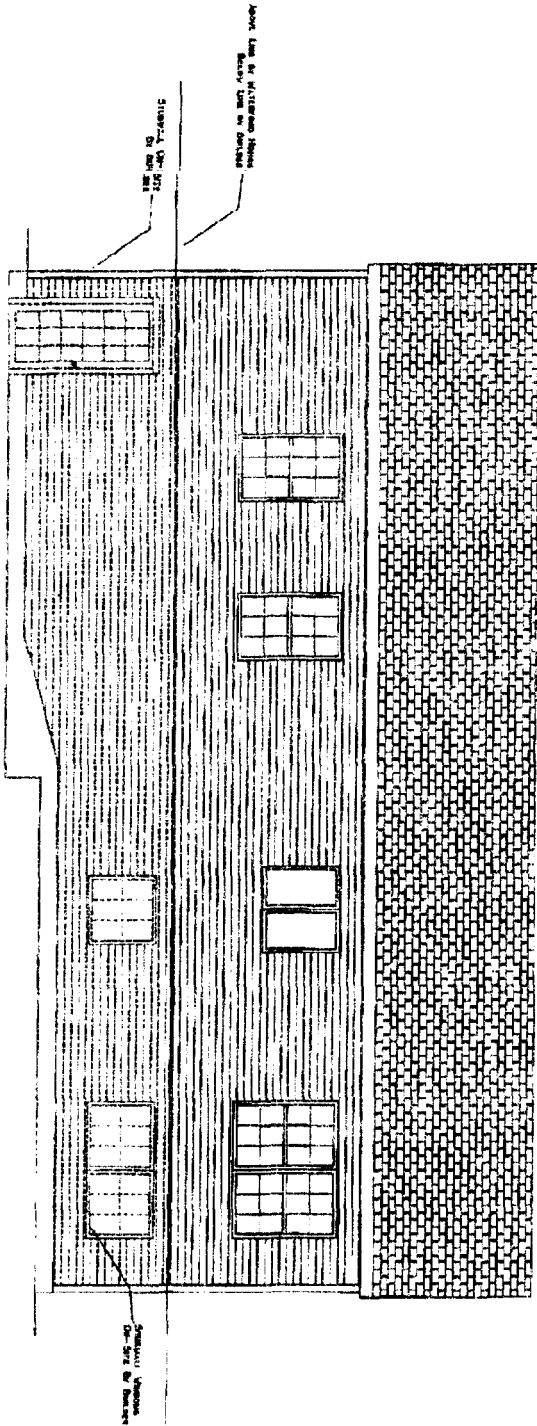
LEFT ELEVATION

RIGHT ELEVATION

ALL WINDOWS  
SHOW THE LINE  
ON-SITE BY HAND

DISCLAIMER NOTE		REVISIONS		WATERFORD HOMES		Total		PLANNER DATE		TRK	
<p>DO NOT SCALE DRAWINGS. ALL DIMENSIONS MUST BE SHOWN ON SITE IN CONNECTION WITH THE CONSTRUCTION OF THE PROJECT. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS OF THE PROJECT. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS OF THE PROJECT. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS OF THE PROJECT. THIS DESIGN IS COPYRIGHTED.</p>		NO.	DATE	<p><b>WATERFORD HOMES</b> A Division of The Home Depot</p>		<p>PLANNER</p>	<p>DATE</p>	<p>NO.</p>	DATE	<p>TRK</p>	<p>DATE</p>
1						CUSTOMER		0-120-04			EV3

REAR ELEVATION



THIS DRAWING IS THE PROPERTY OF WATERFORD HOMES, INC. ALL DIMENSIONS, SPECIFICATIONS, AND NOTES ARE TO BE USED IN CONNECTION WITH THIS DRAWING. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WATERFORD HOMES, INC. IS NOT RESPONSIBLE FOR ANY DAMAGE TO PROPERTY OR PERSONS ARISING FROM THE USE OF THIS DRAWING. WATERFORD HOMES, INC. IS NOT RESPONSIBLE FOR ANY DAMAGE TO PROPERTY OR PERSONS ARISING FROM THE USE OF THIS DRAWING. THIS DRAWING IS THE PROPERTY OF WATERFORD HOMES, INC.

ELEVATIONS		
NO.	DESCRIPTION	DATE



TECH	BOULLIER
DESIGNER	CLAYTON
DATE	
CHECKED	
DATE	

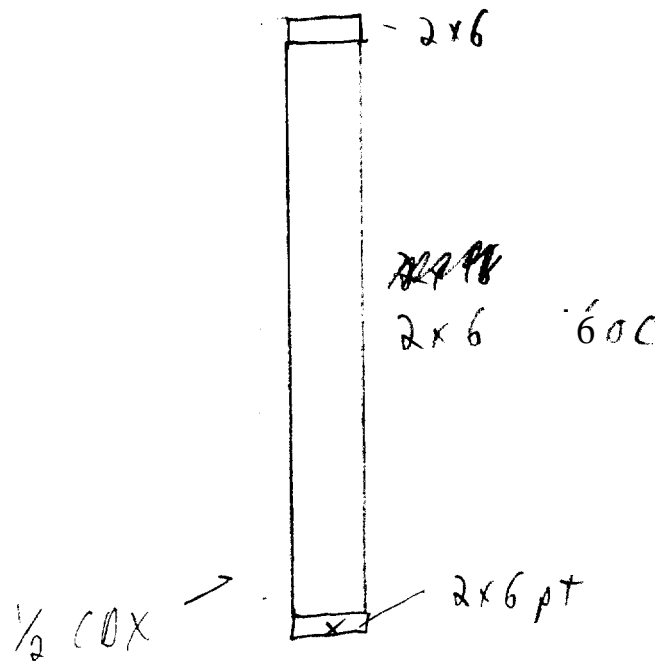
PROJECT NO.	1006
DATE	
SCALE	
SHEET	

EV2

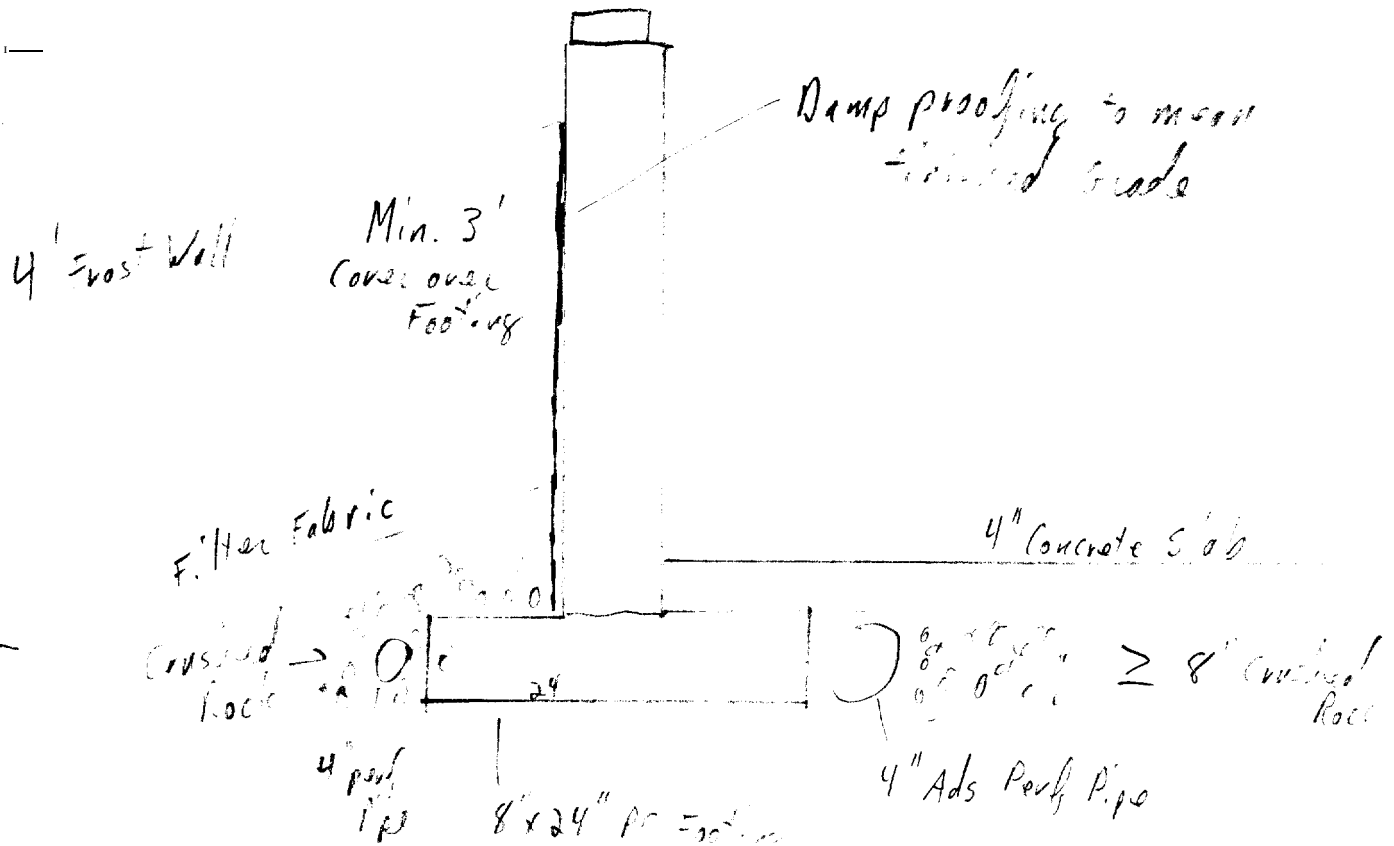
~~899-7708~~  
899-7708



# Knee Wall



# Foundation drainage & damp proofing



Applicant:

