

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that **DIRIGO CAPITAL HOLDINGS**

Located At 75 INDUSTRIAL WAY

Job ID: 2012-09-4952-ALTCOMM

CBL: 327A- A-009-001

has permission to make 920 sq ft of office space within the warehouse area as per plans provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

Jeanie Bonk 10-22-12
Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD**



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Jeff Levine

Job ID: 2012-09-4952-ALTCOMM

Located At: 75 INDUSTRIAL
WAY

CBL: 327A- A-009-001

Conditions of Approval:

Building

1. Application approval based upon information provided by the applicant or design professional, including revision received dated 10/19/12. Any deviation from approved plans requires separate review and approval prior to work.
2. Permit approved based on the plans submitted and reviewed w/owner/ contractor, with additional information as agreed on and as noted on plan dated 10/19/12 for the exterior steps and ramp.
3. All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM E 814 or UL 1479, per IBC 2009 Section 713.
4. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

Fire

The exterior stair and ramp are new and shall comply with the requirements for new. Both shall have proper handrails on both sides.

All construction shall comply with City Code Chapter 10. The occupancy shall comply with City Code Chapter 10 upon inspection.

Street addresses shall be marked on the structure and shall be as approved by the City E-911 Addressing Officer. Contact Michelle Sweeney at 874-8682 for further information.

Any Fire alarm or Sprinkler systems shall be reviewed by a licensed contractor(s) for code compliance. Compliance letters are required.

A separate Fire Alarm Permit is required for new systems; or for work effecting more than 5 fire alarm devices; or replacement of a fire alarm panel with a different model. All fire alarm installation and servicing companies shall have a Certificate of Fitness from the Fire Department. This review does not include approval of fire alarm system design or installation. Fire Alarm system shall be maintained. If system is to be off line over 4 hours a fire watch shall be in place. Dispatch notification required 874-8576.

A separate Suppression System Permit is required for all new suppression systems or sprinkler work effecting more than 20 heads. This review does not include approval of sprinkler system design or installation.

All buildings with a sprinkler or fire alarm system require a Knox Box to be installed per city ordinance.

Fire extinguishers are required per NFPA 1.

All means of egress to remain accessible at all times.

Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit and on the same circuit as the lighting for the area they serve.

Any cutting and welding done will require a Hot Work Permit from Fire Department.

Walls in structure are to be labeled according to fire resistance rating. IE; 1 hr. / 2 hr. / smoke proof.

A single source supplier should be used for all through penetrations.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-09-4952-ALTCOMM	Date Applied: 9/13/2012	CBL: 327A- A-009-001	
Location of Construction: 75 INDUSTRIAL WAY	Owner Name: DIRIGO CAPITAL HOLDINGS LLC	Owner Address: 75 INDUSTRIAL WAY PORTLAND, ME 04103	Phone: 797-2345
Business Name: IAS	Contractor Name: Patco Construction Inc. – Rick Day	Contractor Address: 1293 MAIN STREET, SANFORD, ME 04073	Phone: (207) 324-5574 651-7284 RD
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG ALT	Zone: I-M
Past Use: Warehouse and offices	Proposed Use: Same: Warehouse and Offices – to make 920 sq ft of office space within the warehouse area as per plans <i>Exterior canopy, steps, ramp</i>	Cost of Work: \$115,000.00	CEO District:
		Fire Dept: <i>10/19/12</i> <input checked="" type="checkbox"/> Approved w/conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A Signature: <i>[Signature]</i>	Inspection: Use Group: <i>B/S-2</i> Type: <i>ZB</i> <i>MUBEL'09</i> Signature: <i>[Signature]</i>
Proposed Project Description: change of use; warehouse space to office space		Pedestrian Activities District (P.A.D.) <i>10/22/12</i>	
Permit Taken By: Gayle		Zoning Approval	

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetlands</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input checked="" type="checkbox"/> Site Plan <i>2011-368</i></p> <p><input type="checkbox"/> Maj <input type="checkbox"/> Min <input checked="" type="checkbox"/> MM</p> <p>Date: <i>01/9/12</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>[Signature]</i></p>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

will email plans

2012 09 495 66



General Building Permit Application I-M

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>75 Industrial Way, Portland</u>		
Total Square Footage of Proposed Structure/Area <u>920 S.F.</u>		Square Footage of Lot <u>85,813</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>327 1-M 49</u> <u>327 A A 009</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>Dirigo Capital Holdings LLC</u> Address <u>75 Industrial Way</u> City, State & Zip <u>Portland, Me 04103</u>	Telephone: <u>207-797-2345</u>
Lessee/DBA (If Applicable) RECEIVED SEP 13 2012 Dept. of Building Inspections City of Portland Maine	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>115,000</u> C of O Fee: \$ <u>75.00</u> Total Fee: \$ <u>1,245.00</u>
Current legal use (i.e. single family) <u>NA - Warehouse space, Enclosed Inc.</u> If vacant, what was the previous use? <u>NA</u> Proposed Specific use: <u>office Use Warehouse Space To Office</u> Is property part of a subdivision? <u>yes</u> If yes, please name <u>Industrial Way</u> Project description: <u>Construction of 920 S.F. of office space inside an existing warehouse, Metal stud wall construction with gypsum board, split HVAC system and electrical, with one handicap bathroom.</u>		
Contractor's name: <u>Potco Construction Inc</u> Address: <u>1293 Main Street</u> City, State & Zip: <u>Portland, Me 04073</u> Telephone: <u>207-324-5574 (102)</u> Who should we contact when the permit is ready: <u>Rick Day</u> Telephone: <u>807-651-7284</u> Mailing address: <u>1293 Main Street, Portland, Me 04073</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature:

Date:

9/13/12

This is not a permit; you may not commence ANY work until the permit is issued

Jeanie Bourke - 75 Industrial Way, Industrial Automation Access Improvements - BP Issuance

From: Philip DiPierro
To: Code Enforcement & Inspections
Date: 9/24/2012 4:23 PM
Subject: 75 Industrial Way, Industrial Automation Access Improvements - BP Issuance

Hi all, this project, site plan #2011-368, the Industrial Automation Access Improvements project located at 75 Industrial Way, meets minimum DRC site plan requirements for the issuance of the building permit. See 1S for sign off.

Please contact me with any questions. Thanks.

