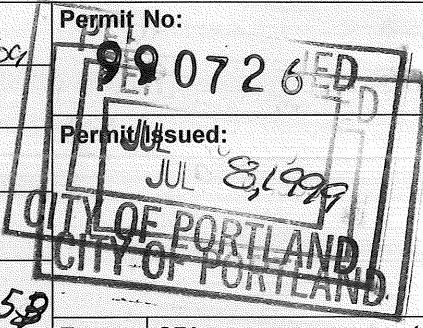


**City of Portland, Maine – Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 14/ Tucker Ave. Ext. Lot#10		Owner: Design Dwellings Inc.		Phone: 839-2631 <i>FAX 839-4504</i>		Permit No: 990726	
Owner Address: 42 Westlawn Rd. Portland, ME		Lessee/Buyer's Name: Steve Pelletier		Phone:		BusinessName:	
Contractor Name: * Design Dwellings Inc.		Address: 65 Main St. Gorham, ME 04038		Phone: 839-2631		Permit Issued: JUL 8, 1999	
Past Use: Vacant		Proposed Use: New 1-Family, Tri-level w/2 car garage under.		COST OF WORK: \$ 100,000		PERMIT FEE: \$ 520.00	
Proposed Project Description: Build new single family home, tri-level, 4 B/R, with 2 car garage under.				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: 03 Type: 5D	
				Signature:		Signature: <i>[Signature]</i>	
				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		Zone: CBL: 330-D-002	
				Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied <input type="checkbox"/>		Zoning Approval: <i>[Signature]</i> 7/2/99	
Permit Taken By: SP		Date Applied For: June 25, 1999		Signature:		Date:	



1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

\*\*\*\* Mail to: Design Dwellings Inc.  
65 Main Street  
Gorham, ME 04038

**PERMIT ISSUED WITH REQUIREMENTS**

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT	ADDRESS:	DATE: 6-25-99	PHONE:
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE			PHONE:

- Zoning Appeal**
- Variance
  - Miscellaneous
  - Conditional Use
  - Interpretation
  - Approved
  - Denied

- Historic Preservation**
- Not in District or Landmark
  - Does Not Require Review
  - Requires Review

Action:  Approved  Approved with Conditions  Denied

Date: *[Signature]*

CEO DISTRICT 1

COMMENTS

7/13 Pre Construction, Footings & Soffits OK (DC)

7/16 Foundation OK to backfill (DC)

8/6/99 Framing OK except headroom stairway to basement & chimney clearances. Plumbing Rough OK (DC)  
 Notified Rick Ober 8/9 DC

9/1/99 Final Inspection w/ Susan D. need These items remediated or inspected:

1. Headroom on stairs going to basement & up to kitchen is less than 80"-6'8" OK 9/2 JB
2. Furnace duct clearance to combustibles - need to be informed of plan. OK JB
3. Fire blocking on furnace wall & around chimney OK 9/2 JB
4. Scuttle too small 12"x22" - need 22"x30" OK 9/2 JB
5. Check chimney height at exterior. OK 9/2 JB
6. Ballusters on side deck stairs not compliant w/ 4" spacing OK 9/2 JB
7. No handrail on side deck stairs. OK 9/2 JB
8. No water pressure (city had turned off) check OK 9/2 JB

9/3 checked Furnace thru combustibles - Rock board, Type L 6" clearance  
 Rockboard w/ spacers good JB

9/10 received \$50.00 CFO Fee from D.D., DRC Letter & Heating systems Application. JB

Inspection Record

Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____



MAINE

Inspection

# Occupancy

11 Tucker Ave. CBL: 330-D-002

Date of Issue September 2, 1999

part thereof, at the above location, built — altered  
, has had final inspection, has been found to conform  
Building Code of the City, and is hereby approved for  
below.

## APPROVED OCCUPANCY

Single Family  
Use Group R3  
Type 5B  
BOCA 96



*Inspector of Buildings*

identifies lawful use of building or premises, and ought to be transferred from  
property changes hands. Copy will be furnished to owner or lessee for one dollar.



Design Dwellings, Inc.

BUILDER / DEVELOPER

Route 25, Gorham, Maine 04038 • 207-839-2631 / Fax 839-4509

## MEMO

To: Sherry

From: Marcel

Reference: Permit for Tucker Ave

Date: 6/22 Lot 10

Please call when you have  
amt. due.

Thanks

Marcel  
Waiting  
for check 6/23/99

Fax

Mailed



**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED**

**Minor/Minor Site Review, Building or Use Permit Pre-Application  
Detached Single Family Dwelling**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

**NOTE\*\*If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: <u>Tucker Ave Ext. lot # 10</u>			
Total Square Footage of Proposed Structure <u>1606</u>		Square Footage of Lot <u>18000</u>	
Tax Assessor's Chart, Block & Lot Number Chart# <u>330</u> Block# <u>D</u> Lot# <u>002</u>		Owner: <u>Design Dwellings Inc.</u>	Telephone#: <u>839-2631</u>
Lessee/Buyer's Name (If Applicable) <u>Steve Pellelier</u>		Owner's/Purchaser/Lessee Address: <u>42 Westlawn Rd. Portland</u>	Cost Of Work: <u>\$100,000</u> Fee: <u>\$520</u>
Proposed Project Description:(Please be as specific as possible) <u>Single Family, Tri level, 4 B/R, w/2 car gar under.</u>			
Contractor's Name, Address & Telephone <u>Design Dwellings Inc. 65 main St. Gorham Me. 04038</u> Rec'd By: <u>[Signature]</u>			

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- **All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.**
- **All plumbing must be conducted in compliance with the State of Maine Plumbing Code.**
- **All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.**
- **HVAC(Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.**

You must include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan (Sample Attached)

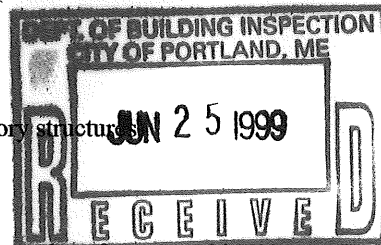
A "minor/minor" site plan review is required prior to permit issuance. The Site plan must be prepared and sealed by a registered land surveyor (2 copies are required). A complete plot plan (Site Plan) includes:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks SP 300 + 520
- First Floor sill elevation ( based on mean sea level datum); \$ 820.
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

**4) Building Plans (Sample Attached)**

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.



**Certification**

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

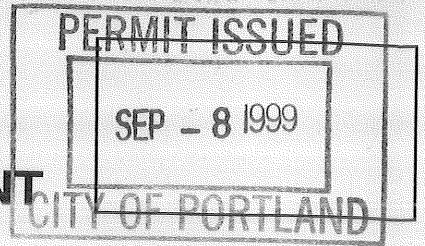
Signature of applicant: <u>[Signature]</u>	Date: <u>6/22/99</u>
--	----------------------

Site Review Fee: \$300.00/Building Permit Fee: \$25.00 for the 1st \$1000.cost plus \$5.00 per \$1,000.00 construction cost thereafter.



