

2007-0168

329-A-7

225 Industrial Way
Woodworking and Cabinetry, LLC.



PORTLAND, MAINE

Strengthening a Remarkable City, Building a Community for Life
www.portlandmaine.gov

Planning and Urban Development
Penny St. Louis, Director

Planning Division
Alexander Jaegerman, Director

TO: Ellen Sanborn, Finance Department
FROM: Alexander Jaegerman, Planning Division Director
DATE: May 16, 2011
SUBJECT: Request for Release of Defect Guarantee
Woodworking & Cabinetry, LLC, 225 Industrial Way
(ID# 2007-0168 Lead CBL #329 A 007001)

Please release the defect guarantee Bank held escrow account #2031001298 for the Woodworking & Cabinetry, LLC Project located at 225 Industrial Way.

Remaining Balance \$7,500.00

Approved:


Alexander Jaegerman
Planning Division Director

cc: Barbara Barhydt, Development Review Services Manager
Philip DiPierro, Development Review Coordinator

Philip DiPierro - Certificate of Occupancy/Final Scheduled. Property Addr: 225 INDUSTRIAL WAY Parcel ID: 329 A007001 Dist: 5

From: Lannie Dobson
To: C of O
Date: 5/17/2010 1:19 PM
Subject: Certificate of Occupancy/Final Scheduled. Property Addr: 225 INDUSTRIAL WAY Parcel ID: 329 A007001 Dist: 5

Date: 5/25/2010 Time: 6:00:00 AM

Note: After 9 and before 4 Walt 207-653-8216 Property Addr: 225 INDUSTRIAL WAY Parcel ID: 329 A007001

Application Type: Prmt
Application ID: 80806

Contact:
Phone1: Phone2:

Owner Name: WOODWORKING & CABINETS LLC
Owner Addr: 40 PORTLAND PIER # 11
PORTLAND , ME 04101

Philip DiPierro - 225 Industrial Way, Performance Guarantee Reduction

From: Philip DiPierro
To: wjuve@maine.com
Date: 12/4/2009 12:16 PM
Subject: 225 Industrial Way, Performance Guarantee Reduction

Hi Walt, in response to our recent phone conversation the following punch list must be completed prior to the issuance of the certificate of occupancy.

- The landscaping needs to be completed in compliance with the approved landscape plan. The minimum number of plants and the minimum size plants must be installed.
- ✓ The parking area needs to be striped in accordance with the approved site plan.
- ✓ The handicap parking spaces need to be stenciled and striped according to the approved site plan.
- The dumpster pad and enclosure needs to be constructed according to the approved site plan.
- All exterior lighting fixtures (including the rear of the new building) need to be full cut-off type fixtures that meet the City's lighting ordinance.

I have also reduced your performance guarantee to \$7,500.00. Upon completion of the punch list items, and issuance of the permanent certificate of occupancy, your performance guarantee will convert to the mandatory 1 year defect guarantee.

Please contact me for a final inspection when the punch list is completed.

Thanks very much,

Philip DiPierro
Development Review Coordinator
City of Portland Planning Division
389 Congress Street
Portland, Maine 04101

Phone 207 874-8632
Fax 207 756-8258

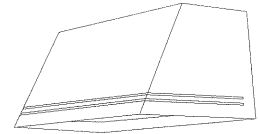
Notes:

Job:

Type:

140 LINE

141 PERFORMANCE SUPER SCONCE



GENERAL DESCRIPTION: The Gardco 141 trapezoidal high performance Super Sconce offers an excellent alternative to unsightly wall mounted fixtures. This architecturally refined luminaire is designed to naturally integrate to wall surfaces. The 141 luminaire is available with three (3) different downlight distributions - a Forward Throw and a Wide Throw for H.I.D. sources up to 400W, and a Medium Throw for Compact Fluorescent sources up to 120W. Housings are sealed throughout, completely excluding moisture, dust, insects and contaminants.

CUTOFF PERFORMANCE: 141 luminaires installed in the normal downlight position, with a flat glass lens, provide full cutoff performance.

ORDERING

PREFIX	DISTRIBUTION	WATTAGE	VOLTAGE	FINISH	OPTIONS
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>

Enter the order code into the appropriate box above. Note: Gardco reserves the right to refuse a configuration. Not all combinations and configurations are valid. Refer to notes below for exclusions and limitations. For questions or concerns, please consult the factory.

PREFIX

141 Trapezoidal Wedge

DISTRIBUTION

FT Forward Throw
 WT Wide Throw
 MT Medium Throw *fluorescent only.*

WATTAGE

250MH
400 MH¹

250PSMH
320PSMH¹
350PSMH¹
400PSMH¹

250HPS
400HPS

60CF^{2,3}
85CF^{2,3}
120CF^{2,3}

MH - Metal Halide
PSMH - Pulse Start Metal Halide
HPS - High Pressure Sodium
CF - Compact Fluorescent (PLH)

1. Requires BT28 / E28 lamps.
2. Fluorescent luminaires feature electronic ballasts that accept 120V through 277V, 50hz to 60hz, input. Specify "UNIV" voltage for 120V through 277V.
3. Available with MT optics only.

VOLTAGE

120
208
240
277
347
480

QUAD 120/208/240/277 tied at factory to 277V.
UNIV²

FINISH

BRP Bronze Paint
 BLP Black Paint
 WP White Paint
 NP Natural Aluminum Paint
 BGP Beige Paint
 OC Optional Color Paint
Specify RAL designation as shown ex: OC-RAL7024.
 SC Special Color Paint
Specify. Must supply color chip.

OPTIONS

F Fusing
 PCB Button Type Photocontrol *120V through 277V only. N/A above 250W.*
 QS⁴ Quartz Standby
 QST⁴ Quartz Standby - Timed Delay
4. HID only. Maximum Quartz wattage is 150W.
 SL Solite[®] Diffusing Lens
 UT 5° Uptilt
 WS Wall Mounted Box for Surface Conduit
 WS/UT Wall Mounted Box for Surface Conduit with 5° Uptilt
 WG Wire Guard

Gardco Lighting reserves the right to change materials or modify the design of its product without notification as part of the company's continuing product improvement program. Solite is a Registered Trademark of AFG Industries

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A Genlyte Company

Gardco Lighting
1611 Clovis Barker Road
San Marcos, TX 78666

(800) 227-0758
(512) 753-1000
FAX: (512) 753-7855
www.sitelighting.com



79115-96/0607



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Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

February 15, 2008

Stantec Consulting Services, Inc.
Attn Lynwood Myshral, P.E.
22 Free Street
Portland, ME 04101

Woodworking & Cabinetry, LLC
c/o Walter Juve
40 Portland Pier #11
Portland ME 04101

RE: **Lot 7 Evergreen Industrial Park (225 Industrial Way)**
CBL: **329 A007001**
Application ID: **2007-0168**

Dear Sirs:

On February 15, 2008 the Portland Planning Authority approved the proposed two story building of 6,750 sq ft for light manufacturing and warehousing with offices above, as shown on the approved plan with the following conditions:

- i. That any installation of external lighting (including within the parking lot and on the buildings) must be reviewed and approved by the Planning Authority prior to installation and must comply with the City's Technical and Design Standards Section XV: *Site Lighting Standards*;
- ii. That the applicant shall submit for review and approval by the Planning Authority the details and access for any additional overhead doors (or similar doors to allow vehicle access into the buildings) prior to installation; and
- iii. That all loading and servicing shall be undertaken from within the site via the approved access drive; and
- iv. That if the actual tenants are any use other than light manufacturing and warehousing with offices above, the parking provision shall be submitted for review and approval by the Zoning Administrator prior to the issuance of the Building Permit; and

*done
8/11/08*

N/A

N/A

done
N/A
8/11/08done
8/11/08

NA

N/A

- v. That all trees within the treeline on the Site Plan (Sheet 2, Rev 01.28.2008) shall be protected and preserved unless they present a hazard due to disease or storm damage; and
- vi. That the construction entrance shall be constructed over the full width of the driveway; and
- vii. That separate building permits are required for the actual tenant fit up and the applicant shall address Fire Department conditions regarding fire protection requirements and emergency exit and illumination at that time;
- viii. Separate permits are required for any signs and if any spray booths are proposed.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

Please note the following provisions and requirements for all site plan approvals:

1. The above approvals do not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division.
2. Final sets of plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.
3. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and 7 final sets of plans must be submitted to and approved by the Planning Division and Public Works prior to the release of the building permit. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.
4. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
5. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
6. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
7. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Jean Fraser at 874-8728.

Sincerely,



Alexander Jaegerman
Planning Division Director

Electronic Distribution:

cc: Lee D. Urban, Planning and Development Department Director
Alexander Jaegerman, Planning Division Director
Barbara Barhydt, Development Review Services Manager
Jean Fraser, Planner
Philip DiPierro, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Jeanie Bourke, Inspections Division
Lisa Danforth, Administrative Assistant
Michael Bobinsky, Public Works Director
Katherine Earley, Public Works
Bill Clark, Public works
Jim Carmody, City Transportation Engineer
Michael Farmer, Public Works
Jeff Tarling, City Arborist
Captain Greg Cass, Fire Prevention
Assessor's Office
Approval Letter File



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Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

April 9, 2008

Stephen Martin Sr.
SME Corporation
152 Virginia Street
Portland, ME 04103

Walt Juve 653-8216

RE: Lot 7 Evergreen Industrial Park , 225 Industrial Way, CBL: 329 A007001
Application ID: 2007-0168

Dear Mr. Martin:

On February 15, 2008, the Portland Planning Authority granted site plan approval with conditions for a new two story building for light manufacturing and warehousing with offices. Copies of the approval letter and site plan are attached.

As provided in Section 14-528, this letter serves as the written permission from the Planning Authority to commence the work on the site, within the designated work area and as described in your letter dated April 7, 2008, prior to posting the performance guarantee. The extent of work shall include only the following until the issuance of the foundation and/or building permits:

- Clearance on the lot and geotechnical work only, subject to:
 - that the wetlands must not be disturbed in any way; and
 - that any clearance of trees may only take place within the area of the proposed new building and parking expansion; the clearance work shall not extend into the areas shown on the approved site plan for tree preservation and protection (see Condition v. of the Approval letter); and
 - that the limits of clearance shall be staked prior to any clearance or related work and approved by Phil DiPierro, Development Review Coordinator.
- Installation of the construction entrance as per the approved site plan and approval letter - the construction entrance must be installed if any heavy construction vehicles will be accessing the site and Condition vi of the approval requires that the construction entrance be constructed over the full width of the driveway.
- Erosion and sedimentation control - which shall be established prior to any soil disturbance associated with the clearing work and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines.

Prior to the commencement of any clearing or related work, please contact Phil DiPierro, Development Review Coordinator (874-8632), to confirm the limits of clearing and the installation of required construction access and erosion control measures.

If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval. If there are any questions, please contact the Planning Staff.

Please note that the performance guarantee and any remaining conditions or standard conditions of approval must be addressed before a building permit can be issued.

Sincerely,



Alexander Jaegerman
Planning Division Director

Attachments: Approval letter dated February 15, 2008
Approved Site Plan Sheet 2 (Rev 01-28-08)

cc: Inspections Department
Barbara Barhydt, Development Review Services Manager
Marge Schmuckal, Zoning Administrator
Phil DiPierro, Development Review Coordinator
Penny Littell, Corporation Counsel
Todd Merkle, Public Works
Approval Letter File

SME CORPORATION

General Contractors
Conventional and Metal Buildings

Date: April 7, 2008

Attention: Portland Planning Board

My name is Stephen Martin Sr. of SME Corporation. I am in charge of the superstructure on the project known as:

225 Industrial Way
Woodwork and Cabinetry, LLC
Dekko
Owned by Walter Juve

Request:

We would like to request permission to clear the lot noted and to proceed with geotechnical work as is required. Our work will be limited to the boundaries that have been approved by the planning board. We will apply for a foundation permit as soon as our geotechnical work is complete.

Thank you in advance.

Sincerely

Stephen Martin



Mobile #: (207) 751-7544
Email: sdm@gwi.net



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Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

February 15, 2008

Stantec Consulting Services, Inc.
Attn Lynwood Myshrall, P.E.
22 Free Street
Portland, ME 04101

Woodworking & Cabinetry, LLC
c/o Walter Juve
40 Portland Pier #11
Portland ME 04101

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- iv. That if the actual tenants are any use other than light manufacturing and warehousing with offices above, the parking provision shall be submitted for review and approval by the Zoning Administrator prior to the issuance of the Building Permit; and

2.

- v. That all trees within the treeline on the Site Plan (Sheet 2, Rev 01.28.2008) shall be protected and preserved unless they present a hazard due to disease or storm damage; and
- vi. That the construction entrance shall be constructed over the full width of the driveway; and
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If there are any questions, please contact Jean Fraser at 874-8728.

Sincerely,



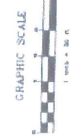
Alexander Jaegerman
Planning Division Director

Electronic Distribution:

cc: Lee D. Urban, Planning and Development Department Director
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Katherine Earley, Public Works
Bill Clark, Public works
Jim Carmody, City Transportation Engineer
Michael Farmer, Public Works
Jeff Tarling, City Arborist
Captain Greg Cass, Fire Prevention
Assessor's Office
Approval Letter File

Final Site Plan - 1/3 revised
 2/28/2007

2
 Sheet

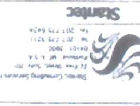


**PROGRESS PLAN
 NOT FOR CONSTRUCTION**
 THIS PLAN IS A PRELIMINARY DESIGN AND IS SUBJECT TO ALL CITY, STATE AND FEDERAL REGULATIONS AND ORDINANCES.

