

328-B-4

1998-0089

116 Riverside Ind. Pkwy

I+R Associates
Manley Assoc.

on Spreadsheet

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

19980089

I. D. Number

Manley Associates

Applicant

P.O. Box 1210, Gray, ME 04039

Applicant's Mailing Address

Sebago Tech/Steve Doe

Consultant/Agent

856-0277

856-2206

Applicant or Agent Daytime Telephone, Fax

7/20/98

Application Date

I & R Assoc.

Project Name/Description

Riverside Ind Pky

Address of Proposed Site

328-B-004

Assessor's Reference: Chart-Block-Lot

116

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

4175 new

1.94

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan \$500.00 Subdivision _____ Engineer Review \$510.00 Date 7/20/98

Planning Approval Status:

Reviewer r.knowland

- Approved Approved w/Conditions See Attached Denied

Approval Date 8/25/98 Approval Expiration 8/25/99 Extension to _____ Additional Sheets Attached
 OK to Issue Building Permi r.knowland 12/8/98
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	<u>12/8/98</u> date	<u>\$4,565.00</u> amount	<u>6/1/98</u> expiration date
<input checked="" type="checkbox"/> Inspection Fee Paid	<u>12/3/98</u> date	<u>\$300.00</u> amount	
<input type="checkbox"/> Building Permit Issue	_____ date		
<input type="checkbox"/> Performance Guarantee Reduced	_____ date	_____ remaining balance	_____ signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date	<input type="checkbox"/> Conditions (See Attached)	
<input type="checkbox"/> Final Inspection	_____ date	_____ signature	
<input type="checkbox"/> Certificate Of Occupancy	_____ date		
<input type="checkbox"/> Performance Guarantee Released	_____ date	_____ signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date	_____ amount	_____ expiration date
<input type="checkbox"/> Defect Guarantee Released	_____ date	_____ signature	

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DRC Approval Status:

Reviewer j.w.

- Approved Approved w/Conditions see attache Denied

Approval Date 8/25/98 Approval Expiration 8/25/99 Extension to _____ Additional Sheets Attached

Condition Compliance r.knowland signature 12/8/98 date

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<input type="checkbox"/> Temporary Certificate Of Occupancy	_____ date	<input type="checkbox"/> Conditions (See Attached)	
<input type="checkbox"/> Final Inspection	_____ date	_____ signature	
<input type="checkbox"/> Certificate Of Occupancy	_____ date		
<input type="checkbox"/> Performance Guarantee Released	_____ date	_____ signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date	_____ amount	_____ expiration date
<input type="checkbox"/> Defect Guarantee Released	_____ date	_____ signature	

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM

19980089

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Manley Associates

Applicant

P.O. Box 1210, Gray, ME 04039

Applicant's Mailing Address

Sebago Tech/Steve Doe

Consultant/Agent

856-0277

856-2206

Applicant or Agent Daytime Telephone, Fax

7/20/98

Application Date

I & R Assoc.

Project Name/Description

Riverside Ind Pky

Address of Proposed Site

328-B-004

Assessor's Reference: Chart-Block-Lot

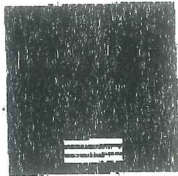
DRC Conditions of Approval

Planning Conditions of Approval

1. that exterior lighting shall be submitted for planning staff review and approval.

Inspections Conditions of Approval

Fire Conditions of Approval



DeLUCA-HOFFMAN ASSOCIATES, INC.
CONSULTING ENGINEERS

779 MAIN STREET
SUITE 5
SOUTH PORTLAND, MAINE 04106
TEL. 207 775 1121
FAX 207 879 0896

■ ROADWAY DESIGN
■ ENVIRONMENTAL ENGINEERING
■ TRAFFIC STUDIES AND MANAGEMENT
■ PERMITTING
■ AIRPORT ENGINEERING
■ SITE PLANNING
■ CONSTRUCTION ADMINISTRATION

MEMORANDUM

TO: Code Enforcement
Rick Knowland, Planner

FROM: Eric Barnes, DeLuca-Hoffman Associates, Inc.
Jim Wendel, PE, Development Review Coordinator

DATE: May 25, 1999

RE: Certificate of Occupancy
I & R Associates (116 Riverside Industrial Parkway)

Chris Bachmann

On May 25, 1999 the site was reviewed for compliance with the conditions of approval dated August 25, 1998. My comments are:

1. The dumpster enclosure as shown on the plans is not completed. There are 4 wooden posts installed at this location, but no enclosure. One of the posts has also been broken. This enclosure should be completed.
2. The site has been loamed, but does not appear to be seeded. The disturbed areas should be seeded and mulched to prevent erosion.
3. Sedimentation has occurred in a low spot along the driveway adjacent to the pond. The sediment appears to be sandy in nature. The area should be swept to alleviate the sediment, and grass should be planted to prevent erosion.
4. Erosion of the pond bank adjacent to the driveway and sedimented area has occurred. This area should be riprapped with stone placed on a non-woven geotextile filter fabric to prevent undermining of the road.
5. An area along the north wall of the addition is beginning to erode. This area should be seeded and stabilized if necessary to prevent erosion.

It is my opinion that a temporary certificate of occupancy could be issued. It is likely that insufficient time is available to complete the work under the current time frame of the performance guarantee. Recommend an extension of the performance guarantee be considered.

Peoples Heritage Bank

One Portland Square
P.O. Box 9540
Portland, ME 04112-9540

1-800-462-3666
Tel: 207-761-8500
Internet: www.peoplesheritage.com

May 27, 1999



Mr. Rick Knowland
Planning and Urban Development
City of Portland
389 Congress Street
Portland, Maine 04101

RE: Irrevocable Letter of Credit 61861-666

Dear Mr. Knowland:

Reference is made to an Irrevocable Letter of Credit Number 61861-666 (the "Letter of Credit") dated December 2, 1998 issued by us in your favor.

This constitutes our notice to you that subject to further extension by us at any time, the expiration date specified in the last paragraph of the Letter of Credit is hereby extended to May 27, 2000.

If you should have any comments or questions, feel free to give me a call at 761-8625.

Sincerely,

A handwritten signature in blue ink that reads "Dan Thornton".

Daniel P. Thornton
Senior Vice President

/knk

Peoples Heritage Bank

One Portland Square
P.O. Box 9540
Portland, ME 01112-9540

1-800-462-3666
Tel: 207-761-8500

IRREVOCABLE LETTER OF CREDIT #61861-666

December 2, 1998



Joseph E. Gray, Jr., Director
Planning and Urban Development
City of Portland
389 Congress Street
Portland, Maine 04101

RE: I & R Associates, Inc., 116 Riverside Industrial Parkway, Portland, Maine

Dear Mr. Gray:

Peoples Heritage Bank hereby issues its Irrevocable Letter of Credit for the account of I & R Associates, Inc., (the "Borrower"), with Manley Associates, Inc. as developer, hereinafter referred to as "The Developer", in favor of the City of Portland in the aggregate amount of \$4,565.00.

The City, through its Director of Planning and Urban Development, may draw on the Letter of Credit by presentation of a sight draft and the original Letter of Credit and all amendments thereto, at Peoples Heritage Bank's offices located at One Portland Square, 3rd Floor, Portland, Maine stating that:

- (1) the Developer has failed to complete by June 1, 1999 or by the expiration date of any temporary certificate of occupancy issued, whichever date comes first, at the Developer's expense, the work on the roads and other public improvements as set forth in a certain Schedule of Costs of Public Improvements dated November 3, 1998; or
- (2) the Developer has failed to post the ten percent (10%) Defect Bond or Guarantee required by the Portland City Code sections 14-501 and 14-525; or
- (3) the Developer has failed to notify the City for inspections.

In the event of Peoples Heritage Bank's dishonor of the City of Portland's sight draft, Peoples Heritage Bank shall inform the City of Portland in writing of the reason or reasons therefor within three (3) working days of the dishonor.

After all underground work in the public right of way has been completed and inspected to the satisfaction of the Department of Public Works, including but not limited to sanitary sewers, storm drains, catch basins, manholes, electrical conduits, and other required improvements constructed chiefly below grade, the City of Portland Director of Planning and Urban

Joseph E. Gray, Jr.
116 Riverside Industrial Parkway
December 2, 1998
Page 2

Development or the City of Portland Director of Finance as provided in section 14-501 of the Portland City Code may authorize Peoples Heritage Bank, by written certification, to reduce the available amount of this letter of credit by a specified amount.

It is a condition of this Letter of Credit that it is deemed to be automatically extended without amendment for period(s) of one year each from the current expiration date hereof, or any future expiration date, unless at least sixty (60) days prior to any expiration date, Peoples Heritage Bank notifies the Director of Planning and Urban Development by registered mail at the above listed address that Peoples Heritage Bank elects not to consider this Letter of Credit renewed for any such additional period.

In the event of such notice, the City may draw hereunder by presentation of a sight draft drawn on the Bank, accompanied by the original Letter of Credit and all amendments thereto, and a statement purportedly signed by the Director of Planning and Urban Development reading as follows:

This drawing results from notification that Peoples Heritage Bank has elected not to renew its Letter of Credit No. 61861-666; or

This drawing results from the Developer's failure to timely complete to the satisfaction of the City the public improvements set forth in a certain Schedule of Costs of Public Improvements dated November 3, 1998; or

This drawing results from the Developer's failure to post a ten percent (10%) Defect Guarantee or Bond as provided in 14-501 of the Portland City Code; or

This drawing results from the Developer's failure to notify the City for inspections.

This Letter of Credit will automatically expire upon the earlier of:

1. Peoples Heritage Bank's receipt of a written notification from the City of Portland that said work as outline in a certain Schedule of Costs of Public Improvements dated November 3, 1998 between the Developer and the City of Portland has been completed in accordance with the City of Portland specifications and Peoples Heritage Bank's Letter of Credit No. 61861-666 may be canceled; or
2. The expiration date of June 1, 1999 or any automatically extended as specified herein.


Partial drawings are permitted.

Joseph E. Gray, Jr.
116 Riverside Industrial Parkway
December 2, 1998
Page 3

We engage with you that drafts drawn under and in compliance with the terms of this credit will be duly honored if presented at our offices at One Portland Square, Portland, Maine 04112 on or before June 1, 1999 or any automatically extended date as specified herein.

Very truly yours,

Peoples Heritage Bank


By: 
Mark V. Stasium
Its Duly Authorized Vice President

The City of Portland has accepted the providing of alternative security for the Developer's obligations to be performed pursuant to Section 14-501 and/or Section 14-525 of the Portland City Code.

Dated: _____

By: _____
Joseph E. Gray, Jr.
Its Duly Authorized Director of
Planning and Urban Development

Seen and Agreed to: I & R Associates, Inc.

By: 
Its

Date: 12/2/98

Reviewed pursuant to section 14-501 and/or Section 14-525, Portland City Code

By: _____
Director of Finance

Date: _____

By: 
Corporation Counsel

Date: 12/4/98

<u>Item</u>	PUBLIC			PRIVATE		
	<u>Quantity</u>	<u>Unit Cost</u>	<u>Subtotal</u>	<u>Quantity</u>	<u>Unit Cost</u>	<u>Subtotal</u>
LANDSCAPING (Attach breakdown of plant materials, quantities, and unit costs)	_____	_____	_____	_____	_____	<u>1375</u>
MISCELLANEOUS	_____	_____	_____	_____	_____	_____
TOTAL:	_____	_____	_____	_____	_____	<u>\$ 4,565.00</u>
GRAND TOTAL:	_____	_____	_____	_____	_____	<u>\$ 4,565.00</u>

INSPECTION FEE (to be filled out by City)

	<u>PUBLIC</u>	<u>PRIVATE</u>	<u>TOTAL</u>
A 1.7% of totals:	_____	_____	_____
or			
B: Alternative Assessment:	_____	_____	_____
Assessed by:	_____	_____	_____
	(name)	(name)	

SEBAGO TECHNICS, INC.

12 Westbrook Common
 P.O. Box 1339
 WESTBROOK, ME 04098-1339

LETTER OF TRANSMITTAL

Phone (207) 856-0277 FAX (207) 856-2206

DATE	12/10/98	JOB NO.	94063
ATTENTION	Rick Knowlton		
RE:	I&R		

TO PLANNING & URBAN Development
City of Portland
389 Congress St
Portland, ME 04101

WE ARE SENDING YOU Attached Under separate cover via _____ the following items:

Shop drawings Prints Plans Samples Specifications

Copy of letter Change order _____

COPIES	DATE	NO.	DESCRIPTION
6	8-14-98	1 of 2	site plan

THESE ARE TRANSMITTED as checked below:

- For approval
- For your use
- As requested
- For review and comment
- FOR BIDS DUE _____ 19 _____
- Approved as submitted
- Approved as noted
- Returned for corrections
- _____
- Resubmit _____ copies for approval
- Submit _____ copies for distribution
- Return _____ corrected prints
- PRINTS RETURNED AFTER LOAN TO US

REMARKS _____

COPY TO _____

SIGNED: Steve Doe

If enclosures are not as noted, kindly notify us at once.

FROM : Gilman Supply Portland

PHONE NO. : 207 761 7733

Aug. 19 1998 07:15AM P1

FEATURES

HOUSING — Rear housing is rugged, corrosion-resistant die-cast aluminum. Corrosion-resistant external hardware includes slotted hex-head and tamper-proof fasteners. Finish is dark bronze thermoset polyester powder electrostatically applied.

BALLAST — 100W high reactance, high power factor, Encased-and-potted solid-state luminors, 175W constant-voltage auto-transformer. Ballast is copper wound and 100% factory tested. Meets ANSI standards and is UL 1029 listed. Electrical components are mounted on back housing. (For 50 hertz availability, consult factory).

OPTICS — Reflector is finished in white thermoset polyester powder electrostatically applied. Front housing and reflector are one-piece, injection-molded, UV-stabilized polycarbonate. Standard finish on opaque portion of front cover and back housing is dark bronze polyester enamel. Reflector is sealed and gasketed to inhibit the entrance of outside contaminants.

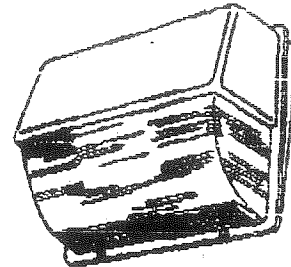
INSTALLATION — Top 3/4" threaded wiring access. Back access through removable 3/4" knockout. Feed-thru wiring can be achieved by using a conduit tee. Mount on any flat vertical surface.