FILL IN AND SIGN WITH INK

# APPLICATION FOR PERMIT HEATING OR POWER EQUIPMENT



990961

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location / CBL 141 Lecker Ave 330-D-002 Use of Building 1-Farm Date 9/3/99

Name and address of owner of appliance Design Dwelling Main St Portland

Installer's name and address North's Plumbing & Heating, 36 Constitution Dr, Westbrook ME 04092 Telephone 878-5895

### Location of appliance:

- Basement
- Floor
- Attic
- Roof

### Type of Fuel:

- Gas
- Oil
- Solid

Appliance Name: New Yorker

U.L. Approved  Yes  No

Will appliance be installed in accordance with the manufacture's installation instructions?  Yes  No

IF NO Explain: \_\_\_\_\_

### The Type of License of Installer:

- Master Plumber # \_\_\_\_\_
- Solid Fuel # MS30001002
- Oil # \_\_\_\_\_
- Gas # \_\_\_\_\_
- Other \_\_\_\_\_

### Type of Chimney:

- Masonry Lined  
Factory built \_\_\_\_\_
- Metal  
Factory Built U.L. Listing # \_\_\_\_\_
- Direct Vent  
Type \_\_\_\_\_ UL# \_\_\_\_\_

### Type of Fuel Tank

- Oil
- Gas

Size of Tank 275 gallons

Number of Tanks 1

Distance from Tank to Center of Flame 15 feet.

Cost of Work: \$ 4000.00

Permit Fee: \$ 48.<sup>00</sup>

### Approved

Fire: \_\_\_\_\_  
Ele.: \_\_\_\_\_  
Bldg.: \_\_\_\_\_

### Approved with Conditions

See attached letter or requirement  
[Signature] 9/9/99  
Inspector's Signature Date Approved

Signature of Installer [Signature]

# PLUMBING APPLICATION

Department of Human Sciences  
Division of Health Engineering **AK DC**

330-D-002

**PROPERTY ADDRESS**

Town or Plantation: Portland

Street Subdivision Lot #: 141 Tucker Ave<sup>Lot</sup> 10

**PROPERTY OWNERS NAME**

Last: Design Dwellings First: \_\_\_\_\_

Applicant Name: Richard P. Martin

Mailing Address of Owner/Applicant (If Different): 36 Constitution Dr. Westbrook, Me. 04092

PORTLAND PERMIT # 6959 STATE COPY

Date Permit Issued: 7.20.99 \$ 48  Double Fee Charged

104 Local Plumbing Inspector Signature L.P.I. # 0124

**Owner/Applicant Statement**

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspectors to deny a Permit.

Richard P. Martin 7-20-99

Signature of Owner/Applicant Date

**Caution: Inspection Required**

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

[Signature] 9/3/99

Local Plumbing Inspector Signature Date Approved

**PERMIT INFORMATION**

This Application is for:

- NEW PLUMBING
- RELOCATED PLUMBING

Type of Structure To Be Served:

- SINGLE FAMILY DWELLING
- MODULAR OR MOBILE HOME
- MULTIPLE FAMILY DWELLING
- OTHER - SPECIFY \_\_\_\_\_

Plumbing To Be Installed By:

- MASTER PLUMBER
- OIL BURNERMAN
- MFG'D. HOUSING DEALER/MECHANIC
- PUBLIC UTILITY EMPLOYEE
- PROPERTY OWNER

LICENSE # 02727

Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Column 2		Column 1	
	Number	Type of Fixture	Number	Type of Fixture
<p><b>OR</b></p> <p>HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.</p> <p>HOOK-UP: to an existing subsurface wastewater disposal system.</p> <p>PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.</p>	2	Hosebibb / Sillcock	2	Bathtub (and Shower)
		Floor Drain		Shower (Separate)
		Urinal	1	Sink
		Drinking Fountain	2	Wash Basin
		Indirect Waste	2	Water Closet (Toilet)
		Water Treatment Softener, Filter, etc.	1	Clothes Washer
		Grease / Oil Separator	1	Dish Washer
		Dental Cuspidor	1	Garbage Disposal
		Bidet		Laundry Tub
		Other: _____		Water Heater
<p><b>OR</b></p> <p>TRANSFER FEE [\$6.00]</p>		Fixtures (Subtotal) Column 2	10	Fixtures (Subtotal) Column 1
			12	Fixtures (Subtotal) Column 2
			12	<b>Total Fixtures</b>
				Fixture Fee
				Transfer Fee
			Hook-Up & Relocation Fee	
			<b>Permit Fee (Total)</b>	48

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE



*Area 1*

**MEMORANDUM**

**TO:** Code Enforcement  
Kandi Talbot, Planner

**FROM:** Jim Wendel, P.E. Development Review Coordinator

**DATE:** September 8, 1999

**RE:** Certificate of Occupancy  
141 Tucker Avenue (lot 10)

---

It is our opinion that all the conditions of approval have been satisfactorily completed and a **permanent certificate of occupancy could be issued** assuming code enforcement has no outstanding issues.

1350.10/disk13/141tuck1

Book 14510  
06019 1/29/99

DESIGN.QUITCLAIM.DMK.2  
01.14.99

**QUITCLAIM DEED**

**KNOW ALL PERSONS BY THESE PRESENTS**, that the City of Portland, a body politic and corporate in the County of Cumberland, State of Maine, in consideration of one dollar (\$1.00) and other valuable consideration paid by Design Dwellings, Inc., a Maine corporation with a place of business at 65 Main Street, Gorham, County of Cumberland, State of Maine, the receipt whereof is hereby acknowledged, does hereby remise, release, bargain, sell and convey and forever quitclaim to the said Design Dwellings, Inc., its successors and assigns, a certain lot or parcel of land described in Schedule A, attached hereto and incorporated herein by reference.

**IN WITNESS WHEREOF**, the said City of Portland has hereunto caused this instrument to be signed by Duane G. Kline, its duly authorized Director of Finance, this 14 day of January, 1999.

Janette Joseph  
Witness

CITY OF PORTLAND  
By: [Signature]  
Duane G. Kline  
Director of Finance

STATE OF MAINE  
CUMBERLAND, ss.

Date: Jan 14, 1999

Personally appeared the above-named Duane G. Kline in his capacity as the Director of Finance of the City of Portland, and acknowledged the foregoing instrument to be his free act and deed and the free act and deed of the City of Portland.

Before me,  
Donna M. Katsiaticas  
Notary Public/Attorney at Law

Donna M. KATSIAFICAS  
Printed Name

Legal Description  
Land to be conveyed  
from the City of Portland  
to Design Dwellings, Inc.