Phil



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Receipts Details:

Tender Information: Check , BusinessName: Patco Construction, Check Number: 18064
Tender Amount: 1245.00

Receipt Header:

Cashier Id: gguertin
Receipt Date: 9/13/2012
Receipt Number: 48167

Receipt Details:

Referance ID:	7992	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	1170.00	Charge Amount:	1170.00
Job ID: Job ID: 2012-09-4952-ALTCOMM - change of use; warehouse space to office space			
Additional Comments: 75 Industrial Way, Patco Construction			

Referance ID:	7993	Fee Type:	BP-C of O
Receipt Number:	0	Payment Date:	
Transaction Amount:	75.00	Charge Amount:	75.00
Job ID: Job ID: 2012-09-4952-ALTCOMM - change of use; warehouse space to office space			



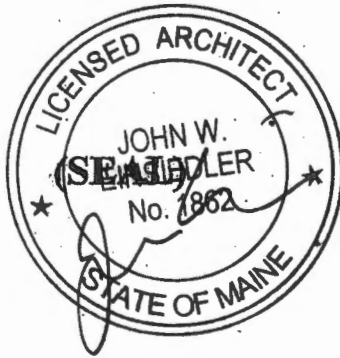
Accessibility Building Code Certificate

Designer: JOHN EINSIEDLER

Address of Project: 75 INDUSTRIAL WAY

Nature of Project: INTERIOR OFFICE RENOVATION

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: John W. Einsiedler

Title: SOLE OWNER

Firm: JOHN W. EINSIEDLER, P.A.

Address: 148 SEA ROAD
KENNEBUNK, ME 04243

Phone: 207-985-9760

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design Application

From Designer: JOHN EINSIEDLER

Date: SEPT. 6, 2012

Job Name: DIRIGO CAPITAL

Address of Construction: 75 INDUSTRIAL WAY

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2009 Use Group Classification (s) B / S2

Type of Construction II B

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC NO

Is the Structure mixed use? YES If yes, separated or non separated or non separated (section 302.3) NON-SEPARATED

Supervisory alarm System? YES Geotechnical/Soils report required? (See Section 1802.2) N/A INFORMATION

Structural Design Calculations

_____ Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.14, 1807)
Floor Area Use _____ Loads Shown _____

Wind loads (1603.1.4, 1609)

- _____ Design option utilized (1609.1.1, 1609.6)
- _____ Basic wind speed (1809.3)
- _____ Building category and wind importance Factor, I_w table 1604.5, 1609.5
- _____ Wind exposure category (1609.4)
- _____ Internal pressure coefficient (ASCE 7)
- _____ Component and cladding pressures (1609.1.1, 1609.6.2.2)
- _____ Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

- _____ Design option utilized (1614.1)
- _____ Seismic use group ("Category")
- _____ Spectral response coefficients, S_D & S_1 (1615.1)
- _____ Site class (1615.1.5)

- _____ Live load reduction
- _____ Roof live loads (1603.1.2, 1607.11)
- _____ Roof snow loads (1603.7.3, 1608)
- _____ Ground snow load, P_g (1608.2)
- _____ If $P_g > 10$ psf, flat-roof snow load S_f
- _____ If $P_g > 10$ psf, snow exposure factor, C_e
- _____ If $P_g > 10$ psf, snow load importance factor, I_s
- _____ Roof thermal factor, C_t (1608.4)
- _____ Sloped roof snowload, S_s (1608.4)
- _____ Seismic design category (1616.3)
- _____ Basic seismic force resisting system (1617.6.2)
- _____ Response modification coefficient, R , and deflection amplification factor, C_d (1617.6.2)
- _____ Analysis procedure (1616.6, 1617.5)
- _____ Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

- _____ Flood Hazard area (1612.3)
- _____ Elevation of structure

Other loads

- _____ Concentrated loads (1607.4)
- _____ Partition loads (1607.5)
- _____ Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)

EXISTING N/A



Certificate of Design

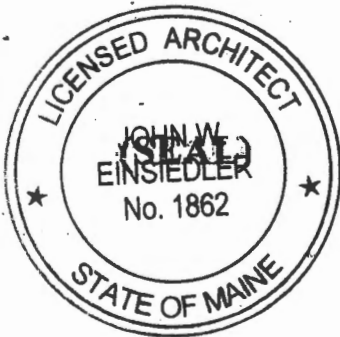
Date: SEPTEMBER 6, 2012

From: JOHN W. EINSIEDLER

These plans and / or specifications covering construction work on:

DIRIGO CAPITAL

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the 2003 International Building Code and local amendments. 2009



Signature: [Handwritten Signature]

Title: SOLE OWNER

Firm: JOHN W. EINSIEDLER, R.A.

Address: 198 SEA ROAD
KENNEDUNK, ME 04043

Phone: 207-985-9760

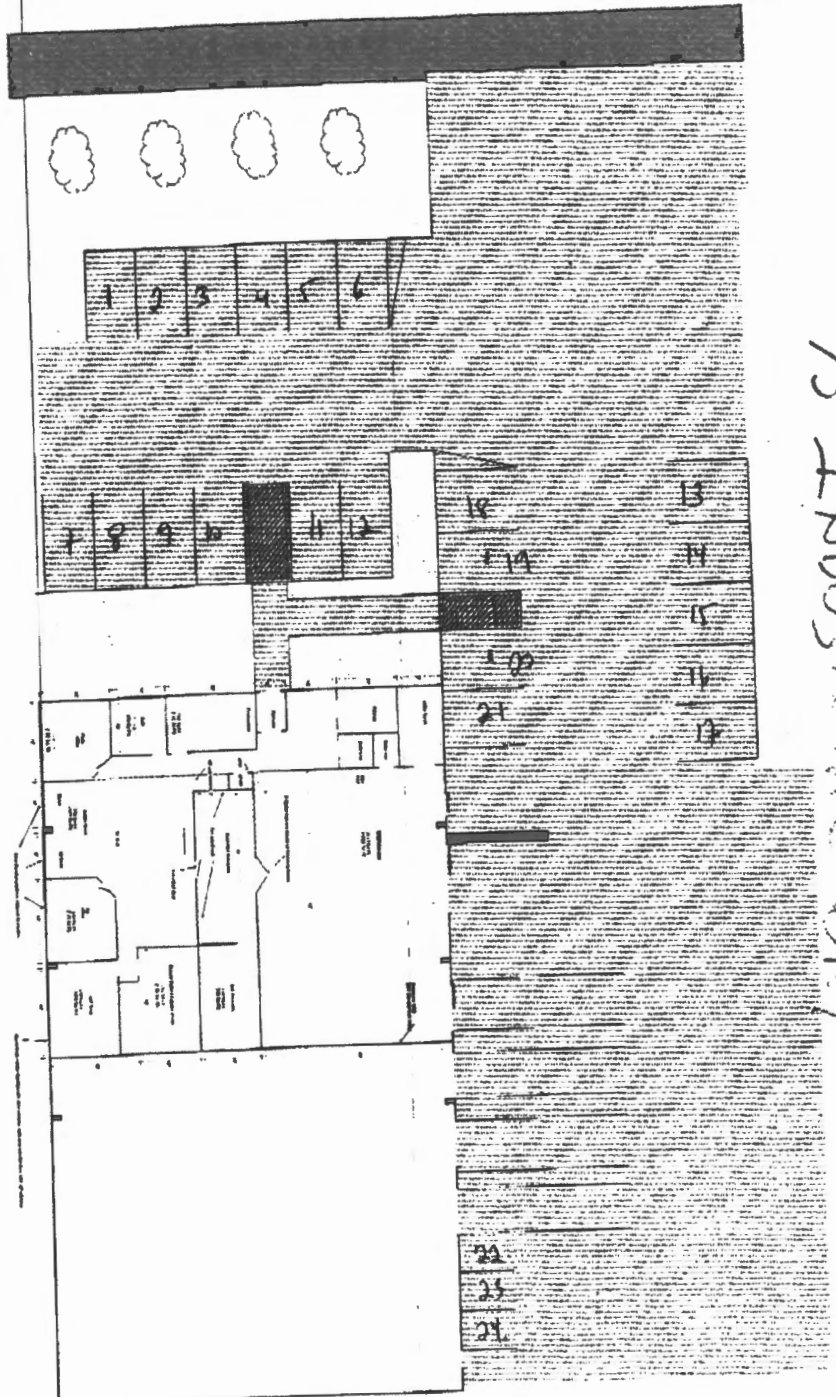
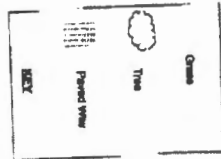
For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

