

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

Please Read
Application And
Notes, If Any,
Attached

PERMIT ISSUED
Permit Number: 101230
DEC 8 2010
CITY OF PORTLAND

This is to certify that WOODWORKING & CABINETRY LLC Walt Juve
has permission to build within existing structure (30' x 22.5' cezzant w/ 3 of w/ interior renovations
AT 225 INDUSTRIAL WAY CB# 329-A007001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise red-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS
Fire Dept. CAPT. X. [Signature]
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____

[Signature] 12/8/10
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1230	Issue Date:	CBL: 329 A007001
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Location of Construction: 225 INDUSTRIAL WAY	Owner Name: WOODWORKING & CABINETRY	Owner Address: 40 PORTLAND PIER # 11	Phone:
Business Name:	Contractor Name: Dekko / Walt Juve	Contractor Address: 40 Portland Pier Portland	Phone: 2076538216
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: I-M

Past Use: Warehouse / Light Manufacturing -	Proposed Use: Warehouse / Light Manufacturing - build within existing structure (3) 20' x 22.5' Mezzanines w/ 3 offices w/ interior renovations	Permit Fee: \$460.00	Cost of Work: \$44,000.00	CEO District: 5
Proposed Project Description: build within existing structure (3) 20' x 22.5' Mezzanines w/ 3 offices w/ interior renovations <i>units B, C & D</i>		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>* See Conditions</i>	INSPECTION: Use Group: <i>F1/S1 type 3A</i> <i>IBC-2003</i>	

Signature: <i>(Signature)</i>	Signature: <i>JMB 12/8/10</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
Signature:	Date:

Permit Taken By: Idobson	Date Applied For: 10/01/2010	Zoning Approval
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

Special Zone or Reviews

- Shoreland
 Wetland
 Flood Zone
 Subdivision
 Site Plan

Maj Minor MM

Date: *10/4/10*

Zoning Appeal

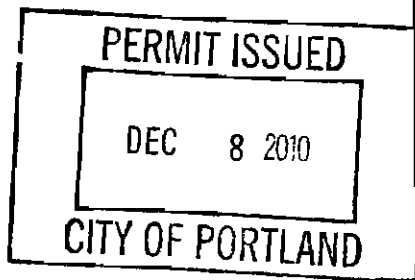
- Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Date:

Historic Preservation

- Not in District or Landmark
 Does Not Require Review
 Requires Review
 Approved
 Approved w/Conditions
 Denied

Date:



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1230	Date Applied For: 10/01/2010	CBL: 329 A007001
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Location of Construction: 225 INDUSTRIAL WAY	Owner Name: WOODWORKING & CABINETR	Owner Address: 40 PORTLAND PIER # 11	Phone:
Business Name:	Contractor Name: Dekko / Walt Juve	Contractor Address: 40 Portland Pier Unit#11 Portland	Phone (207) 653-8216
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Warehouse / Light Manufacturing - build within existing structure (3) 20' x 22.5' Mezzanines w/ 3 offices w/ interior renovations	Proposed Project Description: build within existing structure (3) 20' x 22.5' Mezzanines w/ 3 offices w/ interior renovations
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Dept: Zoning Status: Approved with Conditions Reviewer: Marge Schmuckal Approval Date: 10/04/2010

Note: Ok to Issue:

- 1) This property shall remain light manufacturing with warehousing and accessory offices. Any change of use shall require a separate permit application for review and approval.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building Status: Approved with Conditions Reviewer: Jeanine Bourke Approval Date: 12/08/2010

Note: Ok to Issue:

- 1) Prior to the final inspection a sealed letter shall be submitted to this office confirming the structural work is in substantial compliance with the approved plans.
- 2) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
- 4) This approval covers Units B, C & D as F-1/S-1 occupancy
- 5) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.

Dept: Fire Status: Approved with Conditions Reviewer: Capt Keith Gautreau Approval Date: 10/25/2010

Note: Ok to Issue:

- 1) A separate Suppression System Permit is required for all new suppression systems or sprinkler work effecting more than 20 heads.
- 2) Sprinkler protection shall be maintained.
Where the system is to be shut down for maintenance or repair, the system shall be checked at the end of each day to insure the system has been placed back in service.
- 3) Emergency lights are required to be tested at the electrical panel on the same circuit as the lighting for the area they serve.
- 4) Fire extinguishers required. Installation per NFPA 10
- 5) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance.
Compliance letters are required.
- 6) All construction shall comply with City Code Chapter 10.

Location of Construction: 225 INDUSTRIAL WAY	Owner Name: WOODWORKING & CABINETR	Owner Address: 40 PORTLAND PIER # 11	Phone:
Business Name:	Contractor Name: Dekko / Walt Juve	Contractor Address: 40 Portland Pier Unit#11 Portland	Phone (207) 653-8216
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Comments:

10/25/2010-ldobson: PLEASE MAIL PERMIT TO
Walt Juve
40 Portland Pier Unit#11
Portland, ME 04101

10/29/2010-jmb: Spoke with Walt J., the original design cert. Indicated this is type 2A construction, this plan has combustible columns, walls and LVL's, need detail on new stair guards and handrails and mezz guards, need structural connection and fastening details. These mezzanines will be self supporting, not bearing on the building structure.

11/4/2010-jmb: Spoke with Helen W., engineer, she will reassess the building to determine if the classification type can change. She thinks the original permit had wood partition walls.

12/2/2010-jmb: Walt J. Submitted engineers details and revisions.

12/3/2010-jmb: Reviewed plans, proposal is to change the classification type to 3A for this building to use combustible construction. The original permit allowed a 2hr wall to separate the existing building from the connector and new building. The new area is sprinkled and table 601, IIIA(d) allows this to substitute for the 1 hour fire resistant rated construction. Left msg with Walt J. To verify the unit B entry door rating, tenant fit up/CO, stair guard is only 36" with no graspable handrail, letter of inspection compliance.

12/8/2010-jmb: Walt J. Came into the office and we reviewed the remaining items as noted on the plans. He confirmed the occupancy as F-1/S-1

BUILDING PERMIT INSPECTION PROCEDURES

**Please call 874-8703 or 874-8693 (ONLY)
or email: buildinginspections@portlandmaine.gov**

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

 X **Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.**
NOTE: There is a \$75.00 fee per inspection at this point.

 X **A sealed letter stating structural compliance shall be submitted prior to the final inspection or the issuance of the Certificate of Occupancy.**

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



CITY OF PORTLAND, MAINE

Department of Building Inspections

Original Receipt

10.2. 2010

Received from Dello

Location of Work 25 Industrial Way

Cost of Construction \$ _____ Building Fee: 460

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: 460

Building (1L) _____ Plumbing (1S) _____ Electrical (1E) _____ Site Plan (U2) _____

Other _____

CBL: 324 A-7

Check #: 979 **Total Collected \$** 460

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>225 INDUSTRIAL WAY</u> <u>PORTLAND ME</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# <u>329</u> Block# <u>A</u> Lot# <u>7</u>	Applicant *must be owner, Lessee or Buyer Name <u>WALTER JUVE</u> Address <u>40 PORTLAND PIER #11</u> City, State & Zip <u>PORTLAND ME 04101</u>	Telephone: <u>207 653 8216</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>44,000</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>WAREHOUSE/LIGHT MANUF.</u> Number of Residential Units _____ If vacant, what was the previous use? _____ Proposed Specific use: <u>STORAGE OFFICE</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>BUILDING (INSIDE EXIS. STRUCTURE) 3-20'x22.5' MEZZANINES WITH 3 OFFICES 12x16' @. EXISTING BAYS FOR MEZZ.'S ARE 45'x50' @. INSTALL STL. STAIRS + RAILS - OFFICE WIRING - RECONFIGURE SPRINKLERS (LIGHTING)</u>		
Contractor's name: <u>DEKKO LLC CONTACT WALTER JUVE</u>		
Address: <u>40 PORTLAND PIER #11</u>		
City, State & Zip <u>PORTLAND ME 04101</u>		Telephone: <u>207 653 8216</u>
Who should we contact when the permit is ready: <u>WALT JUVE</u>		Telephone: <u>207 653 8216</u>
Mailing address: <u>40 PORTLAND PIER #11 PORTLAND, ME 04101</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

RECEIVED

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Dept. of Building Inspections
City of Portland Maine

Signature: <u>[Signature]</u>	Date: <u>10/11/10</u>
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This is not a permit; you may not commence ANY work until the permit is issue



Certificate of Design Application

From Permit # 08-0806

From Designer:

HELEN C. WATTS PE

Date:

JULY 2, 2008

Job Name:

LOT 7 EVERGREEN IND. PARK

Address of Construction:

225 INDUSTRIAL WAY PORTLAND ME 04103

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year

2003

Use Group Classification (s)

INDUSTRIAL FACTORY, GROUP F - 1

Type of Construction

(OSMF & OSCBF) TYPE II A

Is the Structure mixed use?

NO

If yes, separated or non separated or non separated (section 302.3)

Geotechnical/Soils report required? (See Section 1802.2)

YES - A. FRICK 6/24/08

Structural Design Calculations

YES

Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (1603.11, 1807)

Floor Area Use

100%

Loads Shown

125 PSF U, 2000# POINTLOAD

N/A

Live load reduction

20 PSF

Roof live loads (1603.1.2, 1607.11)

49.0 PSF

Roof snow loads (1603.1.3, 1608)

70 PSF

Ground snow load, P_g (1608.2)

1.0

If $P_g > 10$ psf, flat-roof snow load S_f

1.0

If $P_g > 10$ psf, snow exposure factor, C_e

1.0

If $P_g > 10$ psf, snow load importance factor, I_s

N/A

Roof thermal factor, C_t (1608.4)

N/A

Sloped roof snowload, S_p (1608.4)

C

Seismic design category (1616.3)

1A

Basic seismic force resisting system (1617.6.2)

3.5, 3.25

Response modification coefficient, R , and

deflection amplification factor, C_d (1617.6.2)

SIMPLIFIED

Analysis procedure (1616.6, 1617.5)

4_max = 13.5K

Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

NO

Flood Hazard area (1612.3)

70.05'

Elevation of structure

FINISHED S.O.G. ELEV.

Other loads

N/A

Concentrated loads (1607.4)

N/A

Partition loads (1607.5)

N/A

Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)

Wind loads (1603.1.4, 1609)

1609.1.1

Design option utilized (1609.1.1, 1609.6)

100 MPH

Basic wind speed (1609.3)

II, I, 0

Building category and wind importance factor, I_w

(Table 1604.5, 1609.5)

EXPOSURE B

Wind exposure category (1609.4)

GCP = 0.18

Internal pressure coefficient (ASCE 7)

5.8, -19.5

Component and cladding pressures (1609.1.1, 1609.6.2.2)

-19.1

Main force wind pressures (1603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

EQUIV. LAT. FORCE

Design option utilized (1614.1)

C

Seismic use group ("Category")

0.3311 & 0.1248

Spectral response coefficients, S_D & S_1 (1615.1)

D

Site class (1615.1.5)

* A 6" ϕ LINE IS BEING BROUGHT TO THE BUILDING FOR POSS. SPRINKLER INSTALLATION BY TENANT.

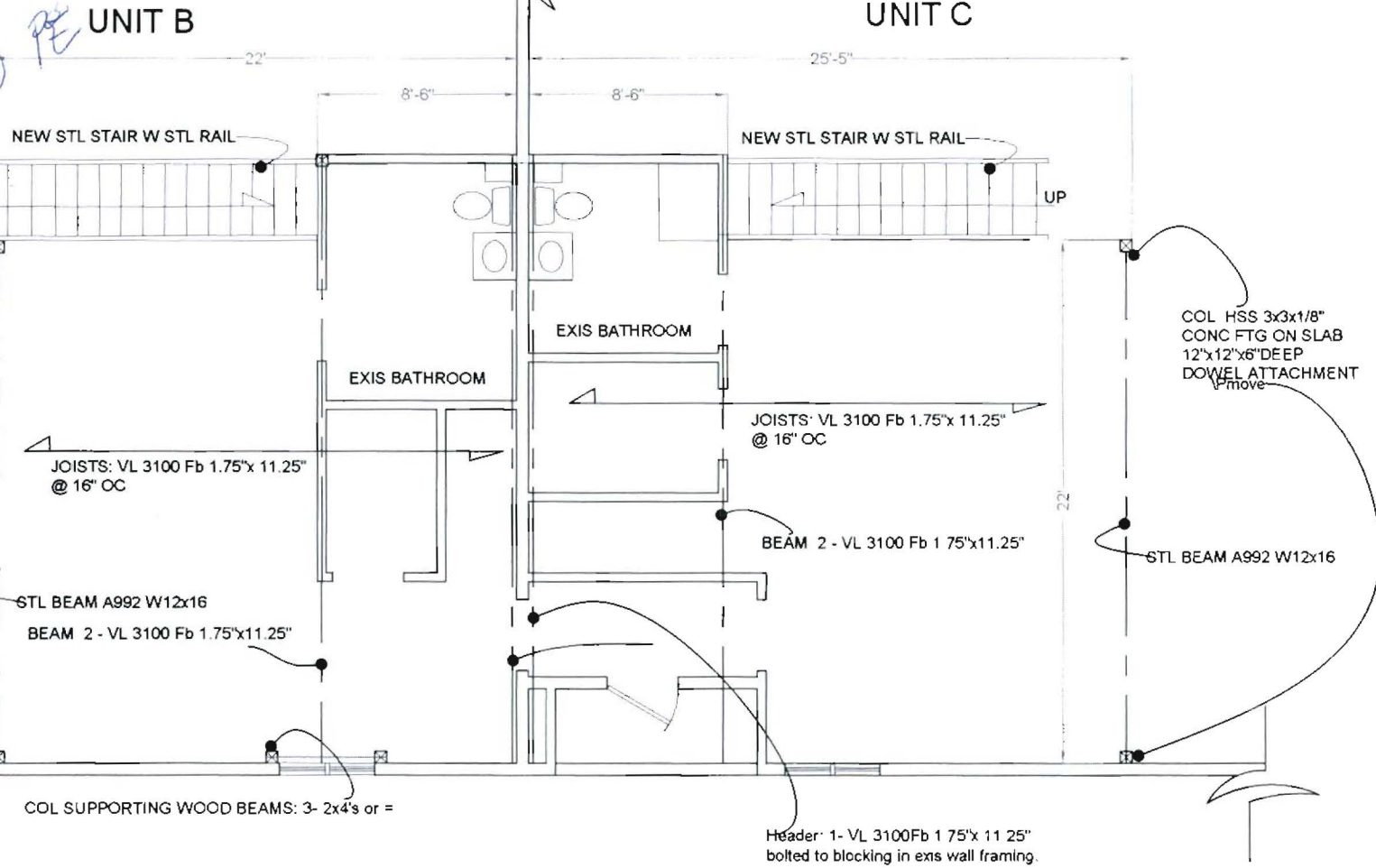
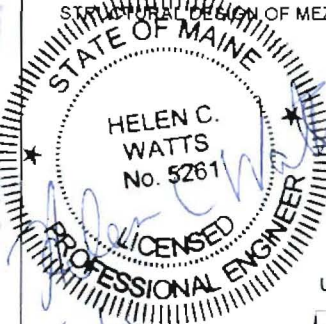
** TENANT MAY ADD MEZZANINE, SLAB IS STRENGTHENED TO ALLOW SOME POINT LOADS/WALLS.

Helen C. Watts, PE
 Helen Watts Engineering
 455 Litchfield Rd, Bowdoin, ME
 207-522-9366

STRUCTURAL DESIGN OF MEZZ MEMBERS ONLY

Special Inspection and Testing is not required
 The structure will be inspected by the structural engineer
 before the framing is enclosed with drywall.

