

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: *** 141 Tucker Ave.		Owner: *** Steve & Gini Pelletier		Phone: 878-8853		Permit No: 000892	
Owner Address: 141 Tucker Ave.		Lessee/Buyer's Name:		Phone:		BusinessName:	
Contractor Name: (Custom Building & Remodeling) Bruce Fadden		Address: RRI Box 1496 Bridgdom, ME		Phone: 04009 647-4342		Permit Issued: AUG 15 2000	
Past Use: Single family		Proposed Use: Same		COST OF WORK: \$ 2,030.00		PERMIT FEE: \$ 42.00	
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: <i>Deck</i> Use Group: <i>A3</i> Type: <i>5B</i> <i>BOC 79d</i>	
Proposed Project Description: 10 x 14 deck on posts w/rails & gutter along eaves over deck				Signature:		Signature: <i>[Signature]</i>	
Permit Taken By: Gayle		Date Applied For: August 7, 2000 GG		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/>		Zone: <i>R-2</i> CBL: 330-D-002 Zoning Approval: <i>ok with conditions</i> Special Zone or Reviews <input type="checkbox"/> Shoreland <i>S 8/14/00</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

August 7, 2000

SIGNATURE OF APPLICANT	ADDRESS:	DATE:	PHONE:
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE			PHONE:

Zoning Appeal

Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation

Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:

Approved
 Approved with Conditions
 Denied

Date: *[Signature]*

PERMIT ISSUED WITH REQUIREMENTS

COMMENTS *

Handwritten notes area with 20 horizontal lines.

Inspection Record

Type

Date

- Foundation: _____
- Framing: _____
- Plumbing: _____
- Final: _____
- Other: _____

Blank lines for dates.

BUILDING PERMIT REPORT

DATE: 7/Aug 2000 ADDRESS: 141 Tucker Ave. CBL: 330-D-002

REASON FOR PERMIT: To Construct deck 10'x14'

BUILDING OWNER: The Pelletier's

PERMIT APPLICANT: CONTRACTOR Custom Building Remodel

USE GROUP: R-3 CONSTRUCTION TYPE: 5.3 CONSTRUCTION COST: 2,030.00 PERMIT FEES: \$42.00

The City's Adopted Building Code (The BOCA National Building code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions are met: *1, *2, *11, *13, *29, *32, *34, *36, *37, *38, *39

- * 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- * 2. Before concrete for foundation is placed, approval from the ~~Development Review Coordinator~~ and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection) "ALL LOT LINES SHALL BE CLEARLY MARKED BEFORE CALLING."
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts. Section 2305.17
5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete from freezing. Section 1908.0
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1999)
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
- * 11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42". In occupancies in Use Group A, B, H-4, I-1, I-2, M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 34" but not more than 38". Exception: Handrails that form part of a guard shall have a height not less than 36" and not more than 42". Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/2" and not greater than 2". (Sections 1021 & 1022.0). Handrails shall be on both sides of stairway. (Section 1014.7)
12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
- * 13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/4" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1010.4)
16. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours. (Section 710.0)
18. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)

19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

- In the immediate vicinity of bedrooms
- In all bedrooms
- In each story within a dwelling unit, including basements

20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)

21. The Fire Alarm System shall maintained to NFPA #72 Standard.

22. The Sprinkler System shall maintained to NFPA #13 Standard.

23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)

24. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".

25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.

26. Ventilation shall meet the requirements of Chapter 12 Sections 1210.0 of the City's Building Code. (Crawl spaces & attics).

27. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.

28. All requirements must be met before a final Certificate of Occupancy is issued.

*29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1999).

30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)

31. Please read and implement the attached Land Use Zoning report requirements.

*32. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.

33. Bridging shall comply with Section 2305.16.

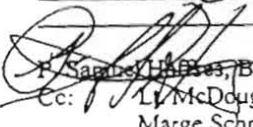
*34. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2405.0)

35. All signage, shall be done in accordance with Section 3102.0 sign of the City's Building Code, (The BOCA National Building Code/1999).

*36. The proposed deck foundation shall be a minimum of 4" below grade on footing - there shall be fasteners between footings, pier, pier and column and column and deck framing.

*37. See attachment for details on guardrails, handrails and stairs.

*38. The 2x6 @ 16" o.c. spanning 10' does not meet code unless 12" o.c. 2x8 @ 16" would be ok.