SOCKET — Porcelain, horizontally-oriented, 100W medium-base socket, 175W-mogul-base socket with copper alloy, nickel-plated screw shell and center contact. UL listed medium base 860V, 800V, mogul 1500V, 60V. Both are 4KV pulse rated.

LISTING — UL 1572 listed suitable for wet locations. CSA certified (see options). NOM labeled (see options).

Type
Catalog number

Well-Deck
TWP
Metal Halide
100, 175W
8' to 15' mounting



Height: 15-7/16" (39.2cm)
Width: 16-1/8" (41cm)
Depth: 7-3/4" (19.7cm)
Weight: 18 lbs. (7 kg)

ORDERING INFORMATION

Choose the boldface catalog nomenclature that best suits your needs and write it on the appropriate line. Order accessories as separate catalog numbers (shipped separately).

Example: TWP 175M 120

TWP		Voltage		Options	
Series	Wattage /lamp				
TWP	100M ¹ 175M	120 ² 200 ² 240 ² 277 347 480 ² TB ³	Shipped installed in fixture SF Single fuse (120, 277, 347V) ⁴ DF Double fuse (200, 240, 480V) ⁴ EC Emergency circuit ^{5,6} CR Quartz restrike system ^{6,8} CR Corrosion-resistant finish (housing only) CRT Corrosion-resistant finish (Teflon) ⁷ -76F Reduced ambient operation PE Photoelectric cell - button type ¹ PER NEMA twist-lock receptacle ⁸	LPI Lamp (shipped in carton with fixture) LS Lamp support (mogul socket only) IS Integral slipfitter FS Full shield WG Wireguard ⁹ OBL Optional architectural color - black OMB Optional architectural color - medium bronze DWH Optional architectural color - white CSA Labeled for US shipment to Canada NOM Labeled for shipment to Mexico	

Accessories

- Order as separate catalog number.
- PEX Photocell kit (120V) only
- PEX NEMA twist-lock photocontrol (347V)
- PEX NEMA twist-lock photocontrol (480V)

NOTES:

- Not available, 480V.
- Not available in Canada.
- Optional multi-tap ballast (120, 200, 240, 277V; (120, 277, 347V in Canada).
- Not available with multi-tap ballast.
- Lamp not included.
- Quartz lamp wattage not to exceed ballast wattage rating.
- Black finish on housing only. Photocell not included.
- Requires factory modification.

FROM : Gilman Supply Portland

PHONE NO. : 207 761 7733

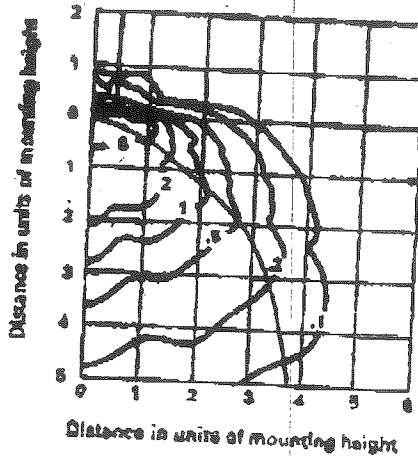
Aug. 19 1998 07:15AM F.

TWP 100, 175M Metal Halide Wall-Paks

Coefficient of Utilization
Initial Footcandle

TWP 175M Test report no. 1164121102

Coefficient of utilization



175W Metal Halide lamp, horizontal lamp orientation, 12" mounting height, 14,000 rated lumens. Total fixture efficiency: 53%

ELECTRICAL CHARACTERISTICS

Wattage/ballast	Primary voltage	Line current (temp) at operating	Primary dropout voltage	Input watts	Power factor (%)	Regulation Line V = Lamp lumens
100 XMP	120	1.15/1.15	90	120	80+	±5% ±10%
	208	.88/1.08	158			
	240	.58/1.08	180			
	277	.87/1.08	200			
175 CWA Peak-lead Autotransformer	120	1.10/1.08	70	210	80+	±10% ±7%
	208	.84/1.10	118			
	240	.58/1.08	132			
	277	.48/1.08	180			
	480	.71/1.45	284			

Mounting Height Correction Factor
(Multiply this to level by the correction factor)

- 10 ft. = 1.44
- 15 ft. = .84
- 20 ft. = .56
- 25 ft. = .33

Totaled to current IES and NEMA standards under stabilized laboratory conditions. Various operating factors can cause differences between laboratory data and actual field measurements. Dimensions and specifications on this sheet are based on the most current available data and are subject to change without notice.

TWP M1

©1998 Lithonia Lighting, Rev. 3/98
TWP.M1.pmg



1815 EAST WILCOX ST., GRANTSPORVILLE, INDIANA 47508 TELEPHONE 317 842-1837 FAX 317 842-6818
IN CANADA: 1100 BATH AVE., LACOMBE, QUEBEC H3T 2V3, A UNIT OF H.B.L. HOLDINGS

PLANNING BOARD REPORT #38-98

I AND R ASSOCIATES

VICINITY OF 116 RIVERSIDE INDUSTRIAL WAY

I AND R ASSOCIATES, APPLICANT

Submitted to:

Portland Planning Board
Portland, Maine

August 25, 1998

I. INTRODUCTION

A public hearing has been scheduled to consider an addition to the I and R Associates warehouse in the vicinity of 116 Riverside Industrial Parkway. This development is before the Board because under section 14-522 of the site plan ordinance, there have been two building additions proposed within three years that exceed the total floor area of the original building. This development is subject to review under the site plan ordinance.

68 notices were sent to area residents.

II. FINDINGS

Zoning:	I-1 Industrial
Land Area:	1.94 Acres
Floor Area:	9,990 sq. ft (existing)
	4,175 sq. ft. (proposed)
	14,165 sq. ft. - Total Floor Area
Parking Spaces:	16

On August 23, 1994, staff approved a 6,000 sq. ft. office and warehouse. Two years later, an application for a 3,900 sq. ft. addition to the warehouse was approved.

The current proposal includes a 4,175 sq. ft. addition to the warehouse which will bring the total floor area of the building to 14,165 sq. ft. The addition will be built on the northerly side of the existing warehouse a distance of about fifty feet from the I-95 right-of-way.

Site changes are limited primarily to the area directly adjacent to the new addition. These changes include the following:

- * constructing a new addition with a dock
- * regrading adjacent to the addition
- * transplanting landscaping *and adding new*
- * deepening the detention basin
- * adding three parking spaces

The exterior of the addition will have a metal siding similar to the existing building.

III. STAFF REVIEW

This proposal was reviewed for conformance with the review standards of the site plan ordinance.

1. Traffic

The existing driveway onto Riverside Industrial Parkway will be used. Traffic issues have been previously approved.

During the 1994 review of this project, the following condition was imposed for site plan approval:

"That \$5,000 shall be paid to the City as this project's share of the Forest Avenue/Riverside Industrial Parkway traffic light improvement. This payment shall be paid prior to the issuance of a Certificate of Occupancy for the building and will be returned within five (5) years if the traffic signal is not installed."

CITY HAS REQUESTED
TIP MONEY, WANT BE
AVAILABLE UNTIL 12/1/01
2001

The applicant did pay the \$5,000 but the traffic light has not been installed to date.

Sixteen parking spaces are shown on the plan.

2. Bulk, Location, Height of Proposed Structures, Health or Safety Problems

There are no known health or safety problems associated with this proposal. See section #3 below.

3. Bulk, Location, Height of Proposed Structures, Minimized Substantial Diminution in the Value or Utility to Neighboring Structures.

The project is located in an industrial park, and has a building and layout design similar to other nearby uses. The proposed building is one story high.

Property setback distances for the addition : front yard (185 feet); side yards (120 feet and 40 feet); and rear yard (50 feet).

4. Sewers, Storm Drains, Water, Solid Waste Disposal

Sanitary sewer service is from an existing line that connects into a ten-inch sewer in Riverside Industrial Parkway. A waterline in the roadway provides water service.

5/6. Landscaping

Three existing pine trees located within the footprint of the new addition will be transplanted to an area behind the building. The building is setback 50 feet from the Maine Turnpike, but the site regrading extends about 18 feet into that setback which is where the three pine trees will be transplanted. Three new pine trees will be planted along the northerly side of the addition.

A Hess Ash will be added in front of the three parking spaces being added.

Power to the site is underground.

An existing dumpster on the site will now be enclosed by a solid wood fence.

7. Drainage

The plan will utilize an existing detention basin. The detention basin will be enlarged and made deeper to address stormwater volume and water quality concerns.

Currently stormwater flows through the proposed location of the addition. To remedy this, an existing storm drain will be extended under the new building allowing water to flow into the detention basin.

An erosion and sedimentation control plan has been submitted. See Attachment A-2.

The Development Review Coordinators initial comments on the plan are shown on Attachment C. The applicant has subsequently revised the site plan. The Development Review Coordinator indicates that items 1-8 and 11 noted in his original memo have been addressed. He is in the process of reviewing the plan to determine if items 9 and 10 have been incorporated into the plan. See Attachment C-3.

8. Lighting

The applicant will be installing two wall pick fixtures on the addition. One is new while the second is being revised from another part of the building

The applicant will be submitting catalogue cuts of the lighting for the public hearing.

9. Infrastructure

The proposed development is designed so as to be consistent with off-premises infrastructure, existing or planned by the City.

10. Environmental

This site was developed and occupied by the applicant for almost four years with no known adverse impact relating to health or safety issues. The proposed use (a warehouse) is similar to the current use.

11. Groundwater Resources

The development is served by public water and sewer. There are no known adverse impacts on groundwater resources.

III. MOTIONS FOR THE BOARD TO CONSIDER

On the bases of plans and materials submitted by the applicant and on the basis of information contained in Planning Report #38-98 the Planning Board finds:

1. That the plan is in conformance with the standards of the Site Plan Ordinance.

Potential Conditions of Approval:

*ALL COMMENTS
HAVE BEEN
ADDRESS*

- i. That the plan be revised reflecting the comments of the Development Review Coordinator.
- ii. That information on the exterior lighting be submitted for staff review and approval.

7-0

Attachments:

- A. Site Plan
- B. Background Information
- C. Development Review Coordinator Comments

EROSION AND SEDIMENTATION CONTROL PLAN

A. PRE-CONSTRUCTION PHASE

BARBERS/PILTER FABRIC TENSING SHALL BE STAGED ACROSS THE PROPERTY LINE OR WATERCOURSE TO PROTECT AGAINST CONSTRUCTION OPERATIONS AND FOR JUST ABOVE ANY ADJACENT PROPERTY LINE OR WATERCOURSE TO PROTECT AGAINST CONSTRUCTION OPERATIONS. THE BARBERS/PILTER FABRIC SHALL BE STAGED IN BEST MANAGEMENT PRACTICES. THIS NETWORK IS TO BE MAINTAINED THROUGHOUT CONSTRUCTION OF THIS PROJECT. ALL EXPOSED SLOPES HAVE AT LEAST 50% TO 100% VEGEATION COVER TO PREVENT EROSION.

THE FOLLOWING EROSION CONTROL MEASURES SHALL BE FOLLOWED BY THE CONTRACTOR(S) THROUGHOUT CONSTRUCTION OF THIS PROJECT:

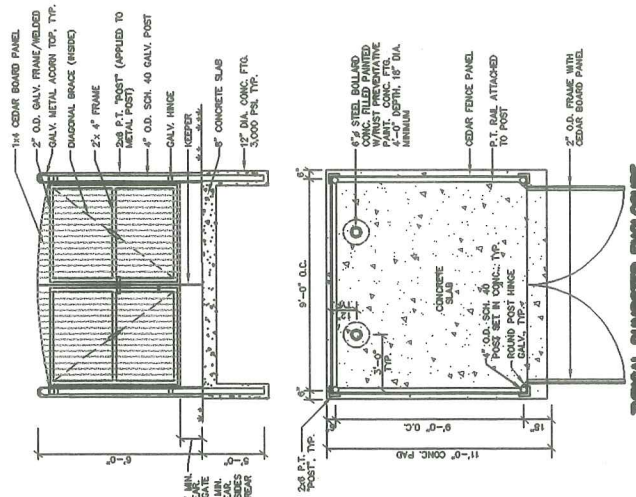
1. THAT THE AMOUNT OF MINERAL SOIL NECESSARY FOR PROGRESSIVE AND EROSION CONTROL SHALL NOT EXCEED 10 CUBIC YARDS (AND/OR FRESH GRAVEL) WITHIN FOURTEEN (14) DAYS OF CONSTRUCTION. TEMPORARY EROSION CONTROL SHALL INCLUDE EROSION CONTROL MATS, SODS, AND MULCH. EROSION CONTROL MATS SHALL BE MAINTAINED AT A RATE OF 100 LBS. PER 1,000 SQUARE FEET AND MULCH AT A RATE OF 100 LBS. PER 1,000 SQUARE FEET AND SODS SHALL BE MAINTAINED AT A RATE OF 100 LBS. PER 1,000 SQUARE FEET. THE MULCH SHALL BE APPLIED WITH A SUITABLE BINDER. PROTECTION SHALL BE MAINTAINED WITH NETTING FOR WIND PROTECTION.
2. ALL TOPSOIL SHALL BE COLLECTED, STOCKPILED AND SEEDED WITH RYE AT 3 LBS./1,000 SQUARE FEET AND MULCHED ON WITHIN 14 DAYS OF COMPLETION OF CONSTRUCTION. MULCH SHALL BE PLACED DOWN GRADIENT FROM STOCKPILED LUM, LOAM OR SAND TO PREVENT EROSION. MULCH SHALL BE RETURNED TO OR AT THE PRE-CONSTRUCTION MEETING.
3. ALL SILT FENCES AND/OR HAY BALE BARRIERS SHALL BE INSTALLED ACCORDING TO THIS PLAN. THESE BARRIERS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. ALL SILT FENCES SHALL BE INSPECTED FROM RAINFALL WATER. ALL SILT FENCES SHALL BE MAINTAINED CLEANED UNTIL ALL AREAS HAVE AT LEAST 50% TO 100% VEGEATION COVER OF GRASSES.
4. ALL AREAS SHALL BE SEEDING IN ACCORDANCE WITH THE FOLLOWING VEGETATION PLAN.