NOTE Mezzanines, 225 Industrial Way, Portland, ME
 City of Portland Ordinances, based on IBC 2006
 Live load: 50 psf



DEKKA LLC

MEZZANINES, 225 INDUSTRIAL WAY

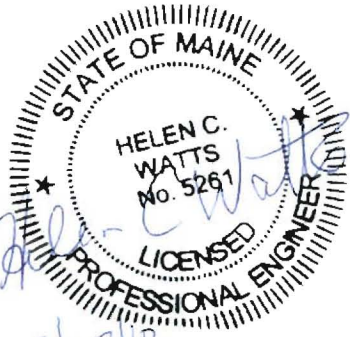
STRUCTURAL

NOT TO SCALE

5/1

Helen C. Watts, PE
Helen Watts Engineering
455 Litchfield Rd., Bowdoin, ME
207-522-9366

STRUCTURAL DESIGN OF MEZZ MEMBERS ONLY
Special Inspection and Testing is not required
The structure will be inspected by the structural engineer
before the framing is enclosed with drywall



UNIT D

25'-5"

COL: HSS 3x3x1/8"
CONC FTG ON SLAB
12"x12"x6" DEEP
DOWEL ATTACHMENT

JOISTS: VL 3100 Fb 1.75"x 11.25"
@ 16" OC

STL BEAM A992 W12x16

BEAM 2 - VL 3100 Fb 1.75"x11.25"

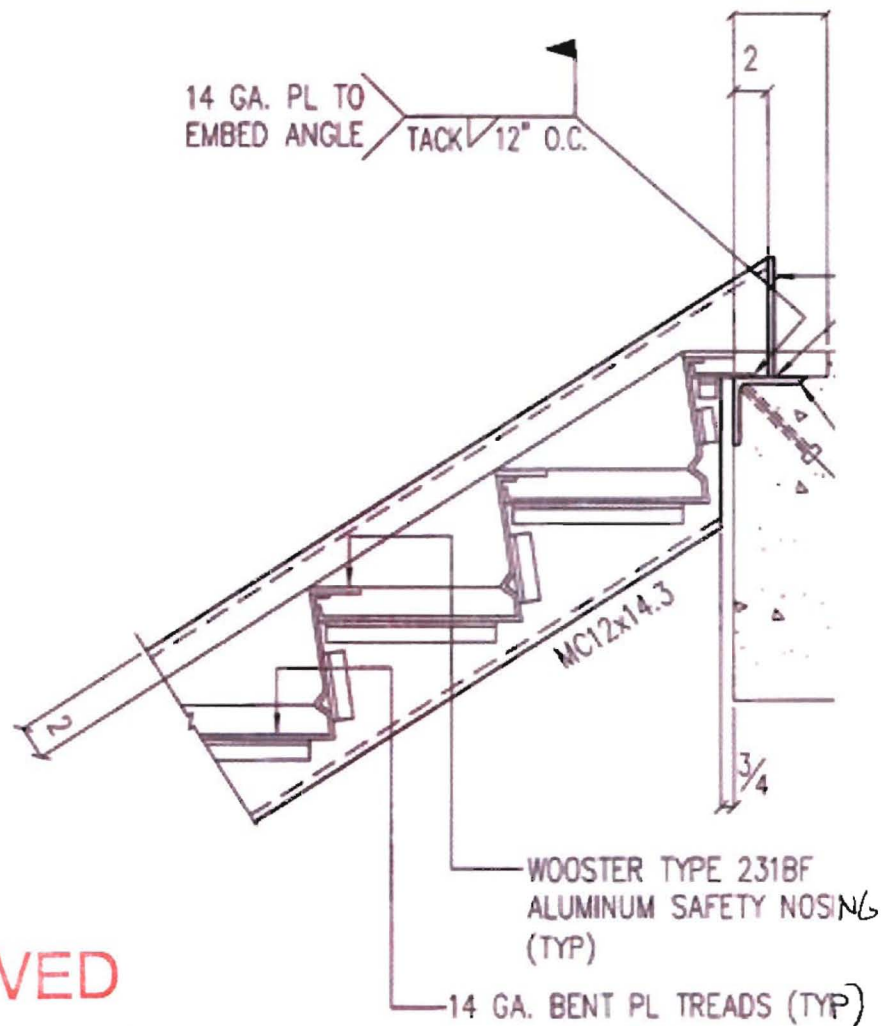
Header: 1 - VL 3100Fb 1.75" x 11 25"
supported by new wall framing
(Independent of exis metal bldg. structure)
New 2x6 wall located on exis. conc. knee wall.

NOTE: Mezzanines, 225 Industrial Way, Portland, ME
City of Portland Ordinances, based on IBC 2006
Live load: 50 psf



WOOSTER TYPE 231BF
ALUMINUM SAFETY NOSINGS

14 GA. BENT PL TREADS (TYP)



RECEIVED

OCT - 1 2010

HELEN WATTS ENGINEERING

455 Litchfield Road
Bowdoin, ME 04287
(207) 522-9366 · fax (207) 666-3920
hcwatts@gwi.net
November 22, 2010

RECEIVED
DEC - 2 2010
Dept. of Building Inspections
City of Portland Maine

Mr. Walt Juve
Dekko, LLC
40 Portland Pier #11
Portland, ME 04101

Re: 225 Industrial Way, Portland, Maine
HWE P/N 10-039

Dear Walt,

This letter is to provide additional information as requested by the City of Portland Codes Enforcement office for your project to add mezzanines to the three new spaces in your building.

The building was permitted as a Type IIA building. The interior partition walls for the bathrooms and mechanical spaces were framed with wood walls and ceilings. The wood was not fire-treated. This is not permitted in Type IIA construction. The proposed mezzanines are framed with wood bearing on the existing interior walls and some new wood framing. These are also not permitted under Type IIA buildings. The pertinent building code is the 2003 IBC.

Building Use Group: F-1 (Section 306, F-1 includes millwork and woodworking)

Building Area: Existing, wood framed: est. 38'x76' = 2888SF SF not sprinkled

Ell, wood framed: 14'x38' = 532 sf

Metal building: 150'x46' = 6900 sf

Total building added = 7432 sf dry sprinkler

Total building old + new = 10320 sf

Building height (new building): (new ell + existing building): 15'-7", new metal: estimated at 30'.

All areas sprinklered. (504.2 approved automatic sprinkler system allows 20' increase in allowable height + 1 additional story). There is no 2-hour wall between new metal building and the ell, there is a 2-hour wall between the ell and the original building.

Section 505, mezzanines do not add to building area or height for Section 503.

A single means of egress is provided per 1004.2.1. The distance limitation in 1004.2.5 is met.

The mezzanine occupant load of enclosed space is less than 10.

Section 506 – this building is allowed area modifications for allowable area for having both sprinklers and frontage on public ways, but the building is below the allowable area for Type IIIA (19000 SF).

The types of construction are shown in Chapter 6. The building meets Type IIIA, max SF = 19,000 SF, max height = 75', building elements per 601, non-combustible exterior walls per 602.3, and interior walls may be any material permitted by IBC 2003.


We therefore recommend that the Building Type be changed to Type IIIA.

The following connection schedule is recommended for typical details for the new mezzanines:

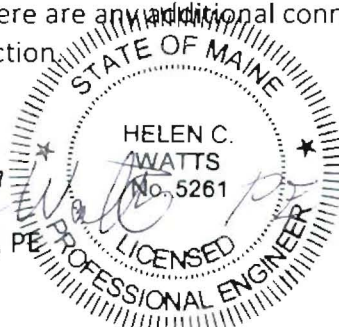
1. At the metal-stud bearing wall between the three sections of the building: Kamco studs are assumed to be equal to Dietrich 20 gauge 6" metal studs. Where framing is supported off the metal stud walls, the header is to be SPF#2 2x12 or better, attached to the studs with Dietrich S689 EasyClip™ S-Series™ Clip Angles or equal, see: (<http://www.dietrichindustries.com/products/>, p. 100-101, Floor Framing Connections), 9 screws to header, #10 metal screws, fill all holes to the metal stud.
2. Hanger for joists to header: Assume 630(12/16) = 473 plf header or 630#/stud @ 16" OC. At the steel-stud-framed walls between the three sections of the building, install Simpson LBV1.56/11.25 Hanger, or equal, full nailing, header to LVL joist.
3. At steel beams: bolt 2x4 plate to top of steel beams to fasten a rim joist and LVL joists.
4. Columns: bolt 6x4x1/4" x 4" to bottom flange, 2 – 3/8" bolts, 4 – wood screws into column. One angle per column.
5. Columns at slab, bolt 6x4x1/4" x 4" angle to floor, 1 – 1/2" expansion bolt, 4 – wood screws to column.

Please call if there are any additional connection designs needed for any changes arising during construction.

Yours truly,


Helen C. Watts, PE
Principal

HCW/



c:\users\helen\hwe\225 ind mezz\code type + connection ltr.docx

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Dept. of Building Inspections
City of Portland Maine

HELEN WATTS ENGINEERING

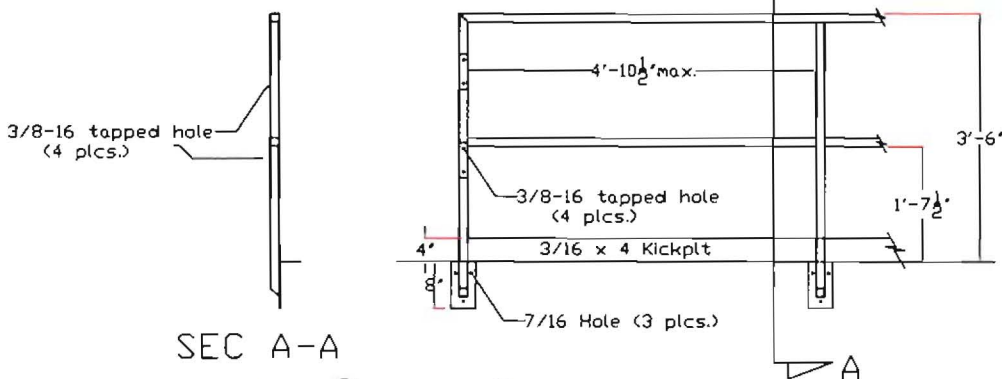
455 Litchfield Road · Bowdoin, ME 04287 · (207) 522-9366 · hcwatts@gwi.net

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Dept. of Building Inspections
City of Portland Maine

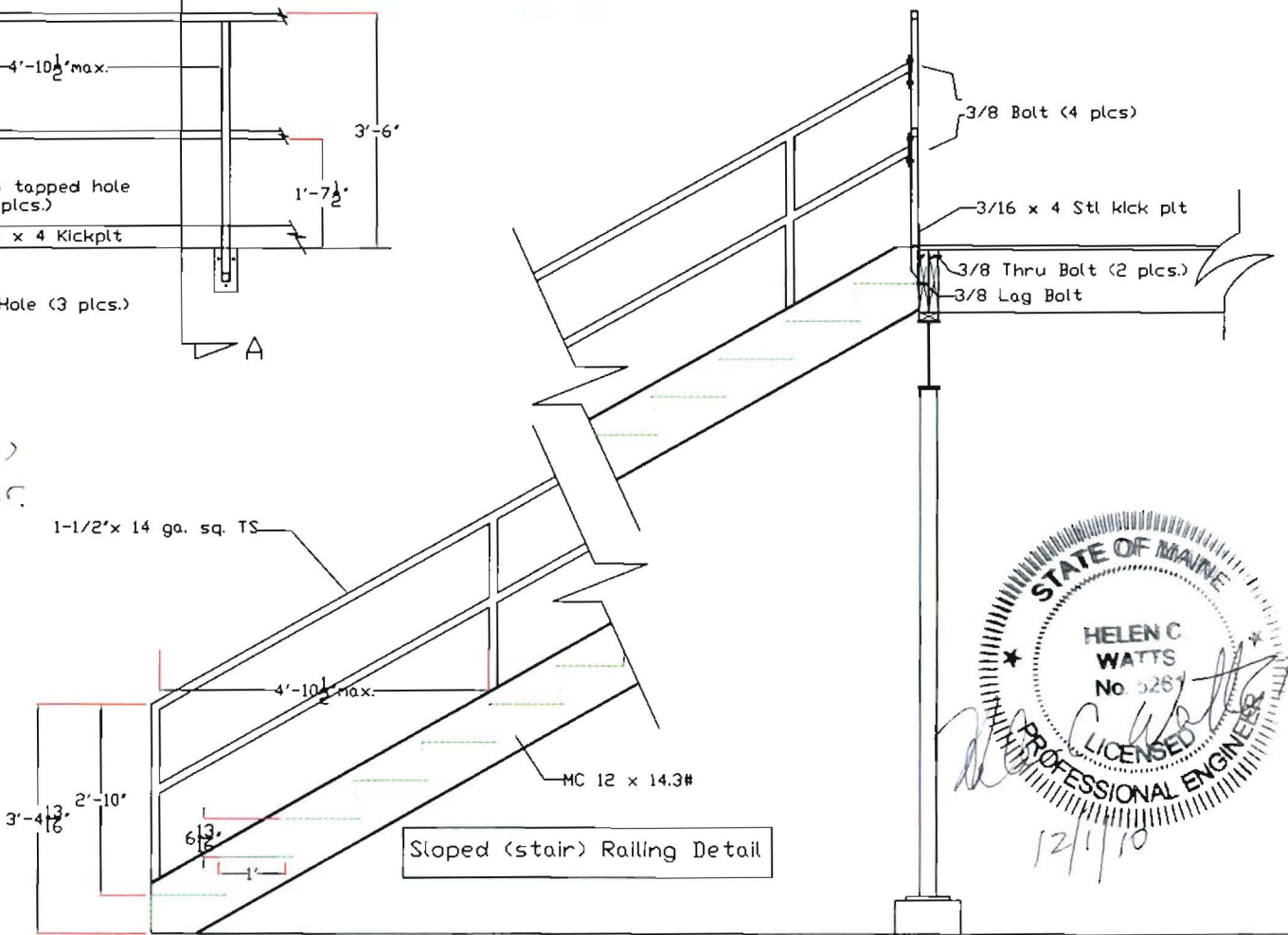
Horizontal Railing Detail



SEC A-A

Fasten to floor with
clip angle L2x2x1/4x2",
3/8" KWIKBOLT EA. Stringer.
How

NOTE:
stair rail bolted to
tapped 3/8" holes
in stair carriage



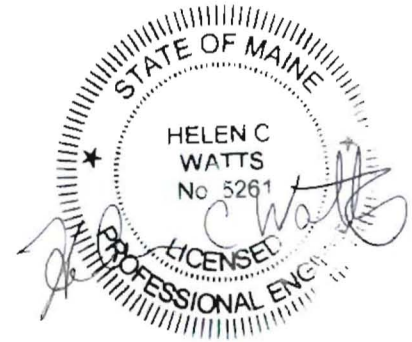
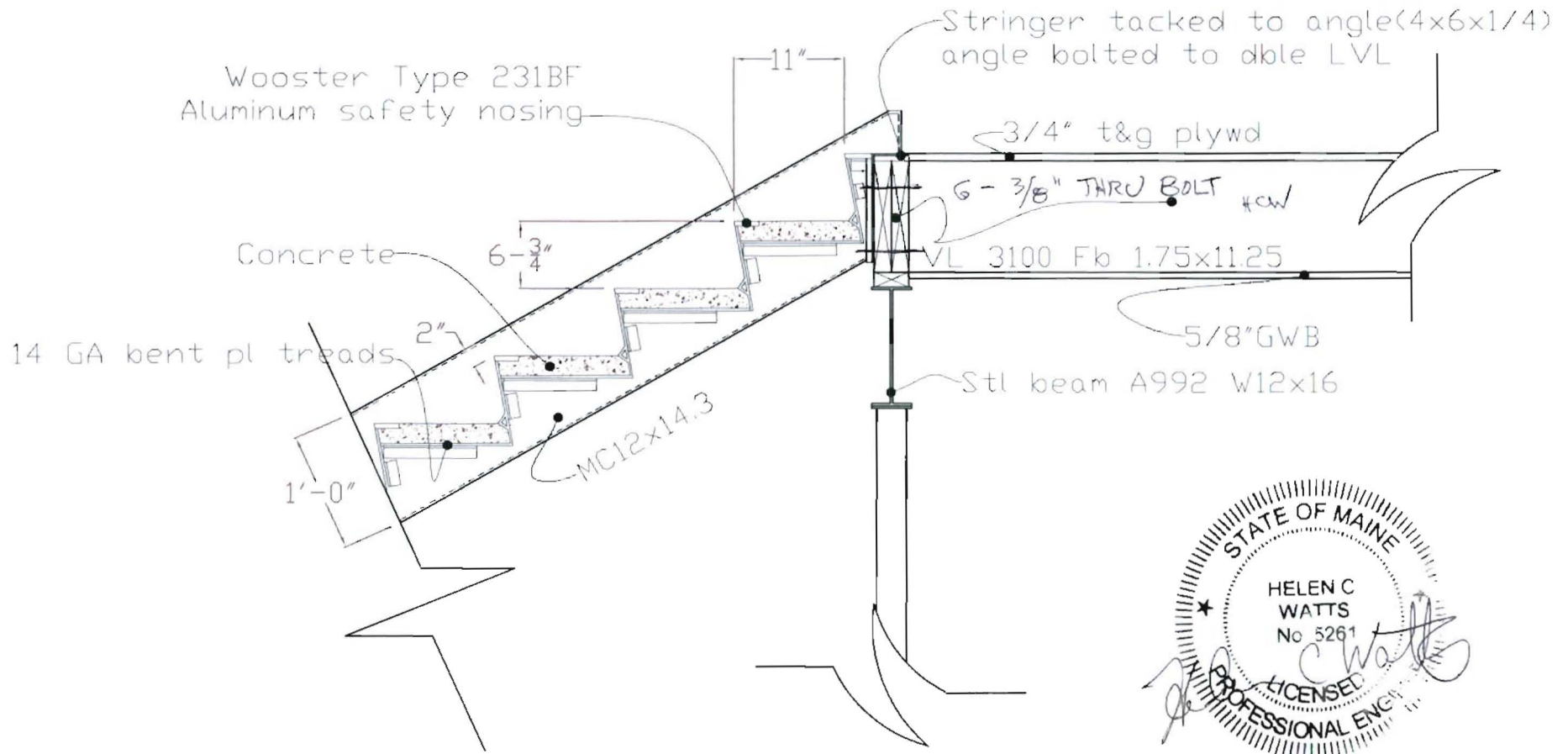
Sloped (stair) Railing Detail