Bill Dowd

Date: ~~10/17/03~~ 9/16/04

Address:

~~153~~ 153 Tucker Avenue

C-B-I: 330-D-005, 6, 7, 8

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New construction

# ~~03-1246~~ → Never Built  
04-1326

Zone Location - R-2

Interior or corner lot -

Proposed Use/Work - to construct New 24x48 split foyer single family residence with 2 car garage under NO REAR DECKS

Sevage Disposal - City

Lot Street Frontage - 50' min req - 135' shown

Front Yard - 25' min req - 25.5' shown

Rear Yard - 25' min req - 25.5' shown

Side Yard - Normally 14' req on both sides - However, may reduce one side to NO more than 12' if driveway required. If taken, it must be added to the other side. ~~12.2'~~ 7' 7.5' shown  
2 story  
revised plan 9/15/04

Projections - front stoop 4'x5' - projection into the front yard OK per 14-425. No more than 50" (20" shown) & project no more than 5' (5' shown) OK

Width of Lot - 80' min - 135' shown

Height - 35' MAX - 23' scaled to ridge

Lot Area - 10,000<sup>sq ft</sup> min - 10,125<sup>sq ft</sup> given

Lot Coverage/ Impervious Surface - 20% MAX = 2,025<sup>sq ft</sup> MAX

Area per Family - 10,000<sup>sq ft</sup> ~~210,125<sup>sq ft</sup> given~~

24x48 = 1152<sup>sq ft</sup>  
4x5 = 20<sup>sq ft</sup>  
1172<sup>sq ft</sup>

Off-street Parking - 2 SPACES req - 2 shown in GARAGE

Loading Bays - N/A

Site Plan - minor/minor #2003-0237 - all in effect file 2/19/025

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel one Zone C

- 14-403 Street - Needs to extend to end of property  
Public Works funding?

← recorded variance received → VARIANCE APPEAL granted 2/5/04 15'-20' of road NOT required to be extended

revised plans

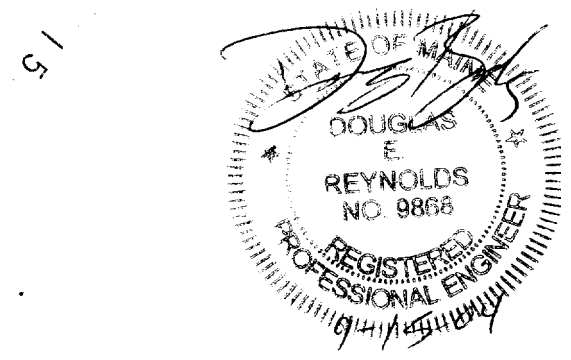
### SPACE AND BULK REQUIREMENTS – R – 2 ZONE

MINIMUM LOT SIZE:	10,000 S.F.
MINIMUM FRONTAGE:	50 FT.
MINIMUM SETBACKS:	
FRONT YARD	25 FT.
REAR YARD	25 FT.
SIDE YARD*	
1 STORY	12 FT.
1 1/2 STORY	12 FT.
2 STORY	14 FT.
2 1/2 STORY	16 FT.
MINIMUM LOT WIDTH:	80 FT.

153 Tucker  
409-0507  
Neil Adams  
#041326

\* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN TWELVE (12) FEET IN WIDTH.

THE SIDE YARDS SHOWN ON THE FOLLOWING FIGURES ARE BASED UPON A 2 STORY STRUCTURE AND MAY BE INCREASED OR DECREASED DEPENDING UPON THE NUMBER OF STORIES.



Design: DER	Date: SEPT 03
Draft: CAH	Job No.: 735
Checked: AMP	Scale: NTS
File Name: 735-PBASE.DWG	

**GP** Traffic and Civil Engineering Services  
 PO Box 1237, 15 Shaker Road  
 Gray, ME 04039  
 207-657-6910

Drawing Name: **Space & Bulk Requirements**  
 Project: **TUCKER AVENUE, PORTLAND**

Figure No.  
**1**



CITY OF PORTLAND

CERTIFICATE OF VARIANCE APPROVAL

Patric Santerre, the duly appointed Chair of the Board of Appeals for the City of Portland, Cumberland County and State of Maine, hereby certify that on the 5<sup>th</sup> day of February, 2004, the following variance was granted pursuant to the provisions of M.R.S.A. Section 4353(5) and the City of Portland's Code of Ordinances.

1. **Current Property Owner: W & CLLC**
2. **Property: Cumberland County Registry of Deeds Book 18751, Page 211**  
(last recorded January 1, 2003 Deed in Chain of Title)  
145-153 Tucker Ave, Portland, ME CBL: 330-D-005 thru 008
3. **Variance and Conditions of Variance:**  
To allow for relief from Section 14-403 of the Zoning ordinance in regards to the minimum requirements for street improvements on lots that abut any portion of a street which is not permanently paved. The relief granted was to allow the approximate existing 115 feet of paved frontage rather than the entire frontage of the approximate 135 feet to be paved.

WITNESS WHEREOF, I have hereto set my hand and seal this

12th day of February, 2004  
City of Portland

Patric Santerre, Chair

PATRIC SANTERRE  
(Printed or Typed Name)

STATE OF MAINE  
Cumberland, ss.

Then personally appeared the above-named **Patric Santerre** and acknowledged the above certificate to be his free act and deed in his capacity as temporary Chairman of the Portland Board of Appeals.

Received  
Recorded Register of Deeds  
Mar 02, 2004 03:22:03P  
Cumberland County  
D O'Brien

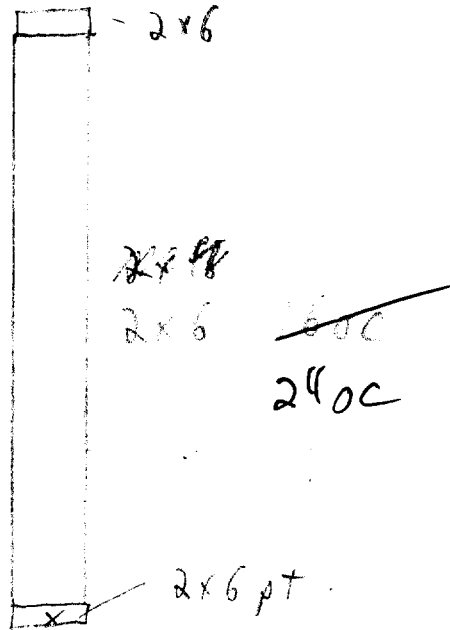
SEAL  
Marge Schmalzer  
(Printed or Typed Name)  
my term expires Jan 28, 2005 Notary Public  
MARGE SCHMALZER

PURSUANT TO 30-A M.R.S.A. SECTION 4353(5), THIS CERTIFICATE MUST BE RECORDED BY THE PROPERTY OWNER IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS WITHIN 90 DAYS FROM FINAL WRITTEN APPROVAL FOR THE VARIANCE TO BE VALID. FURTHERMORE, THIS VARIANCE IS SUBJECT TO THE LIMITATIONS SET FORTH IN