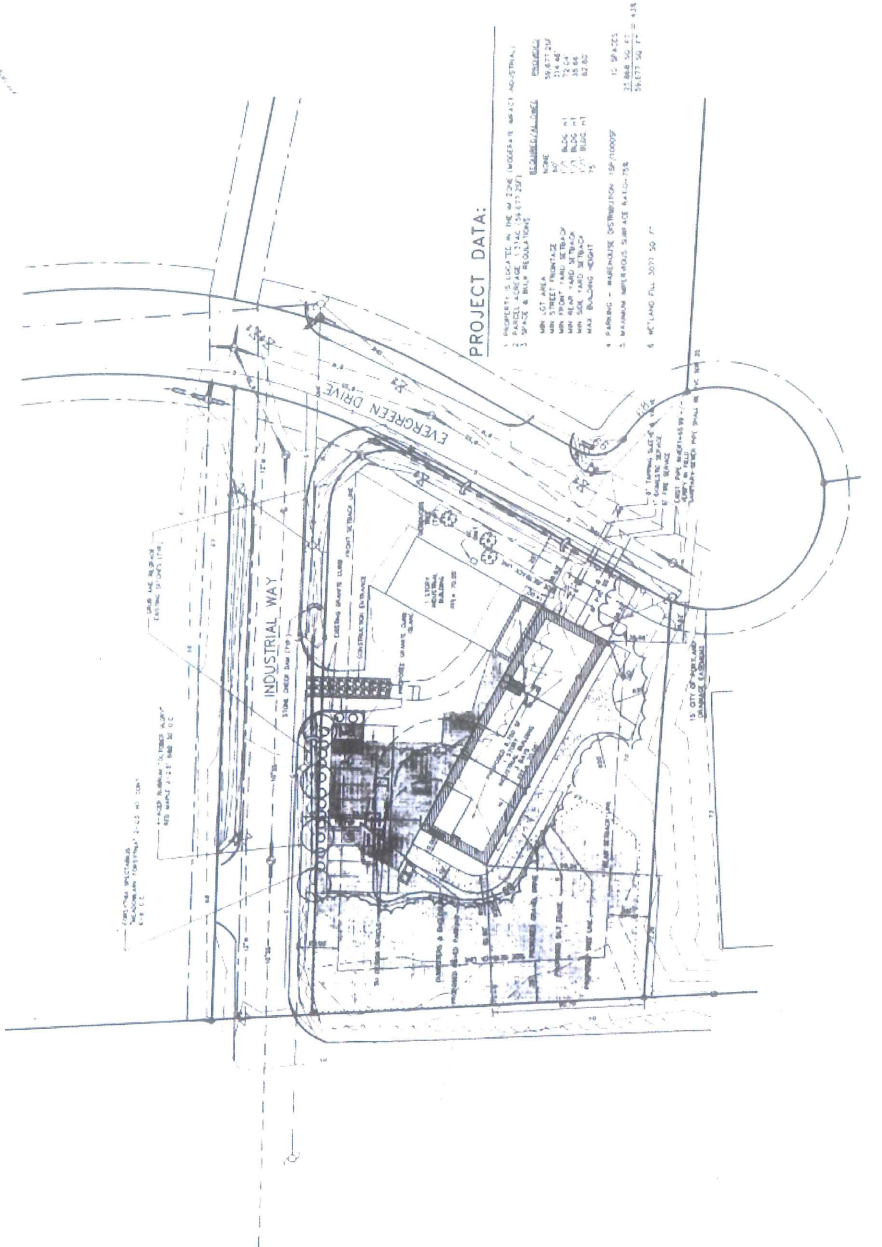
SITE PLAN

Designed LCM	Date
Checked LCM	09-28-07
Reviewed LCM	10-30-07

Project Name	225 INDUSTRIAL WAY, PORTLAND, MAINE
Client	WOODWORKING & CABINETRY, LLC
Address	40 PORTLAND PIER #11 PORTLAND, MAINE 04101

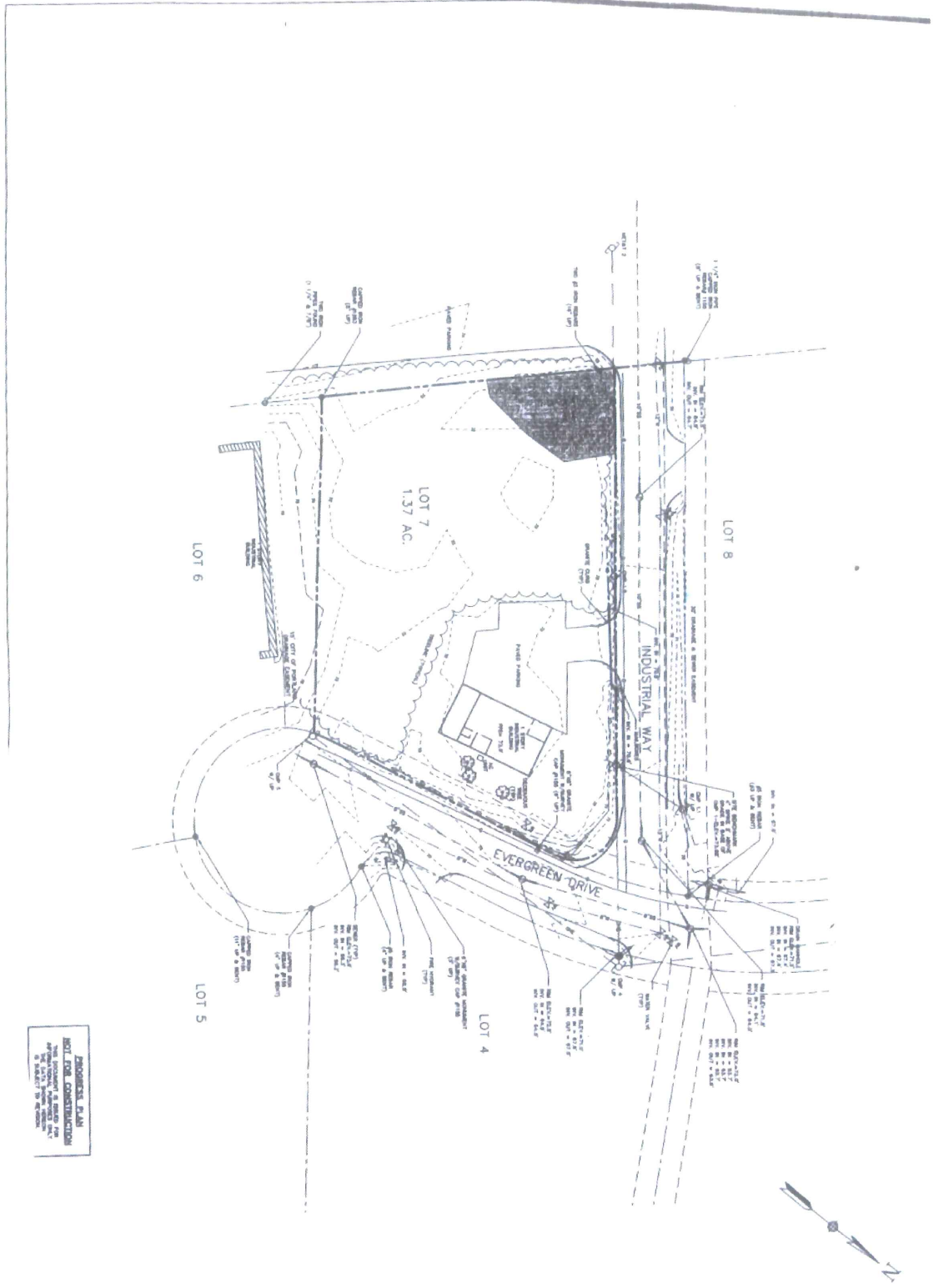


SEAN M. GIBSON
 22 Andover St., Suite 101
 Portland, ME 04101
 Phone: 603.733.6428
 Fax: 603.733.6428
 Email: sean@seanm.com



PROJECT DATA:

- 1. PROJECT: 225 INDUSTRIAL WAY, PORTLAND, MAINE
- 2. PARCEL ADDRESS: 11 AND 12 EVERGREEN DRIVE, PORTLAND, MAINE
- 3. OWNER: WOODWORKING & CABINETRY, LLC
- 4. PROJECT: WOODWORKING & CABINETRY, LLC
- 5. PROJECT: WOODWORKING & CABINETRY, LLC
- 6. PROJECT: WOODWORKING & CABINETRY, LLC
- 7. PROJECT: WOODWORKING & CABINETRY, LLC
- 8. PROJECT: WOODWORKING & CABINETRY, LLC
- 9. PROJECT: WOODWORKING & CABINETRY, LLC
- 10. PROJECT: WOODWORKING & CABINETRY, LLC



PROGRESS PLAN
 NOT FOR CONSTRUCTION
 THIS DOCUMENT IS BEING PREPARED FOR THE CLIENT'S INFORMATION ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION OR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.

PRELIMINARY

EXISTING CONDITIONS
 & REMOVALS

Designed	LDM	#	Issue/Revision	Date
Drawn	PJP			
Checked	LDM			
Scale	1" = 30'			
Date	09-28-07			

LOT 7 EVERGREEN INDUSTRIAL PARK
 EVERGREEN DRIVE, PORTLAND, MAINE
 PREPARED FOR:
 WOODWORKING & CABINETS, LLC
 40 PORTLAND PIER #11
 PORTLAND, MAINE 04101



Task No. 18-5410223
 Sheet 4

final

225 INDUSTRIAL WAY, PORTLAND, MAINE
 WOODWORKING & CABINETRY, LLC
 40 PORTLAND PIER #11
 PORTLAND, MAINE 04101

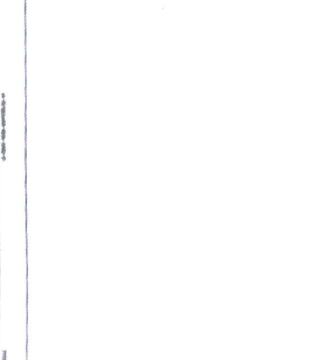
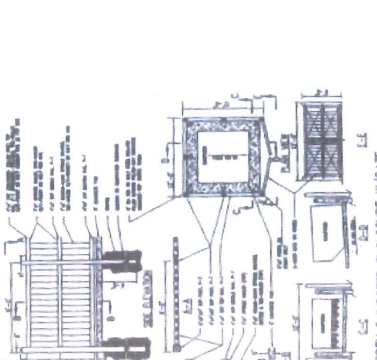
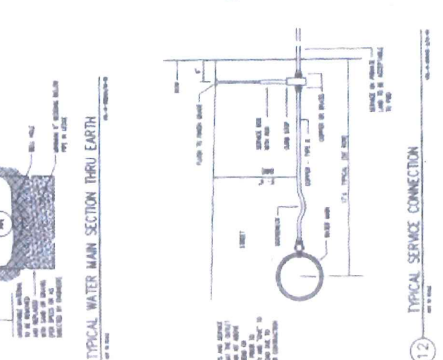
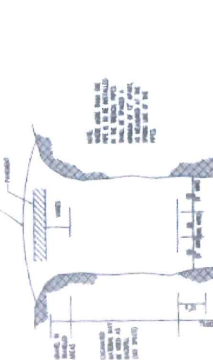
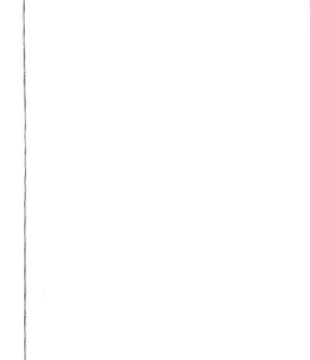
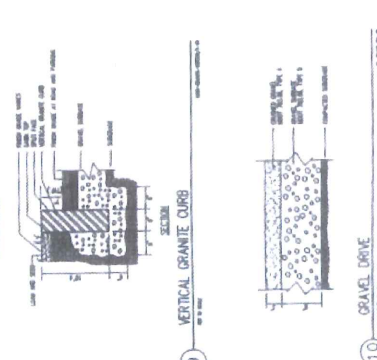
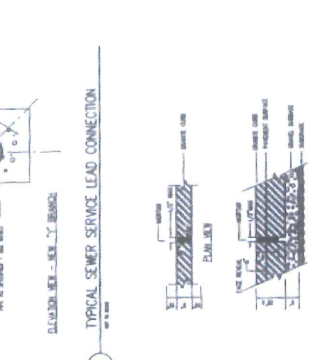
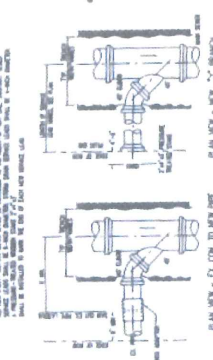
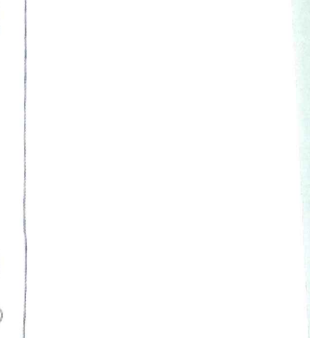
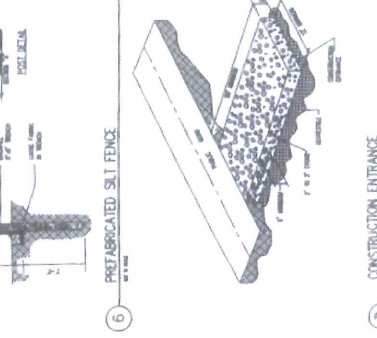
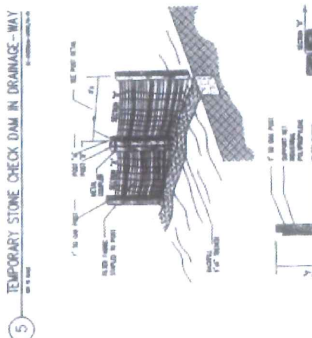
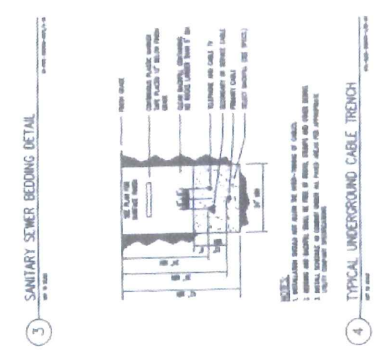
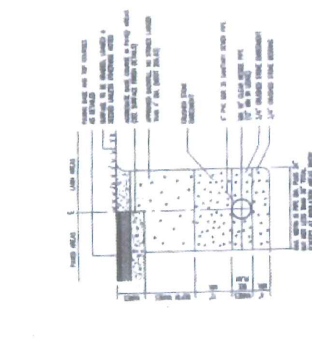
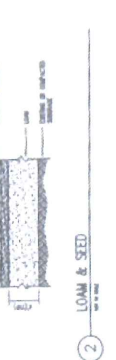
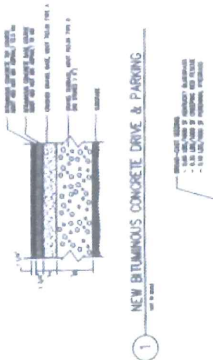
DESIGNED FOR
 DATE 09-28-07
 SHEET NO SCALE
 CHECKED LHM
 DRAWN LHM
 PROJECT NO 07-100-0000-01
 DATE