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DEC - 2 2010

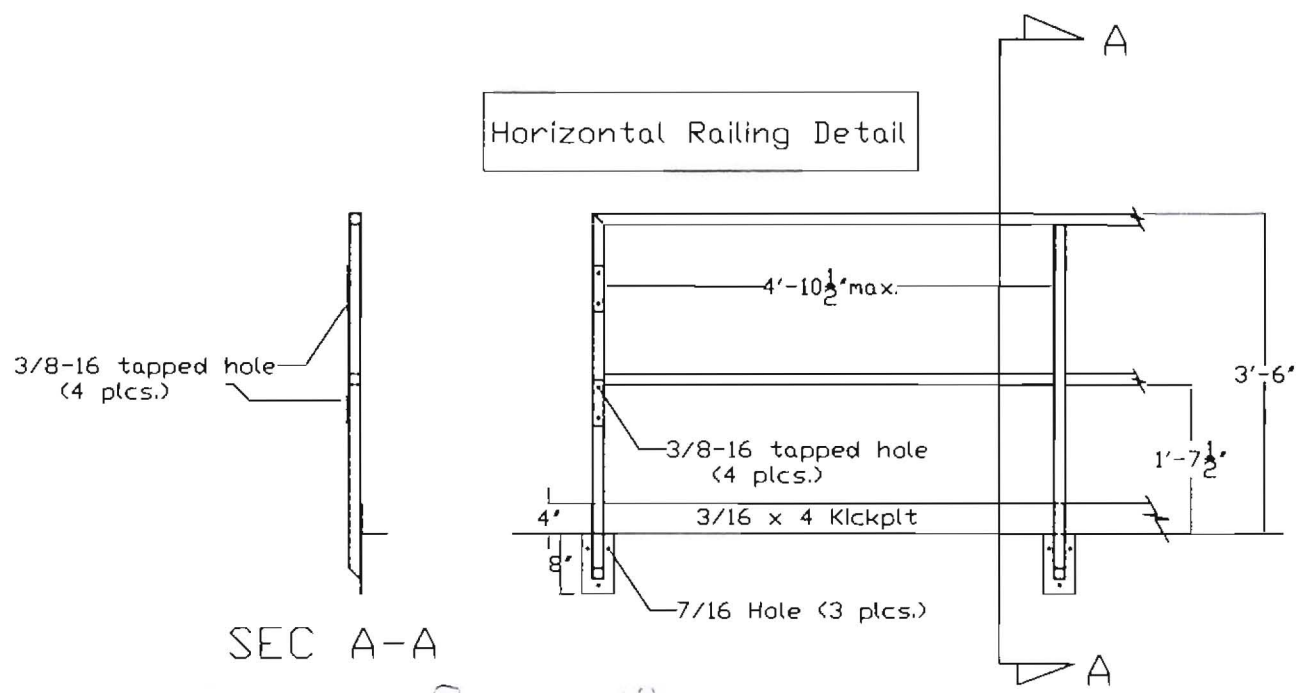
Dept. of Building Inspections
City of Portland Maine



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City of Portland Maine

Horizontal Railing Detail



SEC A-A

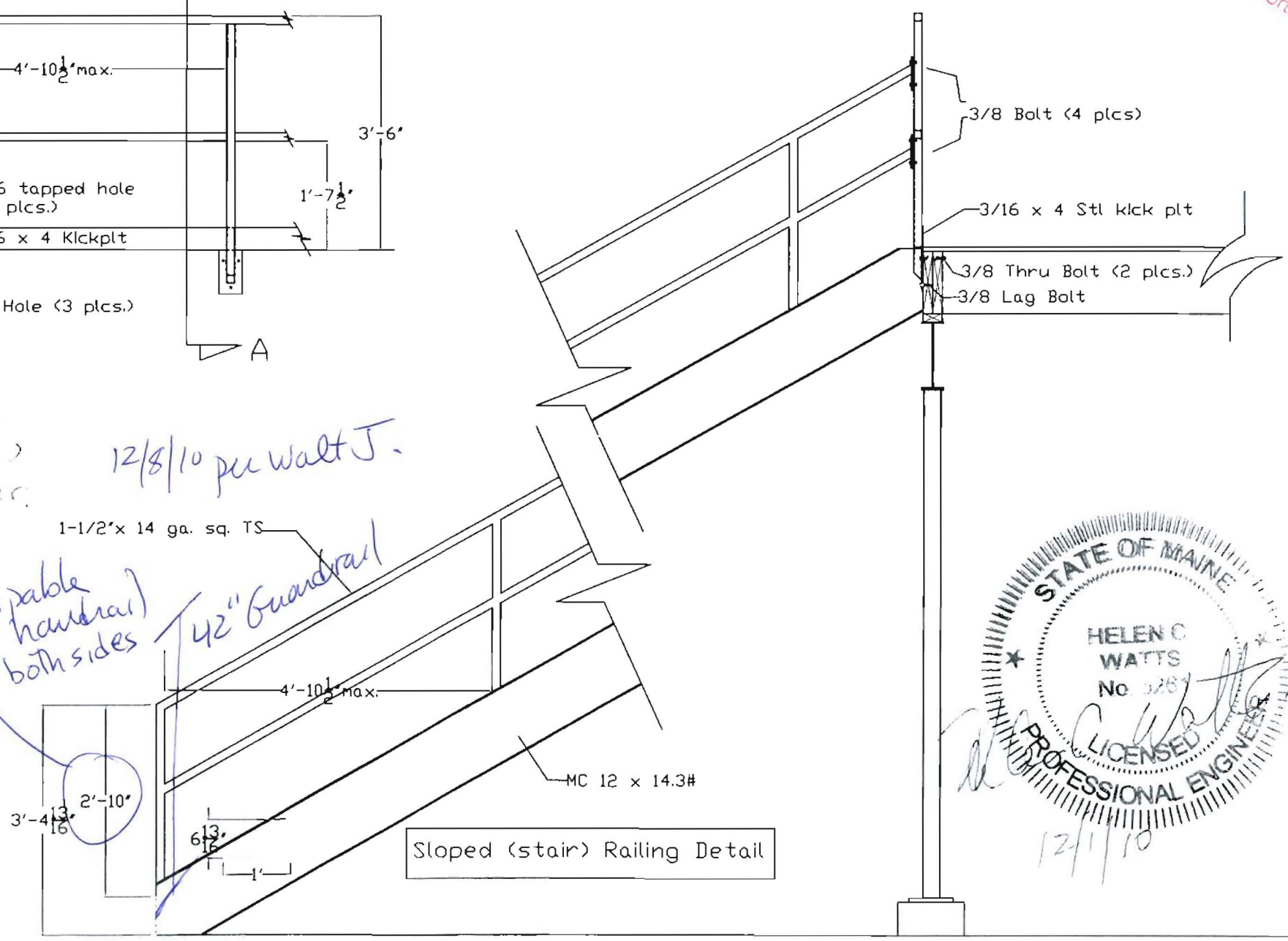
Fasten to floor with
clip angle L2x2x1/4x2",
3/8" KWIKBOLT EA. Stringer.

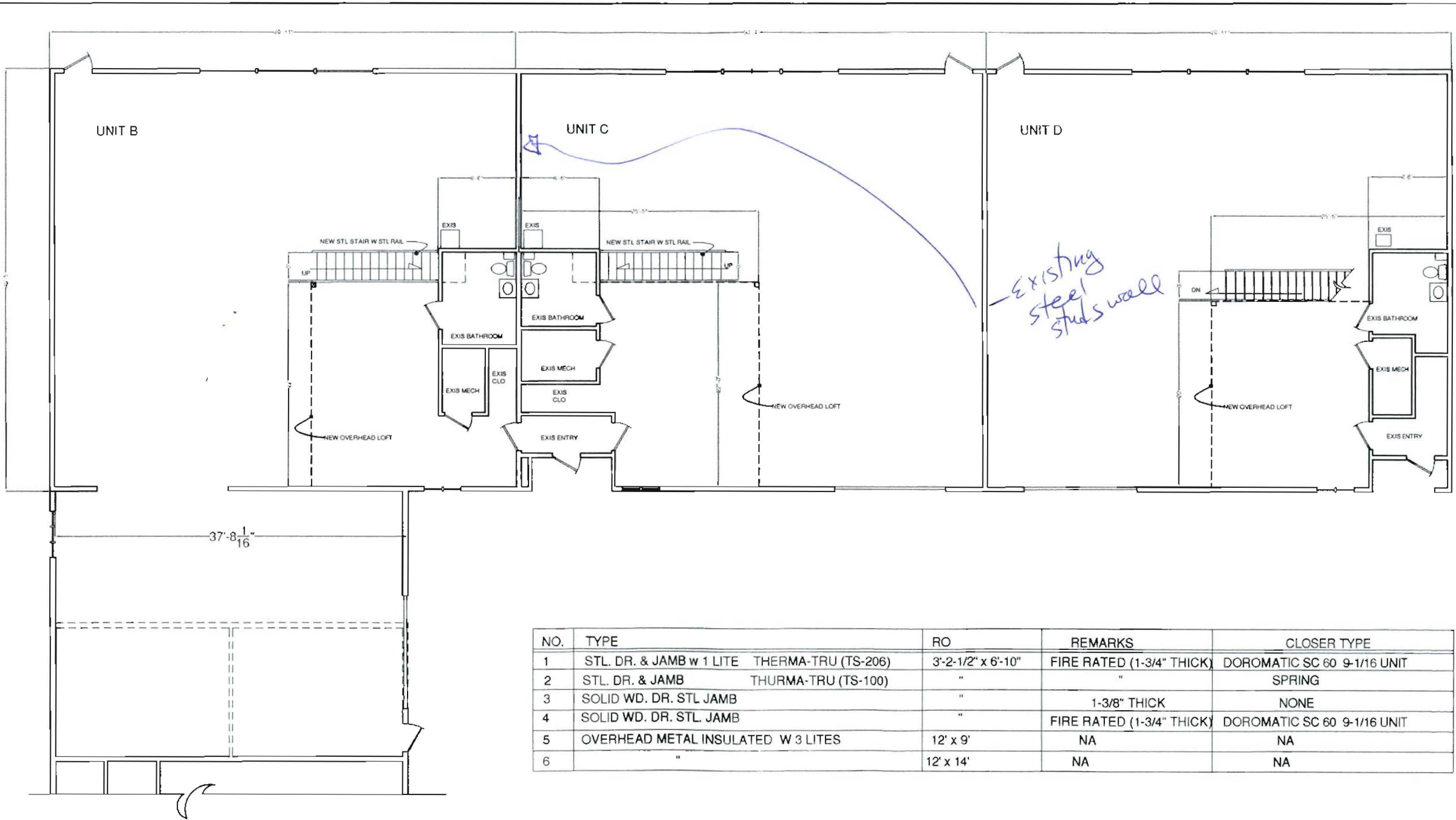
12/8/10 per Walt J.

1-1/2" x 14 ga. sq. TS
Graspable handrail
both sides
42" Guardrail

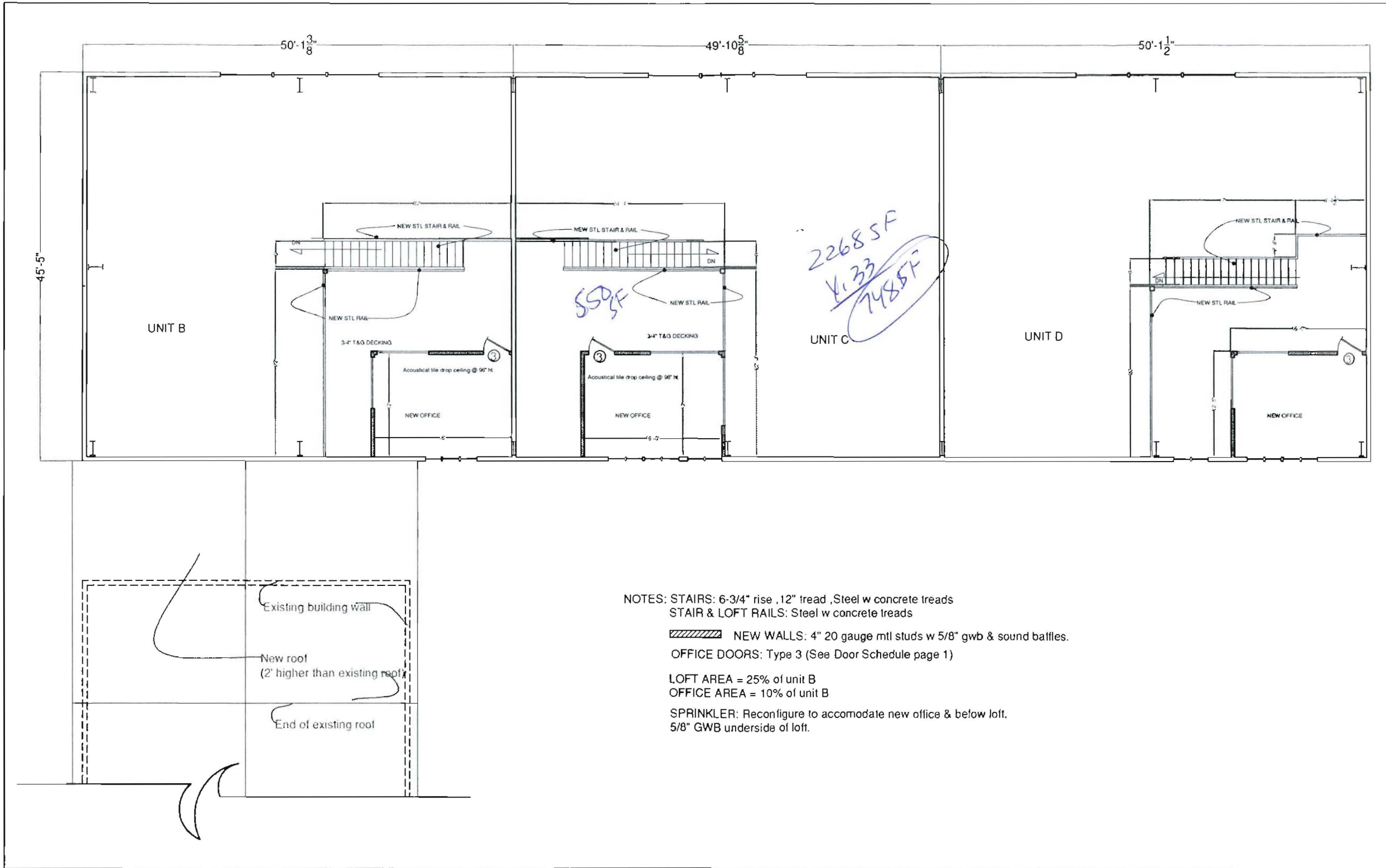
NOTE:
stair rail bolted to
tapped 3/8" holes
in stair carriage

Sloped (stair) Railing Detail






NO.	TYPE	RO	REMARKS	CLOSER TYPE
1	STL. DR. & JAMB w 1 LITE	THERMA-TRU (TS-206)	3'-2-1/2" x 6'-10"	FIRE RATED (1-3/4" THICK) DOROMATIC SC 60 9-1/16 UNIT
2	STL. DR. & JAMB	THURMA-TRU (TS-100)	"	SPRING
3	SOLID WD. DR. STL JAMB	"	1-3/8" THICK	NONE
4	SOLID WD. DR. STL. JAMB	"	FIRE RATED (1-3/4" THICK)	DOROMATIC SC 60 9-1/16 UNIT
5	OVERHEAD METAL INSULATED W 3 LITES	"	12' x 9'	NA
6	"	"	12' x 14'	NA



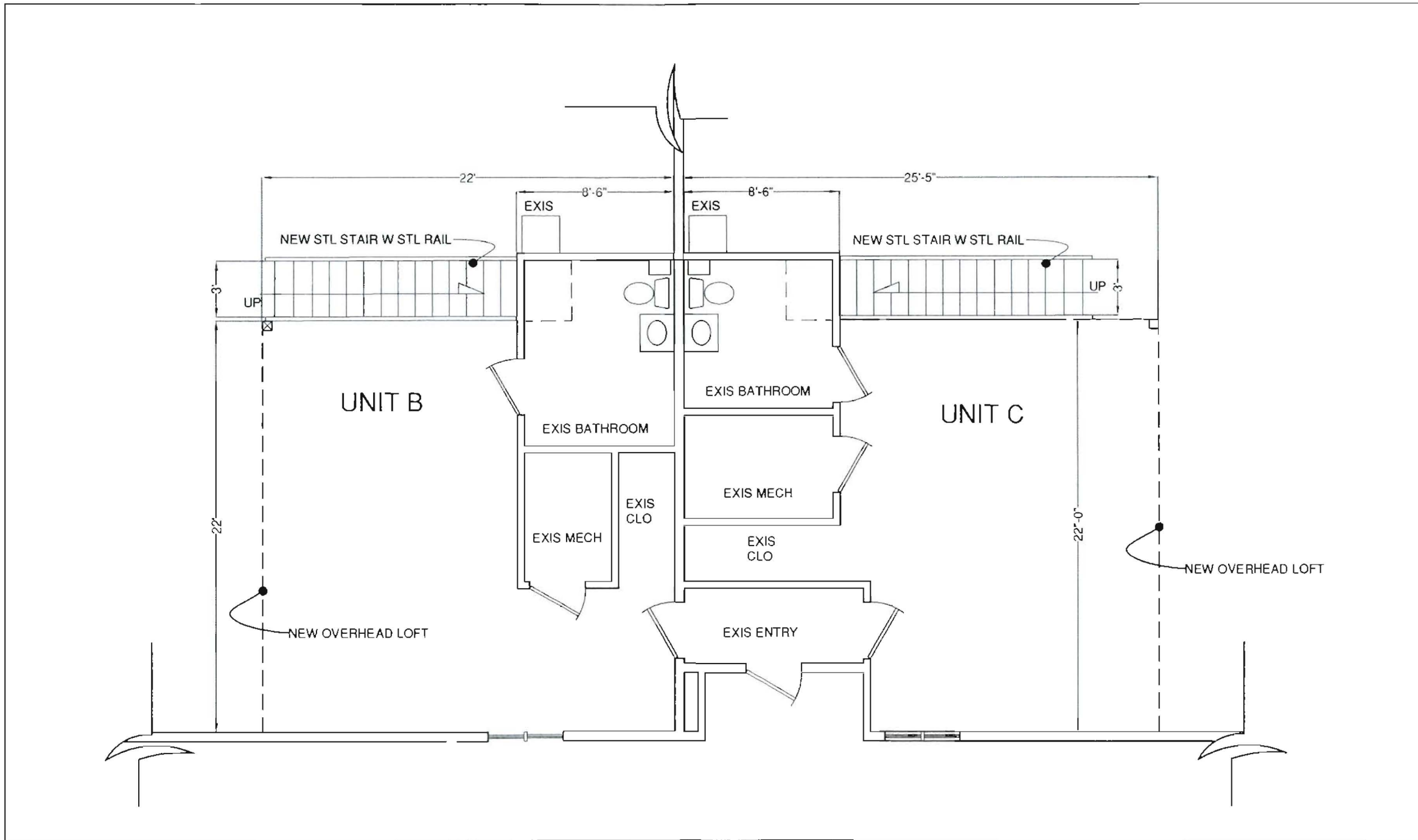
NOTES: STAIRS: 6-3/4" rise , 12" tread , Steel w concrete treads
 STAIR & LOFT RAILS: Steel w concrete treads

 NEW WALLS: 4" 20 gauge mtl studs w 5/8" gwb & sound baffles.