389 Congress St Portland, Maine 04101 (207) 874-8730 FAX 874-8949 TTY 874-8936

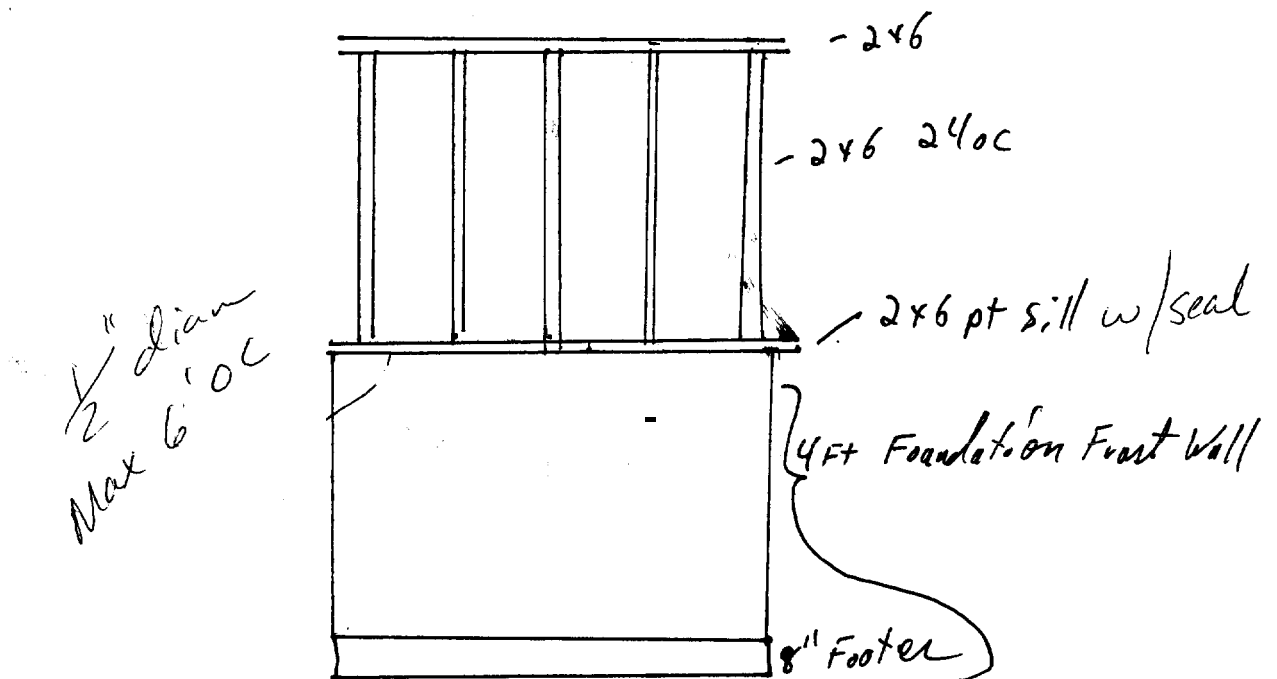
409-0507  
Neal Adams  
153 Tucker Ave  
Permit #  
041326

# Knee Wall



SEP 29 2009  
11:11 AM

# Lower level Wall



**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-1246	Issue Date:	CBL: 330 D005001
-----------------------	-------------	---------------------

Location of Construction: Tucker Ave	Owner Name: W & C Llc	Owner Address: Po Box 10127	Phone: 207, 874, 008
Business Name:	Contractor Name: Bill Dowd	Contractor Address: 17 Westland Ave Portland	Phone: 2077736250
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R2

Past Use: vacant land	Proposed Use: Single family dwelling: 24' x 48' split foyer with 2 car garage under	Permit Fee: \$690.00	Cost of Work: \$66,000.00	CEO District: 1
		FIRE DEPT: N/A	INSPECTION: Use Group: R3 Type: 5B BOCA 1999	

**Proposed Project Description:**  
Build new 24' x 48' split foyer single family residence with 2 car garage under

Signature:	Signature:
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
Signature:	Date:

Permit Taken By: kwd	Date Applied For: 10/14/2003	<b>Zoning Approval</b>	
-------------------------	---------------------------------	------------------------	--

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p><b>Special Zone or Reviews</b></p> <p><input type="checkbox"/> Shoreland <i>N/A</i></p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone <i>Panel 1 Zone C</i></p> <p><input type="checkbox"/> Subdivision</p> <p><input checked="" type="checkbox"/> Site Plan <i>2003-0213</i></p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/></p> <p><i>ok with conditions</i></p> <p>Date: <i>3/2/10/04</i></p>	<p><b>Zoning Appeal</b></p> <p><input checked="" type="checkbox"/> Variance <i>From A-403 to extend Tucker Ave</i></p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input checked="" type="checkbox"/> Approved <i>2/5/04</i></p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p><b>Historic Preservation</b></p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>S</i></p>
	Never Built		

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

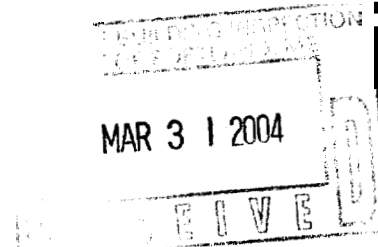
# DOWD PROPERTIES



Since 1982

RESIDENTIAL • INVESTMENT

Tammy Munson  
City of Portland Inspection Services  
Room 315  
389 Congress Street  
Portland, ME 04101



Re: 153 Tucker Ave

Dear Tammy:

This letter is in response to your questions regarding the 153 Tucker Ave building permit.

- |     |                           |   |
|-----|---------------------------|---|
| 1.  | Foundation drainage ..... | Shown on plan                                 |
| 2.  | Girder .....              | Shown on plan                                 |
| 3.  | Fire separation .....     | Shown on plan                                 |
| 4.  | Fire door .....           | Shown on plan                                 |
| 5.  | Attic access .....        | 22x30 opening in the closet of <b>BR#1</b>    |
| 6.  | Direct vent furnace ..... | Shown on plan                                 |
| 7.  | Garage door header .....  | Shown on plan                                 |
| 8.  | Furnace location .....    | Shown on plan                                 |
| 9.  | Exterior stairs .....     | Stairs to per code                            |
| 10. | Smoke detectors .....     | Per code; all BRs, common areas, & furnace rm |
| 11. | Engineers stamp .....     | Letter enclosed                               |

Feel free to call me with any questions you may have.

Sincerely,

Bill Dowd

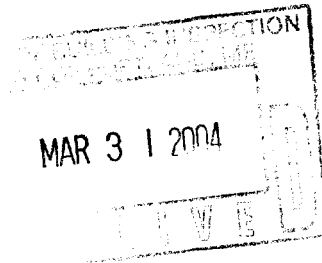
① 1/10x19 steel -  
Not sized ✓  
② Furnace location ✓  
③ 11x17 ✓



**L & L STRUCTURAL**  
**ENGINEERING SERVICES, INC.**

**Six Q Street**  
South Portland, ME 04106  
Phone: (207)767-4830  
Fax: (207)799-5432

March 24, 2004



**Mr. Bill Dowd**

17 Westland Avenue  
Portland, Maine 04102

Subject: New residence located at 153 Tucker Avenue-Portland, Maine.

Dear Mr. Dowd,

We have completed our review of the beam supporting only the first framed floor for the above noted residence. It is our understanding based on review of the drawings that the interior walls separating the hall from the bedrooms are non-bearing. The beam size shown on the drawings W 14x26 meets the requirements of the following building codes: Boca 1999 and IBC 2000. It is 63.7% stress when subjected to a 40 psf live load and a 15 psf dead load. The W14 will also deflect 0.61" (L/457) under the full design load.

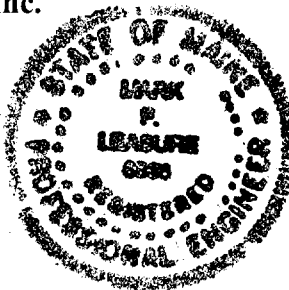
In addition to this a 4" lally column will support the beams end reaction and should be mechanically connected to the steel beam. A 30" square x 12" thick concrete footing is required below one of the columns; the other column will be supported by the foundation wall. This information has been provided in red ink on the drawing submitted by the client.

If you have any questions or if we can assist you further, please do not hesitate to call.

Sincerely,

**L&L Structural Engineering Services, Inc.**

Mark F. Leasure, P.E.  
President



153 Tucker Ave #03-1246  
 CBL 330-D-5  
 owes \$252  
 Bill 773-0046 Fax #

1152 SF  
 720 SF  
 1872 SF @ 50/5 = 93,600  
 - 60,000  
 \$27,600

Soil type/Presumptive Load Value (Table 401.4.1)	Dowd
<b>STRUCTURAL</b> Footing Dimensions/Depth (Table 403.1.1 & 403.1.1(1), Section 403.1.2)	OK
Foundation Drainage Dampproofing (Section 406)	<del>OK</del> - Filter Fabric + Stone NOT Shown Draw # Plan - 10/26/04
Ventilation (Section 409.1) Crawls Space ONLY	N/A
Anchor Bolts/Straps (Section 403.1.4)	OK
Lally Column Type, Spacing and footing sizes (Table 502.3.4(2)) Built-Up Wood Center Girder Dimension/Type (Table 502.3.4(2))	Depends on Girder Shows 4" x 10" on cross + Steel beam - which?
Sill/Band Joist Type & Dimensions First Floor Joist Species Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1))	OK 2x10 - 16" OC - OK 13'9" span + 10'-5"
Second Floor Joist Species Dimensions and Spacing Table(503.3.1(1) & Table 503.3.2(1))	N/A

Attic or additional Floor Joist Species Dimensions and Spacing (Table 802.4.2 or 503.3.1(1) & Table 503.3.2(1))	N/A	
Roof Rafter: Pitch, Span, Spacing & Dimension (Table 802.3.2(7))	Tusses - 24" oc - OK	
Sheathing; Floor, Wall and roof (Table 503.2.1(1))	OK	
Fastener Schedule (Table 602.3(1) & (2))	OK - Show photo	
<b>Private Garage</b> Section 309 and Section 407.1999 BOCA) Living Space? (Above or beside)	Yes	
Fire separation	Not shown	
Fire rating of door to living space Door sill elevation (407.5 BOCA)	Not shown	
Egress Windows (Section 310)	OK	
Roof Covering (Chapter 9)	OK	
Safety Glazing (Section 308)	N/A	
Attic Access (BOCA 1211.1)	Not shown	Show photo - 2/28/80
Draft Stopping around chimney	Not shown - Direct vent furnace?	