**EXHIBIT A**

A certain lot or parcel of land, together with the improvements thereon, situated on the easterly side of Tucker Avenue, in the City of Portland, County of Cumberland, and the State of Maine, being more particularly bounded and described as follows:

Beginning at an 5/8 inch rebar with cap "STI" to be set at the most westerly corner of land now or formerly of Bernard Higgins, at the southeasterly sideline of Tucker Avenue Extension, being approximately 217.04 feet southwesterly of its intersection with Newell Street;

Thence S 62°-01'-08" E along land now or formerly of Higgins and of Robert Titcomb, a distance of 150.00 feet to a 5/8 inch rebar with cap "STI" to be set at the northwesterly sideline of Beal Street;

Thence S 27°-58'-42" W along the northwesterly sideline of Beal Street, a distance of 450.00 feet to the northeasterly sideline of land formerly of Theresa M. Risbara;

Thence N 62°-01'-18" W along land formerly of Risbara, a distance of 150.00 feet to the southeasterly sideline of Tucker Avenue Extension;

Thence N 27°-58'-42" E along the southeasterly sideline of Tucker Avenue Extension, a distance of 230.00 feet to a 5/8 inch rebar with cap "STI" to be set at land now or formerly of Donna L. Currier;

Thence S 62°-01'-18" E along land now or formerly of Currier, a distance of 75.00 feet to a 5/8 inch rebar with cap "STI" to be set;

Thence N 27°-58'-42" E along land now or formerly of Currier, a distance of 120.00 feet to a 5/8 inch rebar with cap "STI" to be set;

Thence N 62°-01'-18" W along land now or formerly of Currier, a distance of 75.00 feet to a 5/8 inch rebar with cap "STI" to be set;

Thence N 27°-58'-42" E along the southeasterly sideline of Tucker Avenue Extension, a distance of 90.00 feet to the Point of Beginning.

The total area of the here-in-described parcel is approximately 58,500 square feet.



Reference is made to a plan entitled "Final Subdivision Plan of Tucker Avenue Extension for Design Dwellings, Inc."; by Sebago Technics, Inc., dated October 6, 1998, and still under revision, to be recorded at the Cumberland County Registry of Deeds.

Meaning and intending to describe the following City of Portland Tax Lots:

Map 332, Block D, Lots 12-19, 23-33, 47

Map 330, Block D, Lots 2-4, 13-15

MWE:mwe/jc  
January 4, 1999

A certain lot or parcel of land located on the easterly side of Riverside Industrial Parkway in the City of Portland, County of Cumberland, State of Maine, bounded and described as follows:

Beginning at a point on the easterly sideline of Riverside Industrial Parkway at the northerly corner of land now or formerly of Melvin E. Ireland as described in a deed recorded in the Cumberland County Registry of Deeds in Book 2981, Page 724 and at the westerly corner of land now or formerly of Theresa M. Risbara as described in a deed recorded in said Registry in Book 6947, Page 144;

Thence by the following courses and distances:

N 62°-01'-18" W, a distance of 20.00 feet to a point;

N 27°-59'-41" E, a distance of 691.28 feet to a point and the southerly sideline of Newell Street;

N 82°-58'-48" E by the southerly sideline of said Newell Street, a distance of 97.50 feet to a point in the southerly sideline of said Newell Street and the westerly sideline of Tucker Avenue;

S 14°-28'-57" W along the westerly sideline of said Tucker Avenue, a distance of 213.09 feet to an angle point in the westerly sideline of said Tucker Avenue;

S 27°-58'-42" W along the westerly sideline of said Tucker Avenue, a distance of 180.00 feet to a point and the easterly corner of land now or formerly of Theresa M. Risbara as recorded in a deed in said Registry in Book 7011, Page 156;

N 62°-01'-18" W by land of said Risbara, a distance of 109.70 feet to a point;

S 27°-59'-41" W by land of said Risbara, a distance of 150.00 feet to a point;

S 62°-01'-18" E by land of said Risbara, a distance of 109.74 feet to a point and the westerly sideline of said Tucker Avenue;

S 27°-58'-42" W by the westerly sideline of said Tucker Avenue, a distance of 120.00 feet to a point and the easterly corner of land now or formerly of Theresa M. Risbara as described in a deed recorded in said Registry in Book 6947, Page 144;

N 62°-01'-18" W by land of Risbara, a distance of 109.77 feet to a point;

S 27°-59'-41" W by land of said Risbara, a distance of 90.00 feet to the point of beginning.

The above described parcel contains 63,183 square feet, or 1.44 acres, and being shown as land now or formerly of the City of Portland on a plan entitled, "Recording Plat of Tucker Avenue Extension by Sebago Technics, Inc. dated October 6, 1998 and revised January 6, 1999.

Bearings are referenced to True North.

Meaning and intending to convey the interest acquired by the City of Portland by virtue of the following Collector's Tax Deeds:

Deed dated February 28, 1956, recorded March 27, 1958 in Book 2401, Page 236;

Deed dated February 26, 1971, recorded June 6, 1973 in Book 3407. Page 193;

Deed dated February 27, 1965 recorded August 2, 1967 in Book 3005, Page 520;

Deed dated February 28, 1935, recorded March 23, 1945 in Book 1776, Page 227;

Deed dated February 27, 1970, recorded June 6, 1973 in Book 3407, Page 187;

Deed dated February 24, 1932, recorded March 23, 1945 in Book 1776, Page 123.

Also meaning and intending to convey a portion of the lot acquired by the City of Portland from the following warranty deeds:

1. Deed of Olive M. Williamson to City of Portland, dated January 11, 1965 recorded in Book 2879, Page 84;
2. Deed of Catherine Connolly to City of Portland, dated March 31, 1964, recorded in Book 2814, Page 327;
3. Deed of Catherine H. Myatt to City of Portland, dated March 31, 1964, recorded in Book 2816, Page 178;
4. Deed of Thomas E. Greaney to City of Portland, dated March 12, 1964, recorded in Book 2816, Page 192;
5. Deed of Melvin E. Ireland and Katherine G. Ireland to City of Portland, dated March 31, 1964, recorded in Book 2816, Page 184;
6. Deed of Albert T. Webster to City of Portland, dated November 18, 1963, recorded in Book 2816, Page 198.

All deeds recorded in the Cumberland County Registry of Deeds.



BUILDING PERMIT REPORT

DATE: 30 June 99 ADDRESS: LOT #10 Tucker Ave. CBL: 330-B-002  
REASON FOR PERMIT: Single Family Dwelling / Garage  
BUILDING OWNER: Design Dwelling Inc.  
PERMIT APPLICANT: SAO  
USE GROUP R-3 BOCA 1996 CONSTRUCTION TYPE 5B

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions are met:

Approved with the following conditions: \* (2, 3, 4, 5, 8, 9, 11, 12, 13, 14, 15, 19, 26, 27, 28, 29, 30, 32) #31

- 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- 2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
- 3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
- 4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' o.c. between bolts. (Section 2305.17)
- 5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
- 6. Precaution must be taken to protect concrete from freezing. Section 1908.0
- 7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
- 8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1996)
- 9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
- 10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
- 11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2, M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 3e4" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".) Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0) - Handrails shall be on both sides of stairway. (Section 1014.7)
- 12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
- 13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
- 14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
- 15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1018.6)
- 16. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
- 17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.) (Section 710.0)
- 18. The boiler shall be protected by enclosing with (1)hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)
- 19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be

installed and maintained at the following locations):

- In the immediate vicinity of bedrooms
- In all bedrooms
- In each story within a dwelling unit, including basements

In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required) Section 920.3.2.