OFFICE DOORS: Type 3 (See Door Schedule page 1)

LOFT AREA = 25% of unit B
 OFFICE AREA = 10% of unit B

SPRINKLER: Reconfigure to accomodate new office & below loft.
 5/8" GWB underside of loft.



DEKKO LLC

MAIN FLOOR / LARGER SCALE

UNITS B & C

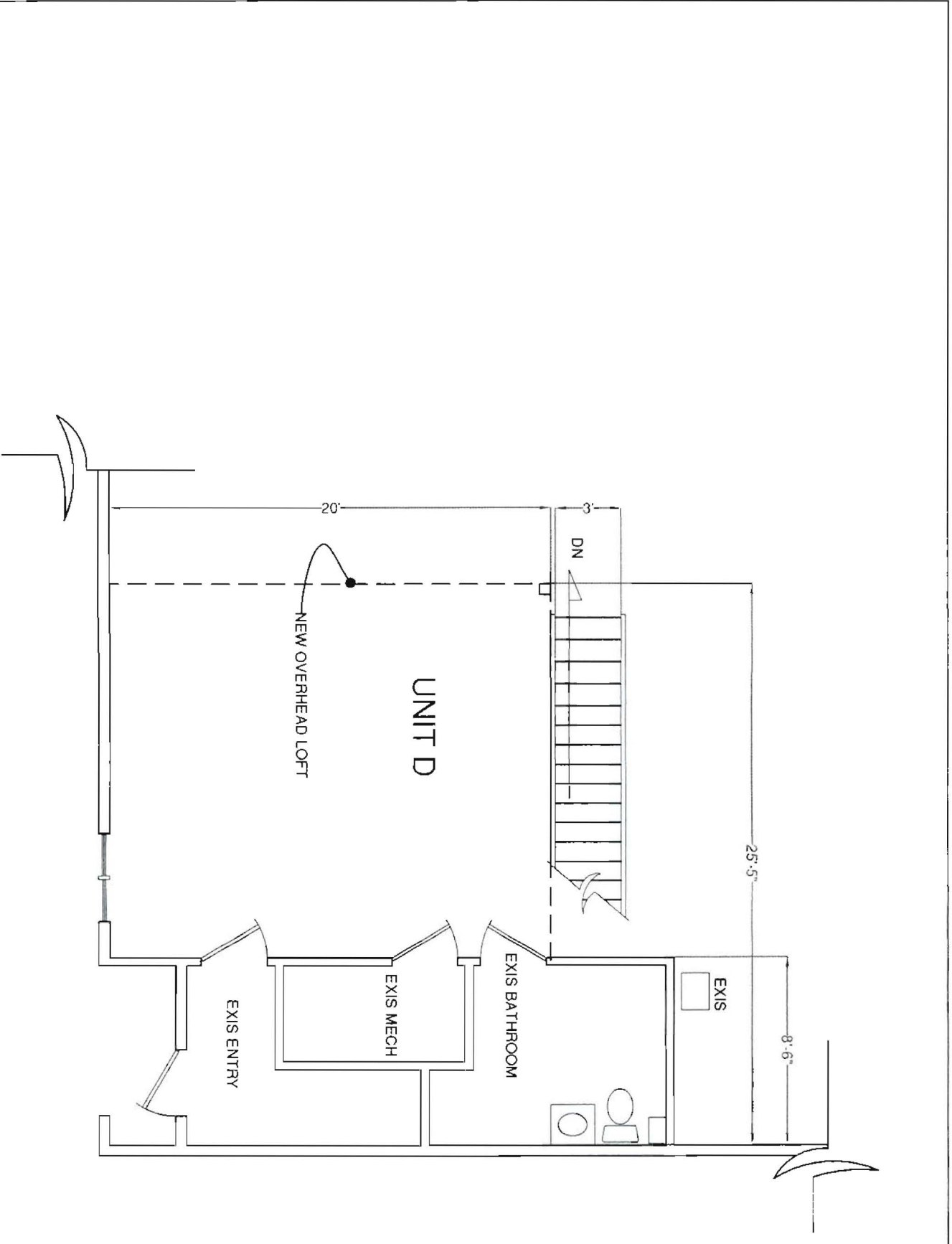
NOT TO SCALE

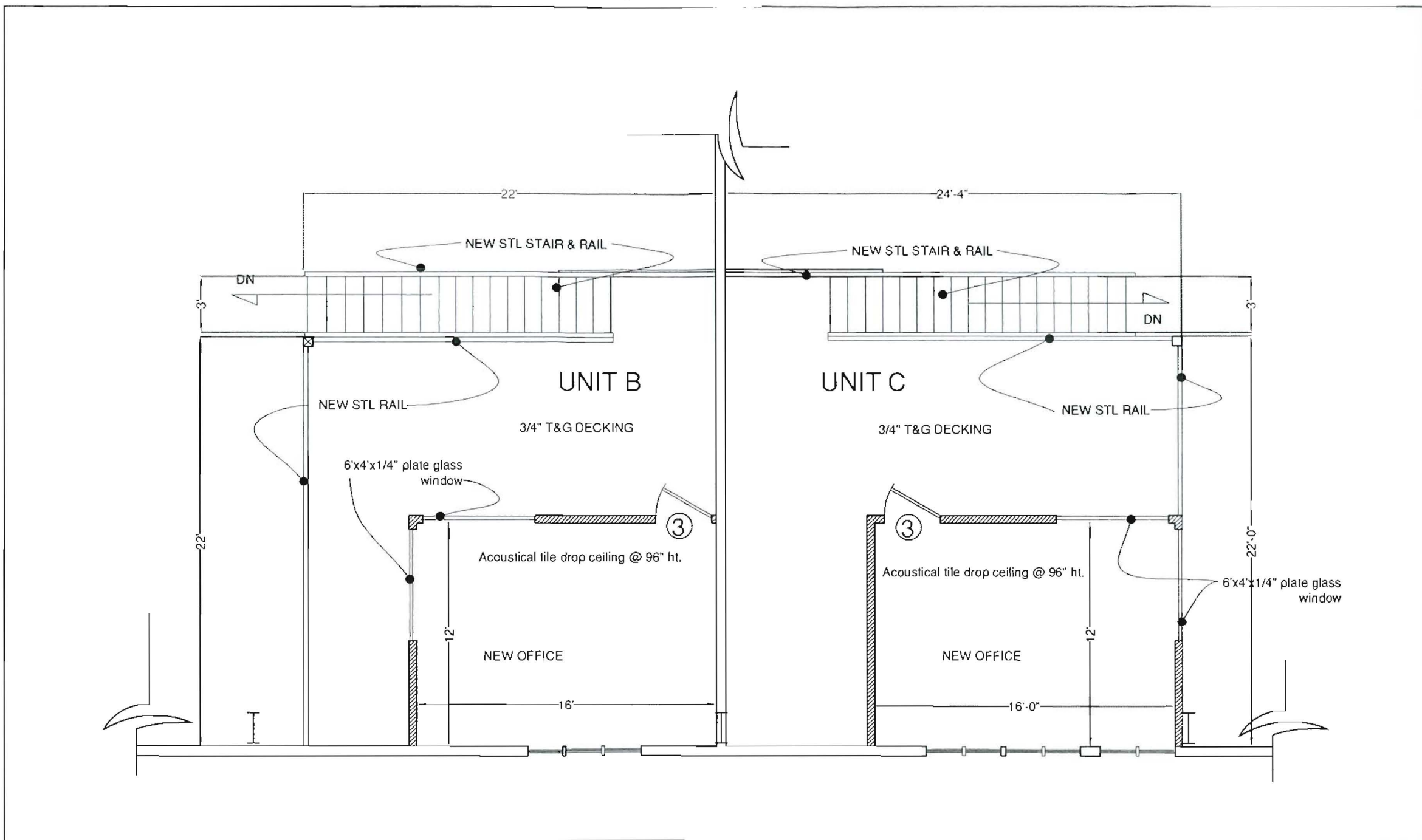
3/8

DEKKO LLC

MAIN FLOOR / LARGER SCALE UNIT D

NOT TO SCALE 4/8

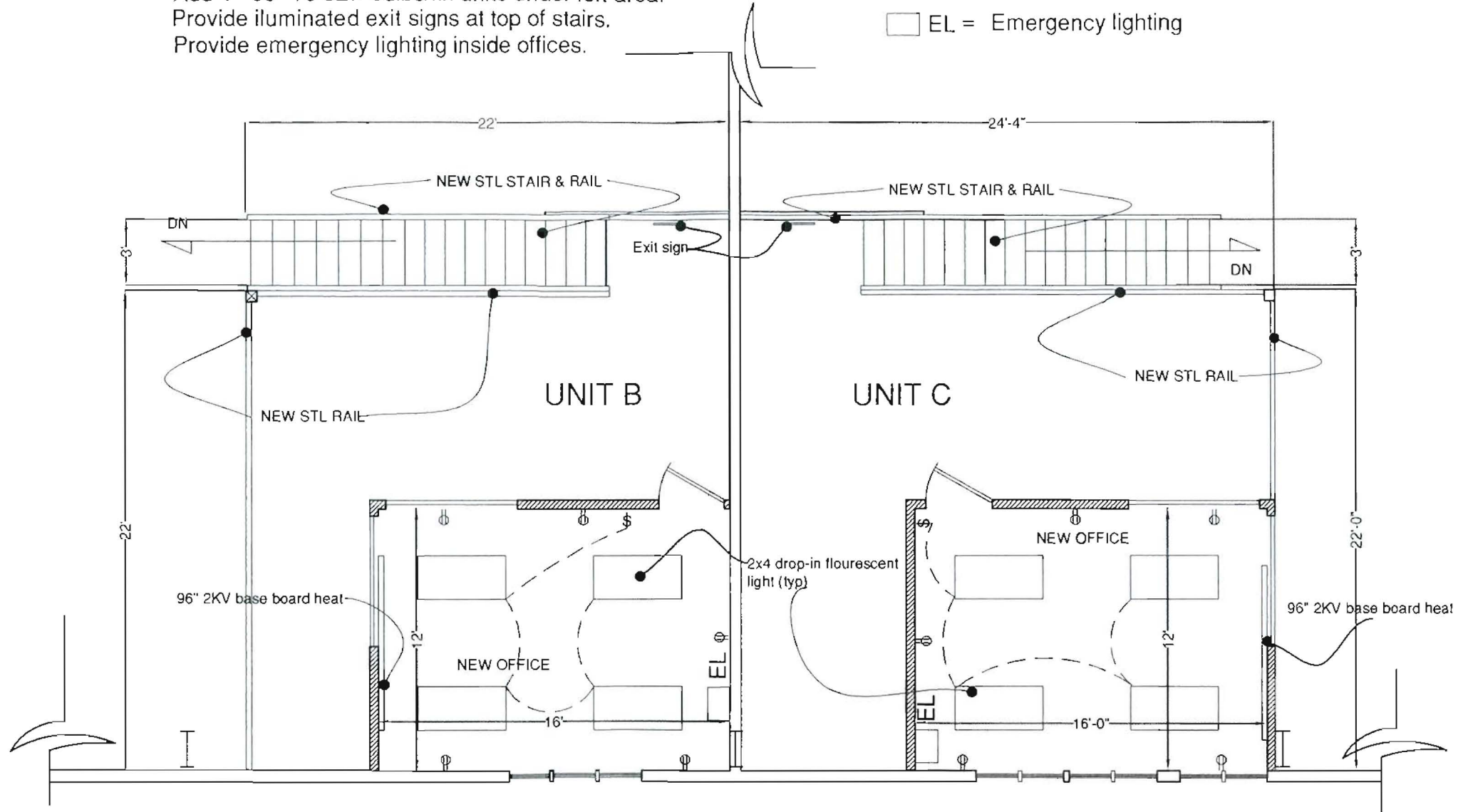




DEKKO LLC	LOFTS / LARGER SCALE	UNITS B & C	NOT TO SCALE ⁵ / ₈
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ELECTRICAL NOTES: Remove exis. warehouse lights over office.
 Add 4 - 96" T8 32w bulbs/fix units under loft area.
 Provide illuminated exit signs at top of stairs.
 Provide emergency lighting inside offices.

□ EL = Emergency lighting



DEKKO LLC

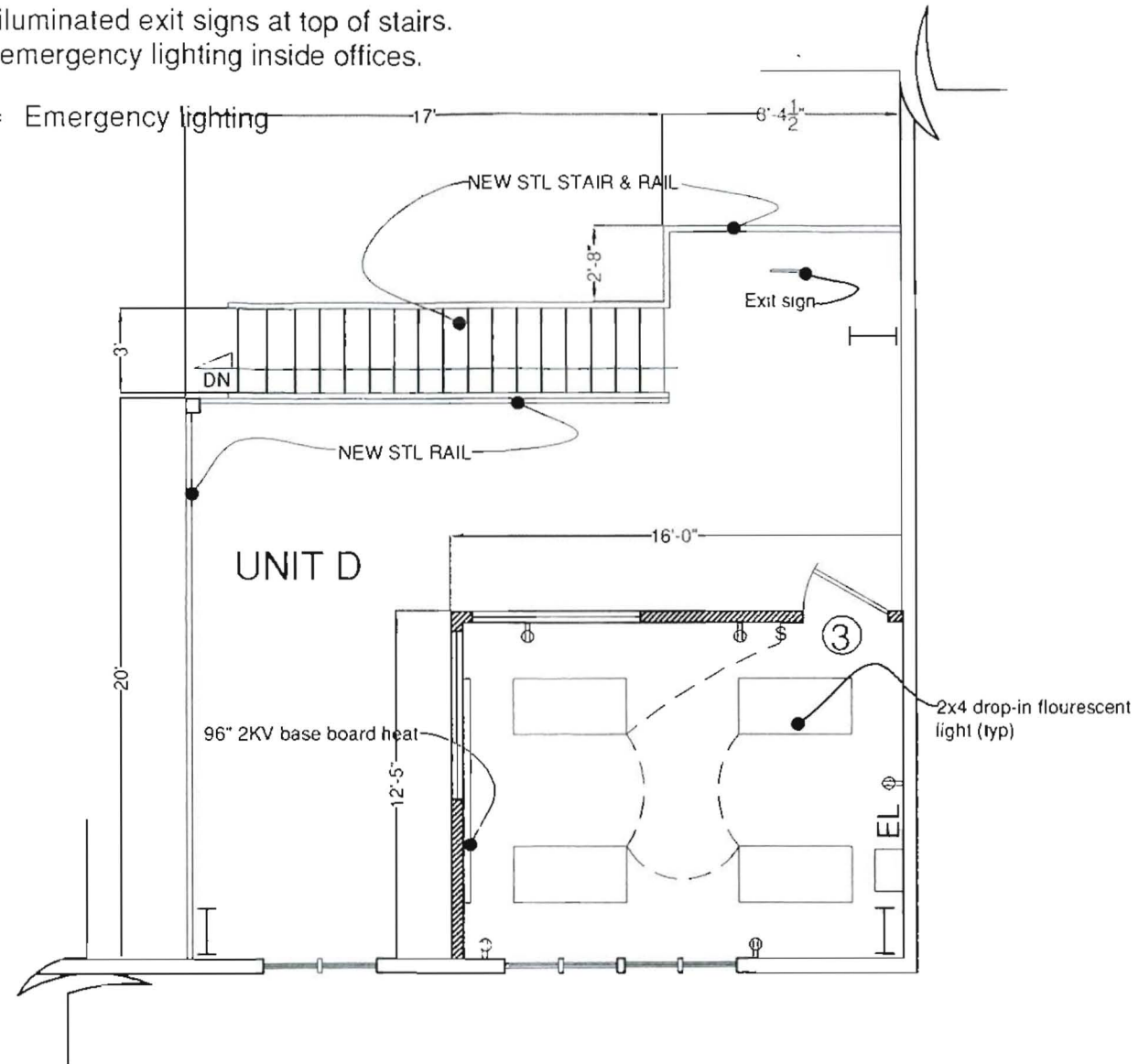
ELECTRICAL

UNIT B+C

NOT TO SCALE 7/8

ELECRICAL NOTES: Remove exis. warehouse lights over office.
 Add 4 - 96" T8 32w bulbs/fix units under loft area.
 Provide iluminated exit signs at top of stairs.
 Provide emergency lighting inside offices.