11  
12  
13

22880

Garage door header? 16' span

Header Schedule	Schedule shown - OK	
Type of Heating System ? Location?	Not shown	Span
Stairs		
Number of Stairways 2		
Interior 1		
Exterior 2	Exterior details Stair details and guardsails shown	
Treads and Risers 10" T > Interior (Section 314) 7 1/4" R > OK		
Wash - 3'-2" finished - OK		
Headroom 6'-8" shown - OK		
Guardsails and Handrails - Interior - OK (Section 315)		
Smoke Detectors Location and type/Interconnected	Not shown	Span
Plan Reviewer Signature		

See Chimney Summary Checklist

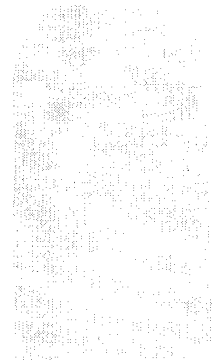
(11) Engineers stamp on OK  
Steel Beam OK  
wall letter

OK  
wall letter

City of Portland  
**INSPECTION SERVICES**

Room 315  
389 Congress Street  
Portland, Maine 04101

Telephone: 207-874-8703 or 207-874-8693  
Facsimile: 207-874-8716



FACSIMILE TRANSMISSION COVER SHEET

TO: <u>Bill Dowd</u>	FROM: <u>Tammy Munson</u>
FAX NUMBER: <u>773-0046</u>	NUMBER OF PAGES, WITH COVER: <u>4</u>
TELEPHONE: <u>773-6250</u>	RE: <u>Tucker Ave</u>
DATE: <u>3/2/04</u>	

Comments:

1152 SF  
 720 SF  
 1872 SF x \$50/SF = \$93,600  
 - 66,000  
 \$27,600

153 Tucker Ave #03-1246  
 (800) 330-D-5  
 owes \$282  
 Bill 773-0046 Fax #

Soil type/Presumptive Load Value (Table 401.4.1)	Dowd
<b>STRUCTURAL</b> Footing Dimensions/Depth (Table 403.1.1 & 403.1.1(1), Section 403.1.2)	OK
Foundation Drainage Dampproofing (Section 406)	<del>OK</del> - Filter Fabric + Stone NOT Shown
Ventilation (Section 409.1) Crawls Space ONLY	N/A
AnchorBolts/Straps (Section 403.1.4)	OK
Lally Column Type, Spacing and footing sizes (Table 502.3.4(2))	- Depends on Girder
Built-Up Wood Center Girder Dimension/Type (Table 502.3.4(2))	Shows 4-2x10 on cross + Steel beam - Which?
Sill/Band Joist Type & Dimesions	OK
First Floor Joist Species Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1))	2x10 - 16" OC - OK 13'-9" span + 10'-3"
Second Floor Joist Species Dimensions and Spacing Table(503.3.1(1) & Table 503.3.2(1))	N/A

1

2

Attic or additional Floor Joist Species Dimensions and Spacing (Table 802.4.2 or 503.3.1(1) & Table 503.3.2(1))	N/A	
Roof Rafter; Pitch, Span, Spacing & Dimension (Table 802.3.2(7))	Trusses - 24" OC - OK	
Sheathing; Floor, Wall and roof (Table 503.2.1(1))	OK	
Fastener Schedule (Table 602.3(1) & (2))	OK - Shown Apr 02	
<b>Private Garage</b>		
Section 309 and Section 407 1999 BOCA)		
Living Space? (Above or beside)	YES	
Fire separation	Not shown	
Fire rating of doors to living space	Not shown	
Door Sill elevation (407.5 BOCA)		
Egress Windows (Section 310)	OK	
Roof Covering (Chapter 9)	OK	
Safety Glazing (Section 308)	N/A	
Attic Access (BOCA 1211.1)	Not shown	
Draft Stopping around chimney	Not shown - Direct vent furnace?	

3

4

5

6

7 Garage door header? 16' span

Header Schedule	Schedule shown - OK
Type of Heating System ? Location?	Not shown
<b>Stairs</b>	
Number of Stairways 2	
Interior 1	
Exterior 2	Exterior details Stair details and guardrails NOT shown
Treads and Risers 10" T > Interior (Section 314) 7 1/4" R > OK	
Width - 3'-2" finished - OK	
Headroom 6'-8" shown - OK	
Guardrails and Handrails - Interior - OK (Section 315)	
Smoke Detectors Location and type/Interconnected	Not shown
Plan Reviewer Signature	

See Chimney Summary Checklist

11 Engineers stamp on  
Steel Beam



**From:** Marge Schmuckal  
**To:** Jay Reynolds  
**Date:** Fri, Oct 17, 2003 3:46 PM  
**Subject:** Update on permits

Jay,  
I have signed off on the new house permit on Great Diamond Island. I sent copies of their site plan to Marybeth at DEP.

Tucker Ave: zoning is ok except for the 14403 street - It looks like it needs to be extended to the end of the property (it is short of that now per the plans). Also, does public works want a turn around at the end?

Marge

**CC:** Sarah Hopkins

2003-0213  
Stephan

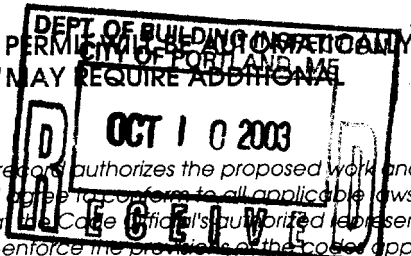
03-1246

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Tucker A		Lot	
Total Square Footage of Proposed Structure 1152		Square Footage of Lot 10,125	
Tax Assessor's Chart, Block 81 Lot Chart#      Block#      Lot# 330          D          5 to 8		Owner: W+C LLC	Telephone: 773-6250
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: W+C LLC C/O b, Dowd 17 Westland Ave Portland, ME 04102	cost Of Work: \$ 65,000 Fee: \$ <del>606.00</del>	
Current use: <u>Vacant Land</u>		615.00 75.00 copy 300.00 stephan	
If the location is currently vacant, what was prior use: <u>None</u>			
Approximately how long has it been vacant: _____		\$990.00	
Proposed use: <u>Residence</u>	Project description: <u>Single family home with 2 car garage - Attached</u>		
Contractor's name, address & telephone: <u>Bill Dowd 17 Westland Ave Portland, ME 04102 773-6250</u>			
Who should we contact when the permit is ready: <u>773-6250</u>			
Mailing address: <u>17 Westland Ave - Portland, ME 04102</u>			
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>773-6250</u>			

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT MAY BE DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.



I hereby authorize the proposed work and that I  
t. I agree to conform to all applicable laws of this  
that the Code Official's authorized representative  
to enforce the provisions of the code applicable

with

k, in  
glas  
unty  
long  
ferly  
line  
6 to  
17,

This instrument was prepared by and  
should be returned to:  
Edward D. Welch, Esquire  
205 Danura Street  
West Palm Beach, FL 33410

MAINE REAL ESTATE TAX PAID

QUIT-CLAIM DEED

THIS QUIT-CLAIM DEED, Executed this 29<sup>th</sup> day of November, 2002, by  
BERNARD HIGGINS, a married man, party of first part, to W & C, LLC, whose post office  
address is P. O. Box 10127, Portland, Maine, 04104, party of the second part:

WITNESSETH that said first party, for and in consideration of the sum of TEN AND  
NO/100\*\*\*\*\*(\$10.00)\*\*\*\*\*DOLLARS, in hand paid by the said second party, the receipt  
whereof is hereby acknowledged, docs hereby remise, release and quit-claim unto the said second  
party forever, all the right, title, interest, claim and demand which the said first party has in and to  
the following described lot, piece or parcel of land, situate, lying and being in the County of  
Cumberland, State of Maine, to wit:

Four (4) certain lots or parcels of land located on Tucker Avenue, in Portland, in the County  
of Cumberland and State of Maine, and being the same premises conveyed to John W.  
Wentworth (deceased), by the J. W. Wilbur Company, by deed dated May 17, 1917, and  
recorded in the Cumberland County Registry of Deeds, in Book 985, Page 451.