20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
21. The Fire Alarm System shall maintained to NFPA #72 Standard.
22. The Sprinkler System shall maintained to NFPA #13 Standard.
23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1996)
24. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
26. Ventilation shall meet the requirements of Chapter 12 Sections 1210.0 of the City's Building Code. (Crawl spaces & attics).
27. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
28. All requirements must be met before a final Certificate of Occupancy is issued.
29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (the BOCA National Building Code/1996).
30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993). (Chapter M-16)
31. Please read and implement the attached Land Use Zoning report requirements. *— please see attached report*
32. Boring, cutting and notching shall be done in accordance with Sections 2305.4.4, 2305.5.1 and 2305.5.3 of the City's Building Code.
33. Glass and glazing shall meet the requirements of Chapter 24 of the building code.
- 34.

35.

36.

Samuel Hoffses, Building Inspector  
cc: Lt. McDougall, PFD  
Marga Schmuckal, Zoning Administrator

PSH 16-14-98

\*\*On the basis of plans submitted and conditions placed on these plans any deviations shall require a separate approval.





**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

19990087  
I. D. Number

**Design Dwellings**

Applicant  
**65 Main St, Portland, ME 04038**  
Applicant's Mailing Address

6/28/99  
Application Date  
**Tucker Ave Lot 10**  
Project Name/Description

Consultant/Agent  
**839-2631**  
Applicant or Agent Daytime Telephone, Fax

**141 Tucker Ave**  
Address of Proposed Site  
**330-D-002**  
Assessor's Reference: Chart-Block-Lot

**DRC Conditions of Approval**

Approved subject to Site Plan Review Addendum Conditions of Approval:

All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.

Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy (2"-2 1/2" caliper for deciduous or 6'-7' evergreen)

Your new street address is now 141 Tucker Avenue, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.

The Development Review Coordinator (874-8300 ext.8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

Show all utility connections: water, sanitary, sewer, storm drain, electric, telephone, cable.

A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.

As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.

The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.

The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.

A drainage plan shall be submitted to and approved by Development Review Coordinator showing first floor elevation (FFE), sill elevation (SE), finish street/curb elevation, lot grading, existing and proposed contours, drainage patterns and paths, drainage swales, grades at or near abutting property lines, erosion control devices and locations and outlets for drainage from the property.

The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

Eroded soil shall be contained on site. A crushed stone construction entrance shall be placed within the curb cut.

All disturbed areas shall be permanently stabilized with 4" loam, seed and mulch.

**Planning Conditions of Approval**

**Inspections Conditions of Approval**

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

**19990087**

I. D. Number

**Design Dwellings**

Applicant

**65 Main St, Portland, ME 04038**

Applicant's Mailing Address

Consultant/Agent

**839-2631**

Applicant or Agent Daytime Telephone, Fax

**6/28/99**

Application Date

**Tucker Ave Lot 10**

Project Name/Description

**141 Tucker Ave**

Address of Proposed Site

**330-D-002**

Assessor's Reference: Chart-Block-Lot

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. A 20' wide undisturbed/natural buffer & drainage easement shall remain in a natural state per individual lot deed.
3. Separate permits shall be required for future decks, sheds, pools, and/or garage.

**Fire Conditions of Approval**

DESIGN DWELLINGS, INC.  
CONTRACT FOR THE SALE OF REAL ESTATE

May 24, 1999

Received of Steve Pallitieri + Ginnie Keams

of 47 Westlawn Rd., Portland Me 04103

Telephone number 8788853 deposit held by the seller, the sum of  
(\$ 1000.-) One thousand- dollars as earnest money

and in part payment on account of the purchase price of the real estate situated in the

County of CUMBERLAND, and State of Maine described as follows:

LOT 10 Fucker Ave together with a house  
to be built per plans + specs.

The following items to be included in the sale are represented in the plans and specification  
which is signed of the same date by all parties.

www.2-10hbw.com



Home Buyers Warranty®  
New Home 800-488-8844 / Resale 800-795-9595

www.2-10hbw.com

ade as follows:

7/8/99  
Steve G.K.

subject to the

1. **DESIGN DWELLINGS,** \_\_\_\_\_ shall hold said earnest money and act as escrow agent  
until transfer of title; that 7 days shall be given for obtaining the Seller's acceptance and in the  
event of the Seller's non-acceptance, this earnest money shall be promptly returned to the  
Purchaser.

3-APR  
G.K.

2. That a good and sufficient deed showing marketable title shall be delivered to the purchaser, and it is agreed that this transaction shall be closed and the Purchaser shall pay the purchase price as provided herein and execute all papers necessary for the completion of this purchase

on RECEIVED 9/15/99. Should the title prove defective, however, then the seller shall have a reasonable time after due notice of such defect or defects to remedy the title and hereby agrees to use diligent efforts to cure any such defects. If, after such time, the defect or defects are not corrected so that there is a marketable title, then the Purchaser may, at his option, withdraw said earnest money and be relieved from all obligations hereunder.

Both seller & purchaser agree to close at the bank/lenders earliest convenient upon receiving the final inspection from the bank/lender and/or the Town. Generally closing can take place three (3) business days after the final inspection. The seller shall schedule the closing.

3. The property shall be conveyed by a WARRANTY deed and shall be free and clear of all encumbrances except covenants, conditions, easements and restrictions of record and shall be subject to applicable land use laws and regulations.

4. That full possession will be immediately upon transfer of title, unless otherwise agreed to in writing by both purchaser and seller.

5. The following items shall be pro-rated as of transfer of title: Real Estate taxes for the fiscal year in the town of Port, Seller is responsible for any unpaid taxes from prior years. Electricity yes  no ; Fuel yes  no ; Water yes  no ; Sewer yes  no ; Rents yes  no ; Association fees yes  no

6. Purchaser and Seller will each pay their transfer tax as require by the State of Maine.

7. The risk of loss or damage to said premises by fire or otherwise, until transfer of title is assumed by the Seller.

8. This contract is subject to an approved Con mortgage loan o      % of the purchase price, at an interest rate not to exceed prair % and amortized over a period of not less than 30 years.

A. The purchaser is under a good-faith obligation to actively seek and accept financing on the above described terms and shall make application for said mortgage within seven (7) days of the Effective date of this contract. The purchaser acknowledges that a breach of this good-faith obligation will a breach of this contract.

B. This contract is subject to a written or verbal statement from the lender within fifteen (15) days of the Effective Date indicating that the Purchaser has made application and that based upon the information given and subject to verification, is qualified for the loan requested. Final loan approval shall be obtained within 21 days of the Effective Date of this contract. The Seller may at their option waiver this condition and proceed on good faith through verbal communications with the lender.



If either of these loan approvals is not obtained within said time periods, this contract shall be null and void and earnest money shall be promptly returned to the Purchaser.