Marge Schmuckal, Building Inspector

Cc: L. McDougall, PFD

Marge Schmuckal, Zoning Administrator

PSH 11/25/99

**This Permit is herewith issued, on the basis of plans submitted and conditions placed in the plans, any deviations shall require a separate approval.

...THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE easements CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE work SHALL BE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER maintain SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE new work CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR begin if the CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. setbacks are changed

**** Certificate of Occupancy Fees: \$50.00 each

***** ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGN'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000 OR EQUIVALENT.

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Building or Use Permit Pre-Application
Additions/Alterations/Accessory Structures
To Detached Single Family Dwelling**

In the interest of processing your application in the quickest possible manner, please complete the information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: <u>141 Tucker Avenue, Portland, Maine 04103</u> <i>Extension</i>			
Tax Assessor's Chart, Block & Lot Number Chart# <u>330</u> Block# <u>D</u> Lot# <u>002</u>		Owner: <u>Pelletier Steve & Finnie</u> Telephone#: <u>878-8853</u>	
Owner's Address: <u>141 Tucker Avenue</u>		Lessee/Buyer's Name (If Applicable):	
		Cost Of Work: \$ <u>2030.00</u>	Fee \$ <u>40.00</u>
Proposed Project Description: (Please be as specific as possible) <u>On other sheet attached</u>			
Contractor's Name, Address & Telephone: <u>Custom Building & Remodeling</u> <u>Bruce Fadden, RR # Box 1496 Biddeford Maine 04009 647-4242</u>			Rec'd By: <u>Conf</u>

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must include the following with your application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan (Sample Attached)

If there is expansion to the structure, a complete plot plan (Site Plan) must include:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and required zoning district setbacks

→ 4) Building Plans (Sample Attached)

A complete set of construction drawings showing all of the following elements of construction:

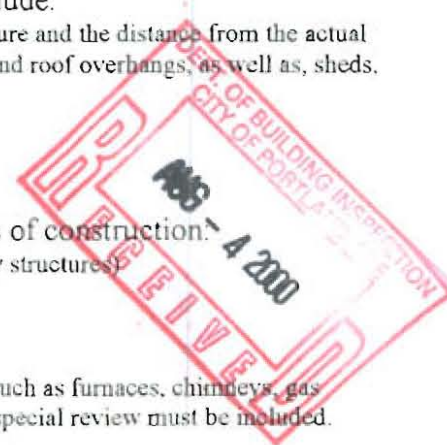
- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Finnie Pelletier Steve Pelletier</u>	Date: <u>7/14/00</u>
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Building Permit Fee: \$30.00 for the 1st \$1000. cost plus \$6.00 per \$1,000.00 construction cost thereafter.



Proposal

FROM Bruce Fadden dba/Custom Building & Remodeling
RR 1 Box 1496
Bridgton, Maine 04009 207-647-4342

Proposal No.

Sheet No.

Date

July 6, 2000

Proposal Submitted To

Work To Be Performed At

Name STEVE & GINNIE PELLETIER
Street 191 TUCKER AVE
City PORTLAND
State MAINE 04
Telephone Number 207 878-8853

Street SAME
City PORTLAND State MAINE
Date of Plans NA
Architect NA

We hereby propose to furnish all the materials and perform all the labor necessary for the completion of

- ① 10'x14' P.T. DECK ON POSTS WITH RAILS AND STEPS
- ② GUTTER ALONG EAVES OVER DECK

All material is guaranteed to be as specified, and the above work to be performed in accordance with the drawings and specifications submitted for above work and completed in a substantial workmanlike manner for the sum of Dollars (\$ 2030.00).

with payments to be made as follows:

\$ 1500.00 Down
\$ 530.00 upon completion

Any alteration or deviation from above specifications involving extra costs, will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance upon above work. Workmen's Compensation and Public Liability Insurance on above work to be taken out by Custom Building & Remodeling

Respectfully submitted

Bruce Fadden

Per Owner-Custom Building & Remodeling

Note — This proposal may be withdrawn by us if not accepted within 10 days

ACCEPTANCE OF PROPOSAL

The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Accepted

Ginnie Pelletier
Steve Pelletier

Signature

Date

X 7/6/2000

Signature

DECK INFORMATION

To apply for a deck permit, the following information shall be with your application.