This property is not the homestead of the grantor who resides at 3329 Foley Drive,  
Tallahassee, Florida, 32309.

TO HAVE AND TO HOLD the same together with all and singular the appurtenances  
thereunto belonging or in anywise appertaining, and all the estate, right, title interest, lien, equity  
and claim whatsoever of the said first party, either in law or equity, to the only proper use, benefit  
and behoof of the said second party forever.

(Wherever used herein the terms "first party" and "second party" shall include  
singular and plural, heirs, legal representatives, and assigns of individuals, and the  
successors and assigns of corporation, wherever the context so admits or requires.)

From: Marge Schmuckal  
To: Michael Bobinsky  
Date: Mon, Dec 22, 2003 11:37 AM  
Subject: Re: Appeal of road construction requirement on Tucker Ave.

Mike,

I would be interested to see the letter you received from Bill Dowd. This is a complication that has several components to it. And certainly Kandi Talbot, who was the planner involved with the original subdivision on Tucker (Susan Duchaine), could give you more specifics.

In 1999, the City Planning Board approved a 16 lot subdivision on Tucker Avenue. The lot that Bill Dowd now owns and wants to build on was not an approved lot within that approved subdivision. For some reason, which Kandi can give you more insight to, the Planning Board did not require the road to be completed beyond a certain point. And it is true, that a lot (lot #9) directly across from Bill Dowd's lot, was allowed to be built on thru the subdivision process, without extending the street to the end of lot #9. It is my understanding from the planning staff that it was due to the very wet area. I also understand thru planning staff that there was the belief that Bill Dowd's lot would never be built on because of the wetness of that particular lot.

Well, now we do have an application for that lot which was not part of the subdivision. In the Zoning Ordinance there is a requirement under 14403 (which does not apply to subdivision approvals), which states that, "Minimum requirements for street improvements on unimproved and improved but unpaved streets: For a lot abutting any portion of a street which is unimproved or improved but not permanently paved, that portion which abuts the lot, and any like portion between such portion and the nearest permanently paved street or portion which is the principal access to such lot, shall be improved, including sewers, storm drains, pavements, curbs and, if located on a designated school walking route, sidewalks, in accordance with the minimum technical standards promulgated by the public works authority....."

It is my understanding thru corporation counsel that the only relief from this section is to the Zoning Board of Appeals. However, any positive comments from public works or the planning board would be a benefit.

I hope this helps you out a little bit more.

Marge

>>> Michael Bobinsky 12/21 9:43 PM >>>

I have received a letter from Mr. Bill Dowd, essentially appealing your decision regarding his denial of a building permit requested for building a single family on a lot on Tucker Ave. I will have my staff send over or fax a copy of this letter to you, which is dated December 18, 2003. It did not appear that you or your Department staff was copied on this.

I will take a look at his request. I will be particularly interested in what occurred in the past that allowed Lot #9 to not improve all of its frontage, (70 feet evidently of this lot does not have a paved frontage). Also, I will need to better understand the implications he has to the wetlands area caused by the paved frontage improvements or implications we may have ...in allowing him to building a lot here. I will also review the overall history of this subdivision and the conditions by which the Planning Board approved this.

Any background information from your office will be helpful.

thanks.

own cost and expense, first submit to the building authority (a) a deed from the owner of such lot conveying to the city all his right, title and interest in and to such street or any portion thereof; and (b) an agreement by such owner forever releasing the city from any and all claims for damages for the laying out and taking of such street and indemnifying the city against any and all other such claims, both such instruments to be executed and in recordable form acceptable to the corporation counsel and to encumber and run with the land.

(b) **Minimum requirements for street improvements on unimproved and improved but unpaved streets.** For a lot abutting any portion of a street which is unimproved or improved but not permanently paved, that portion which abuts the lot, and any like portion between such portion and the nearest permanently paved street or portion which is the principal access to such lot, shall be improved, including sewers, storm drains, pavements, curbs and, if located on a designated school walking route, sidewalks, in accordance with the minimum technical standards promulgated by the public works authority pursuant to section 14-498(a) of article IV of this chapter. Where the nearest permanently paved street does not have granite curbing, the public works authority may waive the requirement of curbing under this section, if it determines that an acceptable alternative drainage plan will be provided. Prior to the issuance of a building permit for erection of a building on a lot abutting any portion of a street which is unimproved or improved but not permanently paved, the following shall occur: (1) A plan of the street improvements required by this section shall be submitted to the public works authority; and (2) upon determination by the public works authority that the plan meets the street improvement requirements established by this subsection, a performance guarantee and inspection fee for said improvements shall be submitted to the city as set forth in section 14-501. Also as set forth in section 14-501, a one-year defect bond shall be tendered to the city prior to release of the performance guarantee required hereby. The provisions of this subsection (b) shall not apply to the erection of any single-family dwelling on any lot where the owner of the lot establishes that he or she was the owner of that same lot on November 19, 1984, and at all times thereafter, and states his or her intention under oath to make the structure his or her personal residence.

(c) **Exceptions.** The requirements of this section shall not apply to the following city streets upon their construction by the

IN WITNESS WHEREOF, the said first party has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature]  
WITNESS #1  
Edward D Welch  
(name typed/printed)

[Signature]  
BERNARD HIGGINS

[Signature]  
WITNESS #2  
Patricia A Welch  
(name typed/printed)

STATE OF Florida


COUNTY OF Leon

The foregoing instrument was acknowledged before me this 29th day of November 2002, by BERNARD HIGGINS, who is personally known to me or who has produced as identification.

(NOTARY SEAL)

[Signature]  
NOTARY PUBLIC

My Commission Expires

 Edward D. Welch  
Commission # DD 012688  
Expires May 7, 2003  
Resides thru  
Atlantic Booking Co., Inc.

Received  
Recorded Register of Deeds  
Jan 23, 2003 10:49:54A  
Cumberland County  
John S. D. Brian

W  
M  
W  
S  
C  
OC  
ML  
P  
VMF

[Handwritten mark]

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Building Copy**

**2003-0213**

Application I. D. Number

**1011412003**

Application Date

**Single Family SIF**

Project Name/Description

**Bill Dowd**

Applicant

**17 Westland Ave, Portland, ME 04102**

Applicant's Mailing Address

**Tucker Ave, Portland, Maine**

Address of Proposed Site

**330 D005001**

Assessor's Reference: Chart-Block-Lot

Consultant/Agent

**Applicant Ph: (207) 773-6250 Agent Fax:**

Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) \_\_\_\_\_

**24' x 48'**

Proposed Building square Feet or # of Units

Acreage of Site

**R-2**

Zoning

**Check Review Required:**

- |  |   |  |  |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan<br>(major/minor) | <input type="checkbox"/> Subdivision<br># of lots _____ | <input type="checkbox"/> PAD Review            | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                          | <input type="checkbox"/> Shoreland                      | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional<br>Use (ZBA/PB)    | <input type="checkbox"/> Zoning Variance                | <input type="checkbox"/> Other _____           |  |

Fees Paid: Site Pla \$250.00 Subdivision \_\_\_\_\_ Engineer Review \$50.00 Date 10114/2003

**Building Approval Status:**

Reviewer \_\_\_\_\_

- Approved**  **Approved w/Conditions**  **Denied**  
 See Attached

Approval Date \_\_\_\_\_ Approval Expiration \_\_\_\_\_ Extension to \_\_\_\_\_  Additional Sheets Attached

Condition Compliance \_\_\_\_\_  
 signature \_\_\_\_\_ date \_\_\_\_\_

**Performance Guarantee**  **Required\***  **Not Required**

\* No building permit may be issued until a Performance guarantee has been submitted as indicated below

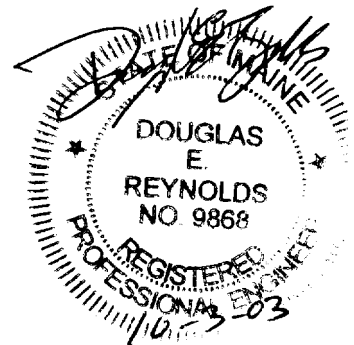
- |   |                |  |                 |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted     | _____          | _____  | _____           |
|   | date           | amount   | expiration date |
| <input type="checkbox"/> Inspection Fee Paid                | _____          | _____  |                 |
|   | date           | amount   |                 |
| <input type="checkbox"/> Building Permit Issue              | _____          |  |                 |
|   | date           |  |                 |
| <input type="checkbox"/> Performance Guarantee Reduced      | _____          | _____  | _____           |
|   | date           | remaining balance                                  | signature       |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____          | <input type="checkbox"/> Conditions (See Attached) | _____           |
|   | date           |  | expiration date |
| <input type="checkbox"/> Final Inspection                   | _____          | _____  |                 |
|   | date           | signature  |                 |
| <input type="checkbox"/> Certificate Of Occupancy           | _____          |  |                 |
|   | date           |  |                 |
| <input type="checkbox"/> Performance Guarantee Released     | _____          | _____  |                 |
|   | date           | signature  |                 |
| <input type="checkbox"/> Defect Guarantee Submitted         | _____          | _____  | _____           |
|   | submitted date | amount   | expiration date |
| <input type="checkbox"/> Defect Guarantee Released          | _____          | _____  |                 |
|   | date           | signature  |                 |

## SPACE AND BULK REQUIREMENTS - R-2 ZONE

MINIMUM LOT SIZE:	10,000 S.F.
MINIMUM FRONTAGE:	50 FT
MINIMUM SETBACKS:	
FRONT YARD	25 FT.
REAR YARD	25 FT
SIDE YARD*	
1 STORY	8 FT.
1 1/2 STORY	8 FT.
2 STORY	14 FT.
2 1/2 STORY	16 FT.
MINIMUM LOT WIDTH:	80 FT.

\* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET IN WIDTH.

THE SIDE YARDS SHOWN ON THE FOLLOWING FIGURES ARE BASED UPON A 2 STORY STRUCTURE AND MAY BE INCREASED OR DECREASED DEPENDING UPON THE NUMBER OF STORIES.



Design: DER	Date: SEPT 03
Draft: CAH	Job No.: 735
Checked: AMP	Scale: NTS
File Name: 735-PBASE.DWG	

<b>GP</b> <i>Traffic and Civil Engineering Services</i>

Drawing Name: <b>Space &amp; Bulk Requirements</b>
Project: <b>TUCKER AVENUE, PORTLAND</b>

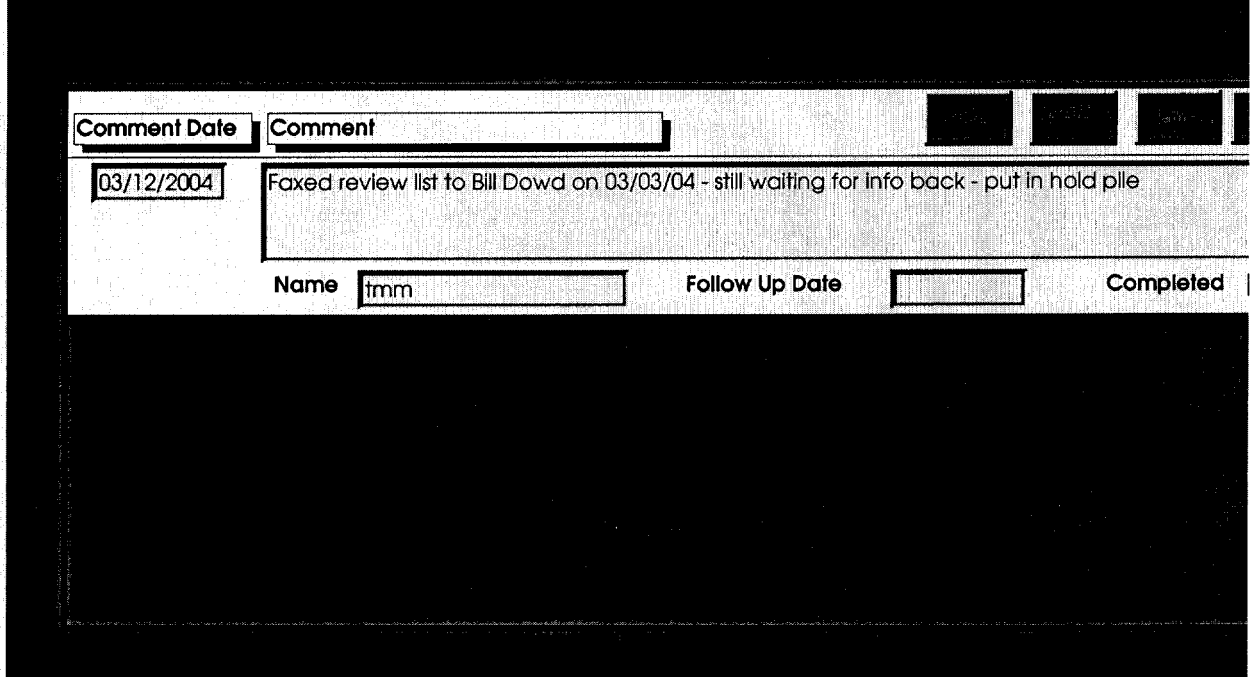
Figure No. <b>1</b>
------------------------





Prmt  Text193  34710  Constr Type  New  Num1  3

Permit Nbr  03-1246  Location of Construction  153  Tucker Ave   Appl. Date   
Status  Hold  Permit Type  Single Family  Issue Date   
CBL  330 D005001  District Nbr  5  Estimated Cost  \$66,000.00  Date Closed



Comment Date	Comment			
<input type="text"/> 03/12/2004	<input type="text"/> Faxed review l1st to Bill Dowd on 03/03/04 - still waiting for info back - put in hold ple			
		Name <input type="text"/> fmm <input type="text"/>	Follow Up Date <input type="text"/>	Completed <input type="text"/>

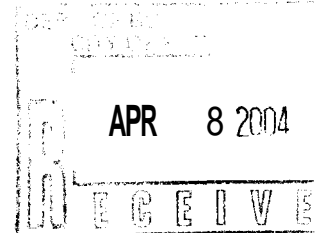
CreatedBy  kwd  CreateDate  10/15/2003  ModBy  fmm  ModDate  03/12

**L & L STRUCTURAL  
ENGINEERING SERVICES, INC.**

Six Q Street  
South Portland, ME 04106  
Phone: (207) 767-4830  
Fax: (207) 799-5432

April 7, 2004

Mr. Bill Dowd  
17 Westland Avenue  
Portland, Maine 04102



Subject: New residence located at 153 Tucker Avenue-Portland, Maine.

Dear Mr. Dowd,

We have completed our review of the beam supporting only the first framed floor for the above noted residence. It is our understanding based on review of the drawings that the interior walls separating the hall from the bedrooms are non-bearing. The beam size shown on the drawings W14x26 meets the requirements of the following building codes: **Boca 1999 and IBC 2000**. It is 63.7% stress when subjected to a 40 psf live load and a 15 psf dead load. The W14 will also deflect 0.61" (L/457) under the full design load.

In addition to this a 4" lally column will support the beams end reaction and should be mechanically connected to the steel beam. A 30" square x 12" thick concrete footing is required below one of the columns; the other column will be supported by the foundation wall. The footing shall be reinforced with 5#4 bars each way in the bottom of the footing located 3" clear from its bottom. This information has been provided in red ink on the drawing submitted by the client

We have also designed the beam above the garage door. This beam shall be a W12x22 or W10x26. Its top flange shall also be mechanically connected to the floor system by using a 2x6 top plate fastened to the beam with 1/2" dia—bolts located @ 24" o.c. staggered. The beam ends shall be supported vertically by at least (3) 2x6 studs with a double 2x6 cap. Also attach the beams bottom flange to the cap with (2) 1/2"x4" lag bolts.

153 Tucker Avenue-Portland, Maine  
April 7, 2004  
Page 2

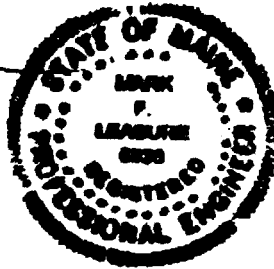
If you have any questions or if we can assist you further, please do not hesitate to call.