DESIGNED LHM
 DATE

3

DETAILS

Job No. 10-2410195
 SHEET





PERFORMANCE GUARANTEE
ESCROW ACCOUNT
Certificate of Deposit #2031001298

July 1, 2008

Penny Littell
Director of Planning and Development
City of Portland
389 Congress Street
Portland, Maine 04101

Re: Woodworking & Cabinetry, LLC dba Dekko
225 Industrial Way, Portland, ME
Application ID # 2007-0168

Northeast Bank hereby certifies to the City of Portland that Northeast Bank will hold the sum of Seventy Five Thousand Dollars (\$75,000.00) in an interest bearing account established with the Bank. These funds shall be held for the exclusive benefit of the City of Portland and shall represent the estimated cost of installing site improvements as depicted on the Lot 7 Evergreen Industrial Park, Portland, Maine, approved on February 15, 2008 as required under Portland Code of Ordinances Chapter 14 §§499, 499.5, 525 and Chapter 25 §§46 through 65. It is intended to satisfy the Developer's obligation, under Portland Code of Ordinances Chapter 14 §§501, 502 and 525, to post a performance guarantee for the above referenced development. All costs associated with establishing, maintaining and disbursing funds from the Escrow Account shall be borne by Woodworking & Cabinetry, LLC dba Dekko.

Northeast Bank will hold these funds as escrow agent for the benefit of the City subject to the following:

The City, through its Director of Planning and Development and in his sole discretion, may draw against this Escrow Account by presentation of a draft in the event that:

1. the Developer has failed to satisfactorily complete the work on the improvements contained within the site plan of Lot 7 Evergreen Industrial Park, Portland, Maine approval, dated February 15, 2008; or
2. the Developer has failed to deliver to the City a deed containing the metes and bounds description of any streets, easements or other improvements required to be deeded to the City; or
3. the Developer has failed to notify the City for inspections.

We are an equal opportunity employer.
www.northeastbank.com

77 Middle Street, Portland, ME 04101 • 800-284-5989

LTH020 12/05

In the event of the Bank's dishonor of the City of Portland's sight draft, the Bank shall inform the City of Portland in writing of the reason or reasons thereof within three (3) business days of the dishonor.

After all underground work has been completed and inspected to the satisfaction of the Department of Public Works and Planning, including but not limited to sanitary sewers, storm drains, catch basins, manholes, electrical conduits, and other required improvements constructed chiefly below grade, the City of Portland Director of Planning and Development or its Director of Finance as provided in Chapter 14 §501 of the Portland Code of Ordinances, may authorize the Northeast Bank, by written certification, to reduce the available amount of the escrowed money by a specified amount.

This performance guarantee shall expire on January 1, 2009 ("Expiration Date"). It is a condition of this agreement that it is deemed to be automatically extended without amendment for period(s) of six months each from the current Expiration Date hereof, or any future Expiration Date, unless within thirty (30) days prior to any expiration, the Bank notifies the City by certified mail (restricted delivery to Ellen Sanborn, Director of Finance, City of Portland, 389 Congress Street, Portland, Maine 04101) that the Bank elects not to consider the Escrow Account renewed for any such additional period.

In the event of such notice, the City, in its sole discretion, may draw against the Escrow Account by presentation of a sight draft drawn on the Bank and a statement purportedly signed by the Director of Planning and Development, at Bank's offices located at 77 Middle Street, Portland, Maine stating that:

this drawing results from notification that the Bank has elected not to renew its Performance Guarantee. Certificate of Deposit # 2031001298.


On its Expiration Date or on the date the City determines that all improvements guaranteed by this Escrow Account are satisfactorily completed, this Performance Guarantee shall be reduced by the City to ten (10) percent of its original amount and shall automatically convert to an Irrevocable Defect Guarantee. Written notice of such reduction shall be forwarded by the City to the Bank. The Defect Guarantee shall ensure the workmanship and durability of all materials used in the construction of the site plan of Lot 7 Evergreen Industrial Park, Portland, Maine approval, dated February 15, 2008 as required by City Code §14-501, 525 and shall automatically expire one (1) year from the date of its creation ("Termination Date").

The City, through its Director of Planning and Development and in his sole discretion, may draw on the Defect Guarantee by presentation of a sight draft at Bank's offices located at 77 Middle Street, Portland, Maine, prior to the Termination Date, stating any one of the following:

1. the Developer has failed to complete any unfinished

- improvements; or
- 2. the Developer has failed to correct any defects in workmanship; or
- 3. the Developer has failed to use durable materials in the construction and installation of improvements contained within the site plan of Lot 7 Evergreen Industrial Park, Portland, Maine.

Date: July 1, 2008

By: 
Timothy J. Power, Regional Director
Northeast Bank
Its Duly Authorized Agent

Seen and Agreed to:

By: 
Walter H. Juvé, Applicant

Seen and Accepted by:

By: _____
Penny Littell, City of Portland

COST ESTIMATE OF IMPROVEMENTS TO BE COVERED BY PERFORMANCE GUARANTEE

Date: _____

Name of Project: LOT 7 EVERGREEN INDUSTRIAL PARK
 Address/Location: 225 INDUSTRIAL WAY, PORTLAND ME 04103
 Developer: WOODWORKING + CABINETS LLC DBA DEKKO
 Form of Performance Guarantee: BANK CD (NORTHEAST BANK)
 Type of Development: Subdivision _____ Site Plan (Major/Minor) MINOR

TO BE FILLED OUT BY THE APPLICANT:

Item	PUBLIC			PRIVATE		
	Quantity	Unit Cost	Subtotal	Quantity	Unit Cost	Subtotal
1. STREET/SIDEWALK						
Road/Parking Areas				7200	2.50	18,000 ✓
Curbing				(EXISTING)		
Sidewalks				50	30	1500 ✓
Esplanades						
Monuments				N/A		
Street Lighting						
Street Opening Repairs						
Other						
2. EARTH WORK						
Cut						
Fill						
3. SANITARY SEWER						
Manholes						
Piping						
Connections						
Main Line Piping						
House Sewer Service Piping						
Pump Stations						
Other						
4. WATER MAINS						
5. STORM DRAINAGE						
Manholes						
Catchbasins						
Piping						
Detention Basin						
Stormwater Quality Units						
Other						

(SEWER/WATER/FIRE) \$5700 ✓

(REMOVE TOP SOIL AND REPLACE ROUGH GRADE) \$18,000 ✓
~~20,000~~

17,500

{ 6" SEWER \$1500 ✓
 1" WATER
 6" FIRE \$17500 ✓

6" SEWER
 1" WATER
 6" FIRE

1" WATER
 6" FIRE \$9400 ✓

{ \$9400 ✓

(EXISTING REMAIN)

N/A

N/A

PUBLIC

PRIVATE \$3000

6. SITE LIGHTING

(SEE ATTACHED DRAILING)

~~\$8000~~ (NO PUES)

7. EROSION CONTROL

Silt Fence

~~\$1000~~

\$700

\$1000 ✓

Check Dams

~~\$2500~~

Pipe Inlet/Outlet Protection

Level Lip Spreader

Slope Stabilization

\$1800 (CLEAN OUT STABLES)

Geotextile

Hay Bale Barriers

Catch Basin Inlet Protection

8. RECREATION AND OPEN SPACE AMENITIES

9. LANDSCAPING

(Attach breakdown of plant materials, quantities, and unit costs)

\$3972

(ACTUAL) \$4320 ✓

10. MISCELLANEOUS

TREE CLEARING + MULCHING

~~\$6000~~

TOTAL:

SOIL TESTING (STRUCTURAL)

~~\$2900~~

GRAND TOTAL:

\$1500 ✓
(TEST PITS RATHER THAN BORES)

INSPECTION FEE (to be filled out by the City)

TOTAL PUBLIC: \$16,300

TOTAL PRIVATE: \$37,692

	PUBLIC	PRIVATE	TOTAL
A: 2.0% of totals:	16,300	57,192	\$ 73,492
or			
B: Alternative Assessment:	\$ 324.00	\$ 1,438.84	\$ 1,469.84
Assessed by:	(name)	(name)	

\$ 57,192

70% COST - PUBLIC
(SEWER/WATER LINES)



PERFORMANCE GUARANTEE
ESCROW ACCOUNT
Certificate of Deposit #2031001298

July 1, 2008

Penny Littell
Director of Planning and Development
City of Portland
389 Congress Street
Portland, Maine 04101

Re: Woodworking & Cabinetry, LLC dba Dekko
225 Industrial Way, Portland, ME
Application ID # 2007-0168

Northeast Bank hereby certifies to the City of Portland that Northeast Bank will hold the sum of Seventy Five Thousand Dollars (\$75,000.00) in an interest bearing account established with the Bank. These funds shall be held for the exclusive benefit of the City of Portland and shall represent the estimated cost of installing site improvements as depicted on the Lot 7 Evergreen Industrial Park, Portland, Maine, approved on February 15, 2008 as required under Portland Code of Ordinances Chapter 14 §§499, 499.5, 525 and Chapter 25 §§46 through 65. It is intended to satisfy the Developer's obligation, under Portland Code of Ordinances Chapter 14 §§501, 502 and 525, to post a performance guarantee for the above referenced development. All costs associated with establishing, maintaining and disbursing funds from the Escrow Account shall be borne by Woodworking & Cabinetry, LLC dba Dekko.

Northeast Bank will hold these funds as escrow agent for the benefit of the City subject to the following:

The City, through its Director of Planning and Development and in his sole discretion, may draw against this Escrow Account by presentation of a draft in the event that:

1. the Developer has failed to satisfactorily complete the work on the improvements contained within the site plan of Lot 7 Evergreen Industrial Park, Portland, Maine approval, dated February 15, 2008; or
2. the Developer has failed to deliver to the City a deed containing the metes and bounds description of any streets, easements or other improvements required to be deeded to the City; or
3. the Developer has failed to notify the City for inspections.

We are an equal opportunity employer.
www.northeastbank.com

77 Middle Street, Portland, ME 04101 • 800-284-5989

LTH020 12/05

In the event of the Bank's dishonor of the City of Portland's sight draft, the Bank shall inform the City of Portland in writing of the reason or reasons thereof within three (3) business days of the dishonor.

After all underground work has been completed and inspected to the satisfaction of the Department of Public Works and Planning, including but not limited to sanitary sewers, storm drains, catch basins, manholes, electrical conduits, and other required improvements constructed chiefly below grade, the City of Portland Director of Planning and Development or its Director of Finance as provided in Chapter 14 §501 of the Portland Code of Ordinances, may authorize the Northeast Bank, by written certification, to reduce the available amount of the escrowed money by a specified amount.

This performance guarantee shall expire on August 1, 2009 ("Expiration Date"). It is a condition of this agreement that it is deemed to be automatically extended without amendment for period(s) of one year each from the current Expiration Date hereof, or any future Expiration Date, unless within thirty (30) days prior to any expiration, the Bank notifies the City by certified mail (restricted delivery to Ellen Sanborn, Director of Finance, City of Portland, 389 Congress Street, Portland, Maine 04101) that the Bank elects not to consider the Escrow Account renewed for any such additional period.

In the event of such notice, the City, in its sole discretion, may draw against the Escrow Account by presentation of a sight draft drawn on the Bank and a statement purportedly signed by the Director of Planning and Development, at Bank's offices located at 77 Middle Street, Portland, Maine stating that:

This drawing results from notification that the Bank has elected not to renew its Performance Guarantee Certificate of Deposit #2031001298.


On its Expiration Date or on the date the City determines that all improvements guaranteed by this Escrow Account are satisfactorily completed, this Performance Guarantee shall be reduced by the City to ten (10) percent of its original amount and shall automatically convert to an Irrevocable Defect Guarantee. Written notice of such reduction shall be forwarded by the City to the Bank. The Defect Guarantee shall ensure the workmanship and durability of all materials used in the construction of the site plan of Lot 7 Evergreen Industrial Park, Portland, Maine approval, dated February 15, 2008 as required by City Code §14-501, 525 and shall automatically expire one (1) year from the date of its creation ("Termination Date").