□ EL = Emergency lighting

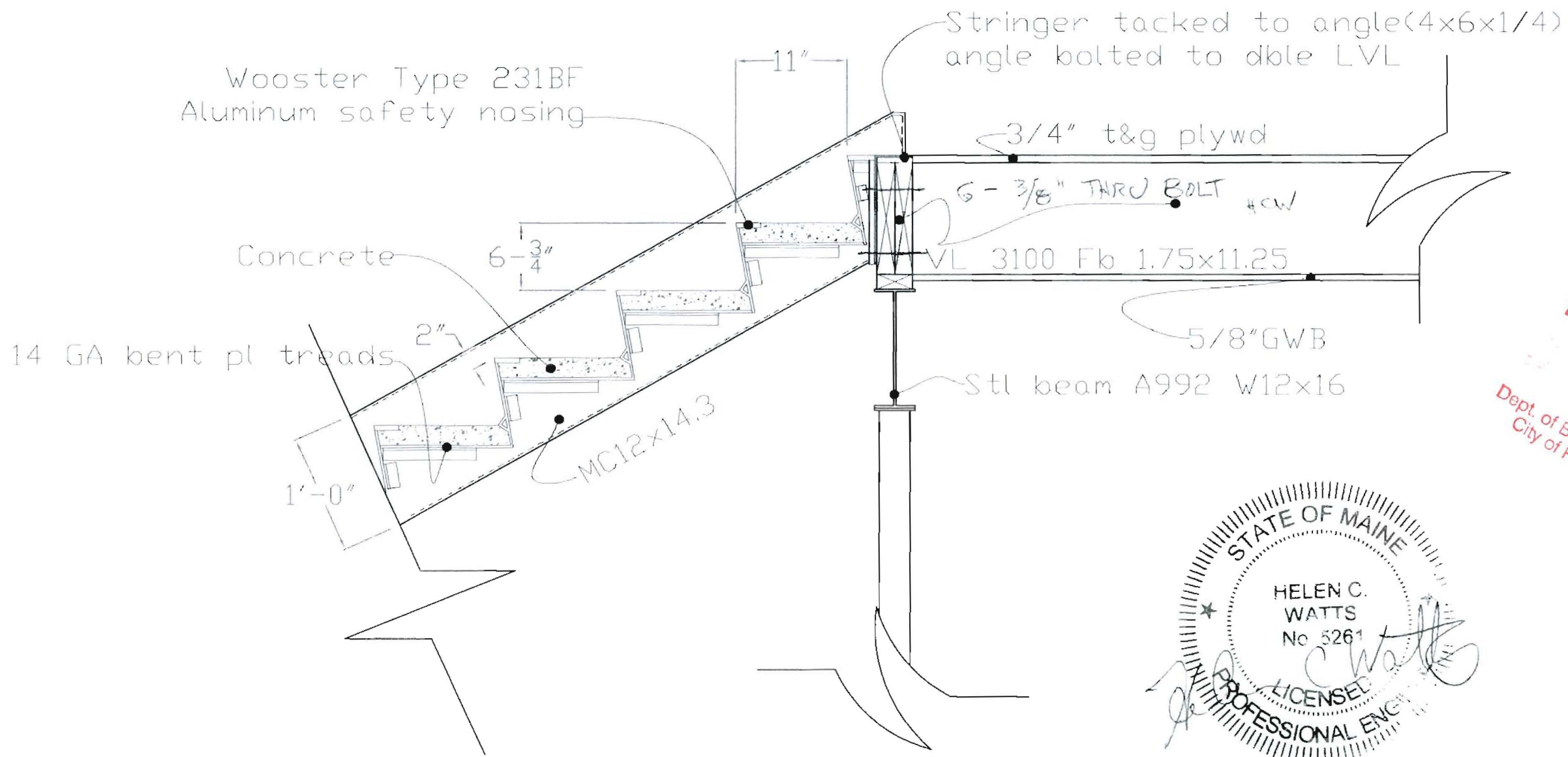


DEKKO LLC

ELECTRICAL

UNIT D

NOT TO SCALE 8/8

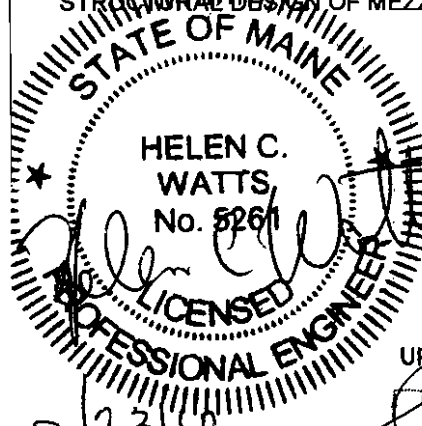


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 Dept. of Building Inspections
 City of Portland, Maine

STATE OF MAINE
 HELEN C. WATTS
 No. 5261
 LICENSED PROFESSIONAL ENGINEER

Helen C. Watts, PE
 Helen Watts Engineering
 455 Litchfield Rd., Bowdoin, ME
 207-522-9366

STRUCTURAL DESIGN OF MEZZ MEMBERS ONLY

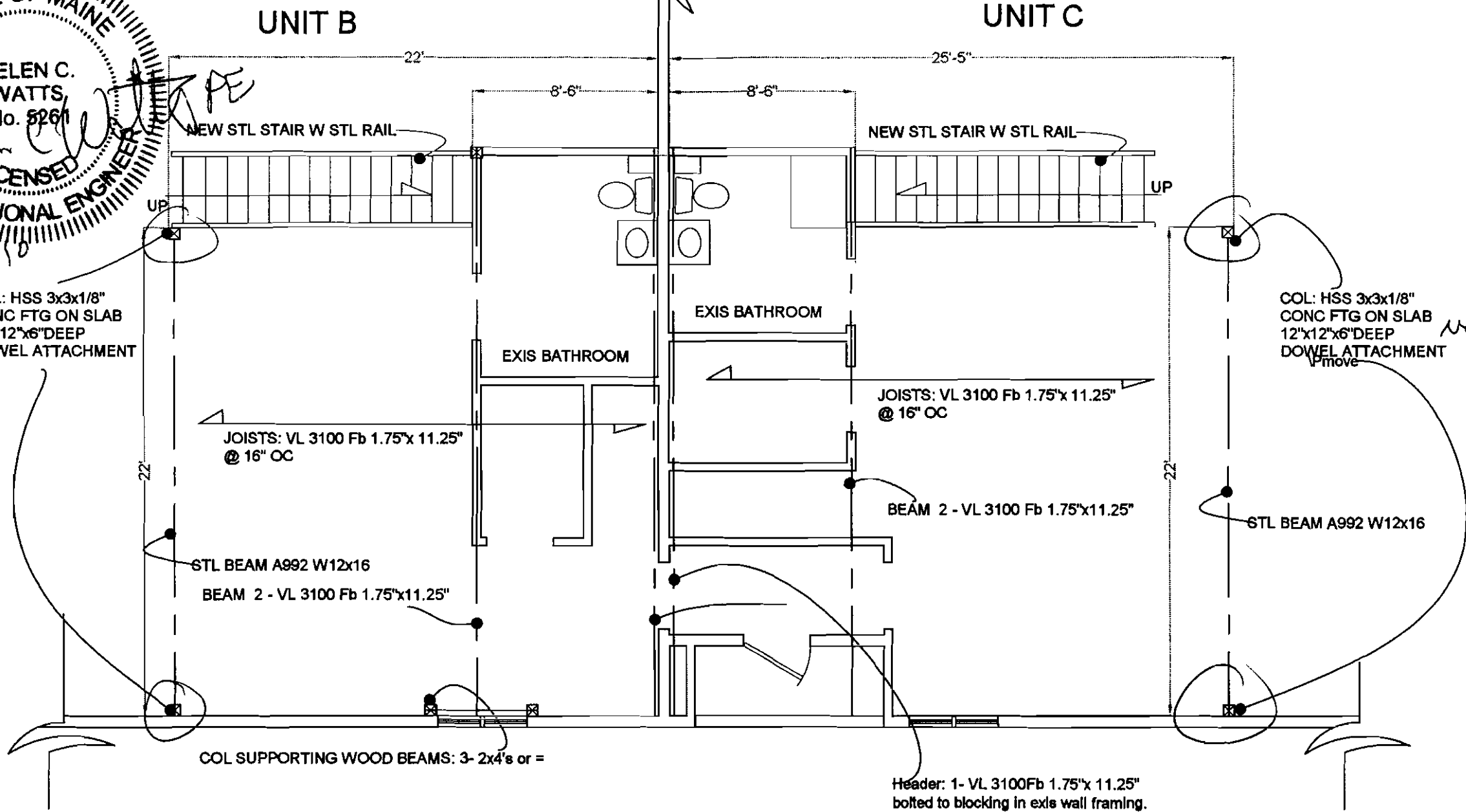


9/23/10

COL: HSS 3x3x1/8"
 CONC FTG ON SLAB
 12"x12"x6" DEEP
 DOWEL ATTACHMENT
New

Special Inspection and Testing is not required.
 The structure will be inspected by the structural engineer
 before the framing is enclosed with drywall.

NOTE: Mezzanines, 225 Industrial Way, Portland, ME
 City of Portland Ordinances, based on IBC 2006.
 Live load: 50 psf



DEKKA LLC

MEZZANINES, 225 INDUSTRIAL WAY

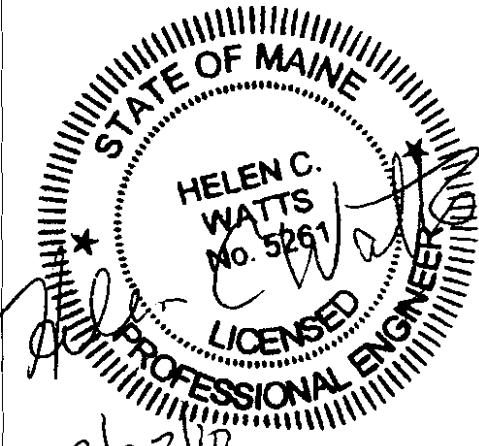
STRUCTURAL

NOT TO SCALE

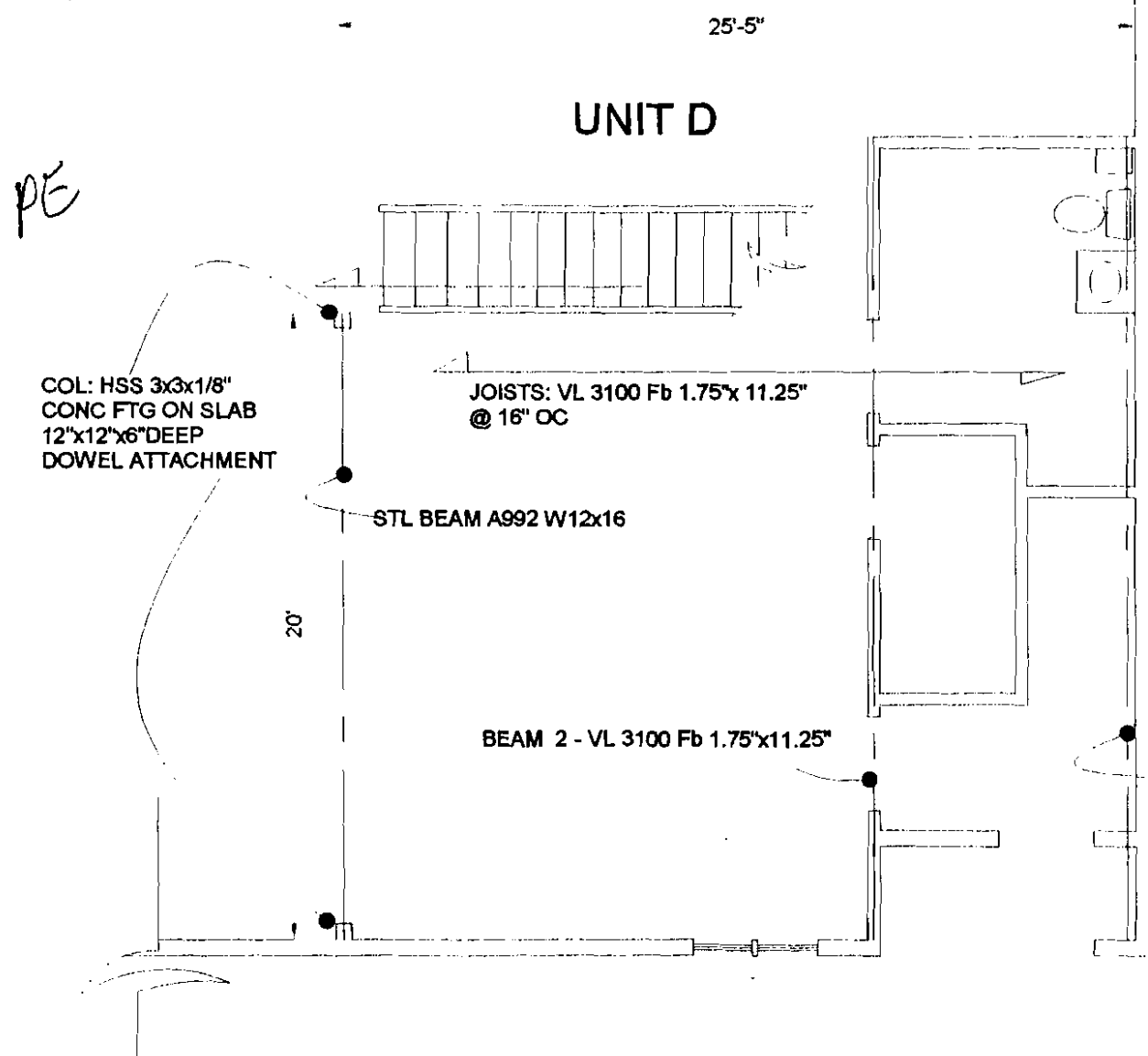
S
1

Helen C. Watts, PE
Helen Watts Engineering
455 Litchfield Rd., Bowdoin, ME
207-522-9366

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9/23/10



NOTE: Mezzanines, 225 Industrial Way, Portland, ME
City of Portland Ordinances, based on IBC 2006.
Live load: 50 psf