Previous permit strip 1/4

Apr. 3. 2007 8:48AM

Mainland Structures 856-2825

No. 0173 P. 2



75 INDUSTRIAL CITY

DEPT. OF MUNICIPAL UTILITIES
 CITY OF PLEASANT HILL
 APR - 3 2007
 RECEIVED



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

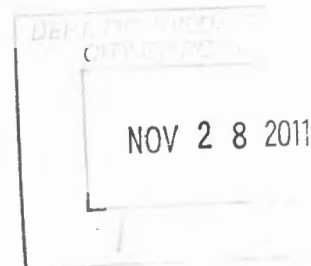
Planning & Urban Development Department
Gregory A. Mitchell, Acting Director

Planning Division
Alexander Jaegerman, Director

November 23, 2011

James Witham, Vice President
Industrial Automation Supply, Inc
75 Industrial Way
Portland, ME 04103

James Seymour, PE
Sebago Technics, Inc.
1 Chabot Street, PO Box 1339
Westbrook ME 04098



RE: Access improvements, Industrial Automation Supply Inc
Address: 75 Industrial Way, Portland
CBL: 327-A-A009
Application ID: 2011-368 (*One Solution*)

Dear Mr. Witham and Mr Seymour:

On November 23, 2011, the Portland Planning Authority approved the Level I Site Alteration plan for a new entrance, sidewalk access, parking area and landscaping at 75 Industrial Way, as submitted by Industrial Automation Supply, Inc. and shown on the approved site plans prepared by Sebago Technics (Site Grading Plan & Detail Sheets, Rev A 10-18-2011) with the following conditions:

- i. That the concrete pads located to the south of the new parking area, within the area to be loamed and seeded, shall not be used for any equipment or structures that require vehicle access across the area to be loamed and seeded; and
- ii. That separate permits are required for any new signage.

The approval is based on the submitted plans. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

Please note the following standard provisions and requirements for all site plan approvals:

1. The site shall be developed and maintained as depicted in the site plan and the written submission of the applicant. Modification of any approved site plan or alteration of a parcel which was the subject of site plan approval after May 20, 1974, shall require the prior approval of a revised site plan by the Planning Board or the planning authority pursuant to the Portland City ordinance. Any such parcel lawfully altered prior to the enactment date of these revisions shall not be further altered without approval as provided herein. Modification or alteration shall mean and include any deviations from the approved site plan including, but not limited to, topography, vegetation and impervious surfaces shown on the site plan. No action, other than an amendment approved by the planning authority or Planning Board, and field changes approved by the Public Services authority as provided herein, by any authority or department shall authorize any such modification or alteration.

2. The above approvals do not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division.
3. HVAC equipment must not exceed maximum noise levels as specified in the ordinance, and evidence of noise levels will be required if such equipment is proposed as part of a building permit application.
4. A performance guarantee covering the site improvements, as well as an inspection fee payment of 2.0% of the guarantee amount (or a minimum fee of \$300), must be submitted to and approved by the Planning Division prior to the release of a building permit, street opening permit or certificate of occupancy for site plans. If you need to make any modifications to the approved plans, you must submit a revised site plan application for staff review and approval.
5. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
6. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
7. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
8. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Jean Fraser at 874-8728.

Sincerely,

Alexander Jaegerman
(JB)

Alexander Jaegerman
Planning Division Director

Enclosure: Performance Guarantee Packet

cc. Electronic Distribution:

Gregory Mitchell, Acting Director of Planning and Urban Development Dept.
Barbara Barhydt, Development Review Services Manager
Jean Fraser, Planner
Philip DiPierro, Development Review Coordinator, Planning
Marge Schmuckal, Zoning Administrator, Inspections Division
Tammy Munson, Plan Reviewer, Inspections Division
Lannie Dobson, Administration, Inspections Division
Michael Bobinsky, Director, Public Services
Katherine Earley, Engineering Services Manager, Public Services

Bill Clark, Project Engineer, Public Services
David Margolis-Pineo, Deputy City Engineer, Public Services
Michael Farmer, Project Engineer, Public Services
Jane Ward, Administration, Public Services
Chris Pirone, Fire Department
Jeff Tarling, City Arborist, Public Services
Tom Errico, P.E., T.Y. Lin Associates
David Senus, P.E., Woodard & Curran
Assessor's Office

75 Industrial Way – 327A-A-009

#2011-368 – I-M Zone

11/15/2011 I reviewed the floor plans of the existing office and warehouse. Based on that submitted information the required number of parking spaces for the entire building with the proposed professional offices, is 17 parking spaces. I have counted 22 parking spaces on the different plans submitted.

This project is approved for the use and parking and all other zoning requirements. Separate permits are required from Inspection Services for the work and any new signage. Please be aware of maximum noise allowance for HVAC equipment and other such equipment. When permits are applied for, this office will require the level of dBAs emitted from such units.

Marge Schmuckal

Zoning Administrator

75 Industrial Way – 327A-A-009

#2011-368 - I-M Zone

11/4/2011 – This property is located in an I-M Zone which does allow professional offices as a principal use. It is understood that the current industrial use will remain and that a separate use (not accessory) will be created at about 912 square feet (24'x38'). The office area created is entirely within the existing building. There will be some entry alterations on the exterior along with the creation of 8 new parking spaces.

Before I can finish my review, I will need complete floor plans that show me all the uses and floor plans of the entire building. I will need such information to determine parking compliance. I would also need to see a parking plan of the entire lot. I was not able to find all the existing 15 spaces. I am confident that the applicant is meeting or can meet the parking requirements.