The City, through its Director of Planning and Development and in his sole discretion, may draw on the Defect Guarantee by presentation of a sight draft at Bank's offices located at 77 Middle Street, Portland, Maine, prior to the Termination Date, stating any one of the following:

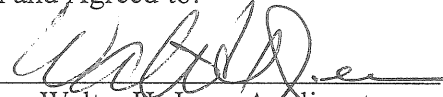
1. the Developer has failed to complete any unfinished

- improvements; or
2. the Developer has failed to correct any defects in workmanship; or
 3. the Developer has failed to use durable materials in the construction and installation of improvements contained within the site plan of Lot 7 Evergreen Industrial Park, Portland, Maine.

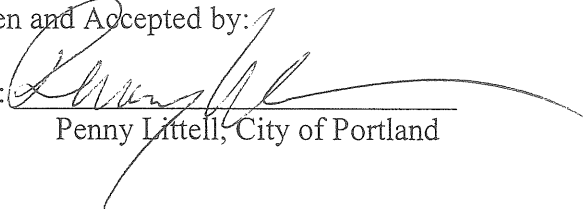
Date: 7/1/08


By: 
Timothy J. Tower, Regional Director
Northeast Bank
Its Duty Authorized Agent

Seen and Agreed to:

By: 
Walter H. Juve, Applicant

Seen and Accepted by:

By: 
Penny Littell, City of Portland


Dred
7/2/08

Walter H. Juve

From: "Jack Murphy" <JMurphy@iesbuy.com>
To: <wjuve@maine.rr.com>
Cc: <ksanders@maine.rr.com>
Sent: Tuesday, June 17, 2008 2:22 PM
Attach: SITE CALC - B.pdf; GARDCO 141 PERFORMANCE SUPER SCONCE.pdf
Subject: FW: CITY OF PORTLAND SITE STANDARDS

Jack Murphy
Independent Electric Supply
170 Anderson St.
Portland, me.04101
jmurphy@iesbuy.com

Ph. 207-347-7210
Or 877-393-7210
Fx. 207-347-7217

-----Original Message-----

From: Dan Nay [mailto:dnay@apexltg.com]
Sent: Tuesday, June 17, 2008 2:14 PM
To: Jack Murphy
Cc: Jeff Girardin; Sean Martin
Subject: RE: CITY OF PORTLAND SITE STANDARDS

Jack:

Here are the calc results by trying to illuminate the parking area from the building only (no poles). It is impossible to meet the specification criteria that you sent me as written by the City of Portland and here are the reasons why...

1. The design does not meet the IES recommendation put forth in Lighting for Exterior Environments, RP-33-99.
2. Uniformity does exceed the max/min ratio of 20:1
3. Minimum foot-candle level of 0.2 is not achieved.
4. Maximum foot-candle level of 5.0 is not achieved.
5. An average foot-candle level of 1.25 is not achieved.

I utilized the highest performance, specification grade wall fixture that Gardco manufacturers with forward throw optics and superior distribution along with the maximum allowable (by City of Portland) 250 watt metal halide lamp. I mounted the fixture at 16ft, only knowing that the building is one story, it is an assumption that it is atleast over 16ft from grade to roof.

Please let me know how you want to proceed.

Thank you,

Daniel J. Nay
Applications Specialist

Apex Lighting Solutions, LLC
446 Smith Street
Middletown, CT 06457

PH. 860-632-8766 ext 117
FX. 860-632-8236
e-mail: dnay@apexltg.com

The point where all ascending lines converge

> -----Original Message-----

> From: Jack Murphy [mailto:JMurphy@iesbuy.com]

> Sent: Friday, June 13, 2008 11:40 AM

> To: Dan Nay

> Subject: FW: CITY OF PORTLAND SITE STANDARDS

>

> YOU WILL BE RECEIVING A CAD FILE FROM A WALTER JUVE.

> THE ABOVE SPEC APPLIES

> CALL ME WHEN YOU HAVE BOTH

> THANKS

>

> Jack Murphy

> Independent Electric Supply

> 170 Anderson St.

> Portland, me.04101

> jmurphy@iesbuy.com

>

> Ph. 207-347-7210

> Or 877-393-7210

> Fx. 207-347-7217

>

>

**Planning and Development Department
SUBDIVISION/SITE DEVELOPMENT**

COST ESTIMATE OF IMPROVEMENTS TO BE COVERED BY PERFORMANCE GUARANTEE

Date: 6/11/08

Name of Project: Walt Juve

Address/Location: 225 Industrial Way

Developer: _____

Form of Performance Guarantee: Bank Escrow

Type of Development: Subdivision _____ Site Plan (Major/Minor) ✓

TO BE FILLED OUT BY THE APPLICANT:

Item	PUBLIC			PRIVATE		
	Quantity	Unit Cost	Subtotal	Quantity	Unit Cost	Subtotal
1. STREET/SIDEWALK						
Road/Parking Areas				(EXISTING REMAIN)		
Curbing						
Sidewalks						
Esplanades						
Monuments				N/A		
Street Lighting						
Street Opening Repairs						
Other						
2. EARTH WORK						
Cut				(REMOVE TOP SOIL		
Fill				AND REPLACE		
				ROUGH GRADE)		\$20,000
3. SANITARY SEWER						
Manholes				(6" SEWER		
Piping				1" WATER		
Connections				6" FIRE		\$17,500
Main Line Piping						
House Sewer Service Piping						
Pump Stations						
Other						
4. WATER MAINS						
5. STORM DRAINAGE						
Manholes				(EXISTING REMAIN)		
Catchbasins						
Piping				N/A		
Detention Basin						
Stormwater Quality Units						
Other						

20,000

17,500

6" SEWER
1" WATER
6" FIRE

N/A

6. SITE LIGHTING	_____	(SEE ATTACHED DRAINAGE)	_____	_____	_____	_____	_____	_____	_____	\$8,000
7. EROSION CONTROL	_____		_____	_____	_____	_____	_____	_____	_____	
Silt Fence	_____		_____	_____	_____	_____	_____	_____	_____	\$1,000
Check Dams	_____		_____	_____	_____	_____	_____	_____	_____	
Pipe Inlet/Outlet Protection	_____		_____	_____	_____	_____	_____	_____	_____	
Level Lip Spreader	_____		_____	_____	_____	_____	_____	_____	_____	
Slope Stabilization	_____		_____	_____	_____	_____	_____	_____	_____	
Geotextile	_____		_____	_____	_____	_____	_____	_____	_____	
Hay Bale Barriers	_____		_____	_____	_____	_____	_____	_____	_____	
Catch Basin Inlet Protection	_____		_____	_____	_____	_____	_____	_____	_____	
8. RECREATION AND OPEN SPACE AMENITIES	_____		_____	_____	_____	_____	_____	_____	_____	
9. LANDSCAPING (Attach breakdown of plant materials, quantities, and unit costs)	_____		_____	_____	_____	_____	_____	_____	_____	\$3,972
10. MISCELLANEOUS	_____	TREE CLEARING + MULCHING	_____	_____	_____	_____	_____	_____	_____	\$6,000
TOTAL:	_____	SOIL TESTING (STRUCTURAL)	_____	_____	_____	_____	_____	_____	_____	\$2,900
GRAND TOTAL:	_____		_____	_____	_____	_____	_____	_____	_____	

INSPECTION FEE (to be filled out by the City)

	<u>PUBLIC</u>	<u>PRIVATE</u>	<u>TOTAL</u>
A: 2.0% of totals:	_____	_____	_____
or			
B: Alternative Assessment:	_____	_____	_____
Assessed by:	_____	_____	_____
	(name)	(name)	

EXCEPT IS
ONE OF
THESE

SAMPLE FORM SITE PLAN/SUBDIVISION
PERFORMANCE GUARANTEE
ESCROW ACCOUNT
[ACCOUNT NUMBER]

653-8216
[Date]

874
8683

Phil DiPierro
Phil. DiPierro

874-
X 8630

Lee Urban
Director of Planning and Development
City of Portland
389 Congress Street
Portland, Maine 04101

\$ 59,372

Re: [Insert: Name of Developer]
[Insert: Address of Project, Portland, Maine]
[Insert: Application ID #]

[Insert: Name of Bank] hereby certifies to the City of Portland that [Bank] will hold the sum of [Insert: amount of original performance guarantee] in an interest bearing account established with the Bank. These funds shall be held for the exclusive benefit of the City of Portland and shall represent the estimated cost of installing site improvements as depicted on the [Insert: subdivision and/or site plan], approved on [Insert: date] as required under Portland Code of Ordinances Chapter 14 §§499, 499.5, 525 and Chapter 25 §§46 through 65. It is intended to satisfy the Developer's obligation, under Portland Code of Ordinances Chapter 14 §§501, 502 and 525, to post a performance guarantee for the above referenced development. All costs associated with establishing, maintaining and disbursing funds from the Escrow Account shall be borne by [Insert: Developer].

[Bank] will hold these funds as escrow agent for the benefit of the City subject to the following:

The City, through its Director of Planning and Development and in his sole discretion, may draw against this Escrow Account by presentation of a draft in the event that:

1. the Developer has failed to satisfactorily complete the work on the improvements contained within the [Insert: subdivision and/ or site plan] approval, dated [Insert date]; or
2. the Developer has failed to deliver to the City a deed containing the metes and bounds description of any streets, easements or other improvements required to be deeded to the City; or
3. the Developer has failed to notify the City for inspections.

In the event of the Bank's dishonor of the City of Portland's sight draft, the Bank shall inform the City of Portland in writing of the reason or reasons thereof within three (3) business days of the dishonor.

After all underground work has been completed and inspected to the satisfaction of the Department of Public Works and Planning, including but not limited to sanitary sewers, storm drains, catch basins, manholes, electrical conduits, and other required improvements constructed chiefly below grade, the City of Portland Director of Planning and Development or its Director of Finance as provided in Chapter 14 §501 of the Portland Code of Ordinances, may authorize the [Bank], by written certification, to reduce the available amount of the escrowed money by a specified amount.

This performance guarantee shall expire on [Insert date between April 16 and October 30 of the following year] ("Expiration Date"). It is a condition of this agreement that it is deemed to be automatically extended without amendment for period(s) of one year each from the current Expiration Date hereof, or any future Expiration Date, unless within thirty (30) days prior to any expiration, the Bank notifies the City by certified mail (restricted delivery to Duane Kline, Director of Finance, City of Portland, 389 Congress Street, Portland, Maine 04101) that the Bank elects not to consider the Escrow Account renewed for any such additional period.

In the event of such notice, the City, in its sole discretion, may draw against the Escrow Account by presentation of a sight draft drawn on the Bank and a statement purportedly signed by the Director of Planning and Development, at Bank's offices located at _____ stating that:

this drawing results from notification that the Bank has elected not to renew its Letter of Credit No. _____.

On its Expiration Date or on the date the City determines that all improvements guaranteed by this Escrow Account are satisfactorily completed, this Performance Guarantee shall be reduced by the City to ten (10) percent of its original amount and shall automatically convert to an Irrevocable Defect Guarantee. Written notice of such reduction shall be forwarded by the City to the Bank. The Defect Guarantee shall ensure the workmanship and durability of all materials used in the construction of the [Insert: subdivision and/ or site plan] approval, dated [Insert: Date] as required by City Code §14-501, 525 and shall automatically expire one (1) year from the date of its creation ("Termination Date").

The City, through its Director of Planning and Development and in his sole discretion, may draw on the Defect Guarantee by presentation of a sight draft at Bank's offices located at _____, prior to the Termination Date, stating any one of the following:

1. the Developer has failed to complete any unfinished

2. improvements; or
the Developer has failed to correct any defects in workmanship; or
3. the Developer has failed to use durable materials in the construction and installation of improvements contained within the **[Insert: subdivision and/ or site improvements]**.

Date: _____

By: _____

Its Duly Authorized Agent

Seen and Agreed to: **[Applicant]**

By: _____

TAMMARO LANDSCAPING & PROPERTY SERVICES, INC.

JUNE 8, 2008

6 Dawe Road
Cape Elizabeth, ME 04107

Phone: 207-831-8535
Fax: 207-799-5334
Email: ntammaro@maine.rr.com

PROPOSAL PREPARED
FOR
MUNJOY HILL RESTORATION
PORTLAND, ME 04101

PREPARED BY
NICHOLAS TAMMARO
TAMMARO LANDSCAPING
&
PROPERTY SERVICES, INC.
207-831-8535

6 DAWE ROAD
CAPE ELIZABETH, ME 04107

TAMMARO LANDSCAPING & PROPERTY SERVICES, INC.

JUNE 8, 2008

6 Dawe Road
Cape Elizabeth, ME 04107

Phone: 207-831-8535
Fax: 207-799-5334
Email: ntammaro@maine.rr.com

MUNJOY HILL RESTORATION BID

WE WILL PLANT FOUR (4) RED MAPLE "OCTOBER GLORY" AND ELEVEN (11) FORSYTHIA "MEADOWLARK" ON THE NORTH WEST SIDE OF THE BUILDING BETWEEN THE PROPOSED PARKING AREA AND INDUSTRIAL WAY.	
ON THE EAST SIDE OF THE BUILDING, WE WILL PLANT THREE (3) SHASTA VIBURNUM SHRUBS AROUND THE AC UNIT TO BE A SCREEN FROM EVERGREEN DRIVE	
LABOR AND MATERIAL TO COMPLETE THE PROJECT	\$3972.00

WE APPRECIATE THE OPPORTUNITY TO WORK WITH YOU.