DEKKA LLC

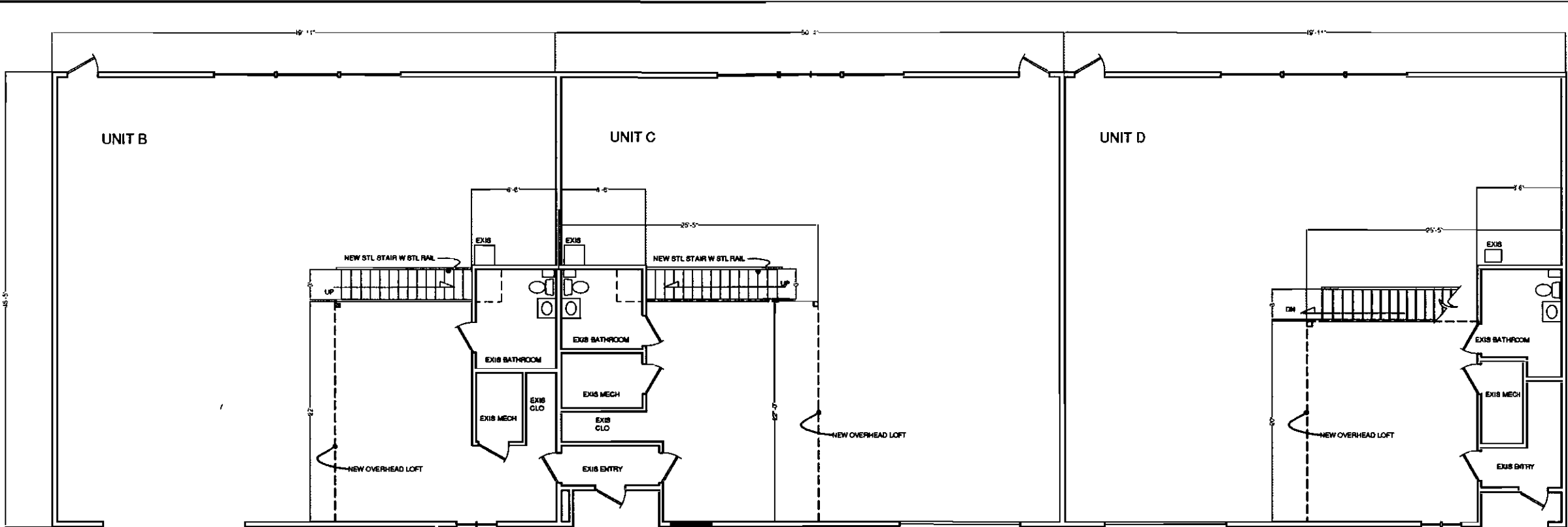
MEZZANINES, 225 INDUSTRIAL WAY

STRUCTURAL

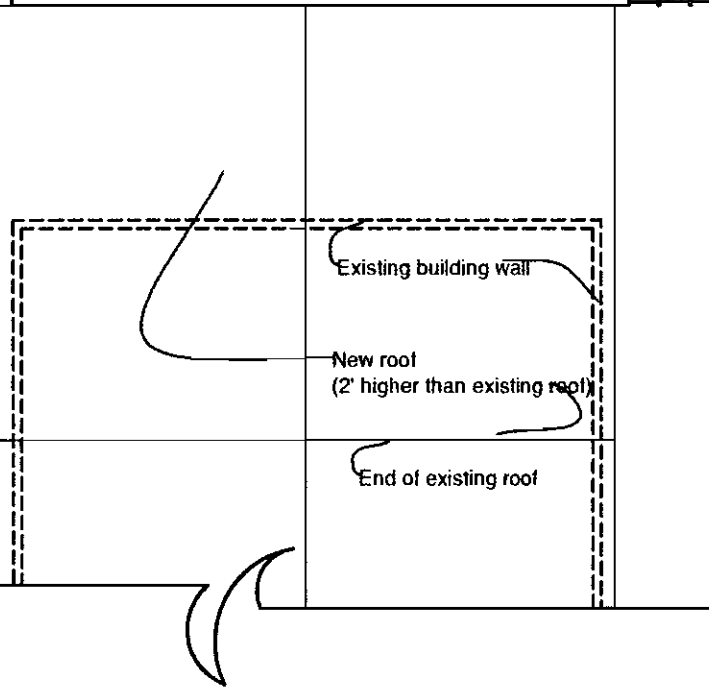
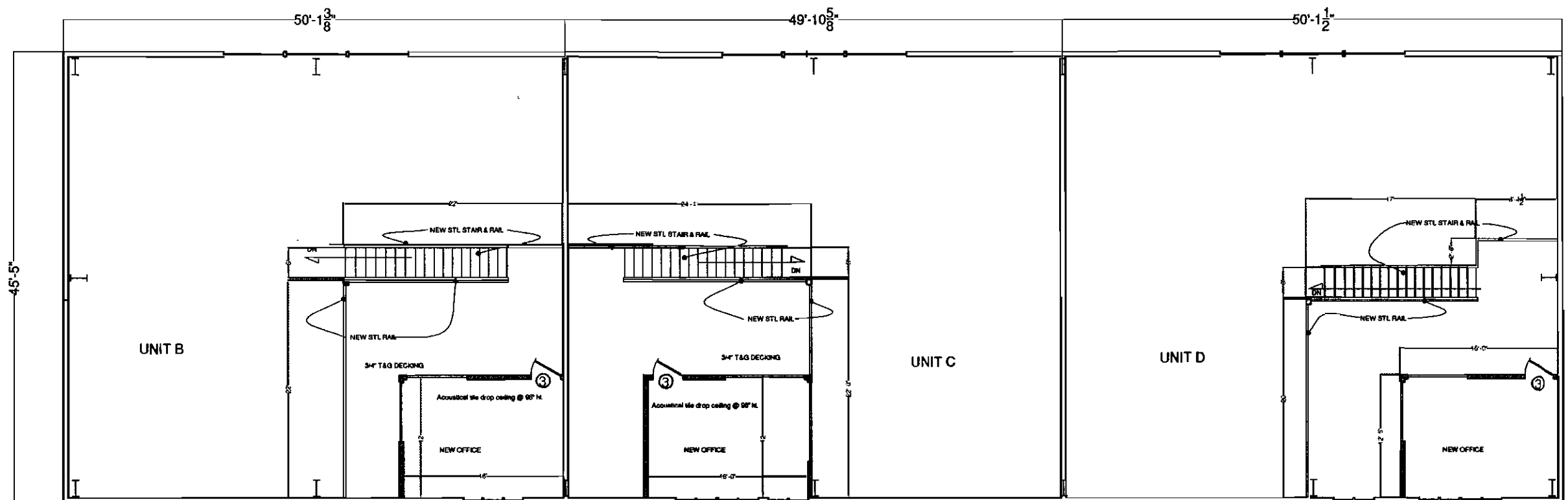
NOT TO SCALE

5/2

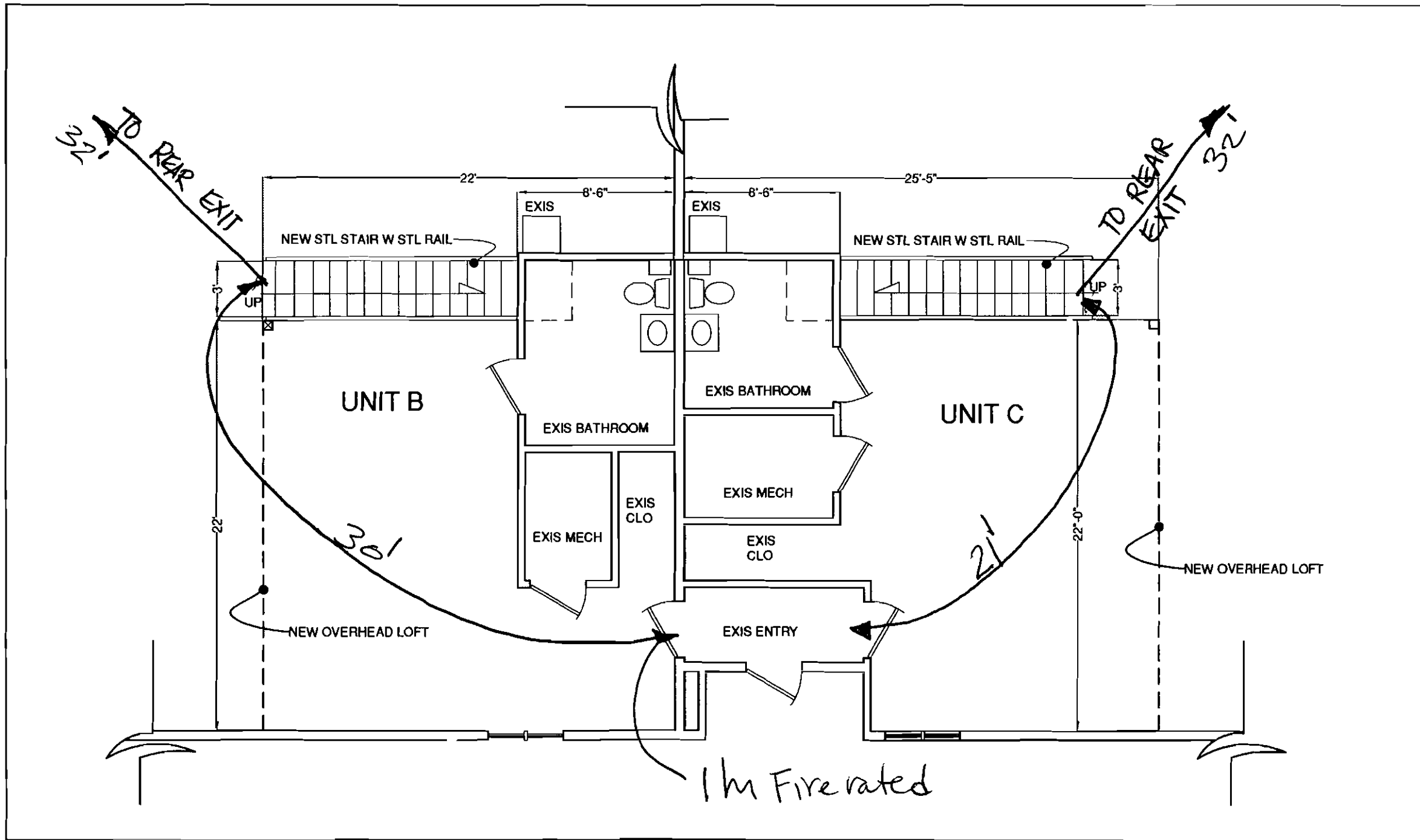
FOR FIRE DEPT. (GENERAL NOTES ON PAGE ~~5~~ 8)
 OWNER/DESIGNER: DEKKO LLC CONTACT: WALTER JUNE 207-653-8216
 ENGINEER: HELEN WATTS, PE HELEN WATTS ENGINEERING 207-522-9366



NO.	TYPE	RO	REMARKS	CLOSER TYPE
1	STL. DR. & JAMB w 1 LITE THERMA-TRU (TS-206)	3'-2-1/2" x 6'-10"	FIRE RATED (1-3/4" THICK)	DOROMATIC SC 60 9-1/16 UNIT
2	STL. DR. & JAMB THURMA-TRU (TS-100)	"	"	SPRING
3	SOLID WD. DR. STL JAMB	"	1-3/8" THICK	NONE
4	SOLID WD. DR. STL JAMB	"	FIRE RATED (1-3/4" THICK)	DOROMATIC SC 60 9-1/16 UNIT
5	OVERHEAD METAL INSULATED W 3 LITES	12' x 9'	NA	NA
6	"	12' x 14'	NA	NA



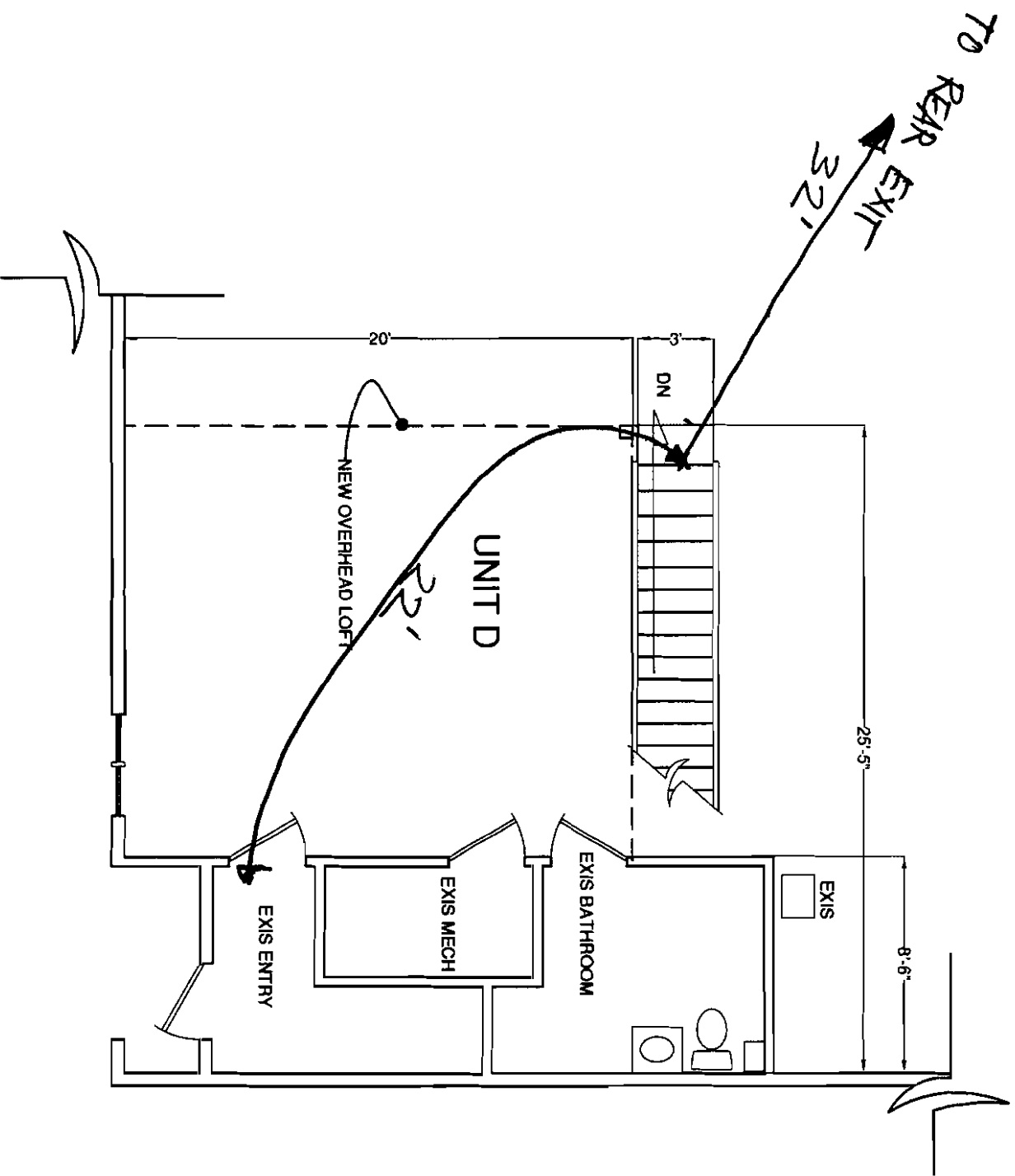
NOTES: STAIRS: 6-3/4" rise ,12" tread ,Steel w concrete treads
 STAIR & LOFT RAILS: Steel w concrete treads
 ▨ NEW WALLS: 4" 20 gauge mtl studs w 5/8" gwb & sound baffles.
 OFFICE DOORS: Type 3 (See Door Schedule page 1)
 LOFT AREA = 25% of unit B
 OFFICE AREA = 10% of unit B
 SPRINKLER: Reconfigure to accomodate new office & below loft.
 5/8" GWB underside of loft.