Separate permits are required from Inspection Services for the work and any new signage.

Marge Schmuckal

Zoning Administrator

Marge Schmuckal - 75 Industrial Way

From: Marge Schmuckal
To: Barbara Barhydt ; Jean Fraser
Date: 11/4/2011 12:07 PM
Subject: 75 Industrial Way

My Comments are in One Solution
Marge

100

Applicant: Industrial Automation Supply Date: 10/25/11

Address: 75 INDUSTRIAL WAY C-B-L: 327A-A-009

CHECK-LIST AGAINST ZONING ORDINANCE

Date -

Zone Location - I-M

Interior or corner lot -

Proposed Use/Work -

Sewage Disposal -

Lot Street Frontage -

Front Yard -

Rear Yard -

Side Yard -

Projections -

Width of Lot -

Height -

Lot Area - 85,813 sq ft given

Lot Coverage/ Impervious Surface - Lessening imperv.

Area per Family -

Off-street Parking -

Loading Bays -

Site Plan -

Shoreland Zoning/ Stream Protection -

Flood Plains -

9,920 sq ft Warehouse to use for professional offices under 10,000 sq ft with exterior alterations new entrance warehouse in rest of Bldg

8 New - 14 counted existing 22 total new & existing
9,920 sq ft / 400 = 24.8
9,912 sq ft / 400 = 2.28 = 2

9,008 sq ft in den = 9 PKG

per 11/4/11 PLANS existing 9 bays Warehouse

level I 2011-360

N/A

Panel 1 Zone C

req

October 18, 2011
04142

Barbara Barhydt, Development Review Services Manager
City of Portland Planning Division
City Hall, 4th Floor
389 Congress St.
Portland, ME 04101

Level I Site Plan Application Submittal
Proposed Site Improvements for New Building Access
Industrial Automation Supply Inc., 75 Industrial Way, Portland, Maine

Dear Ms. Barhydt:

On behalf of Industrial Automation Supply, Inc. (IAS), please find one copy of the Level I Site Plan Application, associated design plans, and application fees for their facility at 75 Industrial Way. IAS is proposing the construction of a new building entry and sidewalk for handicap access to their existing structure. Currently, IAS operates business in the building, and wishes to simultaneously apply for a change of use to convert approximately 912 square feet (SF) (38 feet x 24 feet) corner warehouse space to professional office space use within their existing 9,920 SF building which resides on 1.97 acres and fronts on Industrial Way.

The property is zoned as Industrial I-M zone, and was previously owned and operated by Maine Native Produce. Since the current owner does not need the loading dock operations, at least one loading dock is planned to be removed to accommodate the converted internal space/use. The use has a very low impact on the area, is consistent with allowed uses in the industrial zone, and will give the owners an opportunity to generate some rental income from unused space in its current building.

→ A SEPARATE

Construction would consist of a new rear building entrance and sidewalk access connecting the existing parking and former loading dock areas to allow convenient access to a future office use in the rear of the existing building. We will also provide eight new parking spaces which includes one handicap space. As part of the original site plan, the site was limited in expanding into the wetlands located in the rear, which filled nearly 14,600 SF of wetlands; any further substantial wetland filling could be a timely and expensive process to permit. Therefore, we determined that much of the site pavement was under-used, so we propose converting pavement back to a vegetation state such that the new green area exceeds what is needed to create sidewalk access. Since there is actually a decrease in impervious surface, the project will fall into a Level I review. There are no plans for installation of utilities, new building addition, or additional pavement to the site. A small entry canopy will be added to the new entrance.

A formal Stormwater Management Plan has not been prepared due to the decreased area being proposed in impervious surfaces. We will be converting 712 SF of existing parking area, and proposing 611 SF of new sidewalk and impervious areas for access, making a reduction of 101 SF of impervious area. Drainage will be directed to wooded wetland areas following similar patterns as it currently flows from the rear parking lot. All drainage is discharged to a small wetland course which is directed easterly off site. The original development included offsite detention to account for the sites overall development. Therefore, no improvements for stormwater quality and quantity are required, as the reduction in pavement promotes natural treatment and reduced runoff rates.

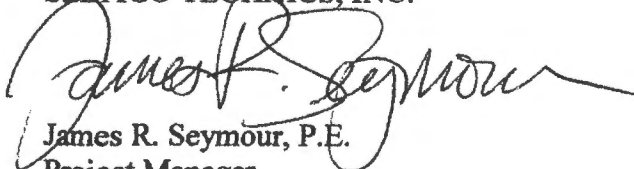
The proposed improvements to the land are very modest, and have been designed to avoid wetland disturbance, and promote pedestrian safety. We are proposing a short retaining wall to transition grading from the sidewalk to the edge of the wetland. In addition, we are proposing some foundation landscaping along the rear of the building, and plan to leave the woods from the wetlands to the southern boundary line in their natural state, with the exception of some minor trimming of dead trees and limbs.

We are hopeful the City will be cooperative with the stormwater review given the reduction in pavement impacts. We have provided an Erosion Control Plan which will protect the site during construction. We feel this solution provides the best plan for limiting soil disturbance, providing grass areas for sediments to be filtered, will best blend the topography of the area with the applicants need to maintain the character of the land, and will be cost-effective and low maintenance.

The applicant is under a very strict construction schedule and would appreciate the earliest opportunity to meet or complete the review of this Level I Application to initiate construction plans for the fall. If you have any questions on this application, please do not hesitate to contact us. We look forward to hearing from you.

Sincerely,

SEBAGO TECHNICS, INC.



James R. Seymour, P.E.
Project Manager

JRS:jrs/kn

Enc.

cc: James Witham, Vice President, Industrial Automation Supply, Inc.

PROJECT NAME: INDUSTRIAL AUTOMATION SUPPLY INC SITE IMPROVEMENTS

PROPOSED DEVELOPMENT ADDRESS:

75 INDUSTRIAL WAY, PORTLAND, MAINE

PROJECT DESCRIPTION:

INSTALLATION OF ENTRANCE AND SIDEWALK ACCESS, NEW PARKING SPACE DESIGNATION, AND LANDSCAPING FOR A CHANGE OF USE IN THE EXISTING BUILDING.