Sincerely,

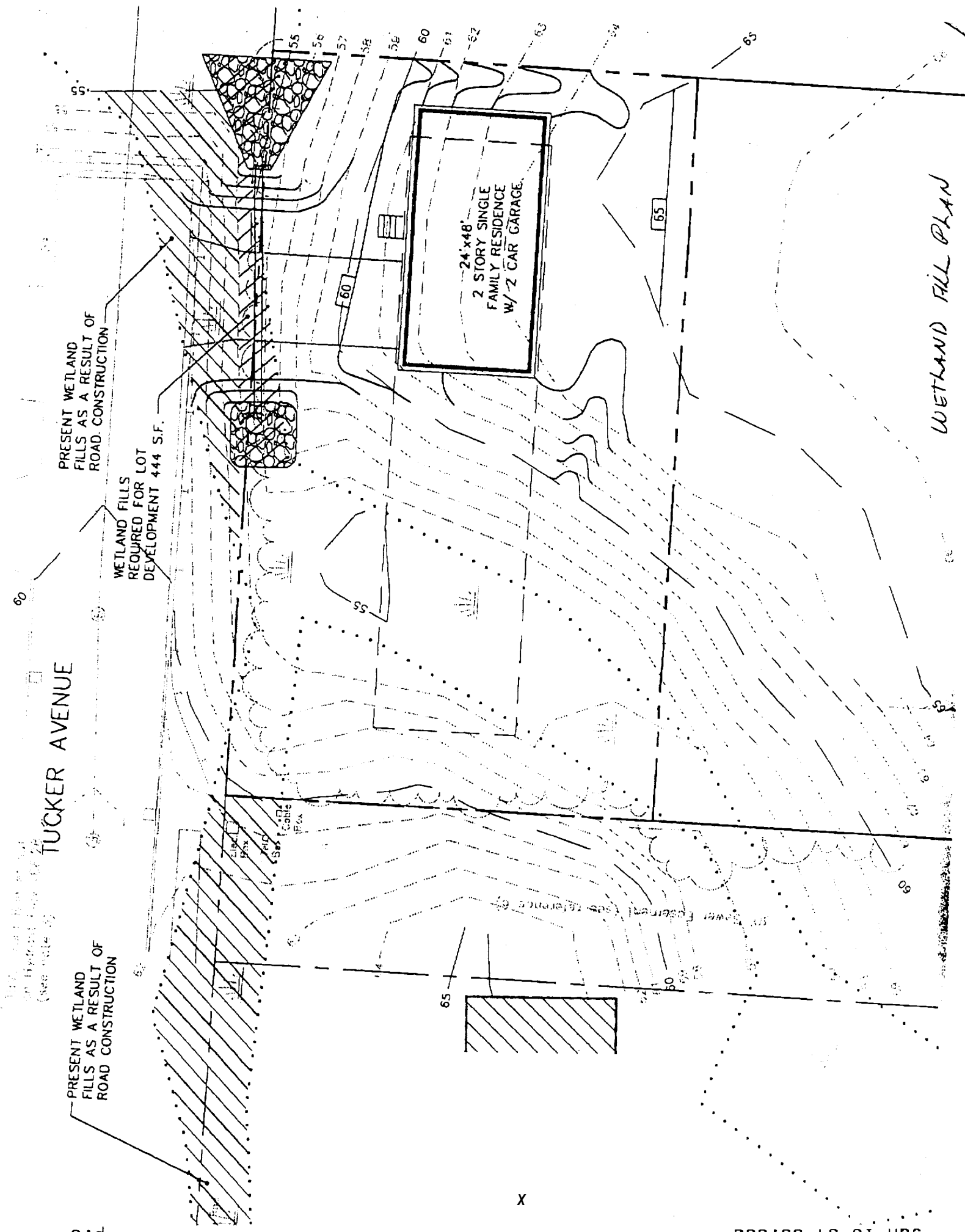
**L&L Structural Engineering Services, Inc.**



Mark F. Leasure, P.E.  
President



X



WETLAND FILL PLAN

TUCKER AVENUE

PRESENT WETLAND FILLS AS A RESULT OF ROAD CONSTRUCTION

WETLAND FILLS REQUIRED FOR LOT DEVELOPMENT 444 S.F.

PRESENT WETLAND FILLS AS A RESULT OF ROAD CONSTRUCTION

24'x48' 2 STORY SINGLE FAMILY RESIDENCE W/ 2 CAR GARAGE

UTILITY BOX  
ELECTRIC POLE

SEWER FORCEMAIN (see reference 67)

TBM: Front Boring and  
on Hydrant Elev = 56.28  
(see note 3)

# TUCKER AVENUE

6" SAN  
L=50'  
S=0.1340

16' PAVED DRIVEWAY

CURB STOP

3/4" DOMESTIC WATER

STEPS

2 RED MAPLE OR EQU  
2 1 1/2" CALIPER TREES

REFER TO BUILDING PL  
FOR DIMENSIONS

SEE FIGURE 1

INV. 56.0 MIN.  
24'x48'  
2 STORY SINGLE  
FAMILY RESIDENCE  
W/ 2 CAR GARAGE

14' SIDE  
SETBACK

25' FRONT  
SETBACK

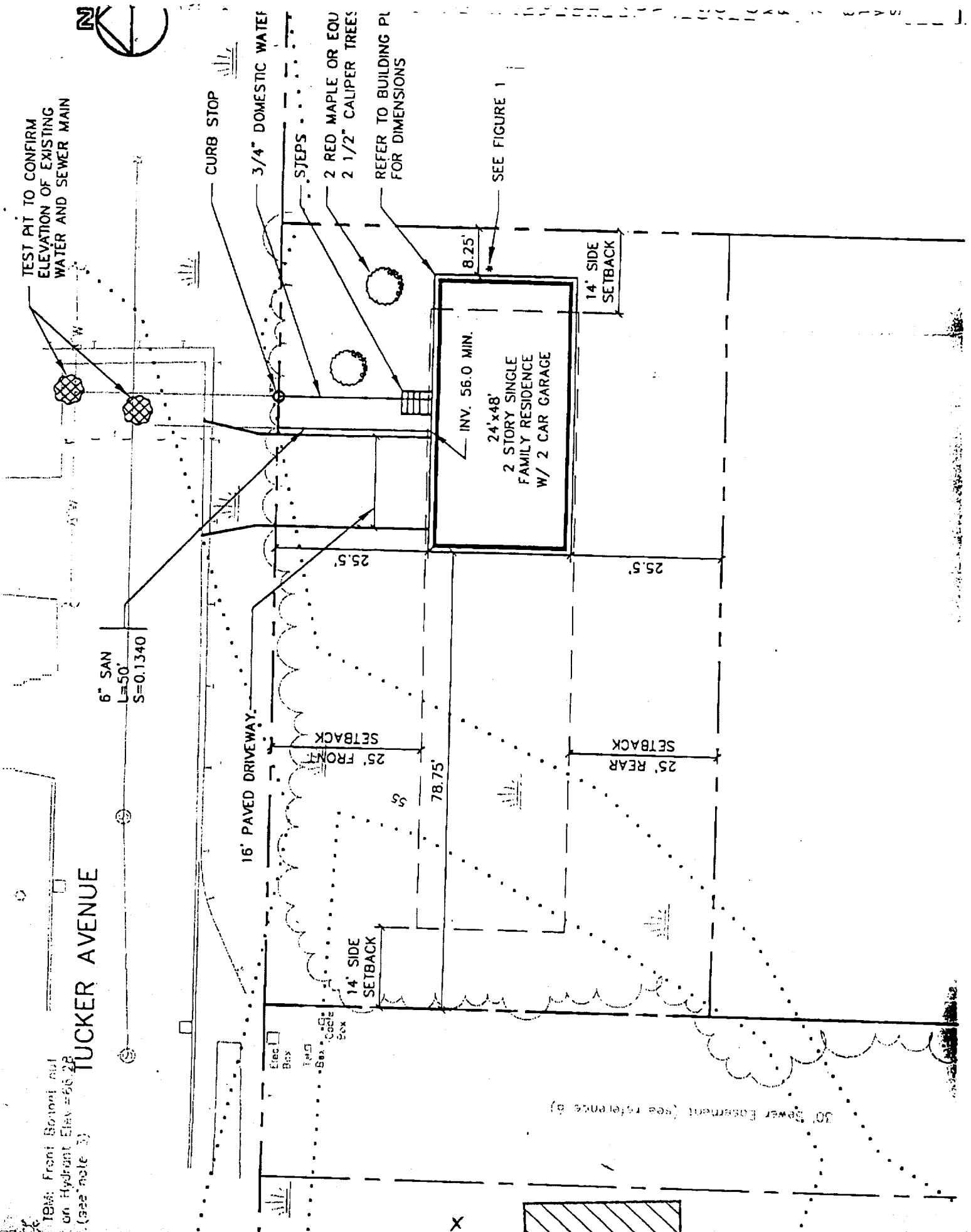
25' REAR  
SETBACK

14' SIDE  
SETBACK

78.75'

Erec  
Box  
T.M.G.  
Box  
C.C.P.E.  
Box

30" Sewer Easement (see reference b)



TUCKER AVENUE

11.5' x 11.5' RIPRAP  
INLET APRON 14"  
PLAIN RIPRAP D<sub>50</sub>=5"

INV. :  
RIP R  
14" P  
D<sub>50</sub>=6  
W=23

59.07

59.29

59.32

59.62

INV. 55.00

2-30" ADS  
CULVERTS  
L=46'  
S=0.005

WETLAND  
LIMIT (TYP.)

SILT FENCE  
(TYP.)

F.F.E. 68.70  
24'x48'  
2 STORY SINGLE  
FAMILY RESIDENCE  
W/ 2 CAR GARAGE.

60.20

64.50

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GRADING & DRAINAGE PLAN

X

## SPACE AND BULK REQUIREMENTS - R-2 ZONE

MINIMUM LOT SIZE: 10,000 S.F.

MINIMUM FRONTAGE: 50 FT

**MINIMUM SETBACKS:**

FRONT YARD 25 FT.

REAR YARD 25 FT

SIDE YARD\*

1 STORY 8 FT.

1 1/2 STORY 8 FT.

2 STORY 14 FT.

2 1/2 STORY 16 FT.

MINIMUM LOT WIDTH: 80 FT.