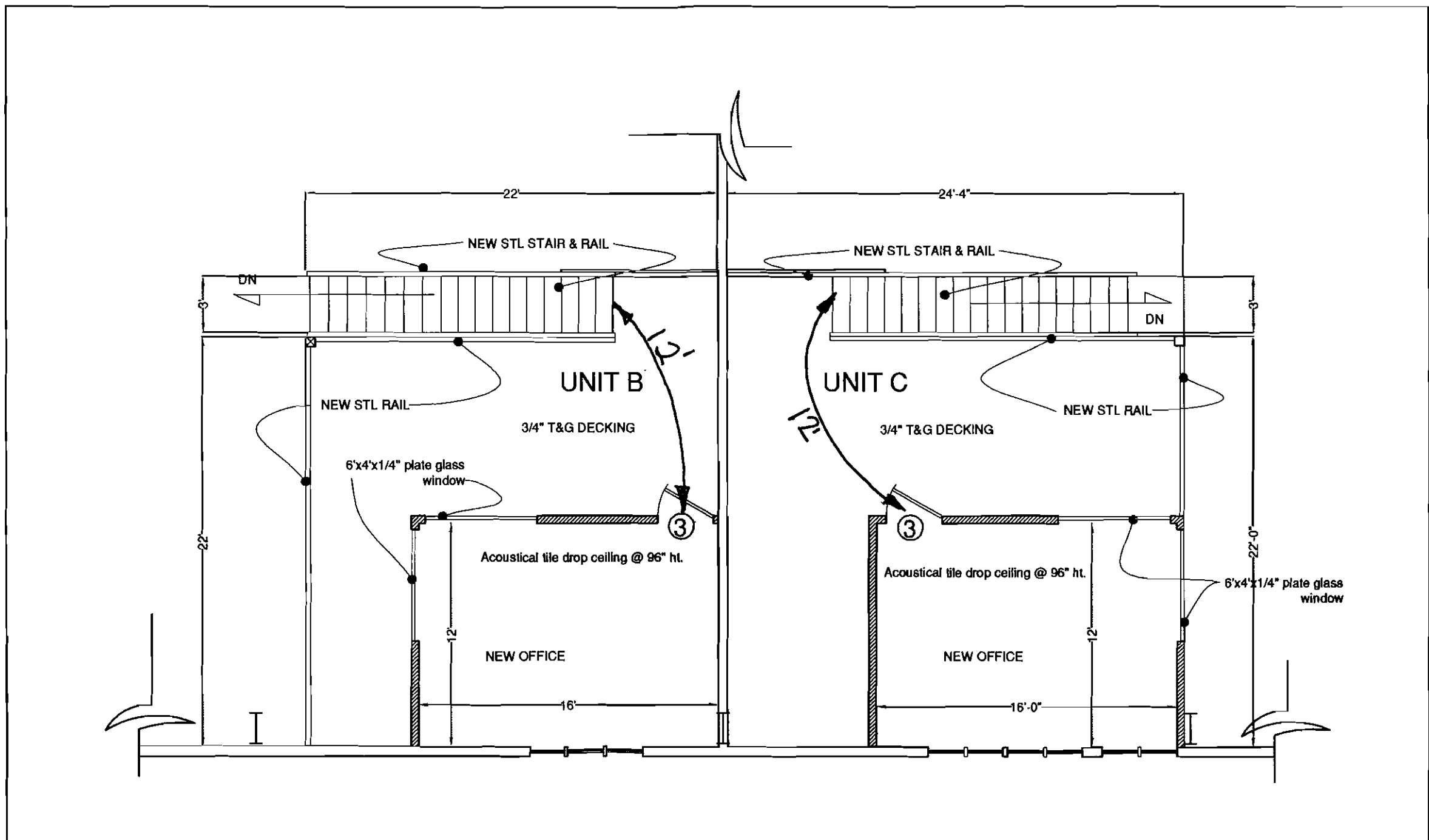


DEKRO LLC

MAIN FLOOR / LARGER SCALE UNIT D

NOT TO SCALE 4/8





GENERAL NOTES FOR FIRE DEPT

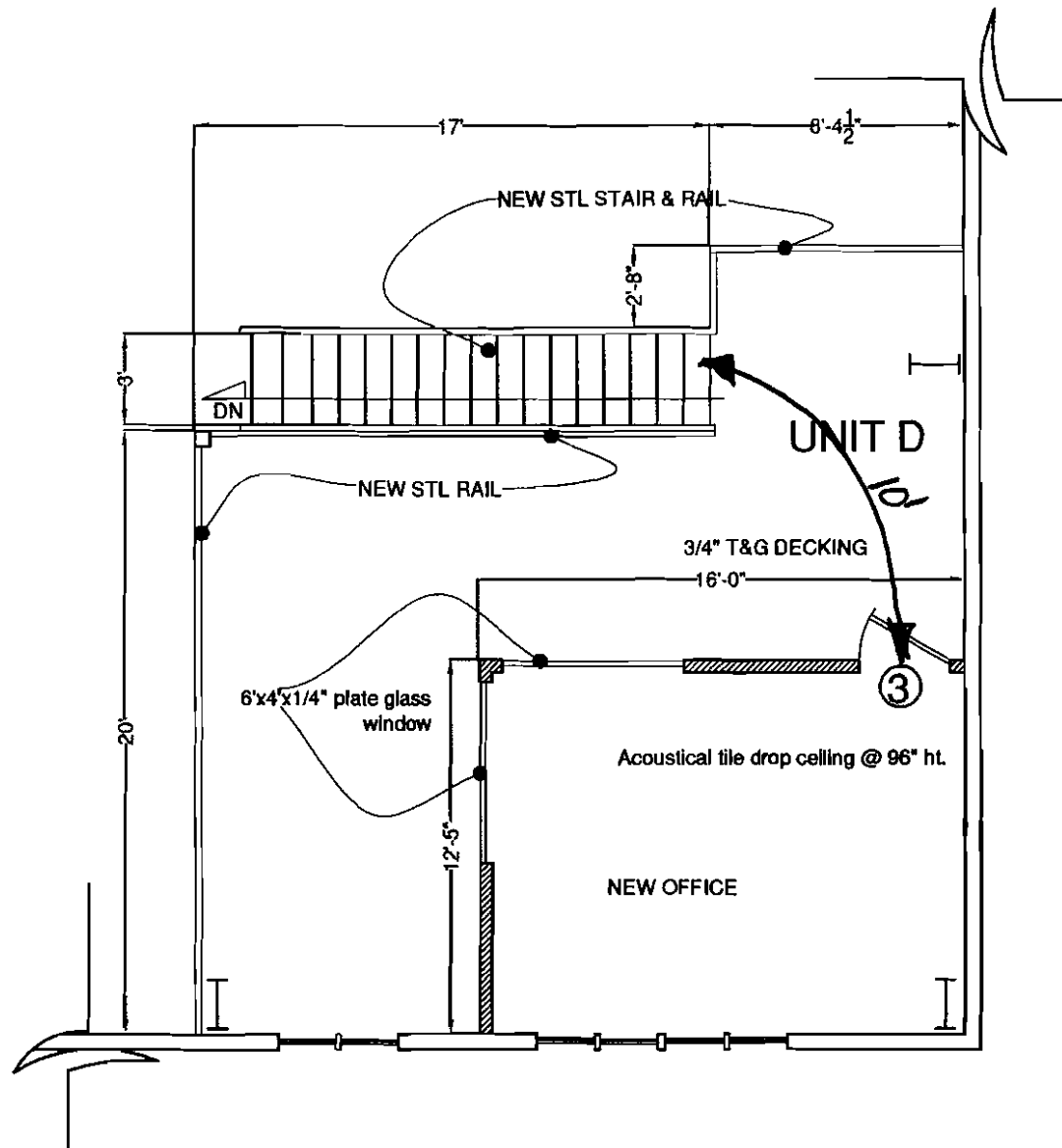
DEKKO LLC	LOFTS/LARGER SCALE	UNITS B + C	NOT TO SCALE $\frac{5}{8}$
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SUPPRESSION SYSTEM - EXIS. DRY SPRINKLER SYS. DESIGNED BY SIMPLEX GRINELL (842-6440)
 ADD NEW HEADS BELOW NEW LOFTS, LOWER HEADS OVER OFFICE

FIRE RESISTANCE RATINGS - STAIR SYSTEM: 14 GAUGE STEEL FANS @ 1 1/2" CONCRETE TREADS + 14 GAUGE STL. STRINGERS
 LOFT MATERIALS (SEE PAGES [5-1] + [5-2])

TRAVEL DISTANCES - SHOWN ON PAGES [3/8] + [4/8] + [5/8] + [6/8]

FIRE EXTING/EMERG LIGHTS/EXITS: SHOWN ON PAGES: [7/8] + [8/8]



DEKKO LLC

LOFTS / LARGER SCALE

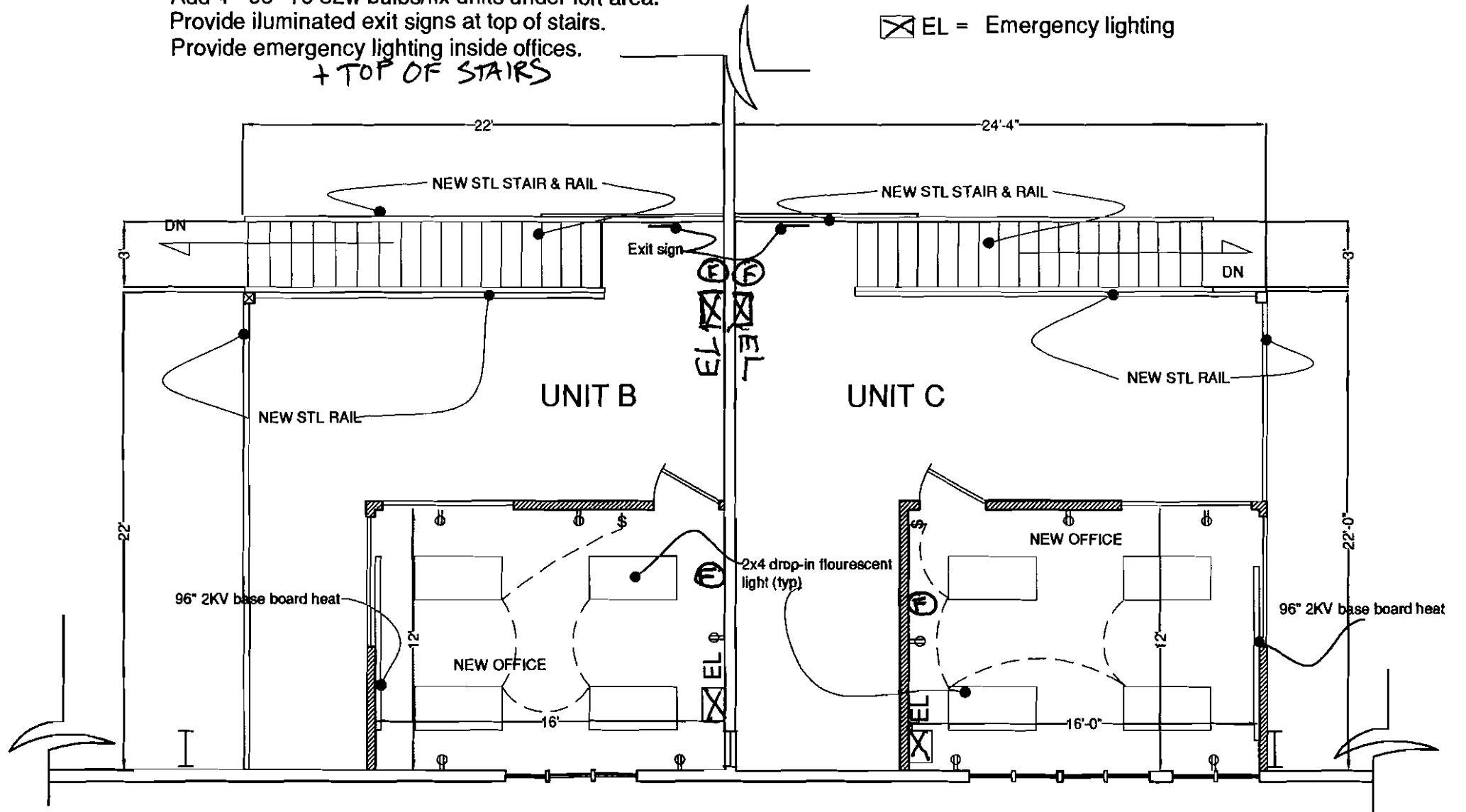
UNIT D

NOT TO SCALE $\frac{10}{8}$

ELECTRICAL NOTES: Remove exis. warehouse lights over office.
 Add 4 - 96" T8 32w bulbs/fix units under loft area.
 Provide illuminated exit signs at top of stairs.
 Provide emergency lighting inside offices.
 + TOP OF STAIRS

⊕ = FIRE EXTINGUISHER

⊗ EL = Emergency lighting



DEKKO LLC

ELECTRICAL

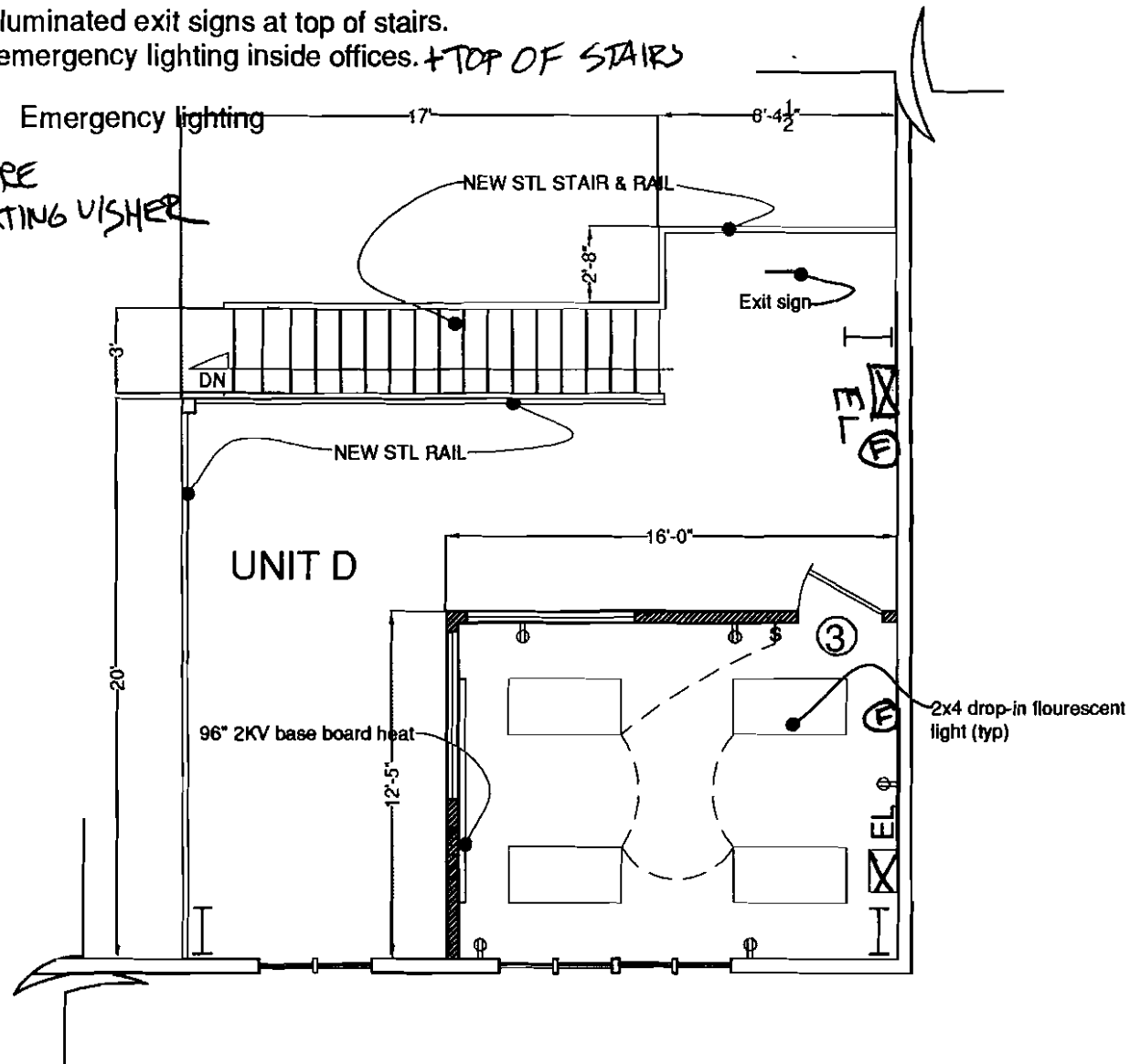
UNIT B+C

NOT TO SCALE 7/8

ELECTRICAL NOTES: Remove exis. warehouse lights over office.
 Add 4 - 96" T8 32w bulbs/fix units under loft area.
 Provide illuminated exit signs at top of stairs.
 Provide emergency lighting inside offices. +TOP OF STAIRS

☒ EL = Emergency lighting

Ⓢ = FIRE
EXTING VISHER



DEKKO LLC

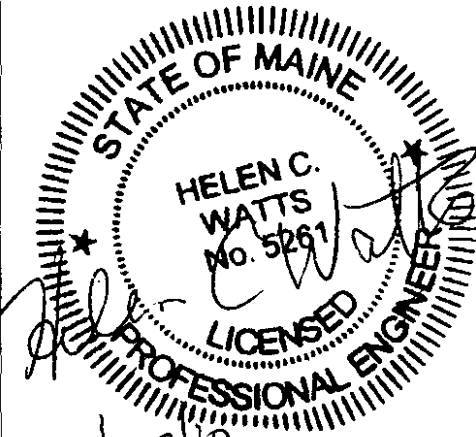
ELECTRICAL

UNIT D

NOT TO SCALE 8/8

Helen C. Watts, PE
 Helen Watts Engineering
 455 Litchfield Rd., Bowdoin, ME
 207-522-9366

STRUCTURAL DESIGN OF MEZZ MEMBERS ONLY
 Special Inspection and Testing is not required.
 The structure will be inspected by the structural engineer
 before the framing is enclosed with drywall.