SUBMITTED:

ACCEPTED:

NICHOLAS TAMMARO
OWNER

DATE

6 DAWE ROAD
CAPE ELIZABETH, ME 04107

JUNE 8, 2008

6 Dawe Road
Cape Elizabeth, ME 04107

Phone: 207-831-8535
Fax: 207-799-5334
Email: ntammaro@maine.rr.com

June 8, 2008

Dear Munjoy Hill Restoration:

Thank you for the opportunity to prepare this bid for Munjoy Hill Restorations.

Tammaro Landscaping & Property Services, Inc. is a local company based right here in Cape Elizabeth, Maine. My goal is 100% customer satisfaction. I will work hard to meet this goal. Communication with you is very important to me.

Please take time to review this proposal. Please do not hesitate to call me with any questions or comments that you may have.

Sincerely,

Nicholas Tammaro
Tammaro Landscaping & Property Services, Inc.

SUBMITTED:

ACCEPTED:

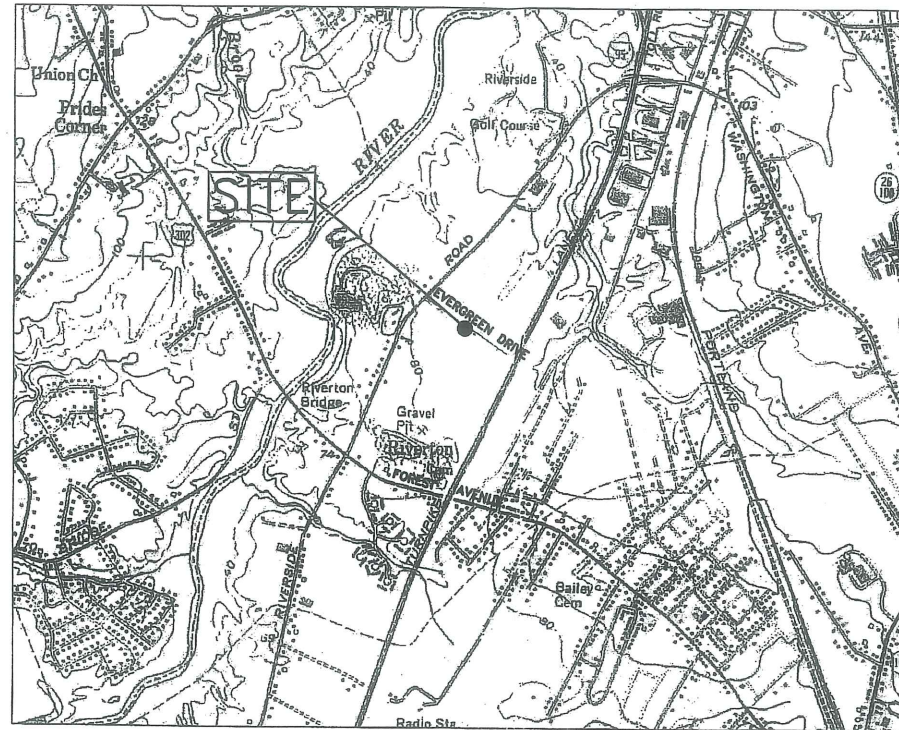
NICHOLAS TAMMARO, OWNER _____

_____ DATE _____

Minor Site Plan Review Application

General Notes:

- PROJECT IS LOCATED WITHIN THE CITY OF PORTLAND.
- TOPOGRAPHIC INFORMATION FROM A GROUND SURVEY BY JAMES D. NADEAU, LLC. DATED JULY 6, 2007.
- THE PROJECT IS SUBJECT TO MINOR SITE PLAN REVIEW APPROVAL FROM THE CITY OF PORTLAND.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "DIG-SAFE" AND LOCAL UTILITY COMPANIES AT LEAST 3 BUSINESS DAYS, BUT NOT MORE THAN 30 CALENDAR DAYS, PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, OR AS OTHERWISE REQUIRED BY MAINE STATE LAW.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS, METHODS AND TECHNIQUES EMPLOYED TO PERFORM THE WORK SHOWN ON THESE PLANS.
- ALL WORK SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL SAFETY REGULATIONS.
- ALL WORK SHALL BE IN CONFORMANCE WITH THE CITY OF PORTLAND AND ALL UTILITY COMPANIES STANDARDS.
- CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES WITH THE RESPECTIVE COMPANY PRIOR TO THE START OF CONSTRUCTION. IF ANY DISCREPANCIES OR CONFLICTS ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND OWNER PRIOR TO PROCEEDING.
- THE CONTRACTOR SHALL SECURE ALL NECESSARY CONSTRUCTION ACTIVITY PERMITS FOR THE WORK SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION.
- NO BLASTING WILL BE ALLOWED WITHIN 500 FT OF ANY UTILITY WITHOUT THE NOTIFICATION AND APPROVAL OF THE APPROPRIATE UTILITY COMPANY. NO LEDGE BLASTING WILL BE PERMITTED WITHIN A UTILITY COMPANY EASEMENT UNTIL WRITTEN APPROVAL FROM THE UTILITY IS GIVEN. BLASTING OPERATIONS SHALL BE IN ACCORDANCE WITH MAINE DEPT OF ENVIRONMENTAL PROTECTION BLASTING REQUIREMENTS AND SITE LOCATION OF DEVELOPMENT APPROVAL ORDER.
- ALL PAVEMENT CUTS SHALL BE SAW CUT TO RESULT IN CLEAN EDGES. A TACK COAT SHALL BE APPLIED ALONG THE CUT EDGES AND NEW PAVEMENT BUTTED TO IT, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO RECLAIM OR PROPERLY DISPOSE OF ALL REMOVED BITUMINOUS MATERIALS.
- CONDUIT SHALL BE USED FOR ELECTRIC, TELEPHONE AND TV IN ACCORDANCE WITH THE RESPECTIVE COMPANIES REQUIREMENTS.
- ALL EROSION & SEDIMENT CONTROL MEASURES SHALL BE INSTALLED & MAINTAINED IN ACCORDANCE WITH THE "MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES, 2006 VERSION AND AS OTHERWISE SPECIFIED OR INDICATED ON DRAWINGS.
- REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.



Legend

EXISTING	PROPOSED
CONTOUR	CONTOUR
SPOT GRADE	SPOT GRADE
PROPERTY LINE	PROPERTY LINE
ROADWAY CENTERLINE	ROADWAY CENTERLINE
BUILDING SETBACK	BUILDING SETBACK
EDGE OF PAVEMENT	EDGE OF PAVEMENT
BIT CURB	BIT CURB
BUILDING	BUILDING
SANITARY SEWER	SANITARY SEWER
STORM DRAIN	STORM DRAIN
GAS	GAS
WATER MAIN	WATER MAIN
OVERHEAD WIRE	OVERHEAD WIRE
FOUNDATION	FOUNDATION
UNDERGRND TELEPHONE & GUY	UNDERGRND TELEPHONE & GUY
UTILITY P.C./GUY	UTILITY P.C./GUY
CATCH BASIN	CATCH BASIN
MANHOLE	MANHOLE
HYDRANT	HYDRANT
GATE VALVE	GATE VALVE
TRANSFORMER	TRANSFORMER
RIP RAP	RIP RAP
SIDEWALK RAMP	SIDEWALK RAMP
STONE WALL	STONE WALL
STONE CHECK DAM	STONE CHECK DAM
EROSION CONTROL MATING	EROSION CONTROL MATING
LIGHT FIXTURE/BASE	LIGHT FIXTURE/BASE
SILT FENCE	SILT FENCE
WOOD FENCE	WOOD FENCE
FLARED END SECTION	FLARED END SECTION
STANDARD CULVERT END	STANDARD CULVERT END
WETLANDS	WETLANDS
WETLAND IMPACT	WETLAND IMPACT
GRANITE MONUMENT	GRANITE MONUMENT
IRON ROD SET	IRON ROD SET
TOP CURB/BOTTOM CURB	TOP CURB/BOTTOM CURB
WATERMAIN CAP/GV/BLOWOFF	WATERMAIN CAP/GV/BLOWOFF
GUARDRAIL	GUARDRAIL
TREELINE	TREELINE
BUILDING NUMBER	B-1
TEST PIT	TEST PIT
WALKOUT UNIT	W.O.
TO BE REMOVED	TBR

Approvals:

- * CITY OF PORTLAND (MINOR SITE PLAN REVIEW)

Locus

Lot 7 Evergreen Industrial Park

225 Industrial Way
Portland, Maine 04103

Prepared For:
Woodworking & Cabinetry, LLC
40 Portland Pier #11, Portland, Maine 04101

Index Of Sheets

SHEET #	DESCRIPTION
0	COVER SHEET
(1 of 1)	SUBDIVISION PLAT
1	EXISTING CONDITIONS & REMOVALS
2	SITE PLAN
3	DETAILS
4	PRE-DEVELOPMENT DRAINAGE
5	POST-DEVELOPMENT DRAINAGE

Utilities:

- * WATER: PORTLAND WATER DISTRICT
- * SEWER: CITY OF PORTLAND DPW
- * ELECTRIC: CMP - TERRY S. BRADISH
- * TELEPHONE: VERIZON - GEORGE HILLMAN 207-797-1798
- * GAS - NORTHERN UTILITIES

Project Team

Engineering, Permitting & Landscape Architecture:

STANTEC CONSULTING SERVICES, INC.
22 Free Street
Portland, ME 04101
(207) 775-3211

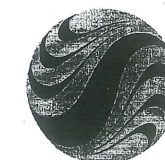
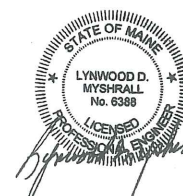
Survey:

James D. Nadeau, LLC
918 Brighton Avenue
Portland, ME 04102

SITE PLAN NEEDS LIGHTS
7 SETS OF DRAWING (11x17") + PDF'S
HELEN'S

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 2-15-2008

2007-0168

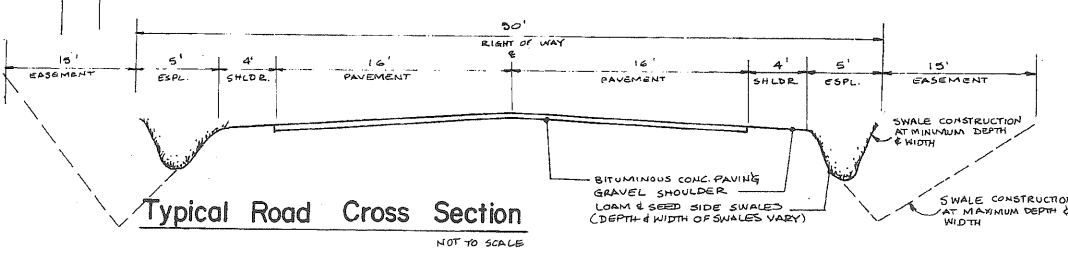
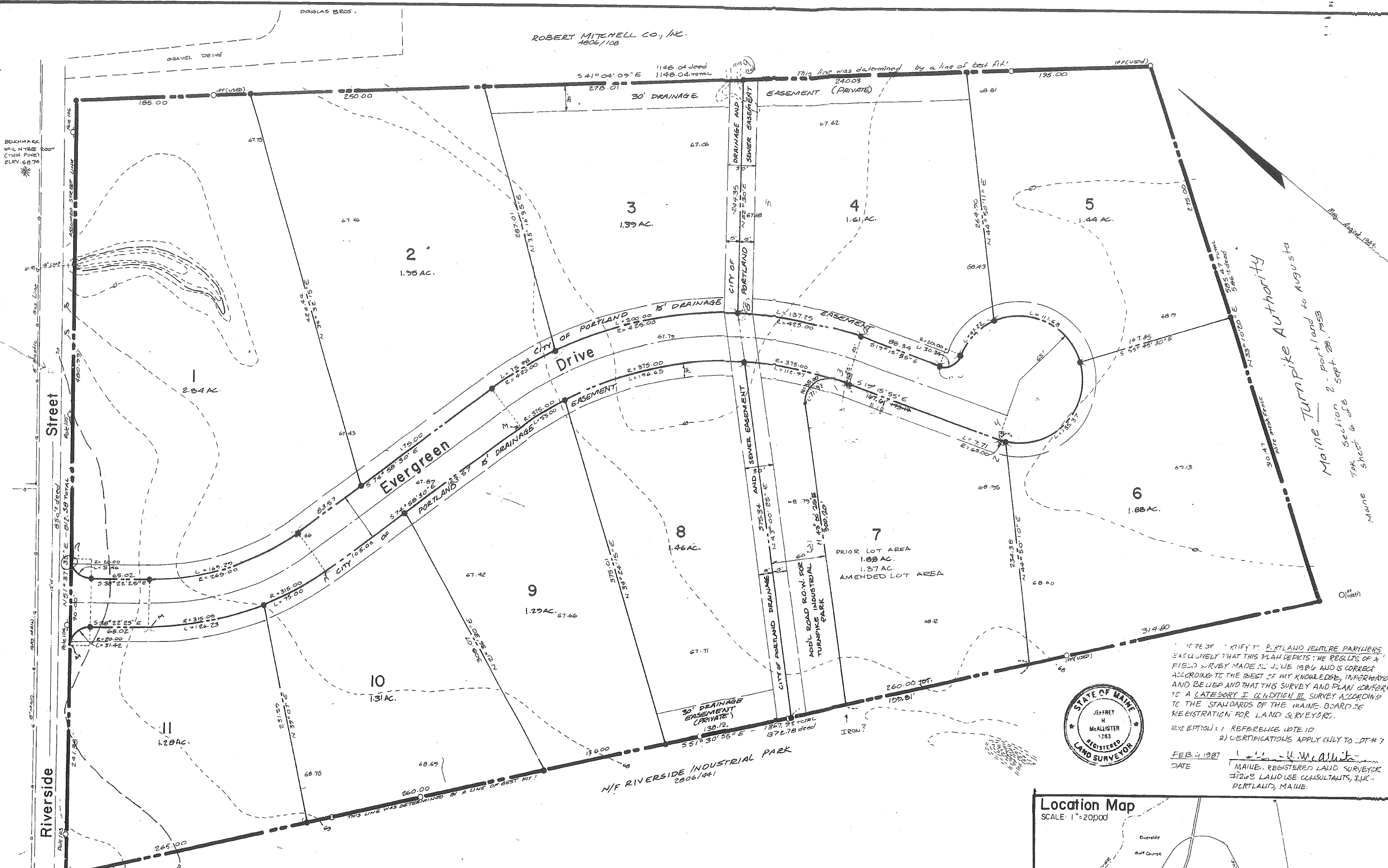