9. The Seller agrees to pay up to 0 points, which may be required by the lender for the above requested mortgage.

10. The Purchaser is encouraged to seek information from professionals regarding any specific issue or concern. It is recommended that the Purchaser have the following inspections. This contract is subject to the following inspections with results being satisfactory to the Purchaser.

TYPE OF INSPECTION	YES	NO	
a. General Building	___	<u>X</u>	within ___ days
b. Sewage Disposal	___	<u>X</u>	within ___ days
c. Radon Air Quality	___	<u>X</u>	within ___ days
d. Radon Water Quality	___	<u>X</u>	within ___ days
e. Asbestos	___	<u>X</u>	within ___ days
f. Lead Paint	___	<u>X</u>	within ___ days
g. Other	___	<u>X</u>	within ___ days

If the purchaser chooses to have an inspector other than (the Town and the Lender), it shall be paid for by the Purchaser. Design Dwellings, Inc. shall be notified twenty-four (24) hours in advance of any inspections so that they may have a representative present. If the results of any inspections is unsatisfactory to the purchaser, the Seller may correct the problem with forty-eight (48) hours. If the Seller does not agree that a problem exist, another inspector shall be employed by both parties or the lenders inspector will make the determining decision. Any inspector hired by the purchaser shall be a licensed home (new construction) inspector. In the absence of an inspector as listed above the Purchaser is relying on the lenders inspector.

11. If the water supply to the premises is private, Seller, at his expense, will supply a recent New Water Supply test conforming to the requirements of the State Bureau of Health and/or lending institution prior to closing.

The purchaser acknowledges receipt of written disclosures regarding:

Water source: yes no; Sewage Disposal: yes no Insulation: yes X no \_\_\_

Hazardous Waste: yes no If any of the above items is marked "NO" this contract is subject to the purchaser receiving and approving that information within five (5) days of the Effective date of this contract.

12. If the Purchaser fails to make either of the payments, or any part thereof, or to perform any of the covenants on his part made or entered into, this contract, at the option of the Seller, shall be terminated and the Purchaser shall forfeit said earnest money and the same shall be retained by the Seller as liquidated damages, and the escrow agent is hereby authorized by the Purchaser to pay over to the Seller the earnest money.

13. This contract shall extend to and be obligatory upon heirs, personal representatives, successor and assigns of the respective parties.

14. If a Real Estate broker is involved in this transaction his/her name and commission amount must be noted on the signature page of this contract. If not noted and the Buyers have entered into any sort of "Buyers Agreement" it shall be the Buyers obligation to pay the agreed upon commission. The Seller will not be obligated to pay any commission unless it agreed to in this contract.

15. This contract completely expresses the obligation of the parties, and this contract is entered into by each party after opportunity for investigation, neither party relying on any statements or representations not contained in this contract made by the other or on his behalf.

**WHEN FULLY EXECUTED THIS IS A BINDING CONTRACT. IF NOT FULLY UNDERSTOOD, CONSULT AN ATTORNEY. A COPY OF THE CONTRACT IS TO BE RECEIVED BY ALL PARTIES AND BY SIGNATURE RECEIPT OF A COPY IS HEREBY ACKNOWLEDGE.**

**Additional conditions and Disclosures for the purpose of complying with the requirements of Maine's Home Construction Act, Title 10 M.R.S.A. Section 1486 et seq.,**

1. Warranty. In addition to any additional warranties agreed to by the parties, the Contractor warrants that the work will be free from faulty materials; constructed according to the standards of the building code applicable for this location; and constructed in a skillful manner and fit for habitation or appropriate use. The warranty rights and remedies set forth in the Maine Uniform Commercial Code apply to this contract.

2. Resolution of Disputes. If a dispute arises concerning the provisions of this contract or the performance by the parties, then the parties agree to settle this dispute by jointly paying for the following method of dispute resolution, as indicated herein:

Binding arbitration as regulated by the Main Uniform Arbitration Act, with the parties agreeing to accept as final the arbitrators's decision.

3. Change Orders. Any alteration or deviation from the above contractual specifications that results in a revision of the contract price will be executed only upon the parties entering into a written Change Order. The Change Order must detail all changes to the original contract that result in a revision of the contract price. The previous contract price must be stated and the revised price shall also be stated. Work performed pursuant to Change Orders shall be performed under the same terms and conditions as specified in the original contract unless otherwise stipulated.

4. Energy Standards. Any construction pursuant to this agreement shall meet or exceed the standards for minimum energy efficiency for a new residential construction as developed and approved by the American Society of Heating, Refrigeration and Air Conditioning Engineers ("ASHRAE 90") pursuant to Title 10 M.R.S.A. Section 1411, et seq.

5. Incorporation: Waiver. The parties agree, as indicated herein, to either:  
 incorporate, the additional conditions and disclosures for the purpose of complying with the requirements of Maine's Home Construction Act, Title 10 M.R.S.A. Section 1486 et se items 1 thru 4 as stated above in this contract, as set forth herein.



Section 1486, et seq. the additional conditions and disclosures for the purpose of complying with the requirements of Maine's Home Construction Act, Title 10 M.R.S.A. Section 1486 et seq items 1 thru 4 as stated above in this contract. as set forth herein.

I/We hereby agree to purchase the above described property at the price and upon the terms and conditions set forth.

Gene Reynolds 6/3/99  
Witness Date

Finnie Kearns 1004-602-0088  
Purchaser Soc. Sec.#

for both  
Witness Date

Stu Bellis 005 50 1279  
Purchaser Soc. Sec.#

I/We hereby accept the offer and agree to deliver the above described property at the price and upon the terms and conditions above stated.

\_\_\_\_\_  
Witness Date

[Signature]  
Susan J. Duchaine  
President: Design Dwellings, Inc.  
Fed. ID# 01-0422077

I further agree to pay the broker a commission for his/her services 6 % of the purchase price.

Broker: Lisa Alden / Gene Reynolds

Soc. Sec.# \_\_\_\_\_

[Signature]  
Susan J. Duchaine  
President: Design Dwellings, Inc.

Effective date of contract: June 3, 1999

**EXTENSION**

The time for the performance of this contract is extended until \_\_\_\_\_

Witness our hands this \_\_\_\_\_ day of \_\_\_\_\_





Applicant: Design Dwellings INC Date: 7/6/99  
Address: 141 Tucker Avenue (lot #10) C-B-L: 330-D-2

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - R-2

Interior or corner lot -

Proposed Use/Work - construct new 1-family "Tri-level" with garage

Sewage Disposal - City

Submitted revised plot plan with all projections shown

Lot Street Frontage - 50' req - 90' shown

Front Yard - 25' req - 26' shown

Rear Yard - 25' req - 84' shown

Side Yard - 14' req 15' & 34' shown

Projections - rear stairs is small deck - front stairs off slider

Width of Lot - 80' req - 90' shown

Height - 2 stories

Lot Area - 10,000<sup>#</sup> req 10,000<sup>#</sup>

Lot Coverage/ Impervious Surface - 20% MAX  $\approx$  3600<sup>#</sup>

Area per Family - 10,000<sup>#</sup> min

Off-street Parking - 2 req - 2 shown

Loading Bays - N/A

Site Plan - # 19990007

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Zone C - Panel 1

$$20 \times 26 = 520^{\#}$$

$$21 \times 40 = 840$$

$$1360^{\#}$$

A 20' wide undisturbed/natural Buffer & drainage easement shall remain in a natural state per individual lot deed.