C. VEGETATION PLAN

VEGETATION MEASURES SHALL COMPLY IMMEDIATELY UPON COMPLETION OF CONSTRUCTION. DISTURBED AREAS SHALL BE MULCHED AND AMENDED PRIOR TO ANY STORM EVENT. IF MULCH SEEDING AREAS SHALL BE MAINTAINED AT A RATE OF 100 LBS. PER 1,000 SQUARE FEET AND MULCH AT A RATE OF 100 LBS. PER 1,000 SQUARE FEET. ALL AREAS SHALL BE MAINTAINED WITH A SUITABLE BINDER TO PROVIDE WINDY PROTECTION. HAY MULCH SHALL BE SEEDING WITH A SUITABLE BINDER TO INCLUDE RIB MULCH AND SODS. MULCH SHALL BE APPLIED WITH NETTING AS DIRECTED BY THE OWNER/INSPECTION ENGINEER.

VEGETATION MEASURES SHALL CONSIST OF THE FOLLOWING:

1. FOUR INCHES OF LUM SHALL BE SPREAD OVER DISTURBED AREAS OF SLOPES AND OTHER AREAS. THESE SOIL AMENDMENTS SHALL BE INCORPORATED INTO THE SOIL PRIOR TO FINAL SEEDING.
2. AGRICULTURAL LIMESTONE SHALL BE SPREAD AT THE RATE OF 2 TONS PER 1,000 SQUARE FEET. THESE SOIL AMENDMENTS SHALL BE INCORPORATED INTO THE SOIL PRIOR TO FINAL SEEDING.



TYPICAL HAY-BALE BARRIER
NOT TO SCALE

3. FOLLOWING SED BED PREPARATION, SHALE AREAS, FILL AREAS AND BACK SLOPES SHALL BE SEEDING AT A RATE OF 4 LBS./1,000 SQUARE FEET. A MINIMUM MULCHING SHALL BE APPLIED TO ALL AREAS. MULCH SHALL BE APPLIED AT A RATE OF 100 LBS. PER 1,000 SQUARE FEET. MULCH SHALL BE APPLIED WITH A SUITABLE BINDER. MULCH SHALL BE APPLIED WITH NETTING AS DIRECTED BY THE OWNER/INSPECTION ENGINEER.
4. HAY MULCH SHALL BE APPLIED TO ALL DISTURBED AREAS AT THE RATE OF 100 LBS. PER 1,000 SQUARE FEET. MULCH SHALL BE APPLIED WITH A SUITABLE BINDER. MULCH SHALL BE APPLIED WITH NETTING AS DIRECTED BY THE OWNER/INSPECTION ENGINEER.
5. ALL HAY BALE AND/OR FILTER FABRIC BARRIERS WILL REMAIN IN PLACE UNTIL SEEDINGS HAVE BECOME 80%-100% ESTABLISHED AND THEN REMOVED WITHIN 10 DAYS.

D. CONSTRUCTION SCHEDULE

CONSTRUCTION WILL MOST LIKELY BEGIN IN THE SUMMER OF 1997. THE SCHEDULE IS SUBJECT TO CHANGE AND THE SELECTION OF A SITE CONTRACTOR BASED UPON A SUMMER CONSTRUCTION START, THE FOLLOWING SCHEDULE HAS BEEN PREPARED.

SCHEDULE TIME	ESTIMATED CONSTRUCTION
1. SITE PREPARATION	SEPT. 1, 1998 - MAY 30, 1999
2. EROSION CONTROL	SEPT. 1, 1998
3. SITE CLEANUP AND GRUBBING EXCAVATION AND FILLING (SITE IMPROVEMENTS)	SEPT. 1, 1998 - SEPT. 15, 1998
4. DAMAGE IMPROVEMENTS, BUILDING CONSTRUCTION, UTILITY CONSTRUCTION	SEPT. 15, 1998 - OCT. 9, 1998
5. START FINAL SEEDINGS ON PREPARED AREAS	SEPT. 15, 1998
6. DAILY MONITORING OF GROWTH	SEPT. 20, 1998 - JUNE 30, 1999
7. RE-SEEDING OF AREAS, IF NEEDED	SEPT. 20, 1998 - JUNE 1999
8. MULCH SPREAD FOR CONTROL, IF NEEDED	OCT. 15, 1999
9. REMOVAL OF EROSION CONTROL DEVICES	MAY 1999 - JUNE 1999

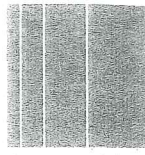
* DATES ARE SUBJECT TO CHANGE AT THE DISCRETION OF THE ENGINEER, DEPENDING ON CONSTRUCTION PROGRESS.

E. INSPECTIONS/MONITORING

MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL PERFORM A VISUAL INSPECTION OF ALL INSTALLED EROSION CONTROL MEASURES AND MAKE REPAIRS AS NECESSARY TO MAINTAIN THE EROSION CONTROL MEASURES. THE CONTRACTOR SHALL INSPECT THE SITE SEMI-ANNUALLY UNTIL THE SEEDINGS HAVE BEEN ESTABLISHED. ESTABLISHED MEANS A MINIMUM OF 80% GROWTH. REPAIRS SHALL BE CHARGED OUT BY THE CONTRACTOR WITH FOLLOW-UP INSPECTIONS IN THE EVENT OF ANY FAILURES UNTIL VEGETATION IS ADEQUATELY ESTABLISHED.

A. SCD	8-14-98	ISSUED FOR CITY REVIEW
REV. BY:	DATE:	STATUS:
PREPARED BY: J. R. GARDNER, P.E. CHECKED BY: J. R. GARDNER, P.E. APPROVED BY: J. R. GARDNER, P.E. APPROVED BY: J. R. GARDNER, P.E.		
EROSION & SEDIMENTATION CONTROL PLAN FOR: J. R. ASSOCIATES 110 RIVERSIDE INDUSTRIAL PARKWAY FARMINGTON, CT 06030 FOR: J. R. ASSOCIATES 110 RIVERSIDE INDUSTRIAL PARKWAY FARMINGTON, CT 06030		
DESIGN BY:	SCD	
DRAWN BY:	J.R.G.	
CHECKED BY:	J.R.G.	
DATE:	8-14-98	
SCALE:		
FILE NO.:	44003	
PROJECT NO.:	110 RIVERSIDE INDUSTRIAL PARKWAY	
DATE:	8-14-98	





ATTACHMENT B

Sebago Technics
Engineering & Planning for the Future

July 16, 1998
94063

Mr. Rick Knowland, Senior Planner
Planning & Urban Development
City of Portland
389 Congress Street
Portland, Maine 04101

Major Site Plan Application
I&R Associates, Riverside Industrial Parkway

Dear Rick:

On behalf of I&R Associates I am pleased to submit seven (7) copies of the attached site plan and supportive documents for a 4,175 s.f. warehouse expansion to their existing facility on Riverside Street in Portland. My understanding is that this project will require major site plan review due to the accumulative nature of the expansions which increased the overall building size beyond 10,000 s.f.

The first development of this property was by I&R in October 1994 when they constructed a 6,000 s.f. office and warehouse building with a loading dock, 13 parking spaces, and a stormwater detention basin. In spring of 1996 I&R added 3,990 s.f. of warehouse space at the rear of their existing building. The stormwater system was modified to accommodate the new improvements.

This new proposal is to construct a 4,175 s.f. expansion to the north of the 1996 addition. A loading bay will be installed in the new structure and two parking spaces will be added to the existing lot. Additional improvements will be made to the detention basin to increase its volume to accommodate this additional building square footage.

Attached for your review and consideration are seven (7) copies of the site plan showing the various phases of construction of this site. We are currently preparing stormwater calculations and building elevations and will be forwarding these to you shortly. We anticipate the existing detention basin increasing in size to the west. Once you have determined this package is complete, we request placement on the earliest available Planning Board agenda. In the interim if you have questions or require additional information, please call me.

Sincerely,

SEBAGO TECHNICS, INC.

Stephen G. Doe, R.L.A.
Landscape Architect

SGD:dlf

cc: Gary Manley, Manley Associates, Inc.



DeLUCA-HOFFMAN ASSOCIATES, INC.
CONSULTING ENGINEERS

779 MAIN STREET
SUITE 8
SOUTH PORTLAND, MAINE 04106
TEL. 207 775-1121
FAX 207 879-0896

- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- TRAFFIC STUDIES AND MANAGEMENT
- PERMITTING
- AIRPORT ENGINEERING
- SITE PLANNING
- CONSTRUCTION ADMINISTRATION

MEMORANDUM

TO: Kandi Talbot, Planner

FROM: Jim Wendel, P.E., Development Review Coordinator

DATE: August 4, 1998

RE: Site Plan Review
I & R Associates
Riverside Industrial Parkway

Review of the site plan and the site has been completed. My comments are:

I. Stormwater and Erosion Control Management

1. To demonstrate that the post peak flow is less than the pre peak flow condition the analysis sums the peak flows from each watershed. This is incorrect. The technical standard requires that the post peak flow for each watershed must be less than or equal to the pre peak flow condition; as currently presented this standard has not been met.
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3. The CN value for areas 1 and 2, pre 1994, are incorrect; the value for herbaceous growth, fair condition is 89. Also the existing pavement of Riverside Industrial Parkway has been excluded from area 2; adding this area appears to raise the weighted CN value to 90.
4. The original topography for the parcel prior to 1994 should be provided. How much of this site was wooded?
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6. Reach 1 in the present and developed condition is a "dummy" reach and should not have a length.
7. In the developed condition the length of the outlet pipe for pond 11 should be 140' not 95'.

DeLUCA HOFFMAN ASSOCIATES, INC.
CONSULTING ENGINEERS

8. The existing roof has a ridge that splits the width of the building. Please provide a plan of the proposed building expansion that shows the new location of the ridge line for watershed 11. This watershed would not have the identical output for the present and post conditions. There should also be a shallow concentrated flow component for the T_c calculation.
9. The discussion for erosion control measures is very vague. Please provide the detail sheet that outlines the erosion control requirements.
10. In an effort to promote water quality, recommend that the bottom of the detention basin be lowered by 2' to create a permanent pond.
11. The present condition provides for runoff to flow to the north from the turnpike side of the lot. Recommend a swale be provided to allow this runoff to flow as the present condition. The grading around the addition will block this flow and may create a flooding problem to the south.

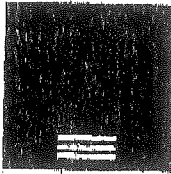
Should you have any questions please call.

DeLUCA HOFFMAN ASSOCIATES, INC.
CONSULTING ENGINEERS

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Should you have any questions please call.

C-3



DeLUCA-HOFFMAN ASSOCIATES, INC.
CONSULTING ENGINEERS

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- SITE PLANNING
- CONSTRUCTION ADMINISTRATION

MEMORANDUM

TO: Rick Knowland, Planner

FROM: Jim Wendel, P.E., Development Review Coordinator

DATE: August 20, 1998

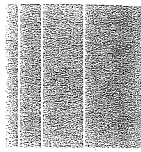
RE: Site Plan Review
I & R Associates
Riverside Industrial Parkway

Review of the revised stormwater management analysis has been completed.

Items 1-8, 11 noted in my previous correspondence dated August 4, 1998 have been satisfactorily revised. However, the submission package received did not include a revised site plan; therefore review of responses for items 9 and 10 of the referenced correspondence was not possible.

Should you have any questions please call.

JN1359.10/1350.10disk5/I&R



Sebago Technics
Engineering & Planning for the Future

July 16, 1998
94063

Mr. Rick Knowland, Senior Planner
Planning & Urban Development
City of Portland
389 Congress Street
Portland, Maine 04101

Major Site Plan Application
I&R Associates, Riverside Industrial Parkway

Dear Rick:

On behalf of I&R Associates I am pleased to submit seven (7) copies of the attached site plan and supportive documents for a 4,175 s.f. warehouse expansion to their existing facility on Riverside Street in Portland. My understanding is that this project will require major site plan review due to the accumulative nature of the expansions which increased the overall building size beyond 10,000 s.f.

The first development of this property was by I&R in October 1994 when they constructed a 6,000 s.f. office and warehouse building with a loading dock, 13 parking spaces, and a stormwater detention basin. In spring of 1996 I&R added 3,990 s.f. of warehouse space at the rear of their existing building. The stormwater system was modified to accommodate the new improvements.

This new proposal is to construct a 4,175 s.f. expansion to the north of the 1996 addition. A loading bay will be installed in the new structure and two parking spaces will be added to the existing lot. Additional improvements will be made to the detention basin to increase its volume to accommodate this additional building square footage.

Attached for your review and consideration are seven (7) copies of the site plan showing the various phases of construction of this site. We are currently preparing stormwater calculations and building elevations and will be forwarding these to you shortly. We anticipate the existing detention basin increasing in size to the west. Once you have determined this package is complete, we request placement on the earliest available Planning Board agenda. In the interim if you have questions or require additional information, please call me.

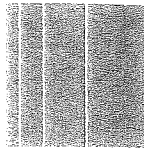
Sincerely,

SEBAGO TECHNICS, INC.

Stephen G. Doe, R.L.A.
Landscape Architect

SGD:dlf

cc: Gary Manley, Manley Associates, Inc.



SebagoTechnics
Engineering & Planning for the Future

July 16, 1998
94063

Mr. Rick Knowland, Senior Planner
Planning & Urban Development
City of Portland
389 Congress Street
Portland, Maine 04101

Major Site Plan Application
I&R Associates, Riverside Industrial Parkway

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Sincerely,

SEBAGO TECHNICS, INC.

Stephen G. Doe, R.L.A.
Landscape Architect

SGD:dlf

cc: Gary Manley, Manley Associates, Inc.

CITY OF PORTLAND, MAINE
PLANNING BOARD

John H. Carroll, Chair
Jaimey Caron, Vice Chair
Kenneth M. Cole III
Cyrus Y. Hagge
Deborah Krichels
Erin Rodriguez
Mark Malone

August 28, 1998

Mr. Stephen Doe
Sebago Technics
12 Westbrook Common
P O Box 1339
Westbrook ME 04098

re: I & R Associates Building Addition, Vicinity of 116 Riverside Industrial Parkway

Dear Mr. Doe:

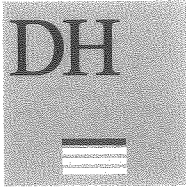
On August 25, 1998, the Portland Planning Board voted 7-0 to approve the site plan for a 4,175 sq. ft. addition to the I and R Associates building in the vicinity of 116 Riverside Industrial Parkway. The approval was granted for the project with the following condition:

- i. That exterior lighting be submitted for planning staff review and approval.