CHART/BLOCK/LOT: 327-A-A009

CONTACT INFORMATION:

Applicant – must be owner, Lessee or Buyer Name: <u>INDUSTRIAL AUTOMATION SUPPLY, INC</u> <u>C/O JAMES WITHERM, VICE PRESIDENT</u> Business Name, if applicable: Address: <u>75 INDUSTRIAL WAY</u> City/State: <u>PORTLAND, ME</u> Zip Code: <u>04103</u>	Applicant Contact Information Work # <u>207-797-2345</u> Home# Cell # Fax# <u>207-797-2777</u> e-mail: <u>jwitherm@iasino.com</u>
Owner – (if different from Applicant) Name: <u>DIRIGO CAPITAL HOLDINGS LLC</u> Address: <u>75 INDUSTRIAL WAY</u> City/State: <u>PORTLAND, ME</u> Zip Code: <u>04103</u>	Owner Contact Information Work # Home# Cell # Fax# e-mail:
Agent/ Representative Name: <u>SEBAGO TECHNIKS INC</u> <u>C/O JAMES SEYMOUR, P.E.</u> Address: <u>1 CHABOT ST. P.O. BOX 1339</u> City/State: <u>WESTBROOK, ME</u> Zip Code: <u>04098-1339</u>	Agent/Representative Contact information Work # <u>207-856-0277 x 277</u> Cell # <u>207-632-1199</u> e-mail: <u>jseymour@sebagotechniks.com</u>
Billing Information Name: <u>SAME AS APPLICANT</u> Address: City/State: Zip Code:	Billing Information Work # Cell # Fax# e-mail:

Engineer Name: SAME AS AGENT Address: City/State : Zip Code:	Engineer Contact Information Work # Cell # Fax# e-mail:
Surveyor Name: Address: City/State : Zip Code:	Surveyor Contact Information Work # Cell # Fax# e-mail:

APPLICATION FEES:

Check all reviews that apply. Payment may be made by Check or Cash addressed to the City of Portland.

Level I Site Alteration Site Plan <input checked="" type="checkbox"/> Application Fee (\$200.00) The City invoices separately for the following: <ul style="list-style-type: none"> • Notices (\$.75 each) • Legal Ad (% of total Ad) • Planning Review (\$40.00 hour) • Legal Review (\$75.00 hour) Third party review is assessed separately.	Fees Paid (offices use) —
Performance Guarantee: A performance guarantee is required to cover all public and private site improvements.	Required
Inspection Fee: An inspection fee of 2% of the performance guarantee is due prior to the release of permits	2% of the performance guarantee

Application Check List

Refer to the application checklist for a detailed list of submittal requirements.

As of December 1, 2010, all site plans and written application materials must be uploaded to a website for review. At the time of application, instructions for uploading the plans will be provided to the applicant. One paper set of the plans, written materials and application fee must be submitted to the Planning Division Office to start the review process.

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521).

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This application is for a Site Plan review only, a Performance Guarantee, Inspection Fee, Building Permit Application and associated fees will be required prior to construction.

Signature of Applicant: <i>James H. Hatcher</i>	Date: <i>10/19/11</i>
--	--------------------------

Please refer to Article V, Site Plan of the City of Portland Land Use Code for detailed information concerning the City's site plan review process, thresholds and standards. Should you have any questions regarding the submittal requirements or any other aspect of the site plan review process, please contact the Planning Division.

*31345 - 85813 = 371
impervious*

PROJECT DATA

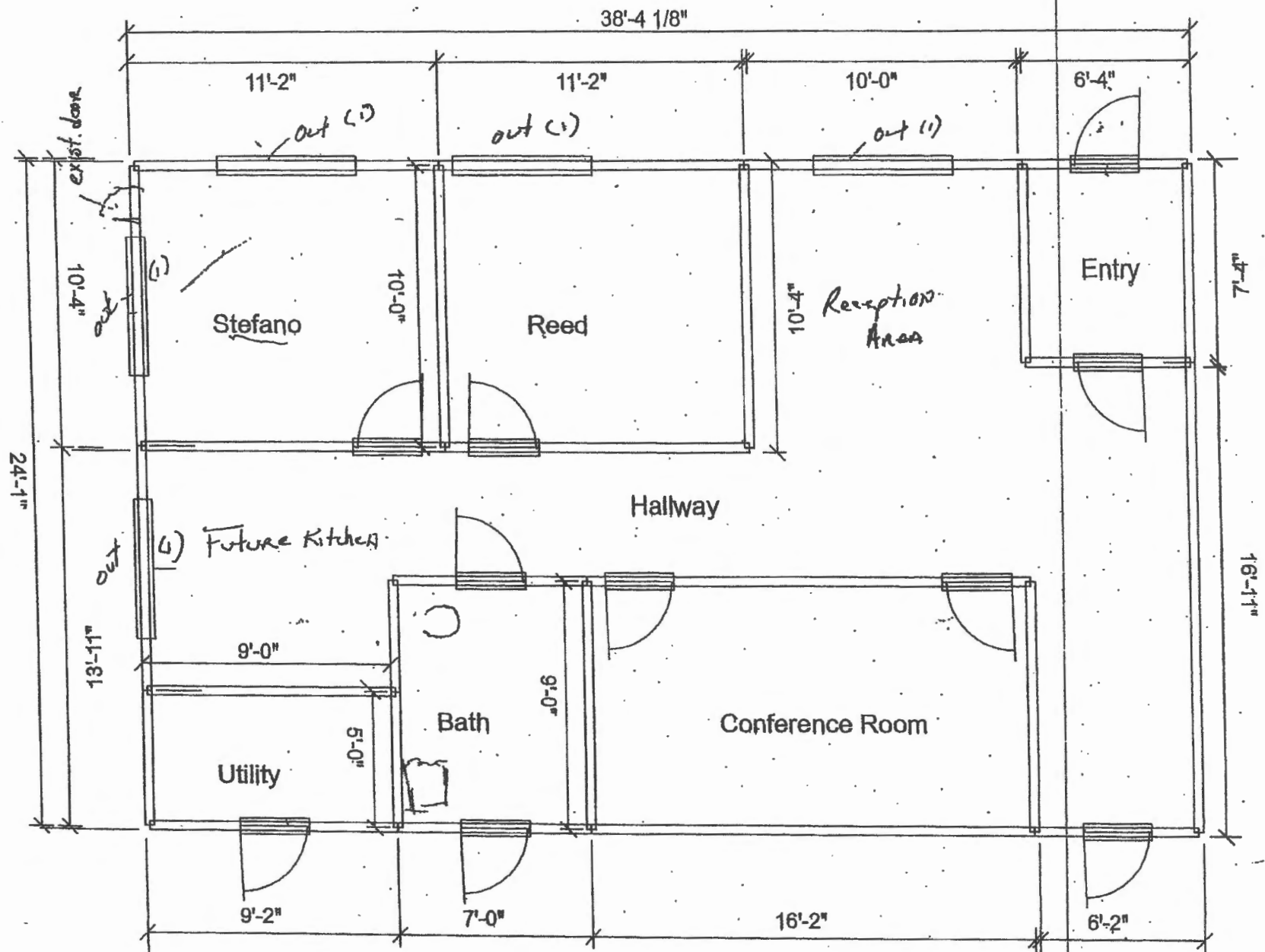
The following information is required where applicable, in order complete the application