12 Westbrook Common  
P.O. Box 1339  
WESTBROOK, MAINE 04098  
(207) 856-0277 FAX (207) 856-2206

SHEET NO. \_\_\_\_\_ OF \_\_\_\_\_  
CALCULATED BY: JRS DATE: 6-17-99  
CHECKED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
SCALE: 1" = 20'

**LOT 10** TUCKER WOODS SUBDIVISION

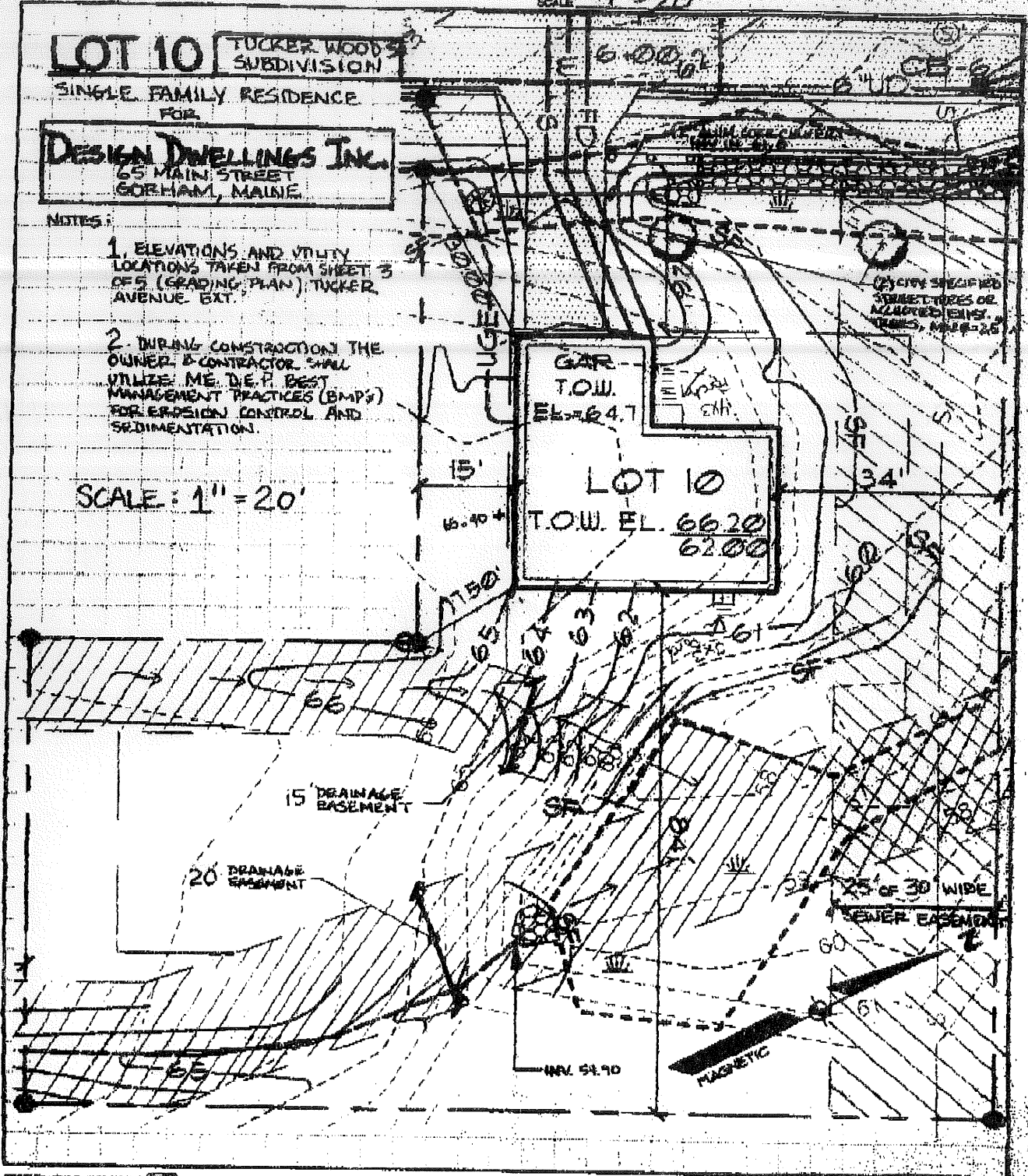
SINGLE FAMILY RESIDENCE FOR

**DESIGN DWELLINGS INC.**  
65 MAIN STREET  
GORHAM, MAINE

NOTES:

- 1. ELEVATIONS AND UTILITY LOCATIONS TAKEN FROM SHEET 3 OF 5 (GRADING PLAN), TUCKER AVENUE EXT.
- 2. DURING CONSTRUCTION THE OWNER & CONTRACTOR SHALL UTILIZE ME. D.E.P. BEST MANAGEMENT PRACTICES (BMP's) FOR EROSION CONTROL AND SEDIMENTATION.

SCALE: 1" = 20'



PROTECT COPY - CONSULT SHEET 2 OF 5 (PLAN) FOR ALL UTILITY LOCATIONS AND ELEVATIONS. SEE SHEET 2 OF 5 (PLAN) FOR ALL DIMENSIONS AND NOTES.

Received 7/7/99 TOTAL P.01

Model TD Chimney Pipe & Fittings

**Melvent All Fuel Chimney** is designed for use with **NEGATIVE PRESSURE** gas, oil or wood-fired appliances, including central Furnaces, floor furnaces, steam and hot water boilers, fireplaces, unit heaters, water heaters, cooking and heating stoves, and low-heat commercial and industrial appliances.

To assemble, simply stack sections and lock securely in place with a simple slip ring. No screws, no twisting.

**THERMAGARD** insulation\* reduces the total building space requirements for a chimney compared to masonry. (Both require 2" airspace to combustibles by code.)