Stantec Consulting Services Inc.
22 Free Street, Suite 205
Portland, ME U.S.A.
04101-3900
Tel. 207.775.3211
Fax. 207.775.6434

Issue: 11/30/07 Revisions Per City Review Comments
Issue: 09/28/07 Minor Site Plan Review - City of Portland

Stantec

Drawing 0
195410273



General Notes

1. RECORD OWNER'S DELTA REALTY CO. INC. AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 6466 PAGE 100
2. PROJECT AREA IS LOCATED IN THE I-1 ZONING DISTRICT
3. PROJECT AREA: LOTS 10.34 AC. ROAD ROW 1.51 AC. TOTAL 11.85 AC.
4. TOPOGRAPHIC INFORMATION PREPARED BY LAND USE CONSULTANTS FROM ON-SITE FIELD SURVEY
5. PERMITS REQUIRED FROM A SURVEY FOR DELTA REALTY CO. INC. BY LAND USE CONSULTANTS, JEREMY H. McALLISTER, R.L.S. #1263
6. GUARANTEE RIGHT-OF-WAY MEASUREMENTS TO BE SET 3' INSIDE THE RIGHT OF WAY PER CITY OF PORTLAND STANDARDS
7. ALL TELEPHONE AND CABLE TELEVISION LINES SHALL BE INSTALLED ABOVE GROUND
8. ALL UTILITY INFORMATION SUPPLIED BY UTILITY COMPANIES AND IS REPRESENTATIVE ONLY
9. ALL CONSTRUCTION TO CONFORM WITH CITY OF PORTLAND PUBLIC WORKS STANDARDS
10. REFER TO CUMBERLAND COUNTY REGISTRY OF DEEDS, PLAN BOOK 116 PAGE 97 FOR ORIGINAL SUBDIVISION PLAT FOR EVERGREEN INDUSTRIAL PARK AS APPROVED BY THE PORTLAND PLANNING BOARD ON 11/16/85
11. SECOND AMENDMENT CONSISTS OF ADDING ADD'L ROAD R.O.W. FOR TURNPIKE INDUSTRIAL PARK AND THE REMOVAL OF DRAINAGE EASEMENT BOTH IN LOT 7. NEW LOT AREA FOR LOT 7 AS SHOWN.

Legend

Existing	Proposed
—	—
○	○
○	○
○	○
○	○
○	○
○	○
○	○
○	○
○	○



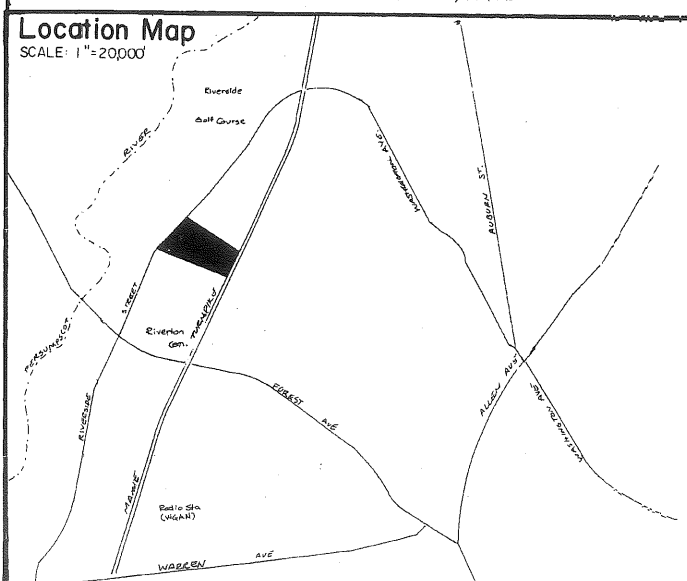
BEFORE ME, CLERK TO PORTLAND JUDICIAL PARTISERS, EXCLUSIVELY THAT THIS PLAN DEPICTS THE RESULTS OF A FIELD SURVEY MADE JULY 1984 AND IS CORRECT ACCORDING TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF AND THAT THIS SURVEY AND PLAN CONFORM TO A CATEGORY I LOCATION SURVEY ACCORDING TO THE STANDARDS OF THE MAINE BOARD OF REGISTRATION FOR LAND SURVEYORS.

EXCEPTION: 1) REFERENCE LOTS 10
2) CERTIFICATIONS APPLY ONLY TO "DTM"

FEB 4 1987
DATE: *Jeffrey H. McAllister*
MAINE REGISTERED LAND SURVEYOR #1263
LAND USE CONSULTANTS, INC., PORTLAND, MAINE

City of Portland Planning Board
Approved: _____ Date: FEBRUARY 10, 1987

Richard D. Clement
John J. Parker

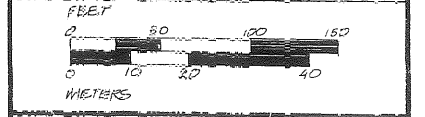


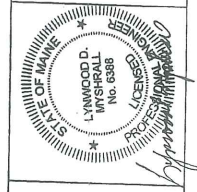
DATE: 2/3/87 REVISIONS: LOT 7 METES

Evergreen Industrial Park
Riverside Street Portland, ME
Second Amended Subdivision Plat

Delta Realty Co.
999 Forest Ave
Portland, ME 04103

DATE: 2-3-87 JOB NO: 1431
ORN DWF CHK: 2/21 FIELD BK: 135
SCALE: 1" = 50' SHEET 1 OF 1





LOT 7 EVERGREEN INDUSTRIAL PARK
 225 INDUSTRIAL WAY, PORTLAND, MAINE

PREPARED FOR:
 WOODWORKING & CABINETRY, LLC
 40 PORTLAND PIER #11
 PORTLAND, MAINE 04101

CITY OF PORTLAND
 APPROVED SITE PLAN
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 Date of Approval: 2-15-2008

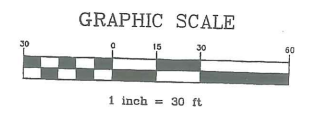
Evergreen Drive & Industrial Way
 Portland, Maine
 July 6, 2007, Revised November 27 & 29, 2007
 By James D. Nadeau, LLC

Elevations based on NGVD 1929 per Survey Control Marker
 PFC-302-D 1989.

Approximate boundary lines based on plan entitled
 "Evergreen Industrial Park, Riverside Street Portland,
 ME, Second Amended Subdivision Plat, Delta Realty
 Co., 999 Forest Ave., Portland, ME 04103", dated
 February 3, 1987, by Land Use Consultants, Portland,
 Maine and recorded at the Cumberland County Registry
 of Deeds in Plan Book 160 Page 66.

PROGRESS PLAN
NOT FOR CONSTRUCTION

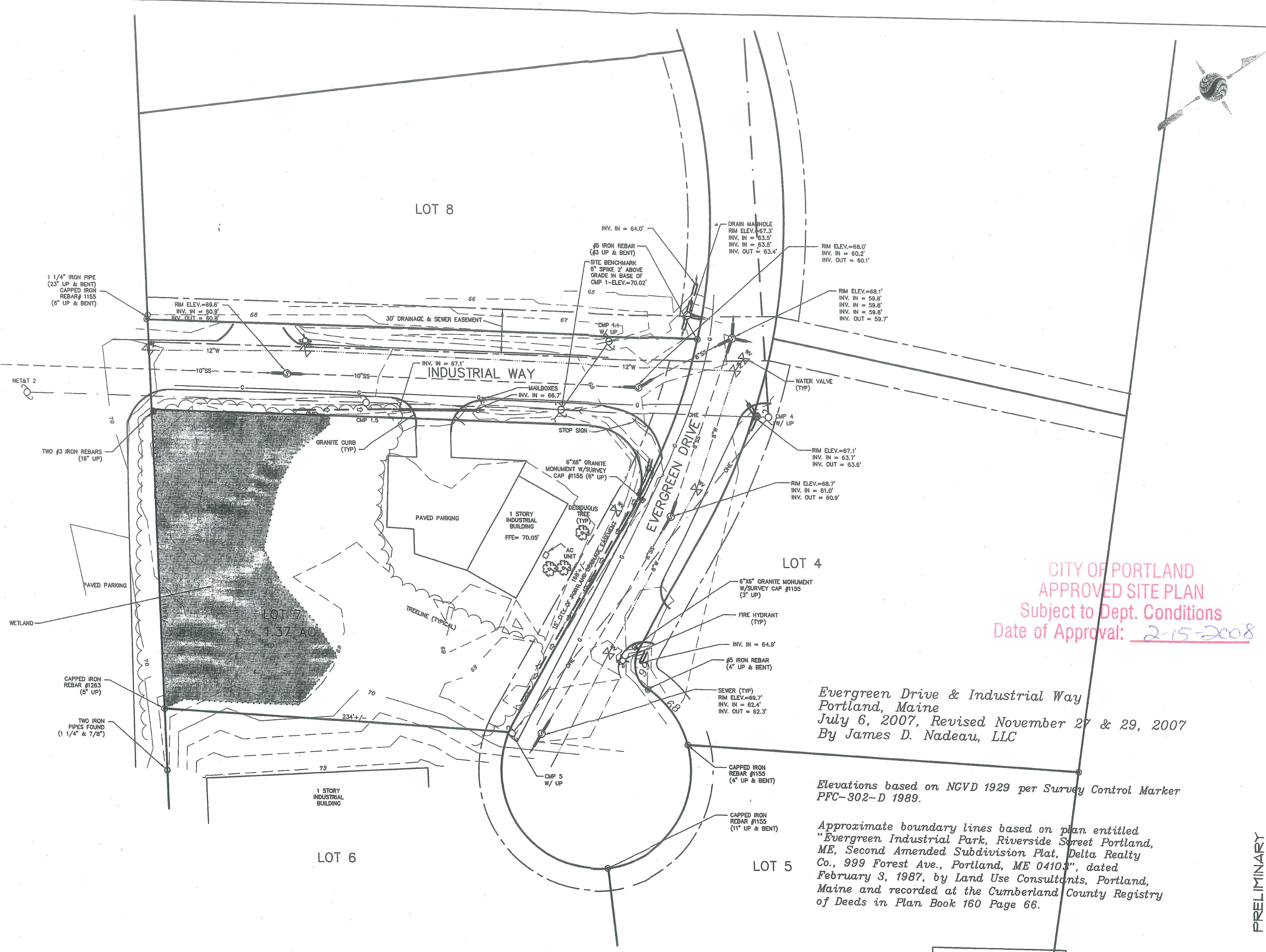
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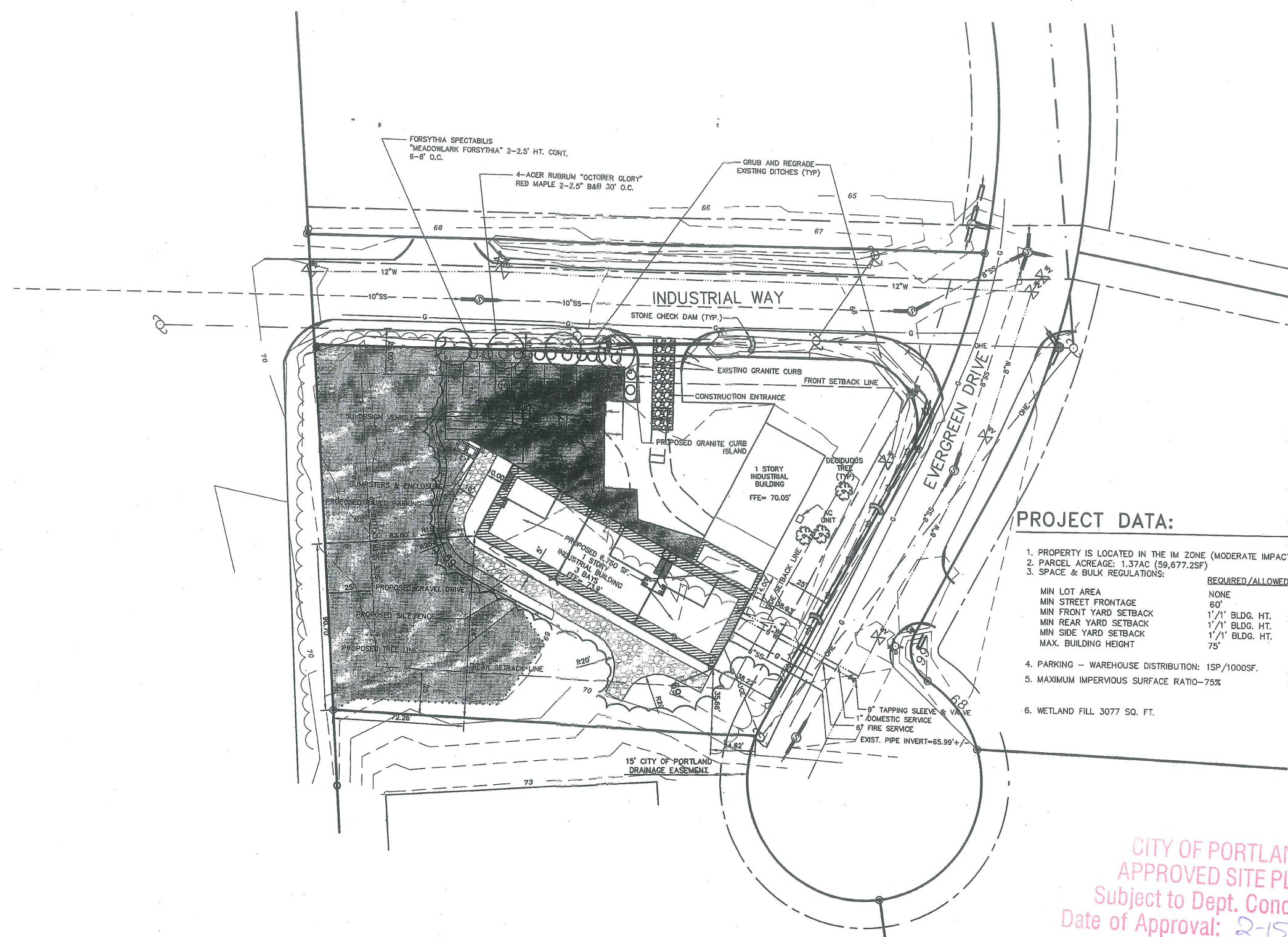
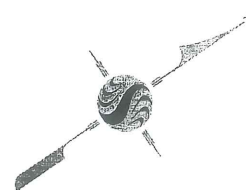