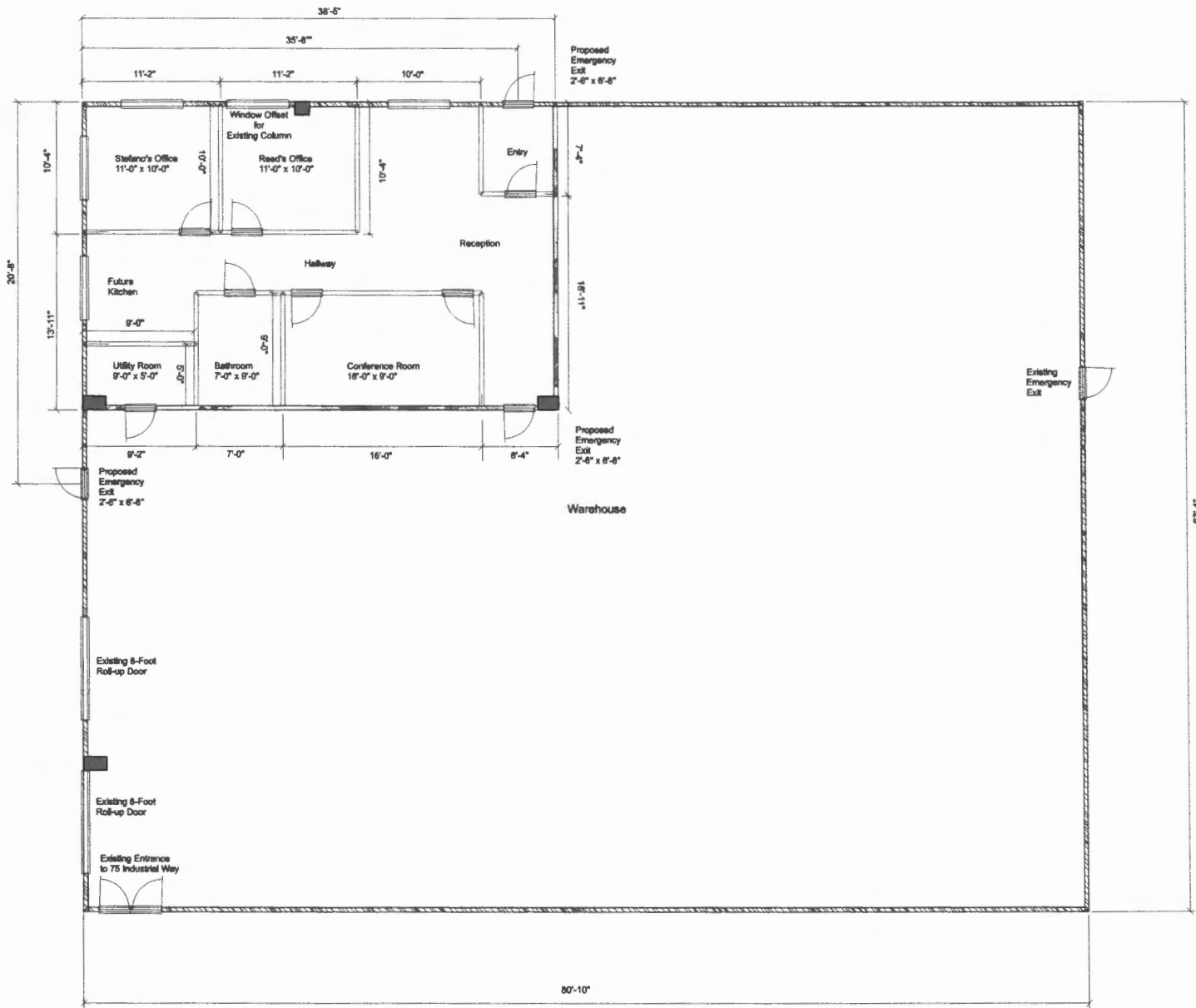
Total Site Area	<i>85,813</i> sq. ft.
Proposed Total Disturbed Area of the Site	sq. ft.
IMPERVIOUS SURFACE AREA	
• Proposed Total Paved Area	<i>20,821</i> sq. ft.
• Existing Total Impervious Area	sq. ft.
• Proposed Total Impervious Area	<i>31,345</i> sq. ft.
• Proposed Impervious Net Change	<i>- 101</i> sq. ft.
PARKING SPACES	
• Existing Number of Parking Spaces	<i>15</i>
• Proposed Number of Parking Spaces	<i>8</i>
TOTAL Number of Parking Spaces	<i>23</i>

less

General Submittal Requirements – Level I Site Alteration

Applicant Checklist	Planner Checklist	Number of Paper Copies	Submittal Requirement
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Completed application form.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Application fees.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Written description of project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Evidence of right, title and interest.
<input type="checkbox"/> <i>NA</i>	<input type="checkbox"/>	1	Copies of required state and/or federal permits.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Written assessment of zoning.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Written description of existing and proposed easements or other burdens.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Written requests for waivers from individual site plan and/or technical standards.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Evidence of financial and technical capacity.






Notes:
1. Non-sprinkled building

Legend:

Existing walls 

Fire-stop walls 

Existing Columns 

Project:	77 Industrial Way
Date:	22-Oct-2011
Drawn By:	Reed Searle

Marge Schmuckal - IAS - 75 Industrial Way -Level I site Alteration Review

From: Jean Fraser
To: DSenus@woodardcurran.com; Errico, Thomas; Farmer, Michael; Pirone, Ch...
Date: 11/2/2011 12:10 PM
Subject: IAS - 75 Industrial Way -Level I site Alteration Review
CC: Barhydt, Barbara; Margolis-Pineo, David
Attachments: IAS-Application.pdf; IAS-Full Plan Set.pdf; Enerdoor-C-Size.pdf; AR-M455N_20111101_152851.pdf

To all reviewers:

Re Industrial Automation Supply Inc at 75 Industrial Way

It looks like there will be a "technical delay" in getting this into e-plan so please see the pdf's attached. This needs an urgent review as applicant submitted 10.19.2011 and wants to start work- it is Level I Site Alteration and so the development is relatively very small- no new building just a new parking area within existing bituminous area with handicapped access ramp and new entrance. (Within building converting 933 sq ft to offices- rest stays warehouse)

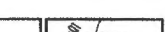
Please note:

- Proposed removal of impervious area
- A concern might be retention of concrete pad/?dumpster within the area to be loamed and seeded???
(We may want a condition that requires any dumpster on the site be located within the remaining bituminous area and enclosed with cedar stockade fence/gate and not be within the loamed and seeded area- other Industrial Way businesses have been required to enclose their dumpsters if visible from Industrial Way)
- Landscape details for small area near new entrance shown on sheet 2
- The last 2 pdfs show the location of the new offices in the building (NE corner)- rest is warehouse - note that on the "Enerdoor" pdf the applicant has advised:
A couple of corrections that need noting - the dimension from the top left corner of the buiding to the Proposed Emergency Exit which is labeled as 20'-8", is actually 30'-8". The exit doors by code should be 3'-0" X 7'-0", and the main entry way on the end of the building will have a canopy to match the one on our end (the street side) of the building.