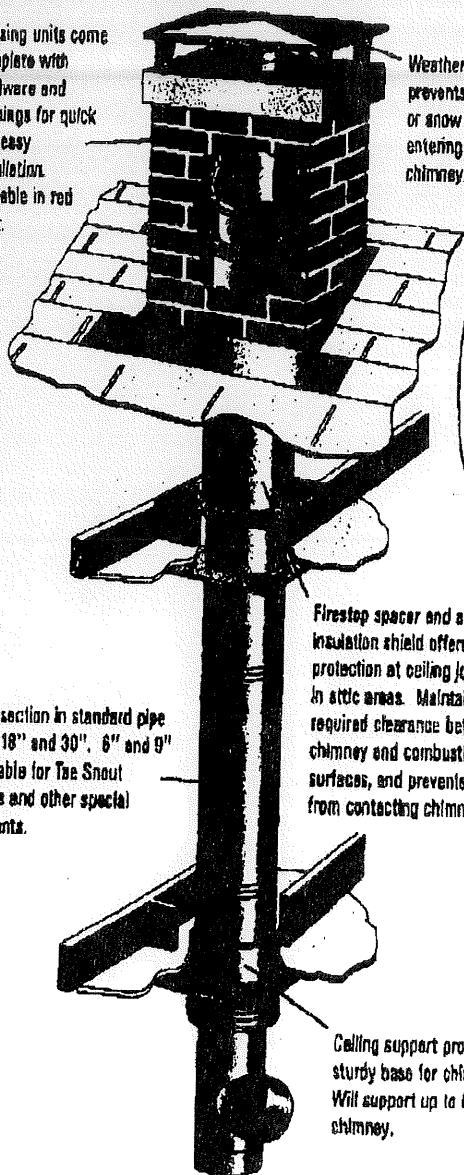
**IMPORTANT:** A chimney connected to an appliance burning coal must be cleaned every 6 to 8 weeks and at the end of each heating season. Condensate and soot in the flue contain acids which will corrode stainless steel if allowed to remain.

SEE INSTALLATION INSTRUCTION FOR TEMPERATURE LIMITATIONS.

Model TD stainless steel inner liner, stainless steel outer sleeve.

Housing units come complete with hardware and flashings for quick and easy installation. Available in red brick.

Weather cap prevents rain or snow from entering chimney.



Chimney section in standard pipe length of 18" and 30". 6" and 9" also available for Tee Snout extensions and other special requirements.

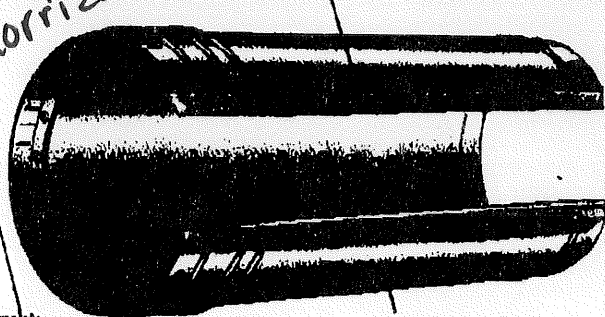
Firestep spacer and attic insulation shield offers complete protection at ceiling joints, and in attic areas. Maintains required clearance between chimney and combustible surfaces, and prevents insulation from contacting chimney.

Ceiling support provides sturdy base for chimney. Will support up to 65' of chimney.

### Melvent® Chimney Construction Features

*Not approved horizontal*

**THERMAGARD** insulation\* with extremely low K factor permits 2" minimum clearance to combustibles. Insulated space only 1" between inner and outer liners.



Stainless steel inner pipe gives rapid warm-up, providing quick, strong draft. Available in 6", 7", 8", 10", 12" and 14" diameters. Non-corrosive.

Stainless steel outer pipe has deformed ends for maximum strength and perfect fit. Weather resistant.

\*Does not contain asbestos.

MELVENT PIPE complies with the latest Underwriters' Laboratories Standard No. 103 HT.

This Product is Listed by **UNDERWRITERS LABORATORIES INC.** and Bears the Mark:





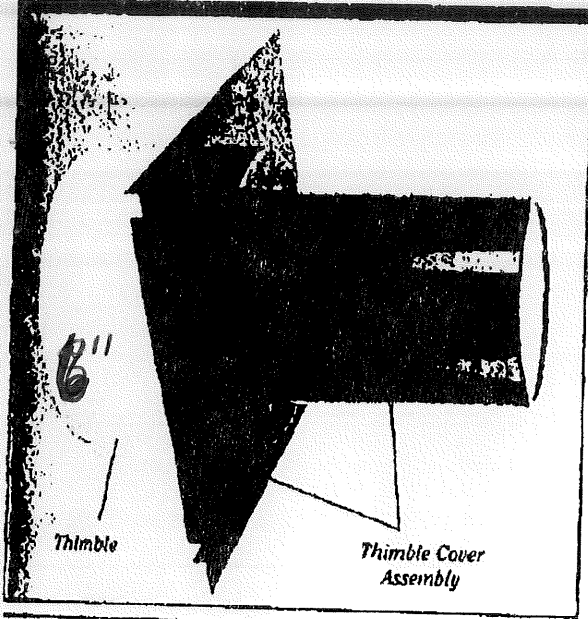
Design  
Fax 839-4509

# SEBAGO LAKE POOLS

PROFESSIONAL INGROUND AND ABOVEGROUND POOL BUILDERS

**FROST N FLAME**  
GAS FIREPLACES, WOODSTOVES, AND GAS HEATING STOVES

**629 MAIN ST.**  
**GORHAM, ME 04038**  
**(207)856-1000 (207)856-7000**  
**FAX# (207)856-1164**



### UL Listed Insul-Flue Insulated Thimble

Use this thimble when you need to pass through a combustible wall and into a masonry chimney.

This unit is sold in two parts. The Thimble Cover Assembly and the Thimble itself.

You need one Thimble Cover Assembly per installation. The Thimble Cover Assembly protrudes 13" into the room.

The number of Thimbles you need depends on the thickness of the combustible wall. The 8" long Thimble is designed to pass through a wall with maximum thickness of 7". You can add an additional 8" by cementing two Thimbles together with Rutland Hi-Temp Stove and Gasket Cement, page 144, so you can pass through

walls clear up to 15" thick. Or you can cut the Thimble down with a hacksaw for thinner walls.

The Insul-Flue Thimble requires a 15" or 17" square opening for use with 6" diameter or 8" diameter pipe, respectively. Complete installation instructions accompany each unit.

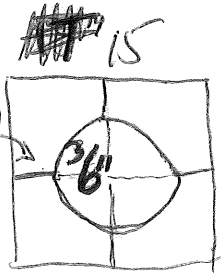
Note: When ordering make sure to order both the Thimble and the Thimble Cover Assembly for a complete installation.