The approval is based on the submitted site plan and the findings related to site plan review standards as contained in Planning Board Report #38-98, which is attached.

Please note the following provisions and requirements for all site plan approvals:

1. A performance guarantee covering the site improvements as well as an inspection fee payment of 1.7% of the guarantee amount and 7 final sets of plans must be submitted to and approved by the Planning Division and Public Works prior to the release of the building permit. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.
2. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
3. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
4. Prior to construction, a preconstruction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the preconstruction meeting.



DeLUCA-HOFFMAN ASSOCIATES, INC.
CONSULTING ENGINEERS

778 MAIN STREET
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SOUTH PORTLAND, MAINE 04106
TEL. 207 775 1121
FAX 207 879 0896

- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- TRAFFIC STUDIES AND MANAGEMENT
- PERMITTING
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MEMORANDUM

TO: Rick Knowland, Planner

FROM: Jim Wendel, P.E., Development Review Coordinator

DATE: August 25, 1998

RE: Site Plan Review
I & R Associates
Riverside Industrial Parkway

Review of the revised site plan has been completed.

Items 9, 10 in my previous correspondence dated August 4, 1998 have been satisfactorily revised. There are no further comments.

Should you have any questions please call.

JN1358.10/1350.10disk5/I&R1

CITY OF PORTLAND, MAINE
MEMORANDUM

TO: Chair Carroll and Members of the Portland Planning Board

FROM: Richard Knowland, Senior Planner

DATE: August 11, 1998

SUBJECT: I & R Associates, Vicinity of 220 Riverside Industrial Parkway

I & R Associates requests workshop review for a 4,175 sq. ft. addition to their warehouse in the vicinity of 220 Riverside Industrial Parkway. This development is before the board because under Section 14-522 of the site plan ordinance, there have been two building additions proposed within three years that exceed the total floor area of the original building.

In 1994 staff approved a 6,000 sq. ft. office and warehouse. Two years later, an application for a 3,990 sq. ft. addition to the warehouse was approved.

The current proposal includes a 4,175 sq. ft. addition to the warehouse which will bring the total floor area of the building to 14,165 sq. ft. The addition will be built on northerly side of the existing warehouse a distance of about 50 feet from the I-95 right-of-way.

Site changes are limited to the area directly adjacent to the new addition. These changes include the following:

- construction of the new addition with a dock
- regrading adjacent to the addition
- transplanting of landscaping
- deepen the detention basin
- two parking spaces added

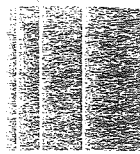
Comments from the Development Review Coordinator are shown on Attachment C.

The exterior of the addition will have a metal siding similar to the existing building.

Zoning for the site is I-1 industrial. Lot size is 1.94 acres. Fifteen park spaces are proposed which meets the parking requirements of the zoning ordinance.

Attachments:

- A. Site Plan
- B. Background Information
- C. Development Review Coordinator Comments



ATTACHMENT B

Sebago Technics

Engineering & Planning for the Future

July 16, 1998
94063

Mr. Rick Knowland, Senior Planner
Planning & Urban Development
City of Portland
389 Congress Street
Portland, Maine 04101

Major Site Plan Application
I&R Associates, Riverside Industrial Parkway

Dear Rick:

On behalf of I&R Associates I am pleased to submit seven (7) copies of the attached site plan and supportive documents for a 4,175 s.f. warehouse expansion to their existing facility on Riverside Street in Portland. My understanding is that this project will require major site plan review due to the accumulative nature of the expansions which increased the overall building size beyond 10,000 s.f.

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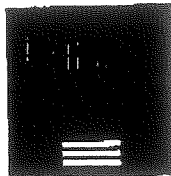
Sincerely,

SEBAGO TECHNICS, INC.

Stephen G. Doe, R.L.A.
Landscape Architect

SGD:dlf

cc: Gary Manley, Manley Associates, Inc.



DeLUCA-HOFFMAN ASSOCIATES, INC.
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MEMORANDUM

TO: Kandi Talbot, Planner

FROM: Jim Wendel, P.E., Development Review Coordinator

DATE: August 4, 1998

RE: Site Plan Review
I & R Associates
Riverside Industrial Parkway

Review of the site plan and the site has been completed. My comments are:

I. Stormwater and Erosion Control Management

1. To demonstrate that the post peak flow is less than the pre peak flow condition the analysis sums the peak flows from each watershed. This is incorrect. The technical standard requires that the post peak flow for each watershed must be less than or equal to the pre peak flow condition; as currently presented this standard has not been met.
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7. In the developed condition the length of the outlet pipe for pond 11 should be 140' not 95'.

**DeLUCA HOFFMAN ASSOCIATES, INC.
CONSULTING ENGINEERS**

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11. The present condition provides for runoff to flow to the north from the turnpike side of the lot. Recommend a swale be provided to allow this runoff to flow as the present condition. The grading around the addition will block this flow and may create a flooding problem to the south.

Should you have any questions please call.

City of Portland, Maine Planning Department

City Hall
389 Congress Street, 4th Floor
Portland, Maine 04101
Fax Number: 756-8258

FAX TRANSMISSION COVER SHEET

TO: STEVG DOG

COMPANY: _____

FAX #: 856-2206

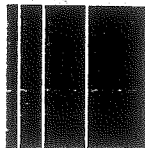
FROM: R. KNOWLAND

OF PAGES: 2 3

DATE: 8-11-98

RE: STEVG - EXCERPT OF JSAFF MEMO.

If you do not receive all of the pages, please call 874-8721 or 874-8719.



ATTACHMENT C

Sebago Technics
Engineering & Planning for the Future

July 31, 1998
97380

Richard Knowland, Senior Planner
Planning Department
City of Portland
389 Congress Street
Portland, ME 04103

Allen Avenue Condominiums

Dear Rick:

Please find attached a rendered sketch plan and seven copies for the above referenced project. These plans are submitted for staff review and comment in anticipation of the workshop scheduled for August 11, 1998 at 3:30 P.M.

The proposal envisions 12 buildings (housing 58 condominiums) clustered at the southerly portion of the site. Other site improvements include a tennis court and sidewalk/path system connecting interior units with the public sidewalk along Allen Avenue. The layout of buildings and improvements is designed to minimize on-site wetlands impact. The remainder of property will remain undeveloped and available as open space. No road connections other than to Allen Avenue are anticipated.

There are two building types shown: 4-unit and 5-unit. The 4-unit building consists of two-story townhouses with internal garages. The outside dimension of the 4-unit building along the long axis is 104 feet. The 5-unit building is similar to the 4-unit; however, the central (5th) unit does not have a garage, and three surface parking spaces are provided. The 5-unit measures 130 feet along the long axis.

All buildings will be fully sprinklered, wood-frame construction with a 4'± crawl space/storage area accessed by an exterior bulkhead. The minimum distance between buildings of 16' will be maintained.

We anticipate more than one stormwater treatment pond on the site and two schematic areas are identified. The site will be serviced by municipal utilities and we are proposing underground services.

**CITY OF PORTLAND, MAINE
MEMORANDUM**

TO: Chair Carroll and Members of the Portland Planning Board

FROM: Richard Knowland, Senior Planner

DATE: August 11, 1998

SUBJECT: I & R Associates, Vicinity of 220 Riverside Industrial Parkway

I & R Associates requests workshop review for a 4,175 sq. ft. addition to their warehouse in the vicinity of 220 Riverside Industrial Parkway. This development is before the board because under Section 14-522 of the site plan ordinance, there have been two building additions proposed within three years that exceed the total floor area of the original building.

In 1994 staff approved a 6,000 sq. ft. office and warehouse. Two years later, an application for a 3,990 sq. ft. addition to the warehouse was approved.

The current proposal includes a 4,175 sq. ft. addition to the warehouse which will bring the total floor area of the building to 14,165 sq. ft. The addition will be built on northerly side of the existing warehouse a distance of about 50 feet from the I-95 right-of-way.

Site changes are limited to the area directly adjacent to the new addition. These changes include the following:

- construction of the new addition with a dock
- regrading adjacent to the addition
- transplanting of landscaping
- deepen the detention basin
- two parking spaces added

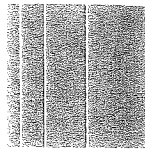
Comments from the Development Review Coordinator are shown on Attachment C.

The exterior of the addition will have a metal siding similar to the existing building.

Zoning for the site is I-1 industrial. Lot size is 1.94 acres. Fifteen park spaces are proposed which meets the parking requirements of the zoning ordinance.

Attachments:

- A. Site Plan
- B. Background Information
- C. Development Review Coordinator Comments



SebagoTechnics
Engineering & Planning for the Future

July 16, 1998
94063

Mr. Rick Knowland, Senior Planner
Planning & Urban Development
City of Portland
389 Congress Street
Portland, Maine 04101

Major Site Plan Application
I&R Associates, Riverside Industrial Parkway

Dear Rick:

On behalf of I&R Associates I am pleased to submit seven (7) copies of the attached site plan and supportive documents for a 4,175 s.f. warehouse expansion to their existing facility on Riverside Street in Portland. My understanding is that this project will require major site plan review due to the accumulative nature of the expansions which increased the overall building size beyond 10,000 s.f.

The first development of this property was by I&R in October 1994 when they constructed a 6,000 s.f. office and warehouse building with a loading dock, 13 parking spaces, and a stormwater detention basin. In spring of 1996 I&R added 3,990 s.f. of warehouse space at the rear of their existing building. The stormwater system was modified to accommodate the new improvements.

This new proposal is to construct a 4,175 s.f. expansion to the north of the 1996 addition. A loading bay will be installed in the new structure and two parking spaces will be added to the existing lot. Additional improvements will be made to the detention basin to increase its volume to accommodate this additional building square footage.

Attached for your review and consideration are seven (7) copies of the site plan showing the various phases of construction of this site. We are currently preparing stormwater calculations and building elevations and will be forwarding these to you shortly. We anticipate the existing detention basin increasing in size to the west. Once you have determined this package is complete, we request placement on the earliest available Planning Board agenda. In the interim if you have questions or require additional information, please call me.

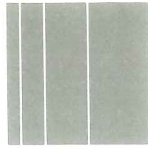
Sincerely,

SEBAGO TECHNICS, INC.

Stephen G. Doe, R.L.A.
Landscape Architect

SGD:dlf

cc: Gary Manley, Manley Associates, Inc.



Sebago Technics
Engineering & Planning for the Future

July 16, 1998
94063

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City of Portland
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I&R Associates, Riverside Industrial Parkway

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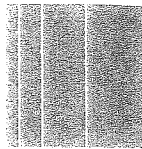
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Sebago Technics
Engineering & Planning for the Future

July 16, 1998
94063

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Planning & Urban Development
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389 Congress Street
Portland, Maine 04101

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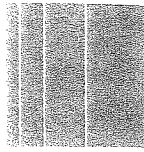
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Stephen G. Doe, R.L.A.
Landscape Architect

SGD:dlf

cc: Gary Manley, Manley Associates, Inc.



SebagoTechnics
Engineering & Planning for the Future

July 16, 1998
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City of Portland
389 Congress Street
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Stephen G. Doe, R.L.A.
Landscape Architect

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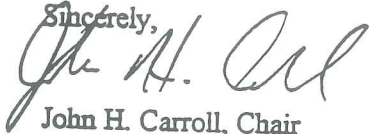
cc: Gary Manley, Manley Associates, Inc.

5. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator (874-8300 ext. 8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact the Planning Staff.

Sincerely,



John H. Carroll, Chair
Portland Planning Board

cc: Joseph E. Gray, Jr., Director of Planning and Urban Development
Alexander Jaegerman, Chief Planner
✓ Rick Knowland, Senior Planner
P. Samuel Hoffses, Building Inspector
Marge Schmuckal, Zoning Administrator
Tony Lombardo, Project Engineer
Development Review Coordinator
William Bray, Director of Public Works
Jeff Tarling, City Arborist
Penny Littell, Associate Corporation Counsel
Lt. Gaylen McDougall, Fire Prevention
Mary Gresik, Building Permit Secretary
Kathleen Brown, Director of Economic Development
Susan Doughty, Assessor's Office
Approval Letter File
Gary Manley, Manley Assoc, Inc., P O Box 1210; Gray ME 04039

City of Portland, Maine Planning Department

City Hall
389 Congress Street, 4th Floor
Portland, Maine 04101
Fax Number: 756-8258

FAX TRANSMISSION COVER SHEET

TO: GARY MANLEY

COMPANY: _____

FAX #: 657-6007

FROM: R. KNOWLAND

OF PAGES: 1

DATE: 12-1-98

RE: GARY - I ASSUME YOU RECEIVED MY

FAX FROM YESTERDAY CONFIRMING THE SITE IMPROVEMENT
ESTIMATE. THE ENGINEERING REVIEW FEE IS \$510.
THE SITE INSPECTION FEE IS \$300. WE WILL NEED
A CHECK FOR TAX AMOUNT AND THE PERFORMANCE
GUARANTEE BEFORE I CAN SIGN-OFF ON THE PROJECT

RIC

If you do not receive all of the pages, please call 874-8721 or 874-8719.



DELUCA-HOFFMAN ASSOCIATES, INC.
CONSULTING ENGINEERS

778 MAIN STREET
SUITE 8
SOUTH PORTLAND, MAINE 04106
TEL. 207 725 1121
FAX 207 879 0896

- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- TRAFFIC STUDIES AND MANAGEMENT
- PERMITTING
- AIRPORT ENGINEERING
- SITE PLANNING
- CONSTRUCTION ADMINISTRATION

MEMORANDUM

TO: Rick Knowland, Planner

FROM: Jim Wendel, P.E., Development Review Coordinator

DATE: August 20, 1998

RE: Site Plan Review
I & R Associates
Riverside Industrial Parkway

Review of the revised stormwater management analysis has been completed.