\* THE WIDTH OF ONE (1) SIDE YARD **MAY** BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT ~~THE~~ OTHER SIDE YARD ~~IS~~ CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET IN WIDTH.

THE SIDE YARDS SHOWN ~~ON~~ THE FOLLOWING FIGURES ARE BASED UPON A 2 STORY STRUCTURE AND **MAY** BE INCREASED OR DECREASED DEPENDING UPON THE NUMBER OF STORIES.

x

Design: DER	Date: SEPT 03
Draft: CAH	Job No.: 735
Checked: AMP	Scale:
File Name: 735-PBASE.DWG	

**GP** Traffic and Civil Engineering Services  
 PO Box 1237, 15 Shaker Road  
 Gray, ME 04039  
 207-657-6910

Drawing Name: <b>Space &amp; Bulk Requirements</b>
Project: TUCKER AVENUE, PORTLAND

Figure No. <b>1</b>
------------------------





# Know all Men by these Presents, That

**J. W. Wilbur Company, Incorporated,** a corporation duly established under the laws of the Commonwealth of Massachusetts, and having its usual place of business in Boston, in the County of Suffolk and Commonwealth of Massachusetts, in consideration of one dollar and other good and valuable considerations, paid by **John W. Wentworth** residing at 44 Mechanic Street in Portland in the County of Cumberland and State of Maine do hereby give, grant, bargain, sell and convey unto the said **John W. Wentworth, and his heirs and assigns forever,** four certain lots or parcels of land situated on Tucker Avenue in Portland in the County of Cumberland and State of Maine, being lots numbered two hundred twelve (212), two hundred thirteen (213), two hundred fourteen (214) and two hundred fifteen (215) as shown on plan of lots on Forest Avenue Terrace belonging to J. W. Wilbur said plan being made by A. L. [unclear], C. E., dated May 7, 1910, and recorded in Cumberland County Registry of Deeds, Plan Book 12, Page 5. Said lots, taken together, measure one hundred thirty-five (135) feet on Tucker Avenue; seventy-five (75) feet on lot 216 on said plan; on hundred thirty-five (135) feet on lots 221 to 224, inclusive, on said plan; seventy-five (75) feet on lot 211 on said plan. Containing, taken together according to said plan, ten thousand one hundred twenty-five (10125) square feet, more or less. Together with the fee, in so far as the said Corporation has the right so to convey the same, of all the streets and ways shown on said plan, in common with the owners of the other lots shown on said plan, and subject to the right of all of said lot owners to make any customary use of said streets and ways.

See Book 4033 Page 324

**Do Give and do Hold** the aforegranted and bargained premises, with all the privileges and appurtenances thereof, to the said **John W. Wentworth, and his heirs and assigns, to his heirs and assigns, to his heirs and assigns,** that he lawfully seized in fee of the premises that they are free of all incumbrances; except that no house shall be built on said lots within ten years of January 1, 1910 to cost less than four hundred dollars (\$400.00); and that no shanty, hut or box shall be built on said lots within said ten years except with the consent of the party of the first part in writing; each and all of which restrictions may be enforced or enjoined by the party of the second part and it is distinctly understood that the party of the first part shall be under no obligation to enforce any of said covenants of restriction or to enjoin or restrain any violation thereof;

that it has good right to sell and convey the same to the said grantee to hold as aforesaid; and that it will warrant and defend the same to the said grantee, his heirs and assigns forever, against the lawful claims and demands of all persons, except as aforesaid.

In Witness Whereof, the said **J. W. Wilbur Company, Incorporated** has caused its corporate seal to be hereto affixed, and these presents to be signed, acknowledged and delivered in its name and behalf by **Everett C. Wells, its Treasurer** hereto duly authorized, this **seventeenth** day of **May** in the year of our Lord one thousand nine hundred and **seventeen**.

Signed, Sealed and Delivered in the presence of

**B. O. Toas**

**J. W. Wilbur Company, Inc., Corporate Seal**  
By **Everett C. Wells, Treasurer.**

Commonwealth of Massachusetts, SUFFOLK, ss. On this **seventeenth** day of **May** 1917, before me appeared **Everett C. Wells** to me personally known, who being by me duly sworn did say that he is the Treasurer of the **J. W. Wilbur Company, Incorporated** and that said instrument was signed and sealed in behalf of said Corporation by authority of its board of directors and the said **Everett C. Wells** acknowledged said instrument to be the free act and deed of said corporation.

NOTARIAL SEAL

**Harold W. Eaton**

Notary Public.

Received **Yay 21, 1917**, at **11 o'clock 10 m. A. M.**, and recorded according to the original.

This instrument was prepared by and  
should be returned to:  
Edward D. Welch, Esquire  
205 Datura Street  
West Palm Beach, FL 33410

---

QUIT-CLAIM DEED

**THIS QUIT-CLAIM DEED, Executed this 29<sup>th</sup> day of November, 2002, by BERNARD HIGGINS, a married man, party of first part, to W & C, LLC, whose post office address is P. O. Box 10127, Portland, Maine, 04104, party of the second part:**

**WITNESSETH** that said first party, for and in consideration of the sum of TEN AND NO/100\*\*\*\*\*(\$10.00)\*\*\*\*\*DOLLARS, in hand paid by the said second party, the receipt whereof is hereby acknowledged, does hereby remise, release and quit-claim unto the said second party forever, all the right, title, interest, claim and demand which the said first party has in and to the following described lot, piece or parcel of land, situate, lying and being in the County of Cumberland, State of Maine, to wit:

Four (4) certain lots or parcels of land located on Tucker Avenue, in Portland, in the County of Cumberland and State of Maine, and being the same premises conveyed to John W. Wentworth (deceased), by the J. W. Wilbur Company, by deed dated May 17, 1917, and recorded in the Cumberland County Registry of Deeds, in Book 985, Page 451.

This property is not the homestead of the grantor who resides at 3329 Foley Drive, Tallahassee, Florida, 32309.

**TO HAVE AND TO HOLD** the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title interest, lien, equity and claim whatsoever of the said first party, either in law or equity, to the only proper use, benefit and behoof of the said second party forever.

(Wherever used herein the terms "first party" and "second party" shall include singular and plural, heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporation, wherever the context so admits or requires.)

IN WITNESS WHEREOF, the said first party has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature]  
WITNESS #1  
EDWARD D WELCH  
(name typed/printed)

[Signature]  
BERNARD HIGGINS

[Signature]  
WITNESS #2  
PAULINA A WELCH  
(name typed/printed)

STATE OF FLORIDA

COUNTY OF LEON

The foregoing instrument was acknowledged before me this 29th day of November 2002, by BERNARD HIGGINS, who is personally known to me or who has produced as identification.

(NOTARY SEAL)

[Signature]  
NOTARY PUBLIC

My Commission Expires



Edward D. Welch  
Commission # DD 012688  
Expires May 7, 2005  
Bonded Thru  
Atlantic Bonding Co., Inc.

Received  
Recorded Register of Deeds  
Jan 23, 2003 10:49:54A  
Cumberland County  
John E. O'Brien

Ret  
WEI  
361  
BLC  
  
Prep  
WEI  
  
222  
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Page 1 of 1  
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[Signature]

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

## PERMIT SECTION

Permit Number 031246

PERMITTED  
APR 09 2004  
CITY OF PORTLAND

This is to certify that W & C Llc /Bill Dowd  
has permission to Build new 24' x 48' split foyer single family residence with 2 car garage under  
153  
AT Tucker Ave 330 D005001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

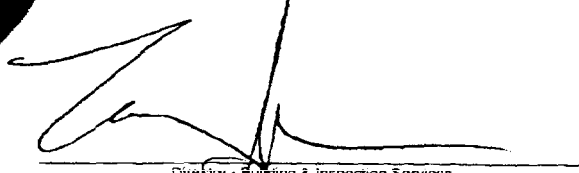
Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is entered or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

# CITY OF PORTLAND. MAINE

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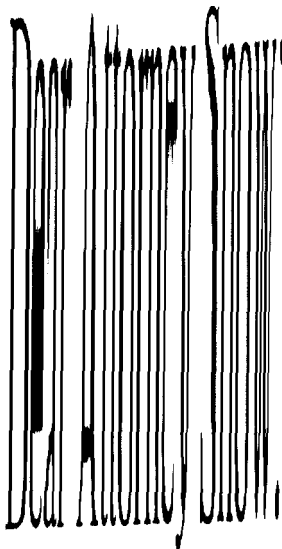
## ZONING BOARD OF APPEALS

Patric Santerre, **Chair**  
Catherine Alexander, Secretary  
William Hall  
Nan Sawyer  
Joseph Lewis

February 12, 2004

Terry N. Snow  
P.O. Box 275  
Cumberland, ME 04021

RE: 145-153 Tucker Ave.  
CBL: 330-D-005 through 008  
ZONE: R-2 Zone



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