1. Plot Plan showing distances to all lot lines from proposed deck.
2. Type of foundation.
 - a. Full foundation (concrete or other) 8" 4' below grade and on footing W/footing
 - b. Frost wall (concrete or other) 8" 4' below grade on footing W/footing
 - c. Piers (sono tube big foot etc.) 8" 4', 10" 4', 12" 4' other W/footing
 - d. Spacing of piers 4' 4', 6' 4', 8' 4', 10' 4'
 - e. Other 7'
3. Columns (material between foundation (piers) and framing).
 - a. Steel size 4" 4' other W/footing
 - b. Wood size 4"x4" 4' 4"x6" 4' other W/footing

Fasteners shall be used between building element.
4. Framing members.
 - a. Ledger (attached to building) 2x6" 4' 2x8" 4' 2x10" 4' 2x12" 4'
 - b. Joist - span (carries decking) 6' 4' 8' 4' 10' 4' 12' 4' 14' 4'
 - c. Joist - size 2x6" 4' 2x8" 4' 2x10" 4' 2x12" 4' other W/footing
 - d. Spacing of joist 16" 4' 18" 4' 24" 4' or other W/footing
5. Beam spacing (distance between supporting piers)
 - a. 6' 4' 8' 4' 10' 4' 12' 4'
 - b. Beam size 2-2x6 4' 2-2x8 4' 2-2x10 4' 2-2x12 4' other W/footing
 - c. Decking size 5/4x6 OK

All decks in Use Group R-3 over 15 1/2" above grade shall have a guard system.

6. Guardrail heights (decks between 15 1/2" and 30" above grade can be 36" in height).
 - a. Over 36" above grade a 42" guardrail system shall be used.

36" 4' 42" 4'

Open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have ornamental pattern that would provide a ladder effect. If stairs are part of the deck system see attached requirements for stairs.

EXISTING HOUSE

← DOWN

10 X 14' DECK AND STAIRS WITH RAILS (SPINDLES) ALL MATERIALS P.T.

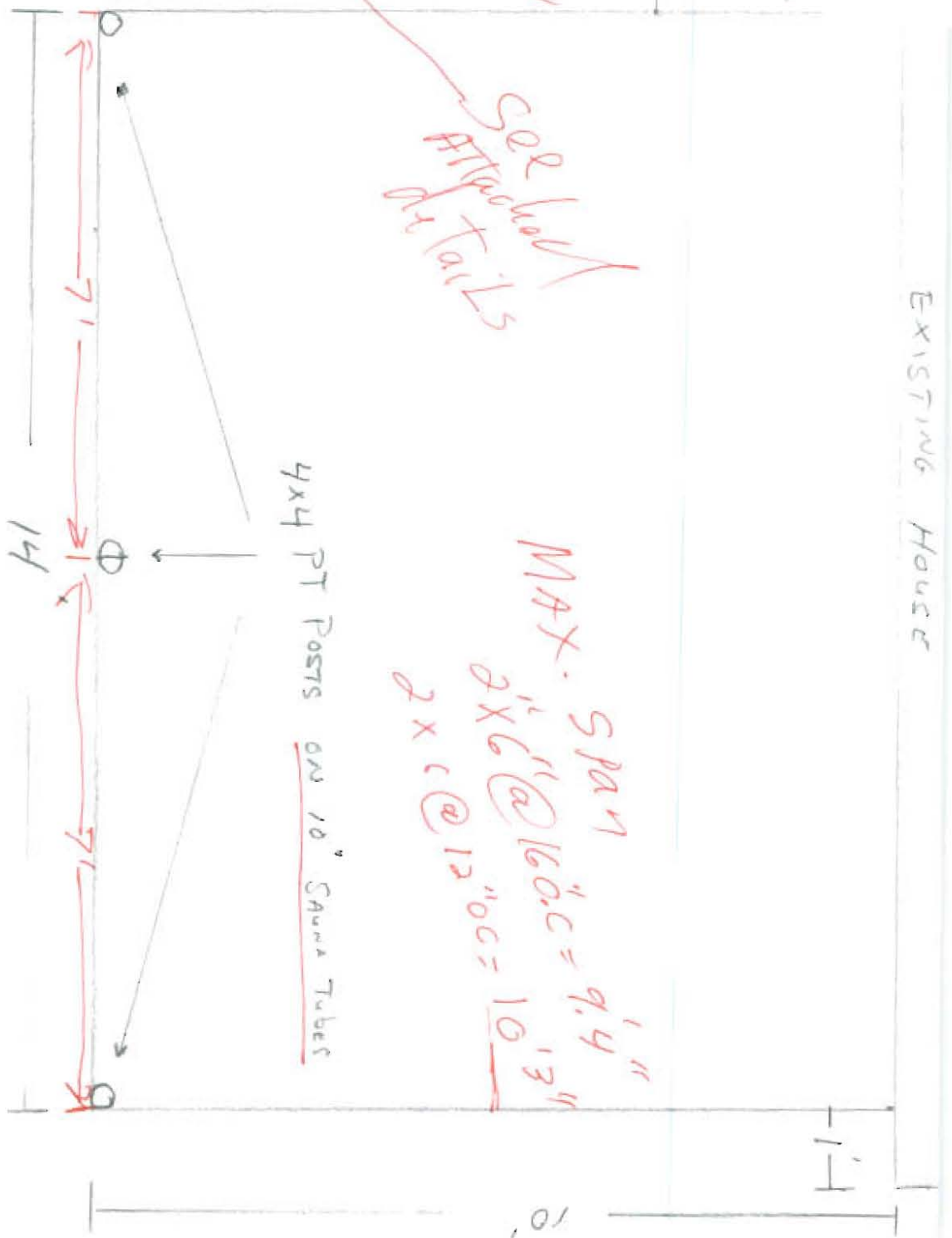
5/4 X 6 DECKING ✓
2 X 6 JOIST ✓
2 X 4 RAILS w/ Spindles (2x2)