IF E-MAILING COMMENTS, PLEASE SEND TO BARBARA AND ME

thanks

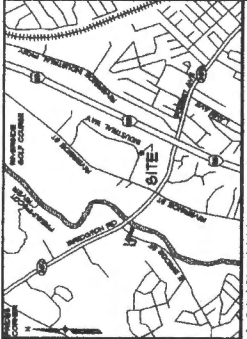
Jean



NO.	DATE	BY	DESCRIPTION
1	10-15-11	RL	ISSUED FOR PERMIT
2	10-15-11	RL	ISSUED FOR PERMIT

REV.	BY	DATE	DESCRIPTION
1	RL	10-15-11	ISSUED FOR PERMIT
2	RL	10-15-11	ISSUED FOR PERMIT

PROJECT: INDUSTRIAL AUTOMATION SUPPLY, INC.
 DRAWING: SITE GRADING PLAN
 DATE: 10-15-11
 SHEET: 1 OF 3

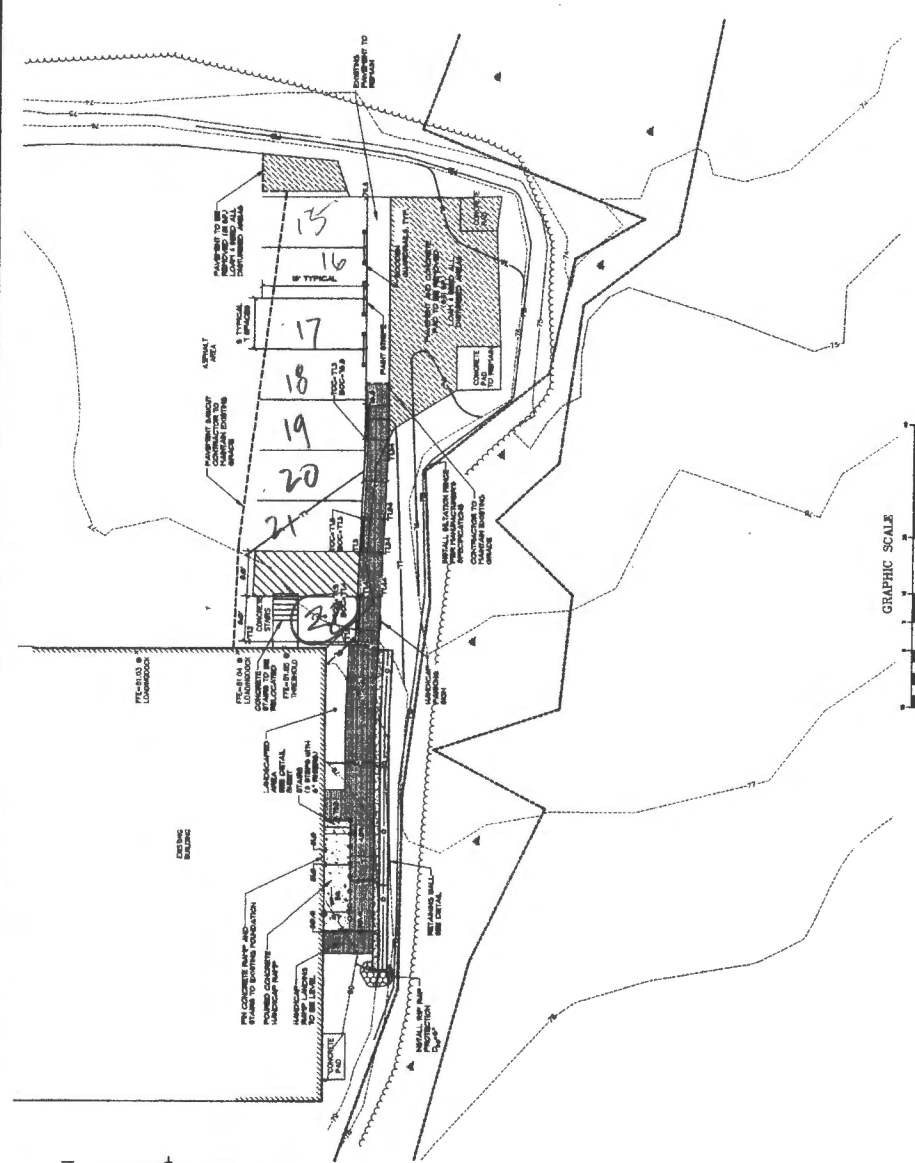


GENERAL NOTES:

- THE EXISTING GRADE OF THE PROJECT IS SHOWN ON THIS PLAN. ALL PROPOSED GRADING SHALL BE BASED ON THIS GRADE UNLESS OTHERWISE NOTED.
- THE PROJECT IS SCHEDULED TO BE CONSTRUCTED IN PHASES AS SHOWN ON THIS PLAN. THE PHASES SHALL BE: 1. PHASE I: ALL CIVIL WORK AND ALL EXISTING UTILITIES SHALL BE RELOCATED OR DELETED AS SHOWN ON THIS PLAN. 2. PHASE II: ALL FOUNDATION AND STRUCTURE WORK SHALL BE CONSTRUCTED AS SHOWN ON THIS PLAN. 3. PHASE III: ALL GRADING AND PAVEMENT WORK SHALL BE CONSTRUCTED AS SHOWN ON THIS PLAN. 4. PHASE IV: ALL FINISH GRADE AND CURB WORK SHALL BE CONSTRUCTED AS SHOWN ON THIS PLAN.

IMPORTANT AREA CALCULATIONS:

1. TOTAL AREA OF PAVED ROADWAY (AS SHOWN ON THIS PLAN) IS 1,200 SQUARE FEET.
 2. TOTAL AREA OF PAVED DRIVEWAY (AS SHOWN ON THIS PLAN) IS 1,500 SQUARE FEET.
 3. TOTAL AREA OF PAVED DRIVEWAY (AS SHOWN ON THIS PLAN) IS 1,500 SQUARE FEET.
 4. TOTAL AREA OF PAVED DRIVEWAY (AS SHOWN ON THIS PLAN) IS 1,500 SQUARE FEET.