PRELIMINARY

EXISTING CONDITIONS
 & REMOVALS

Job No. 195410273
 Sheet





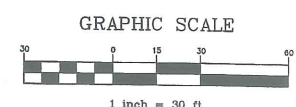
PROJECT DATA:

- PROPERTY IS LOCATED IN THE IM ZONE (MODERATE IMPACT INDUSTRIAL)
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- SPACE & BULK REGULATIONS:

	REQUIRED/ALLOWED	PROVIDED
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MIN FRONT YARD SETBACK	1'/1' BLDG. HT.	72.04'
MIN REAR YARD SETBACK	1'/1' BLDG. HT.	35.66'
MIN SIDE YARD SETBACK	1'/1' BLDG. HT.	82.80'
MAX. BUILDING HEIGHT	75'	
- PARKING - WAREHOUSE DISTRIBUTION: 1SP/1000SF. 10 SPACES
- MAXIMUM IMPERVIOUS SURFACE RATIO-75%
 $\frac{25,868 \text{ SQ. FT.}}{59,677 \text{ SQ. FT.}} = 43\%$
- WETLAND FILL 3077 SQ. FT.

CITY OF PORTLAND
 APPROVED SITE PLAN
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PROGRESS PLAN
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PRELIMINARY

SITE PLAN

Job No.195410273

Sheet

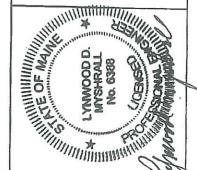
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LOT 7 EVERGREEN INDUSTRIAL PARK
 225 INDUSTRIAL WAY, PORTLAND, MAINE

PREPARED FOR:
 WOODWORKING & CABINETRY, LLC
 40 PORTLAND PIER #11
 PORTLAND, MAINE 04101

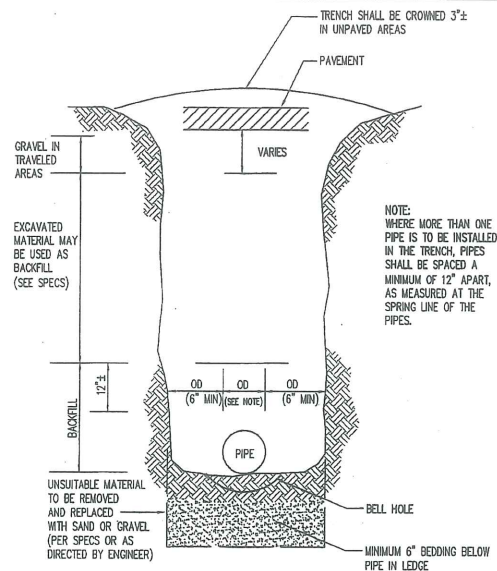
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Revision	Date
REVS PER CITY REVIEW COMMENTS	11/29/07



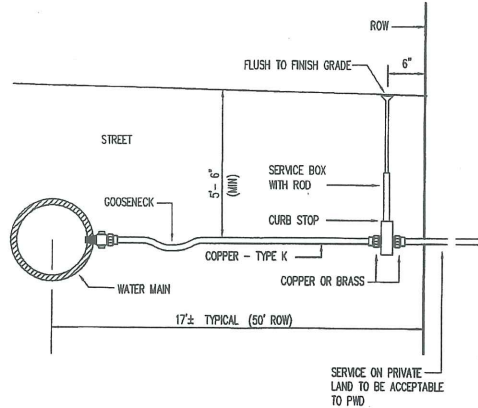
Stantec Consulting Services Inc.
 20 Free Street, Suite 205
 Portland, ME, U.S.A.
 04101-3900
 Tel. 207.775.3211
 Fax. 207.775.6434

Stantec

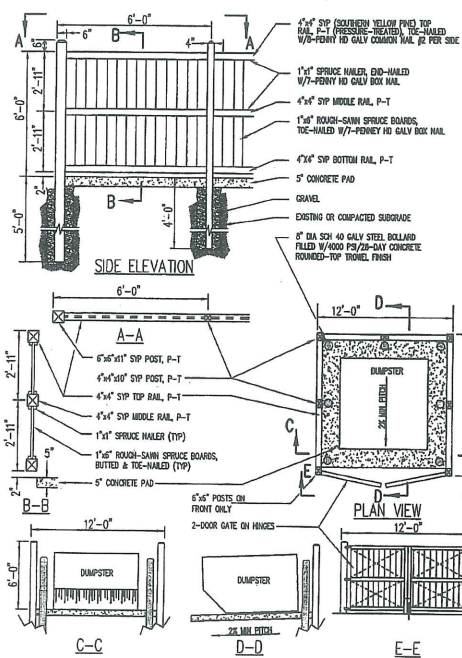


11 TYPICAL WATER MAIN SECTION THRU EARTH
NOT TO SCALE UTL-9-REICH/10-05

SERVICE CONNECTIONS (DIRECT TAPS AND SERVICE CLAMPS) WILL BE INSTALLED SO THAT THE OUTLET IS AT AN ANGLE OF NOT MORE THAN 45° ABOVE THE HORIZONTAL. ALWAYS PUT A BEND OR "GOOSENECK" IN THE SERVICE LINE PRIOR TO CONNECTING TO PROVIDE FLEXIBILITY AND "GIVE" TO COUNTERACT THE EFFECTS OF A LOAD DUE TO SETTLEMENT OR EXPANSION AND/OR CONTRACTION (SEE DETAILS).

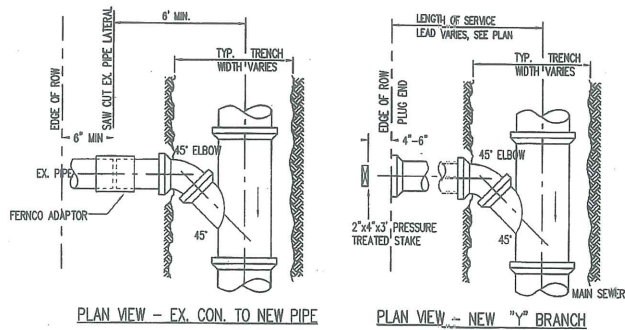


12 TYPICAL SERVICE CONNECTION
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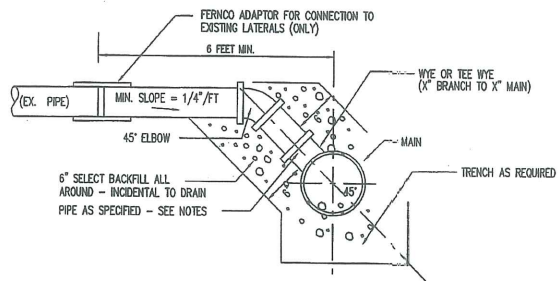


13 WOODEN DUMPSTER ENCLOSURE W/GATE
NOT TO SCALE LS-FENCE-WOOD-DUMPSTER/03-00

ALL NEW UTILITY SERVICE LEADS SHALL BE INSTALLED TO THE RIGHT-OF-WAY LINE. SANITARY SEWER SERVICE LEADS SHALL BE 8-INCH DIAMETER; STORM DRAIN SERVICE LEADS SHALL BE 4-INCH DIAMETER; A PRESSURE-TREATED WOODEN STAKE 2"x4"x3' SHALL BE INSTALLED TO MARK THE END OF EACH NEW SERVICE LEAD.

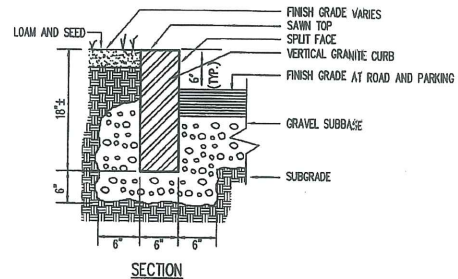
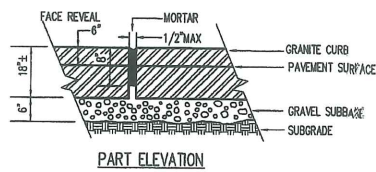
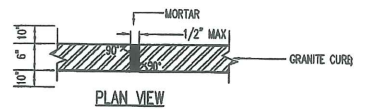


PLAN VIEW - EX. CON. TO NEW PIPE PLAN VIEW - NEW "Y" BRANCH

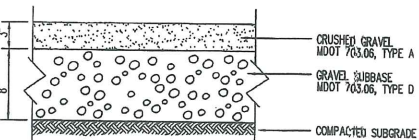


ELEVATION VIEW - NEW "Y" BRANCH

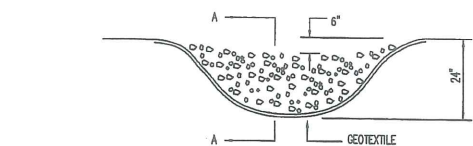
8 TYPICAL SEWER SERVICE LEAD CONNECTION
NOT TO SCALE



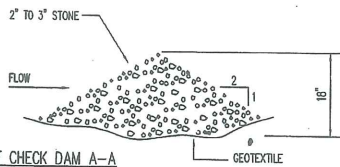
9 VERTICAL GRANITE CURB
NOT TO SCALE CURB-GRANITE-MORTAR/10-05



10 GRAVEL DRIVE
NOT TO SCALE RD-DRIVE/05-05



CROSS SECTION OF DRAINAGE-WAY

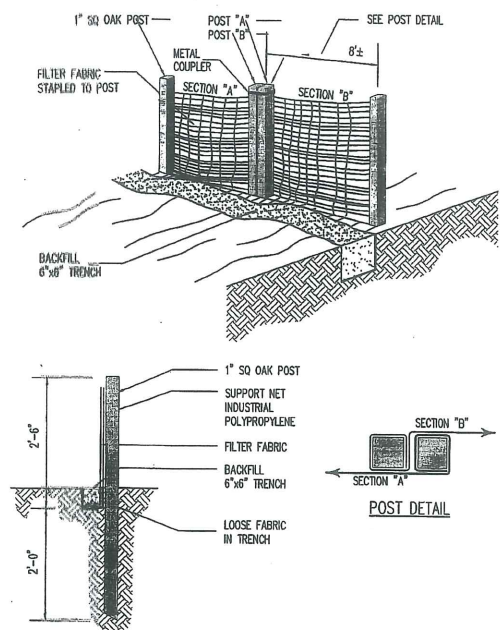


CROSS SECTION OF CHECK DAM A-A

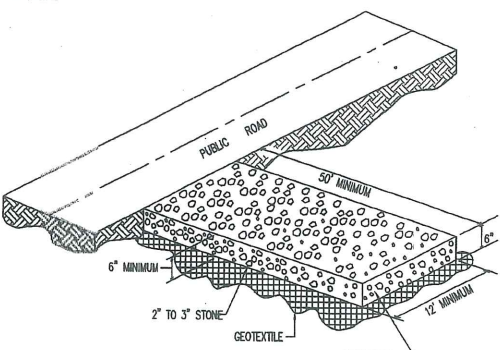
NOTES:

- ONCE THE AREAS UPSTREAM FROM THE CHECK DAM ARE STABILIZED BY VEGETATION, THE SEDIMENT TRAPPED BEHIND/WITHIN THE DAM SHALL BE RELOCATED TO AN AREA UNDERGOING FINAL GRADING.
- THE CHECK DAMS SHALL BE FLATTENED AND GRADED IN A MANNER WHICH PROTECTS THE AREA FROM EROSION AND CHANNEL BLOCKAGE. (GEOTEXTILE MUST BE REMOVED).
- THE GEOTEXTILE SHALL BE DISPOSED OFF-SITE.
- THE AREA CONTRIBUTORY TO THE CHECK DAM SHALL NOT EXCEED 10 ACRES.