2 X 12 STAIR RUNNERS AND TREADS

See photo for Attachment's

MAX. SPAN 9' 4" 13"
2 X 6 @ 16" OC = 10'
2 X 6 @ 12" OC = 10'

4 X 4 PT POSTS ON 10" Square Tubing

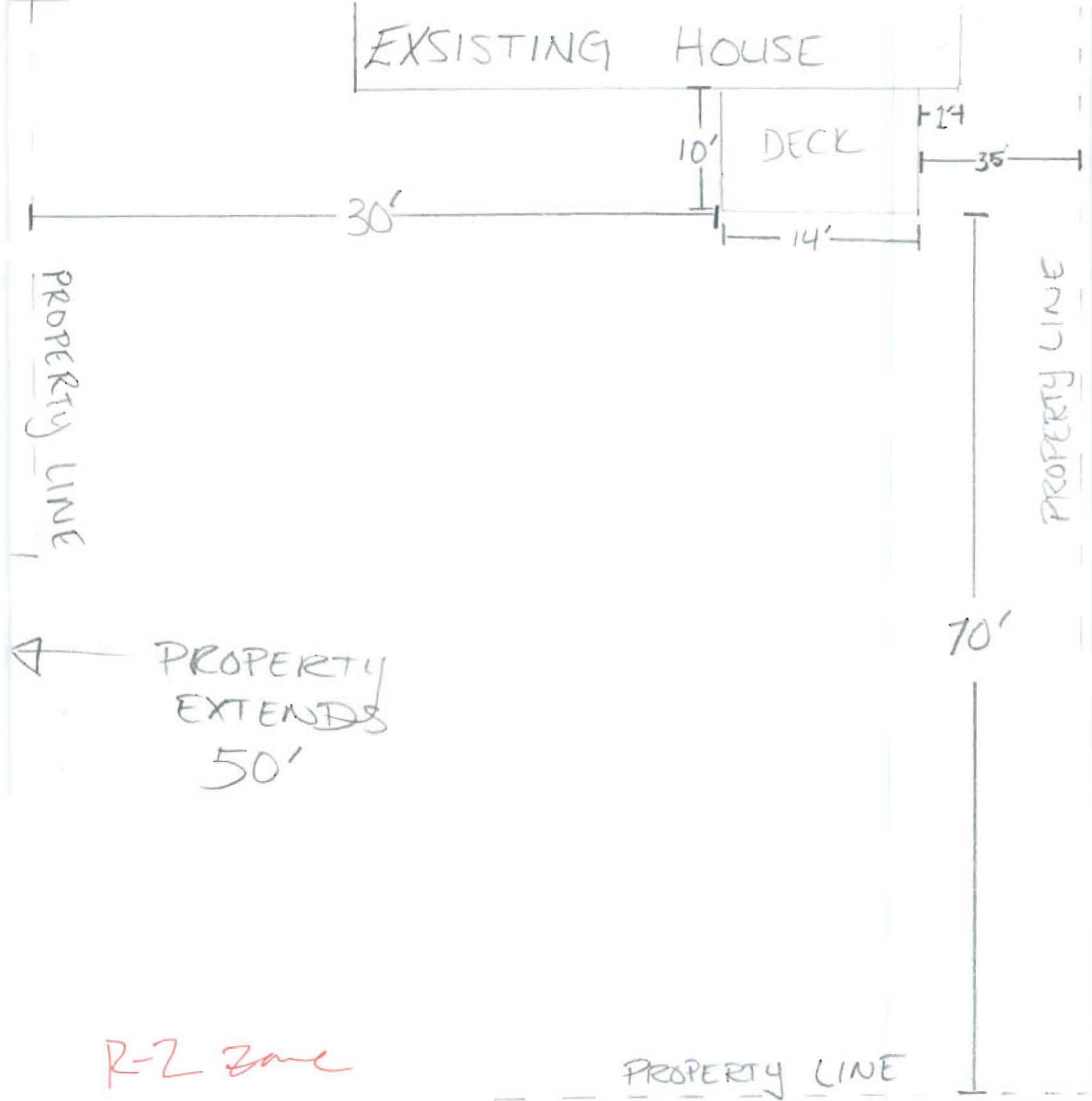


141 TUCKER AVE

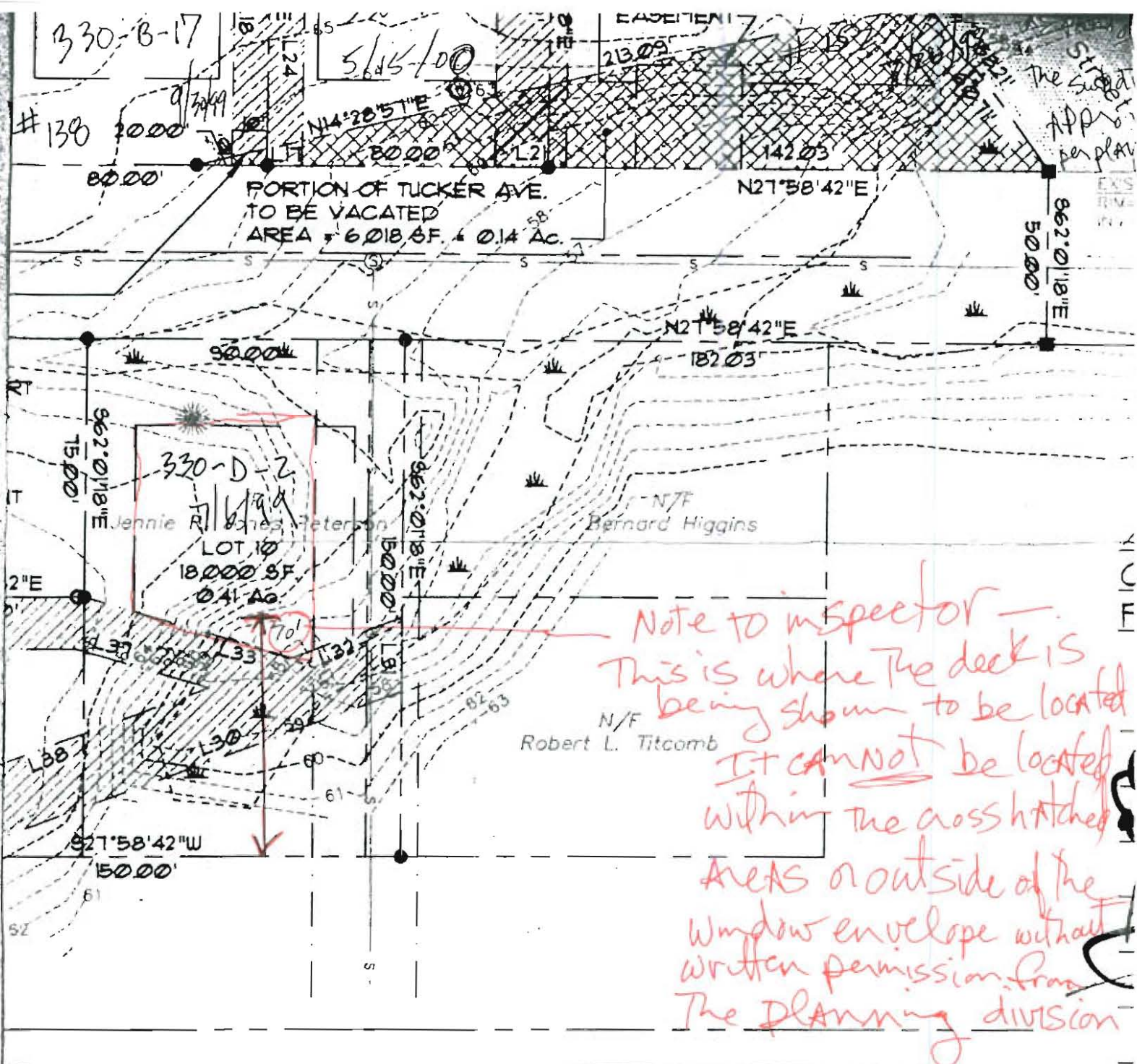
BRUCE FADDEN
647-4342

10' 13" / 10' 13" / 26

AKS



Rear 25' req - 70' shown → See Note on other sheet re: easements that can not be built upon.
 side 12' req - 30' & 35' req
 Front N/A



ELEVATIONS AND CONTOURS ARE BASED ON THE 1929 DATUM OF THE US COAST AND GEODETIC SURVEY. BENCHMARK: COPPER BOLT IN MONUMENT ON NORTHERLY SIDE OF FOREST AVENUE AT FIRST ANGLE POINT WESTERLY OF FARNHAM STREET. ELEVATION: 109.72'.

WETLANDS SHOWN AS DELINEATED BY MARK HAMPTON IN SEPTEMBER 1998. ANY WETLAND FILLING/DISTURBANCE SHALL OBTAIN THE NECESSARY WETLAND ALTERATION PERMITS FROM THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION.

ALL LOTS SHALL BE ACCESSED FROM TUCKER AVENUE ONLY. NO LOTS SHALL BE PROVIDED ACCESS FROM RIVERSIDE INDUSTRIAL PARKWAY OR FROM ANY FUTURE DEVELOPMENT OF BEAL STREET.

TOTAL LOT AREA 185,656 SF. = 4.26 Ac.
 TOTAL ROW AREA 42,231 SF. = 0.97 Ac.
 TOTAL AREA OF PROPERTY 227,887 SF. = 5.23 Ac.