Items 1-8, 11 noted in my previous correspondence dated August 4, 1998 have been satisfactorily revised. However, the submission package received did not include a revised site plan; therefore review of responses for items 9 and 10 of the referenced correspondence was not possible.

Should you have any questions please call.

JN1359.10/1350.10disk5/L&R

City of Portland, Maine Planning Department

City Hall
389 Congress Street, 4th Floor
Portland, Maine 04101
Fax Number: 756-8258

FAX TRANSMISSION COVER SHEET

TO:		
COMPANY:		+ NCGV
FAX #:		
FROM:		57
# OF PAGES:		3130
DATE:		- TOTAL ESTIMATE N OK.
RE:		~ PROCEED WITH A PERFORMANCE
		I WILL FORWARD THE ENGINEERING
		REVIEW F66 - NO INSPECTION F66 TO YOU ASAP.
		RK

Post-it® Fax Note	7671
To	JIM WINDOL
Co./Dept.	DeLuna Hoffman
Phone #	879-0896
Fax #	
Date	11-19-94
From	R. K. Newbans
Co.	2
Phone #	
Fax #	

FOR YOUR REVIEW

If you do not receive all of the pages, please call 874-8721 or 874-8719.

MANLEY ASSOCIATES, INC.
BUILDERS AND GENERAL CONTRACTORS
PO BOX 1210
GRAY, ME 04039
207-657-6005

 KeyBank
KeyBank National Association
SCARBOROUGH, MAINE
52-607112

7726

PAY TO THE
ORDER OF
City of Portland

Eight Hundred Ten and 00/100*****
City of Portland
389 Congress St.
Portland, ME 04101

12/2/98

\$ **810.00

DOLLARS

MEMO: I & R Building

Ray E. McBe

⑈007726⑈ ⑆011200608⑆ 40201165 ⑆⑈

SECURITY FEATURES: MICRO PRINT TOP & BOTTOM BORDERS COLORED PATTERN - ARTIFICIAL WATERMARK ON REVERSE SIDE - MISSING FEATURE INDICATES A COPY

MANLEY ASSOCIATES, INC.

City of Portland

7726

Building Permit-Inspection fee & Engineering Review

12/2/98

810.00

Checking

I & R Building

810.00

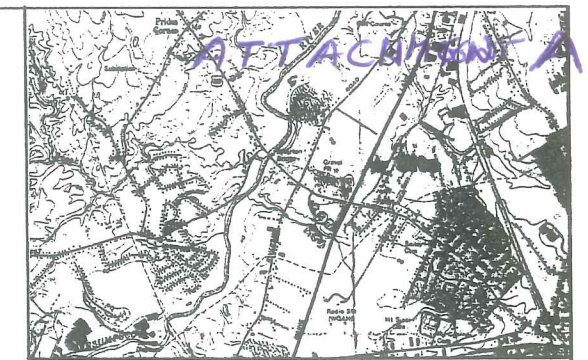
RECEIVED 12/3/98

N/F MAINE TURNPIKE AUTHORITY

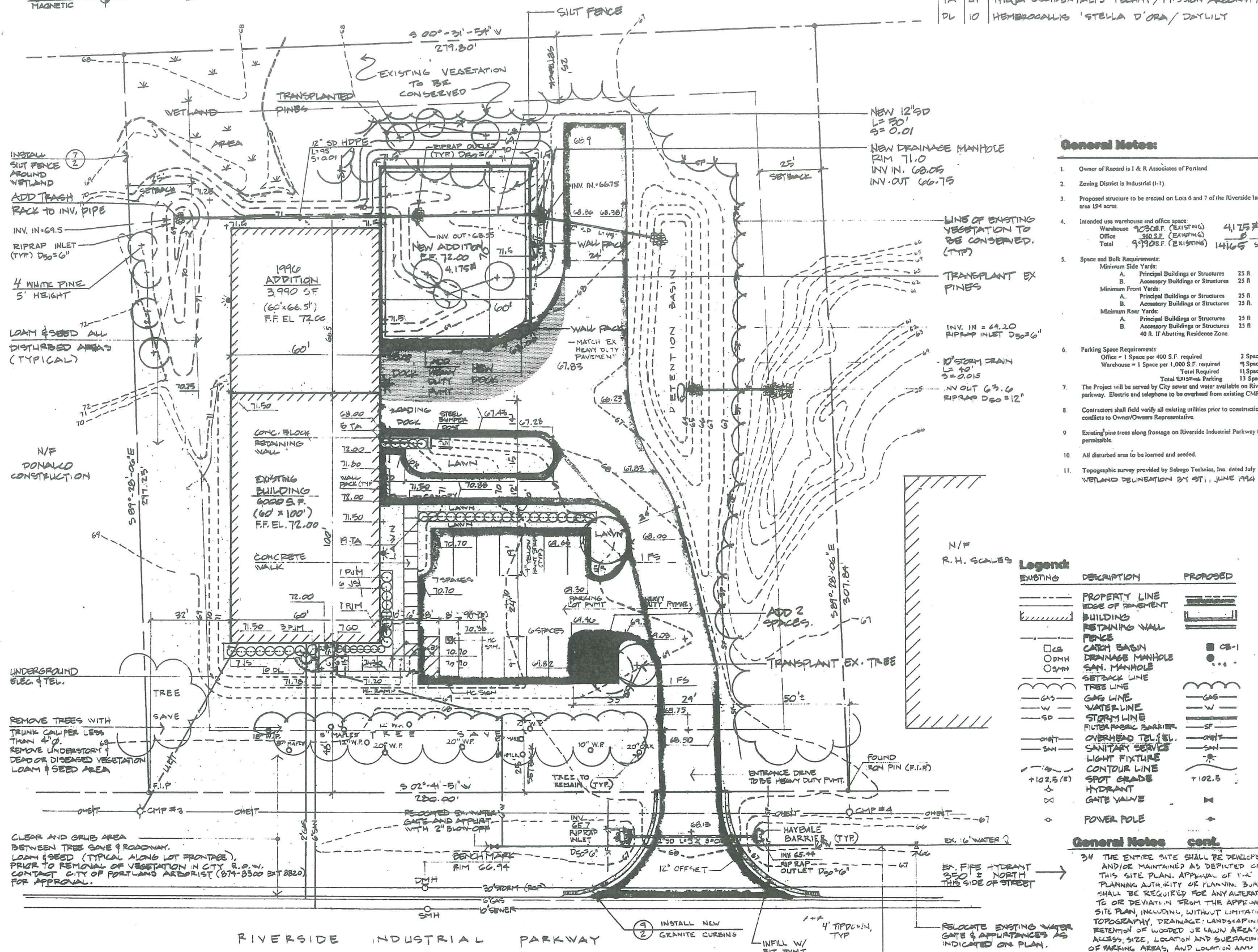


Plant List

PLANT	QUANTITY	BOTANICAL / COMMON NAME	SIZE
R	1	FRAXINUS EXCUBITAE 'HESSEI' / HESSE EUROPEAN ASH	2 1/2" x 3"
RUM	5	RHOODODENDRON 'RUM' / RUM RHODODENDRON	24" x 30"
JS	13	JUNIPERUS CHINENSIS 'SEA GREEN' / SEA GREEN JUNIPER	24" x 30"
GD	7	POTENTILLA FRUTICOSA 'GOLDFINGER' / GOLDFINGER POTENTILLA	24" x 30"
TA	24	THALIA OCCIDENTALIS 'TECHNY' / MISSION ARBOVITAE	3/4"
DL	10	HEMEROCALLIS 'STELLA D'ORA' / DAYLILY	No. 2



Location Map



General Notes

- Owner of Record is I & R Associates of Portland
- Zoning District is Industrial (I-1)
- Proposed structure to be erected on Lots 6 and 7 of the Riverside Industrial Park. Total area 1.54 acres.
- Intended use warehouse and office space:
Warehouse 90,500 S.F. (EXISTING) 4,125 S.F. (PROPOSED)
Office 300 S.F. (EXISTING) 8 S.F. (PROPOSED)
Total 90,800 S.F. (EXISTING) 4,133 S.F. (PROPOSED)
- Space and Bulk Requirements:
Minimum Side Yards:
A. Principal Buildings or Structures 25 ft.
B. Accessory Buildings or Structures 25 ft.
Minimum Front Yards:
A. Principal Buildings or Structures 25 ft.
B. Accessory Buildings or Structures 25 ft.
Minimum Rear Yards:
A. Principal Buildings or Structures 25 ft.
B. Accessory Buildings or Structures 25 ft.
40 ft. if Abutting Residence Zone.
- Parking Space Requirements:
Office = 1 Space per 400 S.F. required 2 Spaces
Warehouse = 1 Space per 1,000 S.F. required 9 Spaces
Total Required 11 Spaces
Total Existing Parking 13 Spaces
15 TOTAL
- The Project will be served by City sewer and water available on Riverside Industrial Parkway. Electric and telephone to be overhead from existing CMP power poles.
- Contractors shall field verify all existing utilities prior to construction and report any conflicts to Owner/Owner's Representative.
- Existing pine trees along frontage on Riverside Industrial Parkway to be retained where practicable.
- All disturbed areas to be loamed and seeded.
- Topographic survey provided by Sebago Technics, Inc. dated July 1994.
- WETLAND DELINEATION BY SPT-1, JUNE 1994.
- Plan Reference: Plan of Property in Portland, Maine by H.I. & E.C. Jordan - surveyors.
- This surveyor and Sebago Technics, Inc. make no certification to the validity of the boundaries shown hereon. They are as indicated on the referenced plan.
- Utility services to be placed such that existing trees remain undisturbed along Riverside Industrial Parkway.
- Proposed gas service to building to be coordinated with Northern Utilities prior to construction.
- Methods and materials used in the construction of the improvements herein shall conform to the current city construction standards and specifications and/or current MDT standards and specifications.
- The contractor or developer is required to notify the City of Portland Parks and Public Works Inspection Services Division in writing three (3) days prior to the beginning of construction (874-8300 ext 8838). Should the improvements be of significant concern or in a sensitive area a pre-construction meeting may be required at the discretion of the Public Works authority.
- Notification shall be given to the Portland Water District prior to construction of water mains. Information should also be obtained from the Water District concerning permit and regulations.
- All new connections, reconnections etc. to sanitary or storm sewers shall require a connection permit prior to beginning any work. The City of Portland Parks and Public Works Department must be notified at least 24 hours prior to commencement to allow for inspection.
- The approval of erosion and sedimentation control measures described in these plans in no way relieves the developer and/or his agent from the responsibilities contained in the Land Use Code.
- A permit must be obtained from the City of Portland Parks and Public Works Department prior to beginning any work within the city right-of-way.
- Prior to burning, blasting or transportation or storage of explosives within the City of Portland, a permit must be obtained from the Fire Prevention Bureau (874-8400).
- An approved set of plans and all authorized permits must be available at the construction site. The developer, or an authorized agent, must be available at all times during construction.
- Warning signs, markers, barricades or flagmen, appropriate for the type of construction, must be employed to regulate traffic.
- Construction debris shall be contained and disposed of in accordance with City of Portland's Solid Waste Ordinance Chapter 12.
- The contractor shall provide adequate means of cleaning mud from trucks and/or other equipment prior to entering public streets. It is the contractor's responsibility to clean streets, alley dirt, and take whatever measures are necessary to insure that the streets are maintained in a clean, mud and dust free condition at all times.
- Contractors shall notify operators who maintain underground utilities in the area of proposed excavation or blasting at least three (3) but not more than thirty (30) days prior to commencement of excavation or demolition. Contractors shall be responsible for compliance with the requirements of 23 M.R.S.A. 3360-A.
- Any damage to public or private property resulting from construction activities shall be repaired by the developer/contractor at their expense.
- The contractor/developer shall be responsible for the preservation of all trees and shrubs within the city right-of-way which have not been specifically designated for removal or modification.
- Property markers and street line monuments shall be properly protected at all times during construction to insure their integrity. If disturbed they shall be replaced by a surveyor registered in the State of Maine at the contractor/developer's expense.
- NO CONSTRUCTION OR EARTHWORK SHALL COMMENCE UNTIL ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHOWN ON THE PLANS ARE INSTALLED.
- THE LIMIT OF WETLANDS SHALL BE DESIGNATED IN THE FIELD BY THE ENGINEER PRIOR TO ANY CONSTRUCTION ACTIVITIES.
- BUILDING HAS 16'-0" EAVE HEIGHT AND 18'-6" ROOF HEIGHT.

Legend

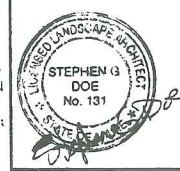
EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY LINE	---
---	EDGE OF PAVEMENT	---
---	BUILDING RETAINING WALL	---
---	FENCE	---
□ CB	CATCH BASIN	□ CB-1
○ DMH	DRAINAGE MANHOLE	○ DMH
○ SMH	SAN. MANHOLE	○ SMH
---	SETBACK LINE	---
---	TREE LINE	---
---	GAS LINE	---
---	WATER LINE	---
---	STORM LINE	---
---	FILTER FABRIC BARRIER	---
---	OVERHEAD TEL. LINE	---
---	SANITARY SERVICE	---
---	LIGHT FIXTURE	---
---	CONTOUR LINE	---
+	SPOT GRADE	+
+	HYDRANT	+
+	GATE VALVE	+
+	POWER POLE	+

General Notes cont.

34. THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THIS SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION: TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION AND SUBDIVISION OF PARKING AREAS, AND LOCATION AND SIZE OF BUILDINGS.

35. EXISTING VEGETATION SHALL BE CONSERVED IN AREAS SHOWN ON THIS SITE. FENCING OR OTHER PROTECTIVE BARRIERS SHALL BE ERECTED OUTSIDE THE DRIPLINE OF INDIVIDUAL GROUPING OF TREES DESIGNATED FOR PRESERVATION PRIOR TO THE ONSET OF CONSTRUCTION. REGRADING SHALL NOT TAKE PLACE WITHIN THE DRIPLINE OF TREES DESIGNATED FOR PRESERVATION. NO STORAGE OR CONSTRUCTION MATERIALS SHALL BE PERMITTED WITHIN THE DRIPLINE OF TREES TO BE PRESERVED.