9/23/10

PE

COL: HSS 3x3x1/8"
 CONC FTG ON SLAB
 12"x12"x6" DEEP
 DOWEL ATTACHMENT

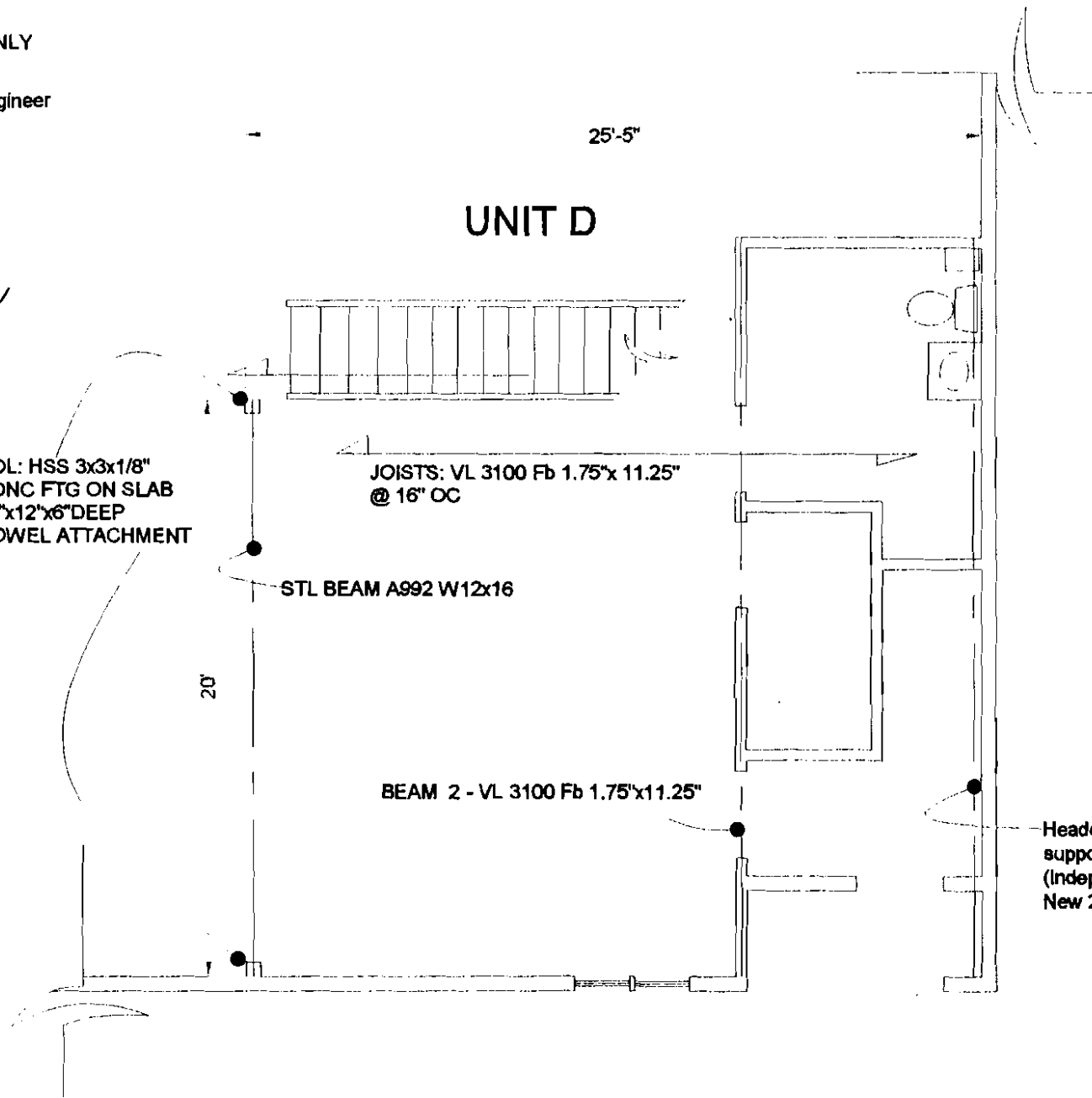
STL BEAM A992 W12x16

JOISTS: VL 3100 Fb 1.75"x 11.25"
 @ 16" OC

BEAM 2 - VL 3100 Fb 1.75"x11.25"

Header: 1 - VL 3100Fb 1.75" x 11.25"
 supported by new wall framing
 (Independent of exis. metal bldg. structure)
 New 2x6 wall located on exis, conc. knee wall.

NOTE: Mezzanines, 225 Industrial Way, Portland, ME
 City of Portland Ordinances, based on IBC 2006.
 Live load: 50 psf



DEKKA LLC

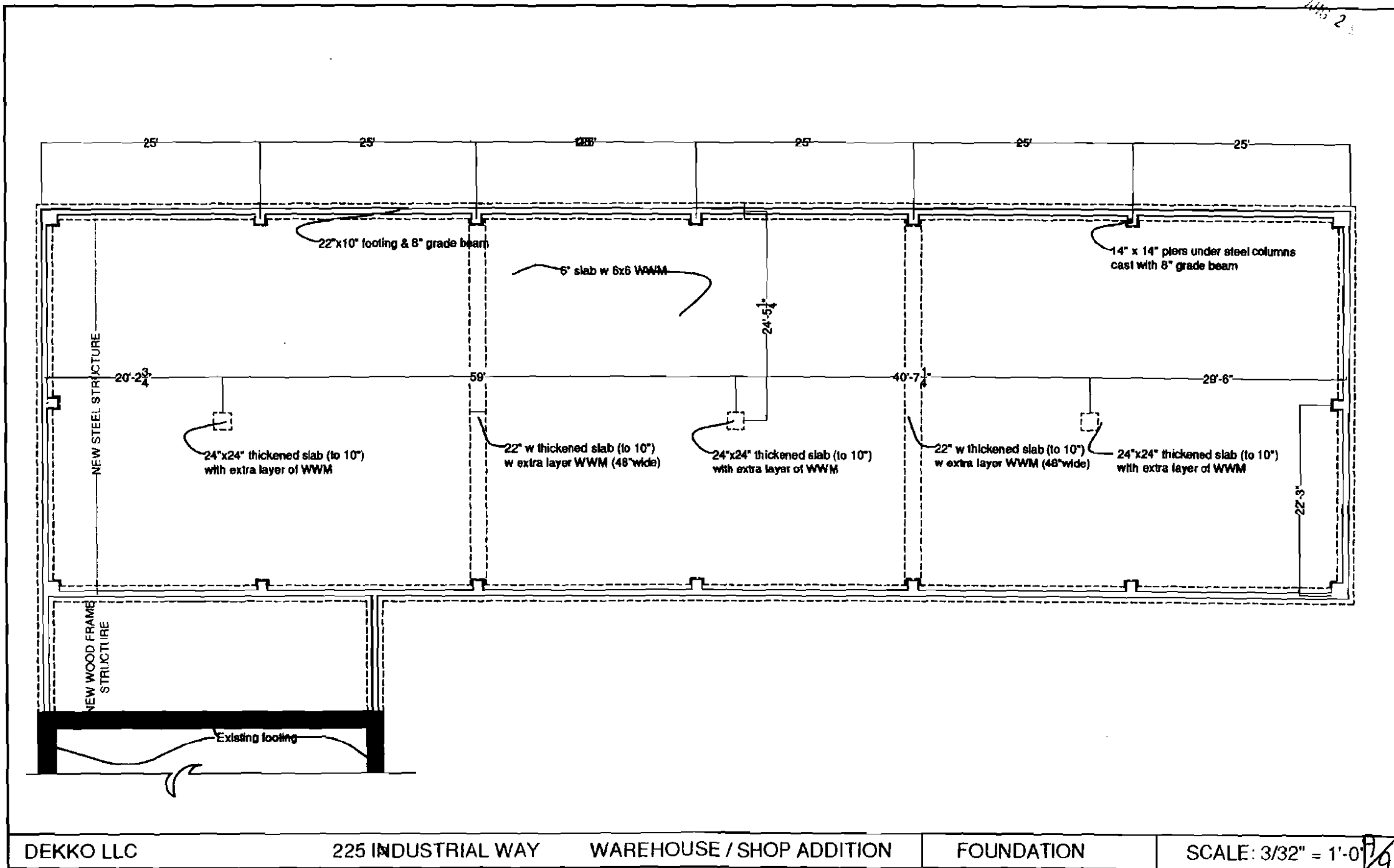
MEZZANINES, 225 INDUSTRIAL WAY

STRUCTURAL

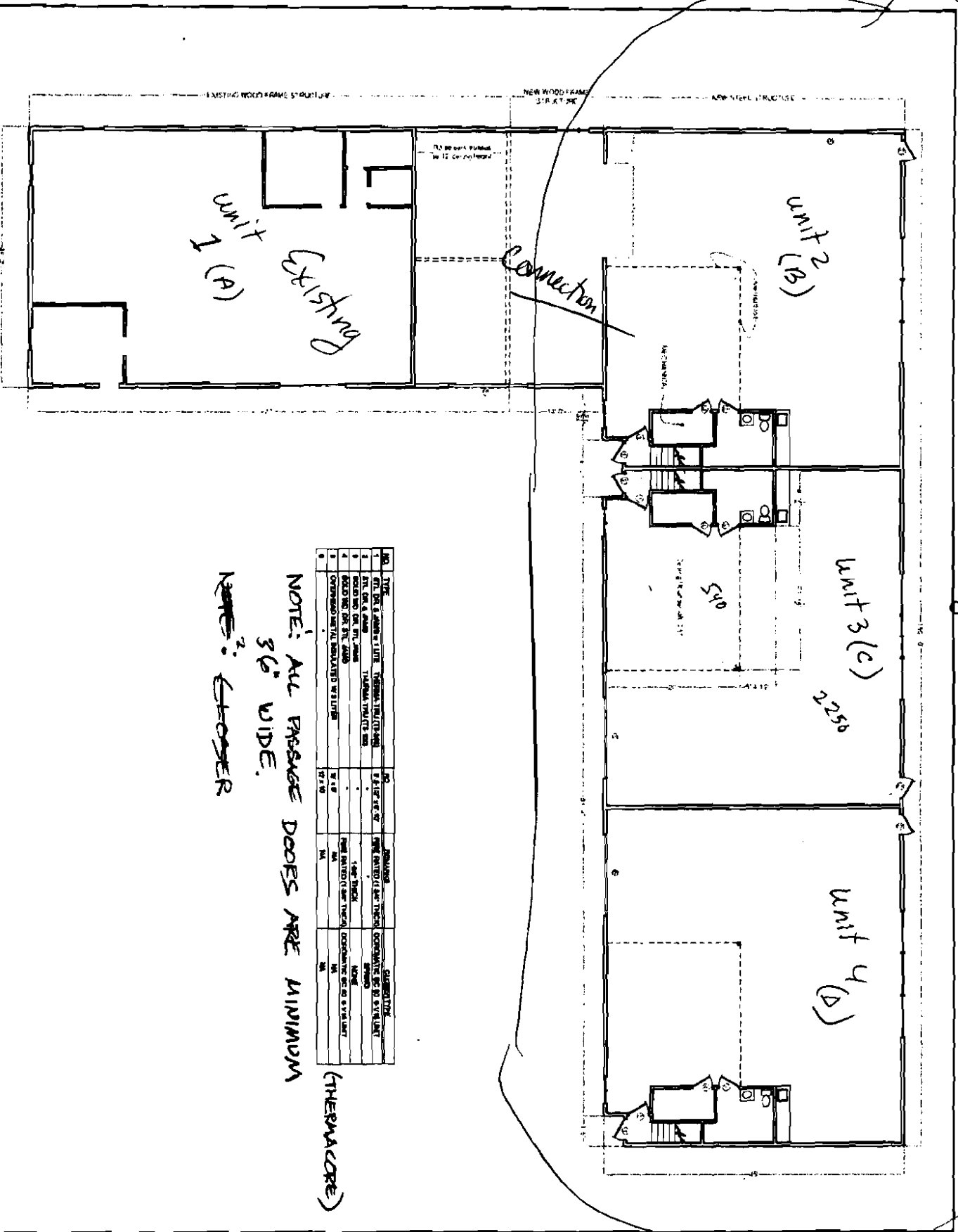
NOT TO SCALE

5/2

From permit # 08-0806



New Bldg for permit # 08-0806



NO.	TYPE	QUANTITY	DESCRIPTION	UNIT PRICE	TOTAL PRICE
1	1/2" x 4" x 8" LITE THERMA CORE	1400	1/2" x 4" x 8" LITE THERMA CORE	1.40	1960.00
2	1/2" x 4" x 8" LITE THERMA CORE	1400	1/2" x 4" x 8" LITE THERMA CORE	1.40	1960.00
3	1/2" x 4" x 8" LITE THERMA CORE	1400	1/2" x 4" x 8" LITE THERMA CORE	1.40	1960.00
4	OVERHEAD METAL INSULATED W/STAIN	1400	OVERHEAD METAL INSULATED W/STAIN	1.40	1960.00

(THERMA CORE)

NOTE: ALL PASSAGE DOORS ARE MINIMUM 36" WIDE.
~~NOTE: 2: STOPER~~

DEKKO LLC

225 INDUSTRIAL WAY

WAREHOUSE / SHOP ADDITION

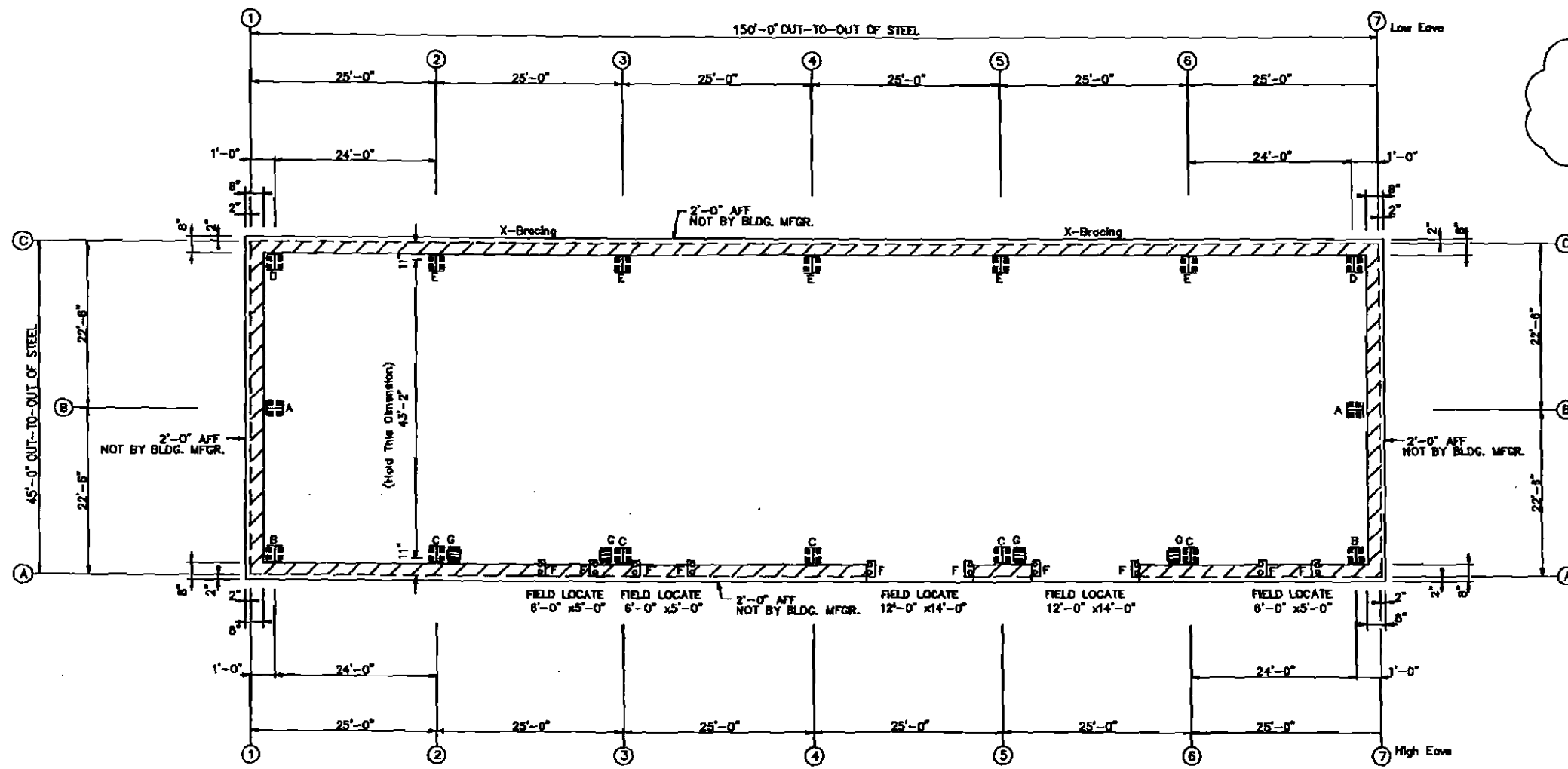
MAIN FLOOR PLAN

SCALE: 1/16" = 1'-0"

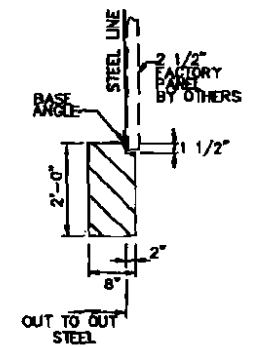
2

From permit # 08-0806

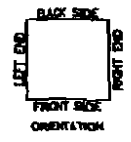
○ Dia= 1/2"
 ■ Dia= 3/4"



NOTE:
 THIS BUILDING HAS NOT BEEN DESIGNED TO SUPPORT ANY LOADS FROM THE MEZZANINE. IF THE MEZZANINE IS ATTACHED TO THE STRUCTURE OF THIS BUILDING AN ANALYSIS WILL HAVE TO BE DONE TO INSURE THE STRUCTURAL INTEGRITY OF THE BUILDING.



ANCHOR BOLT PLAN
 NOTE: All Base Plates @ 100'-0" (U.N.)



[Handwritten signature and date: 5/14/08]

REVISIONS										SCALE: NONE		DRAWN BY: DJJ		DATE: 5/14/08		WOODWORKING & CABINETRY LLC		INLAND BUILDINGS	
REVISIONS										APPROVED BY: DCW		DATE: 5/14/08		PORTLAND, ME 04102		CULLMAN, ALABAMA		REV. NO. H1822	
REVISIONS										DATE		DATE		DATE		DATE		REV. 2 OF 17	