THE DRAINAGE EASEMENTS AS SHOWN ON THIS PLAN SHALL BE RECORDED IN THE INDIVIDUAL LOT DEEDS. EACH DRAINAGE EASEMENT SHALL BE FOR THE PURPOSES OF MAINTENANCE REPAIR, OR CLEANING OF DITCHES, CHANNELS AND

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 PLAN
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WARRANTY DEED

It, **Design Dwellings, Inc.**

of 65 Main Street, Gorham, Maine 04038, for consideration paid, grant to

Steve R. Pelletier and Ginnie G. Pelletier

of 42 Westlawn Road , Portland, ME 04103 **as joint tenants and not as tenants in common, their heirs and assigns forever**, with WARRANTY COVENANTS, the following described land in Portland, County of Cumberland, and State of Maine:

See Exhibit A attached hereto and made a part hereof

Also hereby conveying all rights, easements, privileges, and appurtenances, belonging to the premises hereinabove described.

WITNESS my/our hand(s) and seal(s) this Second day of September, 1999.



Design Dwellings, Inc.
By Susan J. Duchaine, President

State of Maine,
County of Cumberland,

Personally appeared before me Susan J. Duchaine and acknowledged the foregoing instrument to be her free act and deed and free act and deed in her said capacity.



James A. Hopkinson, Attorney at law

99-3239

EXHIBIT A - PROPERTY DESCRIPTION

Closing date: 09/02/1999

Borrower(s): Steve R. Pelletier and Ginnie G. Pelletier

Property Address: Lot #10, Tucker Avenue Extension, Portland, Maine 04103

A certain lot or parcel of land, situated in the City of Portland, County of Cumberland and State of Maine and bounded and described as follows:

Lot #10 as depicted on "Final Subdivision Plan of Tucker Avenue Extension for Design Dwellings, Inc." by Sebago Technics, Inc., dated October 6, 1998, revised through February 1, 1999 and recorded in Cumberland County Registry of Deeds in Plan Book 199, Page 130.

The lot is conveyed subject to the notes and easements shown of said plan and are conveyed subject to a drainage and landscape easement granted to the City of Portland by deed dated February 23, 1999 and recorded in Cumberland County Registry of Deeds in Book 14510, Page 15.

For title reference see deed of City of Portland to Design Dwellings, Inc. dated January 29, 1999 and recorded in the Cumberland County Registry of Deeds in Book 14510, page 19.