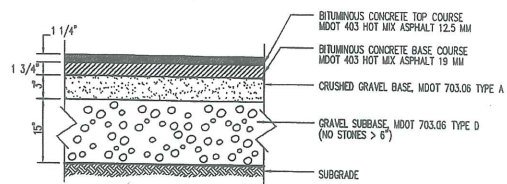
5 TEMPORARY STONE CHECK DAM IN DRAINAGE-WAY
NOT TO SCALE ED-CHECKDAM-STONE/10-05



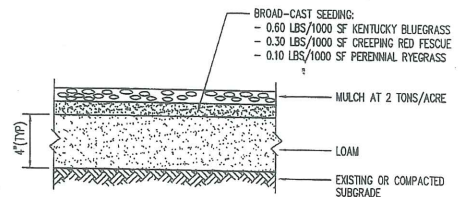
6 PREFABRICATED SILT FENCE
NOT TO SCALE



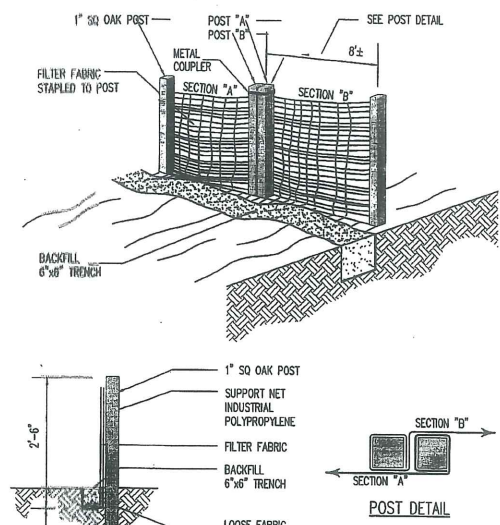
7 CONSTRUCTION ENTRANCE
NOT TO SCALE ED-CONST-ENT/10-05



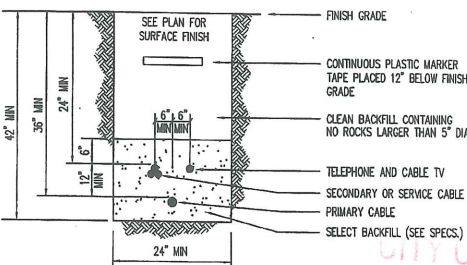
1 NEW BITUMINOUS CONCRETE DRIVE & PARKING
NOT TO SCALE



2 LOAM & SEED
NOT TO SCALE



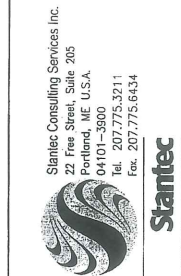
3 SANITARY SEWER BEDDING DETAIL
NOT TO SCALE ST-SPE-TRENCH-10/14-05



4 TYPICAL UNDERGROUND CABLE TRENCH
NOT TO SCALE UTL-EEC-TRENCH-1/05-05

NOTES:

- INSTALLATION SHOULD NOT ALLOW THE INTER-TWINGING OF CABLES.
- BEDDING AND BACKFILL SHALL BE FREE OF ROOTS, STUMPS AND OTHER DEBRIS.
- INSTALL SCHEDULE 40 CONDUIT UNDER ALL PAVED AREAS PER APPROPRIATE UTILITY COMPANY SPECIFICATIONS.



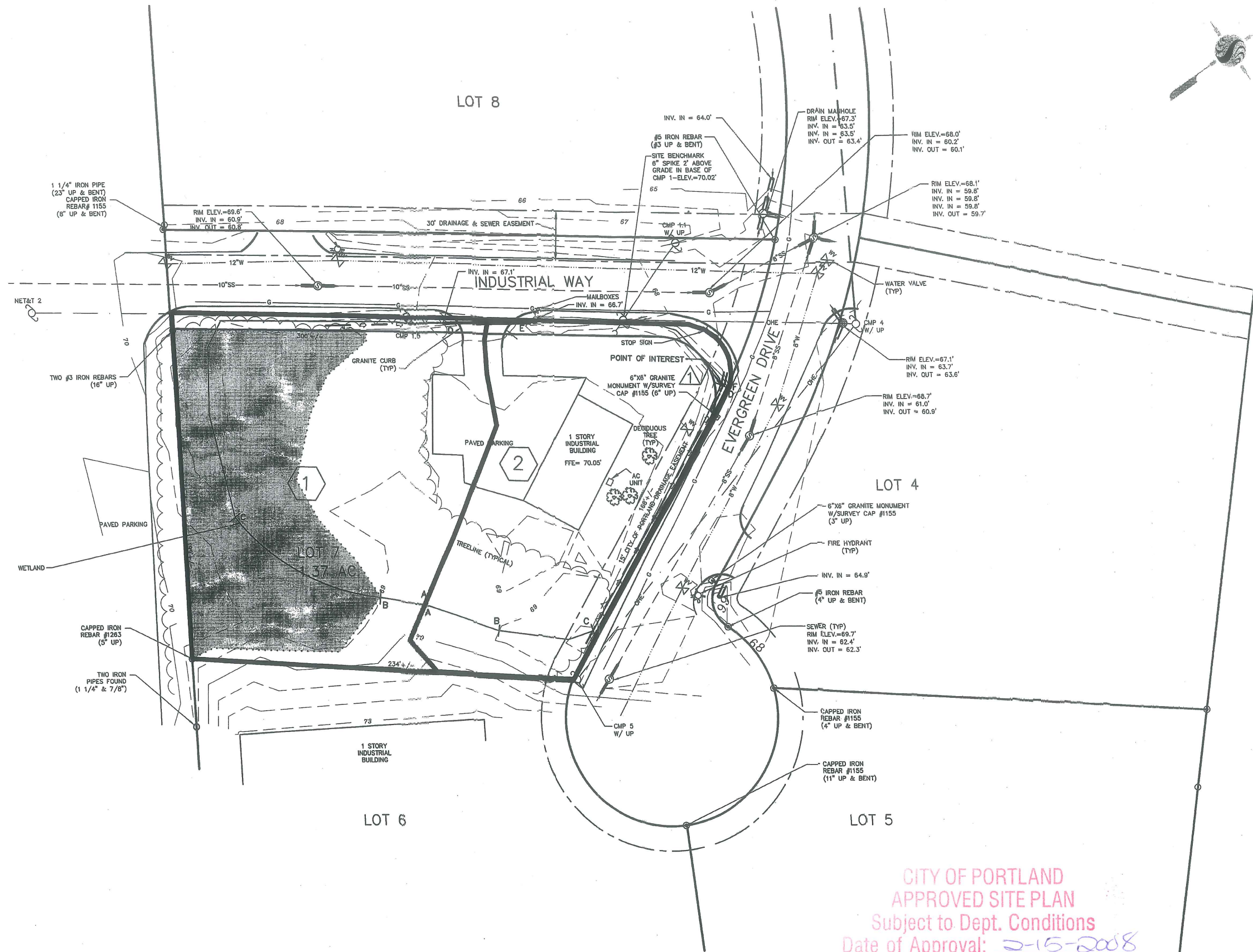
LOT 7 EVERGREEN INDUSTRIAL PARK
225 INDUSTRIAL WAY, PORTLAND, MAINE
PREPARED FOR:
WOODWORKING & CABINETRY, LLC
40 PORTLAND PIER #11
PORTLAND, MAINE 04101

Revision	Date
REVS PER CITY REVIEW COMMENTS	11/20/07

Designed LDM	Drawn LDM	Checked LDM	Scale	Date
			NO SCALE	09-28-07

Details
3

CITY OF PORTLAND APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 2-15-2008



Stantec Consulting Services Inc.
 22 Free Street, Suite 205
 Portland, ME 04103
 Tel: 207.775.3211
 Fax: 207.775.6454

Stantec

STATE OF MAINE
 LYNDWOOD C. MYERS
 LICENSED PROFESSIONAL ENGINEER
 No. 6366

LOT 7 EVERGREEN INDUSTRIAL PARK
 225 INDUSTRIAL WAY, PORTLAND, MAINE

PREPARED FOR:
 WOODWORKING & CABINETRY, LLC
 40 PORTLAND PIER #11
 PORTLAND, MAINE 04101

Revision	Date
LOGGED SHEET CITY REVIEW COMMENTS	11/29/07

Designed LDM
 Drawn PJP
 Checked LDM
 Scale 1" = 30'
 Date 09-28-07

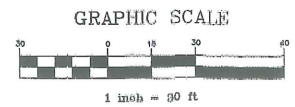
PRE-DEVELOPMENT DRAINAGE

Job No. 195410273
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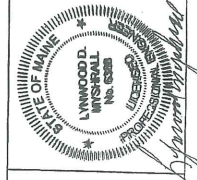
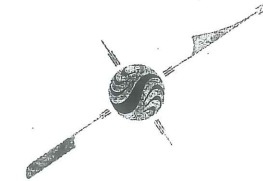
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CITY OF PORTLAND
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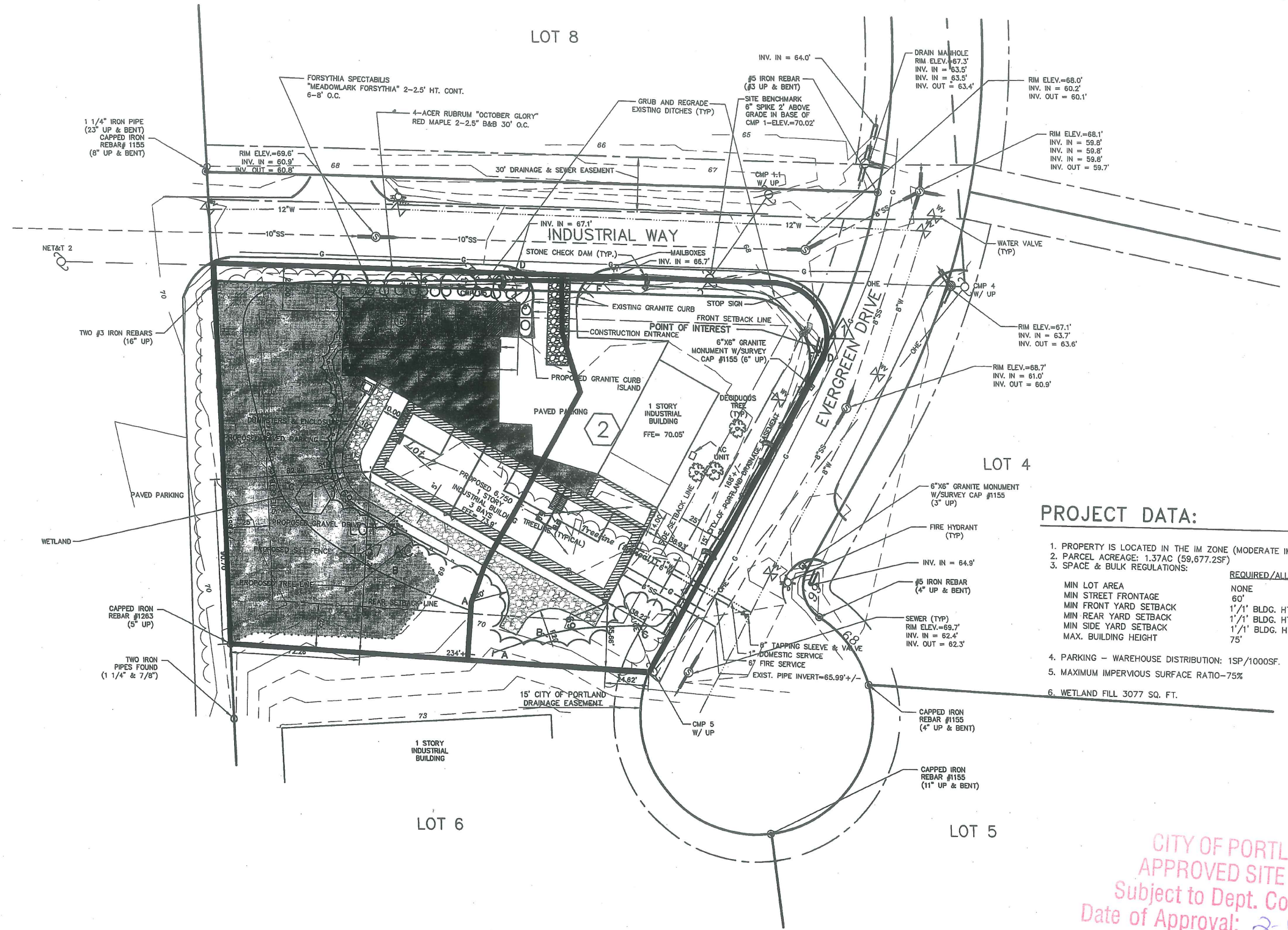
PROGRESS PLAN
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PRELIMINARY



LOT 7 EVERGREEN INDUSTRIAL PARK
 225 INDUSTRIAL WAY, PORTLAND, MAINE
 PREPARED FOR:
 WOODWORKING & CABINETRY, LLC
 40 PORTLAND PIER #11
 PORTLAND, MAINE 04101



PROJECT DATA:

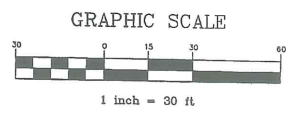
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PRELIMINARY

Revision	Date
ADDED SHEET CITY REVIEW COMMENTS	11/20/07

Designed LDM	Drawn PJP	Checked LDM	Scale	Date
			1" = 30'	09-28-07

POST-DEVELOPMENT DRAINAGE

Job No.195410273
 Sheet