Handwritten note: \$150.00 with Retain

Susan, I do not have a 8" unit in stock. If we express ship one we can generally get in 2 days

Cost 150.00  
Shipping 32.00  
9.25 tax  
total 190.25

What Fuel Oil



Green...  
Mr. GAS 292 6744  
233 8931



**CITY OF PORTLAND, ME  
BOCA 1996 Plan Review Record  
One and Two Family Dwelling**

Valuation: \$100,000.00 Plan Review # 884-99  
 Fee: 520.00 Date: 30 June 99

Building Location: LOT #10 Tucker Ave. CBL: 330-D-002

Building Description: Single Family dwelling / garage

Reviewed by: S. Hoffses

Use or Occupancy: R-3 Type of Construction: 53

\*NR: Not Required NA: Not Applicable SR: See Report X: OK per plan

Correction List		
NO:	Description	Code Section
1.	All Site Plan and building requirements shall be completed before a Certificate of occupancy can or will be issued.	1110
2.	Foundation drain	1813.5.2
3.	Foundation Anchor	2305.12
4.	Waterproofing & damp proofing	1813.0
5.	Private garages	407.0
6.	Chimneys & Vents NEPA #211-BOCA Mech/93 Chapter #12	
7.	Guardrails & Handrails	1021.0 1022.0
8.	Stair Construction	1014.0
9.	Sleeping room egress	1010.6
10.	Smoke detectors	920.3.2
11.	Ventilation Attic & Crawl space	1210.0
12.	Bldg. element Finishing Schedule	Table 2305.2



Foundations (Chapter 18)

Wood Foundation (1808)

~~NA~~ Design  
~~NA~~ Installation

Footings (1807.0)

- Depth below (outside) grade 4' minimum; but below frost line except for insulated footings.
- ~~NA~~ Insulated footing provided
- Soil bearing value (table 1804.3)
- Footing width
- Concrete footing (1810.0) .3.1, 3.2
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

Foundation Walls

- Design (1812.1)
- Minimum thickness Tables 1812.3.2.(1) & 1812.3.2 (2)
- ~~SA~~ Water proofing and damp proofing Section 1813
- Sill plate (2305.17)
- ~~SA~~ Anchorage bolting in concrete (2305.17)
- Columns (1912)
- ~~SA~~ Crawl space (1210.2) Ventilation
- ~~SA~~ Crawl opening size (1210.2.1)
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

Floors (Chapter 16-23)

- Joists - Non sleeping area LL40PSF (Table - 1606)
- Joists - Sleeping area LL30PSF (Table - 1606)
- Grade
- Spacing
- Span
- Girder 4" bearing 2305

### Floors (contd.)

- ~~X~~ Bearing (1 1/2" minimum on wood or steel 3" on masonry) and lapped (3")
  - ~~X~~ Bridging (2305.16)
  - ~~SR~~ Boring and notching (2305.5.1)
  - ~~SR~~ Cutting and notching (2305.3)
  - ~~SR~~ Fastening table (2305.2)
  - ~~ND~~ Floor trusses (AFPANDS Chapter 35)
  - ~~X~~ Draft stopping (721.7)
  - ~~X~~ Framing of openings (2305.11) (2305.12)
  - ~~X~~ Flooring - (2304.4) 1" solid - 1/2" particle board
  - ~~X~~ Concrete floors (1905) 3 1/2" 6 mil polyethylene vapor retarder
- 
- 
- 
- 
- 
- 
- 
- 

### Wall Construction (Chapter 2300)

- ~~A~~ Design (1609) wind loads
  - ~~X~~ Load requirements
  - ~~X~~ Grade
  - ~~SR~~ Fastening schedule (Table 2305.2)
  - ~~X~~ Wall framing (2305.4.1)
  - ~~X~~ Double top plate (2305.4.2)
  - ~~X~~ Bottom plates: (2305.4.3)
  - ~~SR~~ Notching and boring: (2305.4.4) studs
  - ~~X~~ Non load bearing walls (2305.5)
  - ~~SR~~ Notching and boring (2305.5.1)
  - ~~X~~ Wind bracing (2305.7)
  - ~~X~~ Wall bracing required (2305.8.1)
  - ~~X~~ Stud walls (2305.8.3)
  - ~~X~~ Sheathing installation (2305.8.4)
  - ~~X~~ Minimum thickness of wall sheathing (Table 2305.13)
  - ~~ND~~ Metal construction
  - ~~SR~~ Masonry construction (Chapter 21)
  - ~~X~~ Exterior wall covering (Chapter 14)
  - ~~X~~ Performance requirements (1403)
  - ~~X~~ Materials (1404)
  - ~~ND~~ Veneers (1405)
  - ~~X~~ Interior finishes (Chapter 8)
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**Roof-Ceiling Construction (Chapter 23)**

- ~~SA~~ Roof rafters - Design (2305.15) spans
- ~~X~~ Roof decking and sheathing (2305.15.1) 5/8" boards and (2307.3) (Table 2307.3.1(2))
- ~~X~~ Roof trusses (2313.3.1)
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

**Roof Coverings (Chapter 15)**

- ~~X~~ Approved materials (1404.1)
- ~~X~~ Performance requirement (1505)
- ~~X~~ Fire classification (1506)
- ~~SA~~ Material and installation requirements (1507)
- ~~X~~ Roof structures (1510.0)
- ~~X~~ Type of covering (1507)

**Chimneys and Fireplaces  
BOCA Mechanical/1993**

- ~~SA~~ Masonry (1206.0)
- ~~X~~ Factory - built (1205.0)
- ~~X~~ Masonry fireplaces (1404)
- ~~X~~ Factory - built fireplace (1403)

**Mechanical  
1993 BOCA Mechanical Code**

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

State Plumbing Code

- Public Water
- Public Water
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Load Design Criteria

Floor live load sleeping	<u>30 PSF</u>	<input checked="" type="checkbox"/>
Floor live load non sleeping	<u>40 PSF</u>	<input checked="" type="checkbox"/>
Roof live load	<u>42 PSF</u>	<input checked="" type="checkbox"/>
Roof snow load	<u>46 PSF</u>	<input checked="" type="checkbox"/>
Seismic Zone	<u>2</u>	<input checked="" type="checkbox"/>
Weathering area	<u>S</u>	<input checked="" type="checkbox"/>
Frost line depth	<u>4' MIN</u>	<input checked="" type="checkbox"/>

Glazing (Chapter 24)

- SA Labeling (2402.1)
- Louvered window or jalousies (2402.5)
- Human impact loads (2405.0)
- Specific hazardous locations (2405.2)
- Sloped glazing and skylights (2404)
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Private Garages (Chapter 4)

- SA General (407)
- Beneath rooms (407.3)
- Attached to rooms (407.4)
- Door sills (407.5)
- Means of egress (407.8)
- Floor surface (407.9)
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Egress (Chapter 10)

- ~~X~~ One exit from dwelling unit (1010.2)
- ~~SA~~ Sleeping room window (1010.4)
- ~~X~~ EXIT DOOR (1017.3) 32" W 80" H
- ~~X~~ Landings (1014.3.2) stairway
- ~~NA~~ Ramp slope (1016.0)
- ~~SA~~ Stairways (1014.3) 36" W
- ~~SA~~ Treads (1014.6) 10" min.
- ~~SA~~ Riser (1014.6) 7 3/4" max.
- ~~SA~~ Solid riser (1014.6.1)
- ~~NA~~ Winders (1014.6.3)
- ~~NA~~ Spiral and Circular (1014.6.4)
- ~~SA~~ Handrails (1022.2.2.) Ht.
- ~~SA~~ Handrail grip size (1022.2.4) 1 1/4" to 2"
- ~~SA~~ Guards (1012.0) 36" min.
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

Smoke Detectors (920.3.2)

- ~~SA~~ Location and interconnection
- ~~SA~~ Power source

Dwelling Unit Separation  
Table 602