REV.	BY:	DATE:	STATUS:
5	SGD	7-14-98	AMENDED SITE PLAN SUBMISSION - MAJOR S.P.
4	SGD	7-27-96	REVISED PER CITY COMMENTS
3	SGD	3-20-96	REVISED PER CITY COMMENTS
2	SGD	2-14-96	AMENDED SITE PLAN SUBMISSION TO CITY
1	SGD	8-23-94	REVISED PER CITY COMMENTS



SITE PLAN
OF:
I & R ASSOCIATES
RIVERSIDE INDUSTRIAL PARKWAY
PORTLAND MAINE

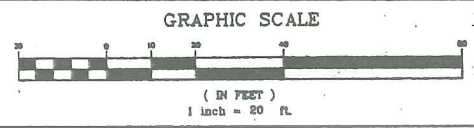
FOR:
I & R ASSOCIATES
220 INDUSTRIAL WAY
PORTLAND MAINE

Sebago Technics
Engineering & Planning for the Future

12 WESTBROOK COMMON
WESTBROOK, ME 04098-1339
TEL (207) 856-0277

DESIGN BY: SGD
DRAWN BY: SGD
CHECKED BY: RID
DATE: 8-3-94
SCALE: 1" = 20'
FIELD BK: 140
PROJ. NO: 94003

SHEET 1 OF 2

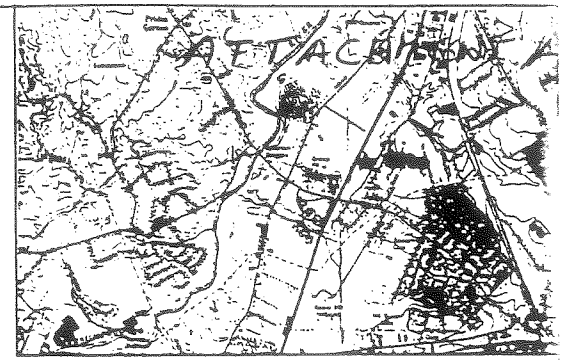




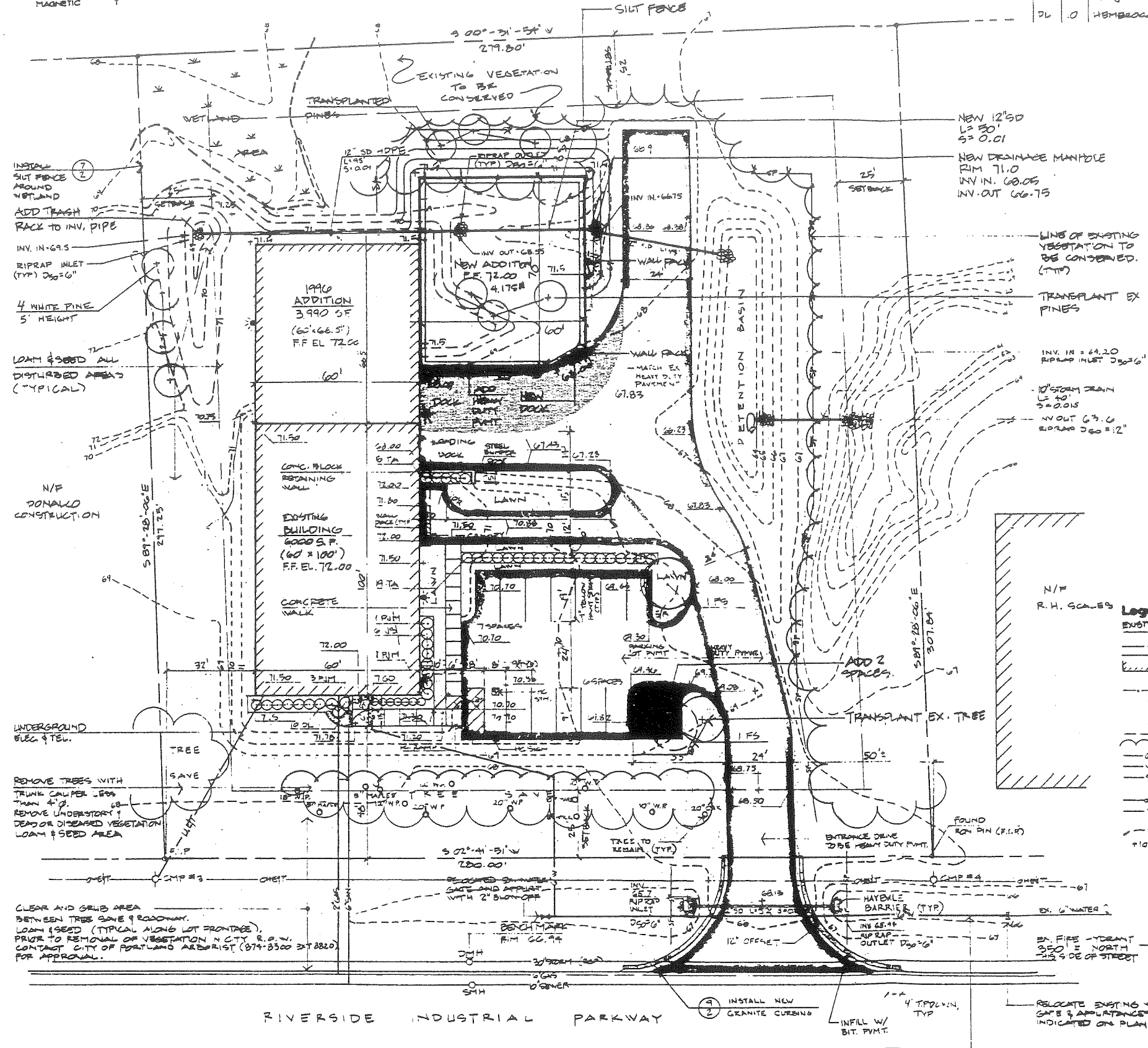
N/F MAINE TURNPIKE AUTHORITY

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- Space and Bulk Requirements:
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Minimum Rear Yard: 25 ft
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- Topographic survey provided by Sebago Technics, Inc. dated July 1991. Wetland delineation by 09/11/91, June 1992.
- All new connections, reconnections etc. to sanitary or storm sewers shall require a connection permit prior to beginning any work. The City of Portland Parks and Public Works Department must be notified at least 24 hours prior to commencement to allow for inspection.
- The approval of erosion and sedimentation control measures described in these plans is no way relieves the developer and/or his agent from the responsibilities contained in the Lead Use Code.
- A permit must be obtained from the City of Portland Parks and Public Works Department prior to beginning any work within the city right-of-way.
- Prior to burning, blasting or transportation or storage of explosives within the City of Portland, a permit must be obtained from the Fire Prevention Bureau (574-6405).
- An approval of all plans and all applicable permits must be available at the construction site. The developer or site authorized agent, must be available at all times during construction.
- Warning signs, markers, barricades or flagmen, appropriate for the type of construction, must be employed to regulate traffic.
- Construction Joints shall be constructed and disposed of in accordance with City of Portland's Solid Waste Ordinance Chapter 12.
- The contractor shall provide adequate means of cleaning mud from trucks and/or other equipment prior to entering public streets. It is the contractor's responsibility to clean streets, lobby dust, and take whatever measures are necessary to insure that the street is maintained in a clean, neat and safe condition at all times.
- Contractors shall notify operators who maintain underground utilities in the area of proposed excavation or blasting at least three (3) but not more than thirty (30) days prior to commencement of excavation or demolition. Contractors shall be responsible for compliance with the requirements of 23 M.R.S.A. 1360-A.
- Any damage to public or private property resulting from construction activities shall be repaired by the developer/contractor at their expense.
- The contractor/developer shall be responsible for the preservation of all trees and shrubs within the city right-of-way which have not been specifically designated for removal or modification.
- Property markers and street line monuments shall be properly protected at all times during construction to insure their integrity. If disturbed they shall be replaced by a surveyor licensed in the State of Maine at the contractor/developer's expense.
- NO CONSTRUCTION OR EXCAVATION SHALL COMMENCE UNTIL ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHOWN ON THE PLANS ARE INSTALLED.
- THE LIMIT OF WETLANDS SHALL BE DESIGNATED IN THE FIELD BY THE ENGINEER PRIOR TO ANY CONSTRUCTION ACTIVITIES.
- BUILDING HAS 6'-0" EAVE HEIGHT AND 18'-6" ROOF HEIGHT

N/F R.H. SCALES

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY LINE	---
---	EDGE OF ZONEMENT	---
---	BUILDING	---
---	RETAINING WALL	---
---	FENCE	---
○ CB	CATCH BASIN	○ CB-1
○ DMH	DRAINAGE MANHOLE	○ DMH
○ SMH	SAN. MANHOLE	○ SMH
---	SETBACK LINE	---
---	TREE LINE	---
---	GAS LINE	---
---	WATER LINE	---
---	STORM LINE	---
---	FLUTE RACK BARRIER	---
---	OVERHEAD TEL. TEL.	---
---	SANITARY SERVICES	---
---	LIGHT FIXTURE	---
---	CONTOUR LINE	---
---	SPOT GRADE	---
---	HYDRANT	---
---	GATE VALVE	---
---	POWER POLE	---

General Notes cont.

34. THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THIS SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OF PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPLICABLE SITE PLAN, INCLUDING, WITHOUT LIMITATION: TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION AND SUBDIVISION OF PARKING AREAS, AND LOT IN ANY SIDE OF BUILDINGS.

35. EXISTING VEGETATION SHALL BE CONSERVED IN AREAS SHOWN ON THIS SITE. FENCING OR OTHER PROTECTIVE BARRIERS SHALL BE ERRECTED OUTSIDE THE DRAINAGE OF INDIVIDUAL GROUPING OF TREES DESIGNATED FOR PRESERVATION PRIOR TO THE ONSET OF CONSTRUCTION. RE GRADING SHALL NOT TAKE PLACE WITHIN THE DRAINAGE OF TREES DESIGNATED FOR PRESERVATION. NO STORAGE OR CONSTRUCTION MATERIALS SHALL BE PERMITTED WITHIN THE DRAINAGE OF TREES TO BE PRESERVED.

REV	BY	DATE	DESCRIPTION
1	SGD	7.14.98	AMENDED SITE PLAN SUBMISSION - MAJOR S.P.
2	SGD	7.27.98	REVISED PER CITY COMMENTS
3	SGD	8.20.98	REVISED PER CITY COMMENTS
4	SGD	11.10.98	AMEND. TO SITE PLAN SUBMISSION TO CITY
5	SGD	8.23.99	REVISED PER CITY COMMENTS

STEPHEN IS DOE No. 131

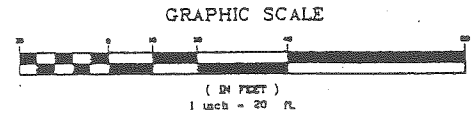
SITE PLAN
OF:
I & R ASSOCIATES
RIVERSIDE INDUSTRIAL PARKWAY
PORTLAND MAINE

FOR:
I & R ASSOCIATES
220 INDUSTRIAL WAY
PORTLAND MAINE

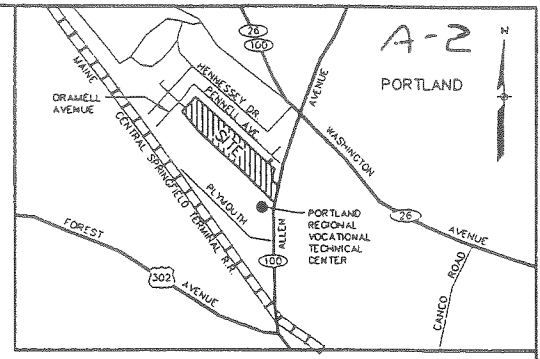
DESIGN BY: SGD
DRAWN BY: SGD
CHECKED BY: BID
DATE: 8.3.99
SCALE: 1" = 20'
FIELD BK: 140
PROJ. NO: 94009

Sebago Technics
Engineering & Planning for the Future
12 WESTBROOK COMMON
WESTBROOK, ME 04098-1339
TEL (207) 558-0277

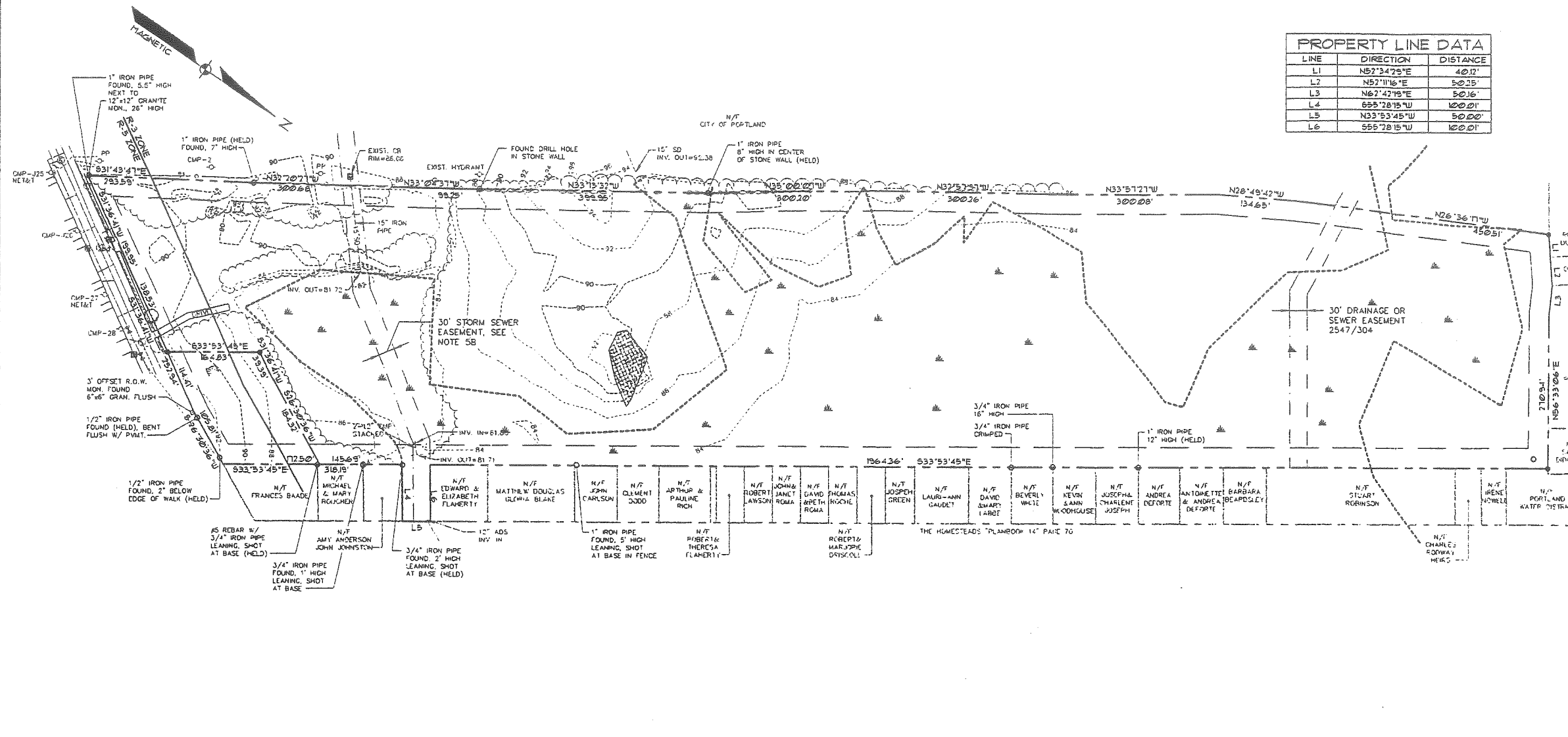
SHEET 1 OF 2



LINE	DIRECTION	DISTANCE
L1	N82°34'29"E	40.12'
L2	N87°11'16"E	50.25'
L3	N67°42'19"E	50.16'
L4	S85°28'15"W	100.01'
L5	N83°53'45"W	50.00'
L6	S55°28'15"W	100.01'

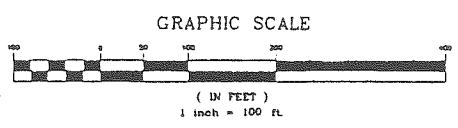


EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	SETBACK	---
---	EASEMENT	---
---	MONUMENT	---
---	IRON PIPE/ROD	---
---	DRILLHOLE	---
---	CURVE/LINE NO.	---
---	BUILDING	---
---	WETLANDS	---
---	EDGE WETLAND SIGN	---
---	ROCK OUTCROP	---
---	EDGE PAVEMENT	---
---	GRAVEL ROAD	---
---	CURBLINE	---
---	TREELINE	---
---	CONTOURS	---
---	GAS	---
---	WATER	---
---	SEWER	---
---	STORM DRAIN	---
---	UNDERGROUND	---
---	ELEC. & TEL.	---
---	GATE VALVE	---
---	LIGHT POLE	---
---	UTILITY POLE	---
---	HYDRANT	---
---	CATCH BASIN	---
---	MANHOLE	---



GENERAL NOTES

- RECORD OWNERS OF THE PROPERTY ARE HENRY R. NORING, JUNE B. DUROST, BARBARA L. WELCH AND ROBERT F. NORING BY A DEED OF DISTRIBUTION BY THE PERSONAL REPRESENTATIVE OF THE ESTATE OF HENRY R. NORING DATED DECEMBER 26, 1990 AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS, PORTLAND, MAINE IN BOOK 9446, PAGE 348.
 - THE PROPERTY IS LOCATED ON THE CITY OF PORTLAND ASSESSOR'S PLAN NO. 343, BLOCK C, SHOWN AS LOTS 14 AND 15, AND ASSESSOR'S PLAN NO. 344, BLOCK D, LOT 5.
 - TOTAL AREA OF THE PROPERTY TO BE CONVEYED TO ALC DEVELOPMENT CORPORATION IS 1141219 SQUARE FEET, OR 26.20 ACRES.
 - PLAN REFERENCES:
 - PLAN OF PROPERTY IN PORTLAND, MAINE MADE FOR CITY OF PORTLAND, PORTLAND REGIONAL VOCATIONAL SCHOOL BY H. I. AND E. C. JORDAN, SURVEYORS, DATED 1913, REVISED THROUGH AUGUST 22, 1915 ON FILE AT THE CITY OF PORTLAND ENGINEER'S OFFICE IN FILE NO. 10667A.
 - PLAN OF LAND OF HENRY NORING, ALLEN AVENUE, PORTLAND, MAINE FOR BRAD GATE ASSOCIATES DATED MAY 11, 1987 BY CIVIL CONSULTANTS ENGINEERS AND PLANNERS, SOUTH BERRICK, MAINE. PLAN IS UNRECORDED AND ON FILE AT CIVIL CONSULTANTS IN JOB FILE 86-279.
 - CITY OF PORTLAND, MAINE, DEPARTMENT OF PUBLIC WORKS, RIGHT-OF-WAY PLAN FOR PORTLAND REGIONAL VOCATIONAL TECHNICAL SCHOOL STORM SEWER BY THE CITY OF PORTLAND ENGINEERING DEPARTMENT DATED AUGUST 6, 1979, AN UNRECORDED PLAN ON FILE AT THE CITY OF PORTLAND ENGINEERING DEPARTMENT IN PLAN FILE NO. 688-9.
 - PORTLAND HIGHLANDS, PORTLAND, CUMBERLAND COUNTY, MAINE OWNED BY MR. LOUD LAND COMPANY, INC. FORMERLY OWNED BY GEORGE F. REED DATED JULY 22, 1924 BY ERNEST W. BRANCH, CIVIL ENGINEER QUINCY, MASSACHUSETTS, RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 16, PAGE 10.
 - THE HOMESTEADS, PORTLAND, MAINE OWNED BY THE CITY AND SUBURBAN LAND TRUST, PROVIDENCE, RHODE ISLAND, SURVEYED BY E. C. JORDAN & COMPANY, CIVIL ENGINEERS, PORTLAND, MAINE DATED SEPTEMBER 1921, RECORDED IN SAID REGISTRY IN PLAN BOOK 14, PAGE 10.
 - SUBJECT TO:
 - AN EASEMENT GRANTED BY HENRY N. AND BLANCHE B. NORING TO C. H. HANSON & CO., INC. AS DESCRIBED IN AN EASEMENT DEED DATED NOVEMBER 29, 1960 AND RECORDED IN SAID REGISTRY IN BOOK 2941, PAGE 304, SAID EASEMENT BEING A 30 FOOT WIDE STRIP OF LAND AS SHOWN HEREON CROSSING THE NORTHEASTERLY END OF THE PARCEL. THE PURPOSE OF SAID EASEMENT IS FOR THE CONSTRUCTION OF SURFACE WATER DRAINS OR SEWERS, TOGETHER WITH THE RIGHT TO ENTER UPON SAID STRIP AT ANY AND ALL TIMES IN ORDER TO CONSTRUCT, MAINTAIN, REPAIR, REBUILD, OR RECONSTRUCT THE SAME.
 - A STORM SEWER EASEMENT 30 FEET IN WIDTH AS SHOWN HEREON CROSSING THE SOUTHERLY END OF THE PARCEL, SAID 30 FOOT WIDE STORM SEWER EASEMENT SHOWN ON THE PLAN REFERENCED IN NOTE 4C. NO RECORD EASEMENT DEED FOR THIS EASEMENT WAS FOUND IN SAID REGISTRY.
 - THIS PLAN AND SURVEY WERE PERFORMED IN CONFORMANCE WITH THE MAINE STATE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS, STANDARDS OF PRACTICE, CATEGORY 1, CONDITION 2 WITH EXCEPTIONS:
 - SURVEYOR'S REPORT BEING LIMITED TO THE NOTES AS SHOWN HEREON.
 - NO DETAILS DRAWN ON MONUMENTATION NOT HELD.
 - NO NEW DEED DESCRIPTION OR MONUMENTATION HAVING BEEN SET TO DATE.
 - BEARINGS SHOWN HEREON ARE MAGNETIC NORTH OF 1986, REFERENCED TO PLAN 4B.
 - ELEVATIONS SHOWN HEREON ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1988 ESTABLISHED BY USING AS-TEC Z-12-GPS DUAL FREQUENCY RECEIVERS.
 - THIS PLAN MAY BE SUBJECT TO REVISION UPON RECEIPT OF A TITLE OPINION.
 - THE PROPERTY IS LOCATED IN THE R-3 AND R-5 ZONES.
- II. SPACE AND BULK REQUIREMENTS FOR THE R-3 ZONE:**
- | | |
|---|---|
| MINIMUM LOT SIZE: | PRU.D. + 3 AC. GROSS AREA OF CONTINUOUS LAND |
| MINIMUM LOT AREA PER DWELLING UNIT: | PRU.D. + 6500 SF. OF NET LAND AREA |
| MINIMUM STREET FRONTAGE: | FIFTY FEET |
| MINIMUM FRONT YARD: | 25 FEET |
| REAR YARD: | 25 FEET |
| SIDE YARD: | 1 STORY + 12 FEET |
| | 1 1/2 STORY + 12 FEET |
| | 2 STORY + 14 FEET |
| | 2 1/2 STORY + 16 FEET |
| | 20% |
| MAXIMUM LOT COVERAGE: | 80 FEET |
| MINIMUM LOT WIDTH: | 35 FEET, PRINCIPLE BUILDING: 18 FEET, ACCESSORY |
| MAXIMUM STRUCTURE HEIGHT: | 6 UNITS (PRU.D.) |
| MAXIMUM NUMBER OF UNITS IN A BUILDING: | 100 FEET (PRU.D.), FOR BUILDINGS WITHOUT GARAGES; |
| MAXIMUM LENGTH OF BUILDING: | 140 FEET (PRU.D.), FOR BUILDINGS WITH INTERNAL GARAGES |
| MINIMUM DISTANCE BETWEEN DETACHED PRU.D. DWELLING UNITS: | 16 FEET |
| MINIMUM BUILDING SETBACK FROM EXTERNAL SUBDIVISION PROPERTY LINES (PRU.D.): | 25 FEET |
| FOR BUILDINGS WITH THREE UNITS OR LESS: | 35 FEET |
| FOR BUILDINGS WITH FOUR OR MORE UNITS: | 300 SF. PER DWELLING OF COMMON AREA |
| MINIMUM RECREATION OPEN SPACE AREA (PRU.D.): | DESIGNATED FOR PASSIVE OR ACTIVE RECREATION PURPOSES. SUCH AREAS SHALL BE AT LEAST 25 FEET FROM DWELLING UNITS. |
- NET LAND AREA:** 2620 AC.
- TOTAL AREA:** 25 AC.
- STORM-WATER RETENTION AREAS: 25 AC.
 - STORM-WATER DETENTION AREAS UNLESS IMPROVED FOR PASSIVE OR ACTIVE RECREATIONAL USE: 0 AC.
 - EXISTING WATERCOURSES: 0 AC.
 - INACCESSIBLE AREAS: 13.10 AC.
 - WETLANDS: 0.15 AC.
 - AREAS ENCUMBERED BY EXISTING EASEMENTS OUTSIDE WETLANDS: 0 AC.
 - SLOPES OF 2% OR GREATER: 238 AC.
 - TWENTY PERCENT OF THE AREA REMAINING AFTER THE DEDUCTION OF THE PREVIOUS: 953 AC.
- NET RESIDENTIAL LAND AREA:** 238 AC.
- USING PRU.D. 253 x 43560 = 41527 SF.
41527/6500 SF. = 63.89 = 63 UNITS PERMITTED
- PARKING REQUIREMENTS:**
7 SPACES PER DWELLING UNIT, PLUS ONE ADDITIONAL SPACE FOR EVERY SIX UNITS OR FRACTION THEREOF.

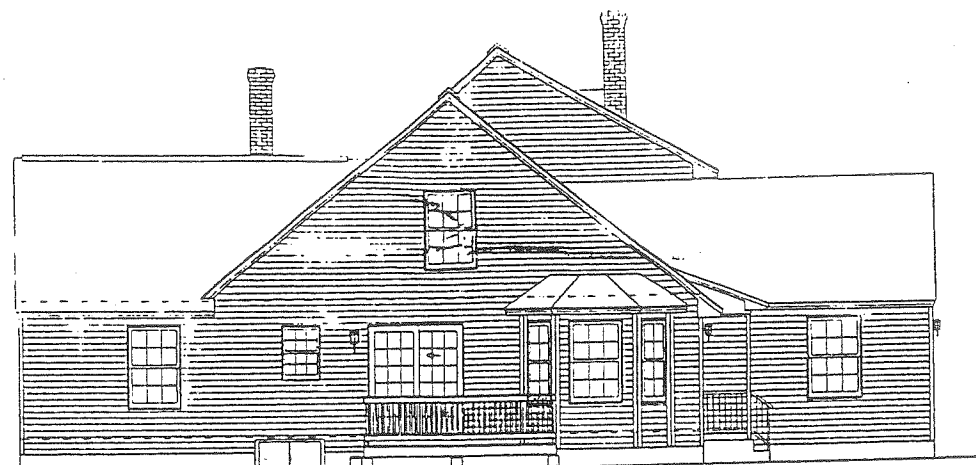


REV.	BY:	DATE:	STATUS:
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.			
EXISTING CONDITIONS PLAN			
OF: ALLEN AVENUE PROPERTY ALLEN AVENUE PORTLAND, MAINE			
FOR: A.L.C. DEVELOPMENT CORP. 258 BLACK POINT ROAD SCARBOROUGH, MAINE 04074			
DESIGN BY:	SWF	CHECKED BY:	DRL
DATE:	4-17-98	SCALE:	1"=100'
FIELD BK.:	599	PROJ. NO.:	97380
DRAWING:	97380EC1	TEL. (207) 856-0277	

Sebago Technics
Engineering & Planning for the Future
12 WESTBROOK COMMON
WESTBROOK, ME 04098-1339



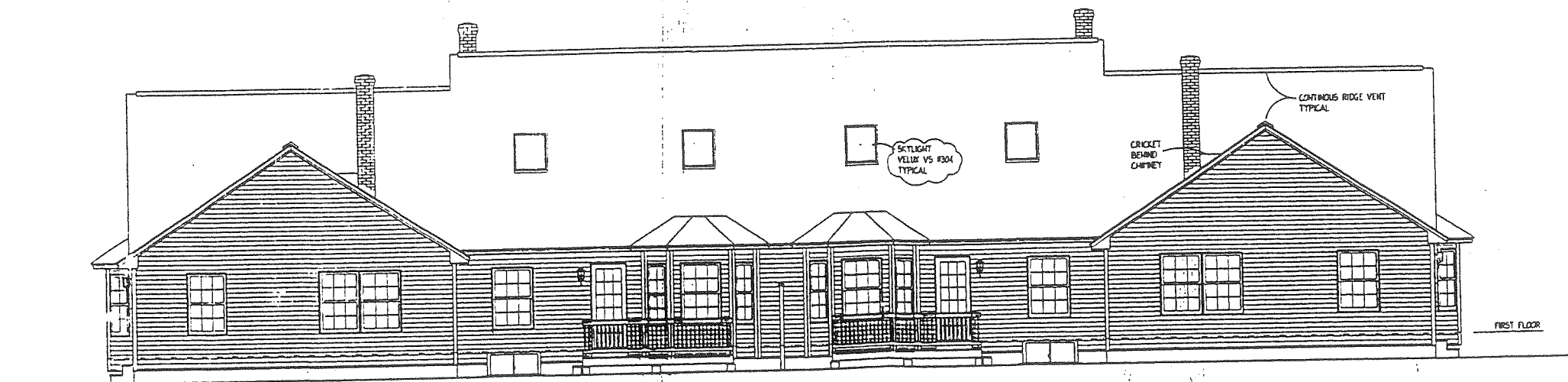
FRONT ELEVATION
SCALE: 3/8" = 1'-0"



LEFT ELEVATION
SCALE: 3/8" = 1'-0"



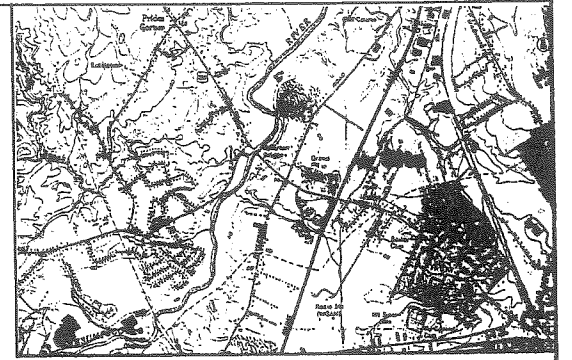
RIGHT ELEVATION
SCALE: 3/8" = 1'-0"



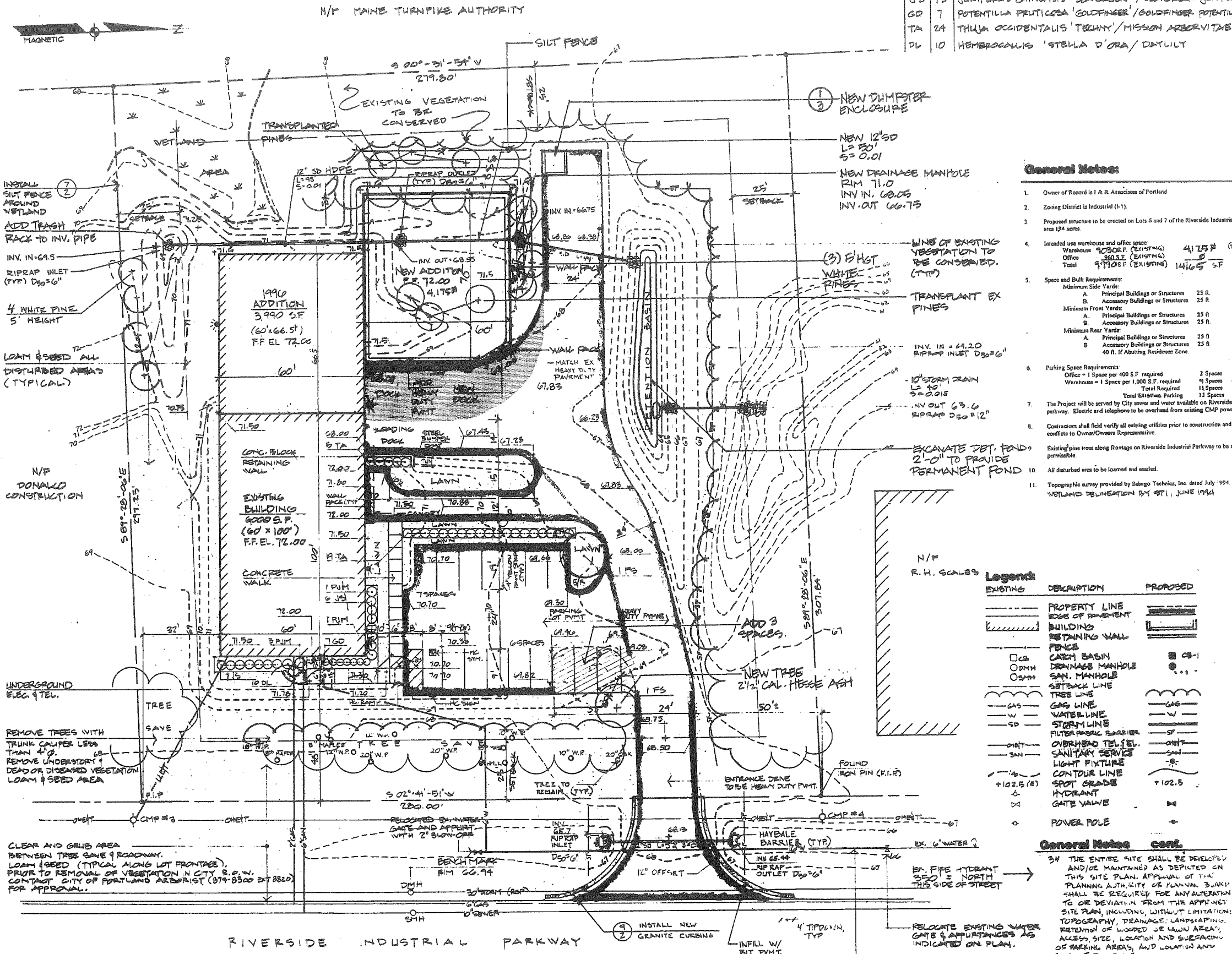
REAR ELEVATION
SCALE: 3/8" = 1'-0"

Plant List

PLANT	SYMBOL	SCIENTIFIC / COMMON NAME	SIZE
FR	1	FRAXINUS EXCUBITOR HESSEI / HESSE EUROPEAN ASH	2 1/2" CAL
RJM	5	RHODODENDRON 'RJM' / RJM RHODODENDRON	24"-30"
JS	13	JUNIPERUS CHINENSIS 'SEA GREEN' / SEA GREEN JUNIPER	24"-30"
GD	7	POTENTILLA FRUTICOSA 'GOLDFINGER' / GOLDFINGER POTENTILLA	24"-30"
TA	24	THUJA OCCIDENTALIS 'TELENY' / MISSION ARBORVITAE	3 1/4"
DL	10	HEMEROCALLIS 'STELLA D'ORA' / DAYLILY	No. 2



Location Map:



General Notes:

- Owner of Record is I & R Associates of Portland
- Zoning District is Industrial (I-1)
- Proposed structure to be erected on Lots 6 and 7 of the Riverside Industrial Park. Total area 194 acres
- Intended use warehouse and office space:
Warehouse 9230 S.F. (EXISTING) 4175 S.F. (PROPOSED)
Office 360 S.F. (EXISTING) 0 S.F. (PROPOSED)
Total 9590 S.F. (EXISTING) 4175 S.F. (PROPOSED)
- Space and Bulk Requirements:
Minimum Side Yards:
A. Principal Buildings or Structures 25 ft.
B. Accessory Buildings or Structures 25 ft.
Minimum Front Yards:
A. Principal Buildings or Structures 25 ft.
B. Accessory Buildings or Structures 25 ft.
Minimum Rear Yards:
A. Principal Buildings or Structures 25 ft.
B. Accessory Buildings or Structures 25 ft.
40 ft. if Abutting Residence Zone.
- Parking Space Requirements:
Office = 1 Space per 400 S.F. required 2 Spaces
Warehouse = 1 Space per 1,000 S.F. required 9 Spaces
Total Required 11 Spaces
Total Existing Parking 13 Spaces
16 TOTAL PROPOSED
- The Project will be served by City sewer and water available on Riverside Industrial Parkway. Electric and telephone to be overhead from existing CMP power poles.
- Contractors shall field verify all existing utilities prior to construction and report any conflicts to Owner/Owner's Representative.
- Existing pine trees along frontage on Riverside Industrial Parkway to be retained where practicable.
- All disturbed area to be loamed and seeded.
- Topographic survey provided by Sebago Technics, Inc. dated July 1994. WETLAND DELINEATION BY ST-1, JUNE 1994
- Plan Reference: Plan of Property in Portland, Maine by H.I. & E.C. Jordan - surveyors
- This surveyor and Sebago Technics, Inc. make no certification to the validity of the boundaries shown hereon. They are as indicated on the referenced plan.
- Utility services to be placed such that existing trees remain undisturbed along Riverside Industrial Parkway
- Proposed gas service to building to be coordinated with Northern Utilities prior to construction
- Methods and materials used in the construction of the improvements herein shall conform to the current city construction standards and specifications and/or current MDOT standards and specifications
- The contractor or developer is required to notify the City of Portland Parks and Public Works Inspection Services Division in writing, three (3) days prior to the beginning of construction (874-8300 ext. 9838). Should the improvements be of significant concern or in a sensitive area a pre-construction meeting may be required at the discretion of the Public Works authority
- Notification shall be given to the Portland Water District prior to construction of water mains. Information should also be obtained from the Water District concerning permit and regulations.
- All new connections, reconnections etc. to sanitary or storm sewers shall require a connection permit prior to beginning any work. The City of Portland Parks and Public Works Department must be notified at least 24 hours prior to commencement to allow for inspection
- The approval of erosion and sedimentation control measures described in these plans in no way relieves the developer and/or his agent from the responsibilities contained in the Land Use Code
- A permit must be obtained from the City of Portland Parks and Public Works Department prior to beginning any work within the city right-of-way
- Prior to burning, blasting or transportation or storage of explosives within the City of Portland, a permit must be obtained from the Fire Prevention Bureau (874-6466)
- An approved set of plans and all applicable permits must be available at the construction site. The developer, or authorized agent, must be available at all times during construction
- Warning signs, markers, barricades or flagmen, appropriate for the type of construction, must be employed to regulate traffic.
- Construction debris shall be containerized and disposed of in accordance with City of Portland's Solid Waste Ordinance Chapter 12.
- The contractor shall provide adequate means of cleaning mud from trucks and/or other equipment prior to entering public streets. It is the contractor's responsibility to clean streets, silt, dust, and take whatever measures are necessary to insure that the streets are maintained in a clean, mud and dust free condition at all times.
- Contractors shall notify operators who maintain underground utilities in the area of proposed excavation or blasting at least three (3) but not more than thirty (30) days prior to commencement of excavation or demolition. Contractors shall be responsible for compliance with the requirements of 23 MRSA 3360-A.
- Any damage to public or private property resulting from construction activities shall be repaired by the developer/contractor at their expense.
- The contractor/developer shall be responsible for the preservation of all trees and shrubs within the city right-of-way which have not been specifically designated for removal or modification
- Property markers and street line monuments shall be properly protected at all times during construction to insure their integrity. If disturbed they shall be replaced by a surveyor registered in the State of Maine at the contractor/developer's expense.
- No construction or earthwork shall commence until all erosion and sedimentation control measures shown on the plans are installed.
- The limit of wetlands shall be designated in the field by the engineer prior to any construction activities.
- Building has 6'-0" eave height and 18'-6" ridge height

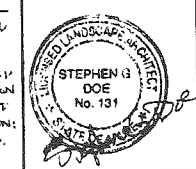
Legend

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY LINE	---
---	EDGE OF PAVEMENT	---
---	BUILDING	---
---	RETAINING WALL	---
---	FENCE	---
---	CATCH BASIN	---
---	DRAINAGE MANHOLE	---
---	SAN. MANHOLE	---
---	SETBACK LINE	---
---	TREE LINE	---
---	GAS LINE	---
---	WATERLINE	---
---	STORM LINE	---
---	FILTER FABRIC BARRIER	---
---	OVERHEAD TEL. TEL.	---
---	SANITARY SERVICES	---
---	LIGHT FIXTURE	---
---	CONTOUR LINE	---
---	SPOT GRADE	---
---	HYDRANT	---
---	GATE VALVE	---
---	POWER POLE	---

General Notes cont.

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- EXISTING VEGETATION SHALL BE CONSERVED IN AREAS SHOWN ON THIS SITE. FENCING OR OTHER PROTECTIVE BARRIERS SHALL BE ERECTED OUTSIDE THE DRIFLINE OF INDIVIDUAL GROUPING OF TREES DESIGNATED FOR PRESERVATION PRIOR TO THE ONSET OF CONSTRUCTION. RE GRADING SHALL NOT TAKE PLACE WITHIN THE DRIFLINE OF TREES DESIGNATED FOR PRESERVATION. NO STORAGE OR CONSTRUCTION MATERIALS SHALL BE PERMITTED WITHIN THE DRIFLINE OF TREES TO BE PRESERVED.

REV.	BY:	DATE:	STATUS:
6	SGD	8-14-98	ADD DUMPSTER, PARKING SPACE 93 PINES
5	SGD	7-14-98	AMENDED SITE PLAN SUBMISSION - MAJOR S.P.
4	SGD	7-31-98	REVISED PER CITY COMMENTS
3	SGD	3-20-98	REVISED PER CITY COMMENTS
2	SGD	2-18-98	AMEN. E.I. SITE PLAN SUBMISSION TO CITY
1	SGD	8-23-94	REVISED PER CITY COMMENTS



SITE PLAN
OF:
I & R ASSOCIATES
RIVERSIDE INDUSTRIAL PARKWAY
PORTLAND MAINE

FOR:
I & R ASSOCIATES
220 INDUSTRIAL WAY
PORTLAND MAINE

Sebago Technics
Engineering & Planning for the Future
12 WESTBROOK COMMON
WESTBROOK, ME 04098-1339
TEL (207) 856-0277

DESIGN BY: SGD
DRAWN BY: SGD
CHECKED BY: RJD
DATE: 8.3.98
SCALE: 1" = 20'
FIELD BK: 140
PROJ. NO: 94005
SHEET 1 OF 2