- LEGEND**
- | | |
|--|------------------------|
| | EXISTING BOUNDARY LINE |
| | PROPOSED BOUNDARY LINE |
| | EXISTING BUILDING |
| | PROPOSED BUILDING |
| | EXISTING PAVEMENT |
| | PROPOSED PAVEMENT |
| | EXISTING CONCRETE |
| | PROPOSED CONCRETE |
| | EXISTING ASPHALT |
| | PROPOSED ASPHALT |
| | EXISTING STORM DRAIN |
| | PROPOSED STORM DRAIN |
| | EXISTING SEWER LINE |
| | PROPOSED SEWER LINE |
| | EXISTING UTILITY LINE |
| | PROPOSED UTILITY LINE |

CONSTRUCTION NOTES

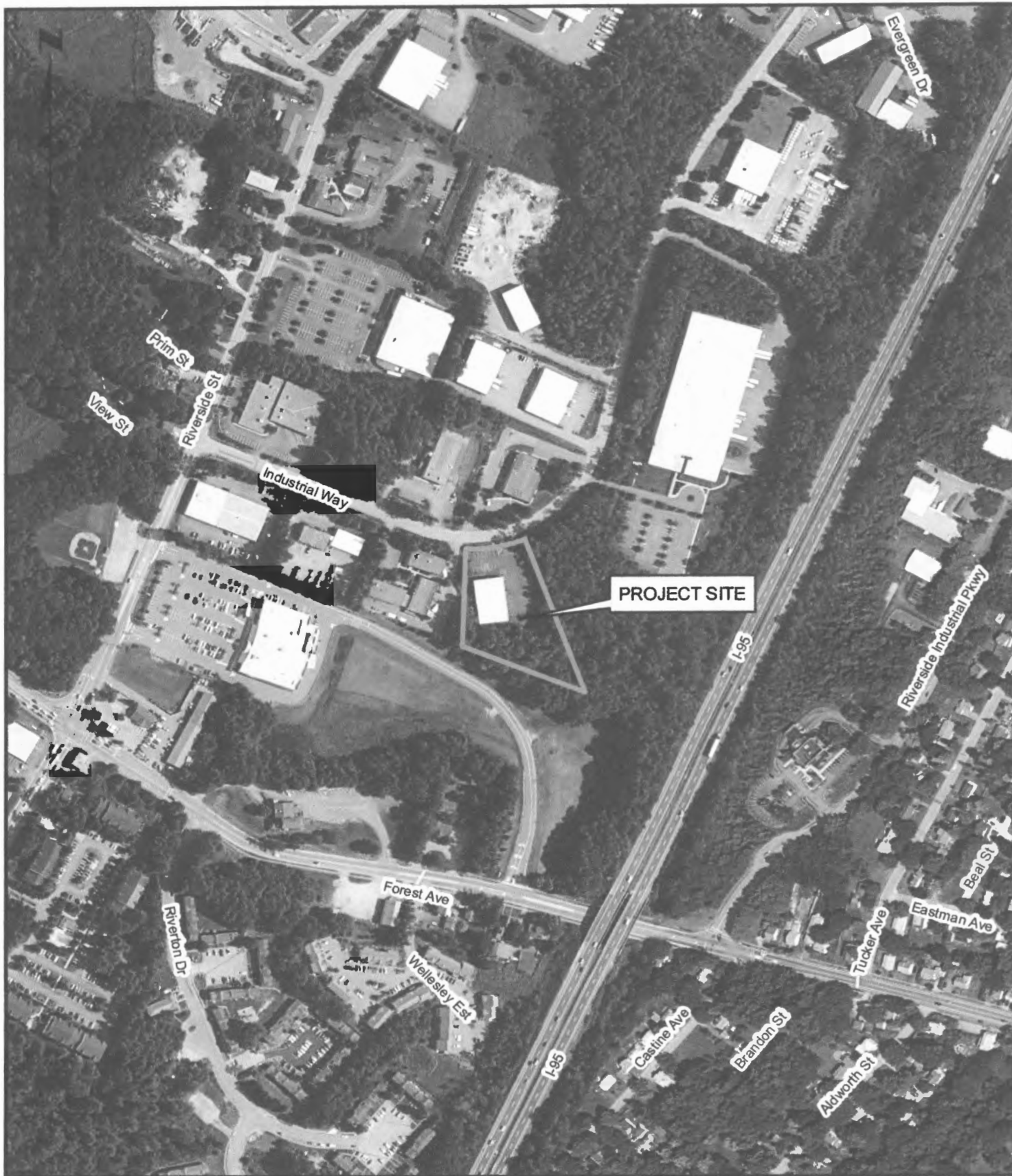
- CONTRACTOR SHALL VERIFY THE USE AND ADJUSTMENT OF ALL EXISTING UTILITY LINES AND PROVIDE PROTECTION FOR ALL EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES.
- CONTRACTOR SHALL VERIFY THE USE AND ADJUSTMENT OF ALL EXISTING UTILITY LINES AND PROVIDE PROTECTION FOR ALL EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES.
- CONTRACTOR SHALL VERIFY THE USE AND ADJUSTMENT OF ALL EXISTING UTILITY LINES AND PROVIDE PROTECTION FOR ALL EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES.
- CONTRACTOR SHALL VERIFY THE USE AND ADJUSTMENT OF ALL EXISTING UTILITY LINES AND PROVIDE PROTECTION FOR ALL EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES.
- CONTRACTOR SHALL VERIFY THE USE AND ADJUSTMENT OF ALL EXISTING UTILITY LINES AND PROVIDE PROTECTION FOR ALL EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES.
- CONTRACTOR SHALL VERIFY THE USE AND ADJUSTMENT OF ALL EXISTING UTILITY LINES AND PROVIDE PROTECTION FOR ALL EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES.
- CONTRACTOR SHALL VERIFY THE USE AND ADJUSTMENT OF ALL EXISTING UTILITY LINES AND PROVIDE PROTECTION FOR ALL EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES.
- CONTRACTOR SHALL VERIFY THE USE AND ADJUSTMENT OF ALL EXISTING UTILITY LINES AND PROVIDE PROTECTION FOR ALL EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES.
- CONTRACTOR SHALL VERIFY THE USE AND ADJUSTMENT OF ALL EXISTING UTILITY LINES AND PROVIDE PROTECTION FOR ALL EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES.
- CONTRACTOR SHALL VERIFY THE USE AND ADJUSTMENT OF ALL EXISTING UTILITY LINES AND PROVIDE PROTECTION FOR ALL EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES.

30888

30888

INDUSTRIAL AUTOMATION SUPPLY, INC.
 PROJECT: INDUSTRIAL AUTOMATION SUPPLY, INC.
 DATE: 10-15-11
 SHEET: 1 OF 3

INDUSTRIAL AUTOMATION SUPPLY, INC. PROJECT: INDUSTRIAL AUTOMATION SUPPLY, INC. DATE: 10-15-11 SHEET: 1 OF 3



Sebago Technics

Engineering Expertise You Can Build On

One Chabot Street 250 Goddard Road - Suite B
 Westbrook, ME 04098-1339 Lewiston, ME 04240
 Tel (207) 856-0277 Tel (207) 783-5656

WWW.SEBAGOTECHNICS.COM



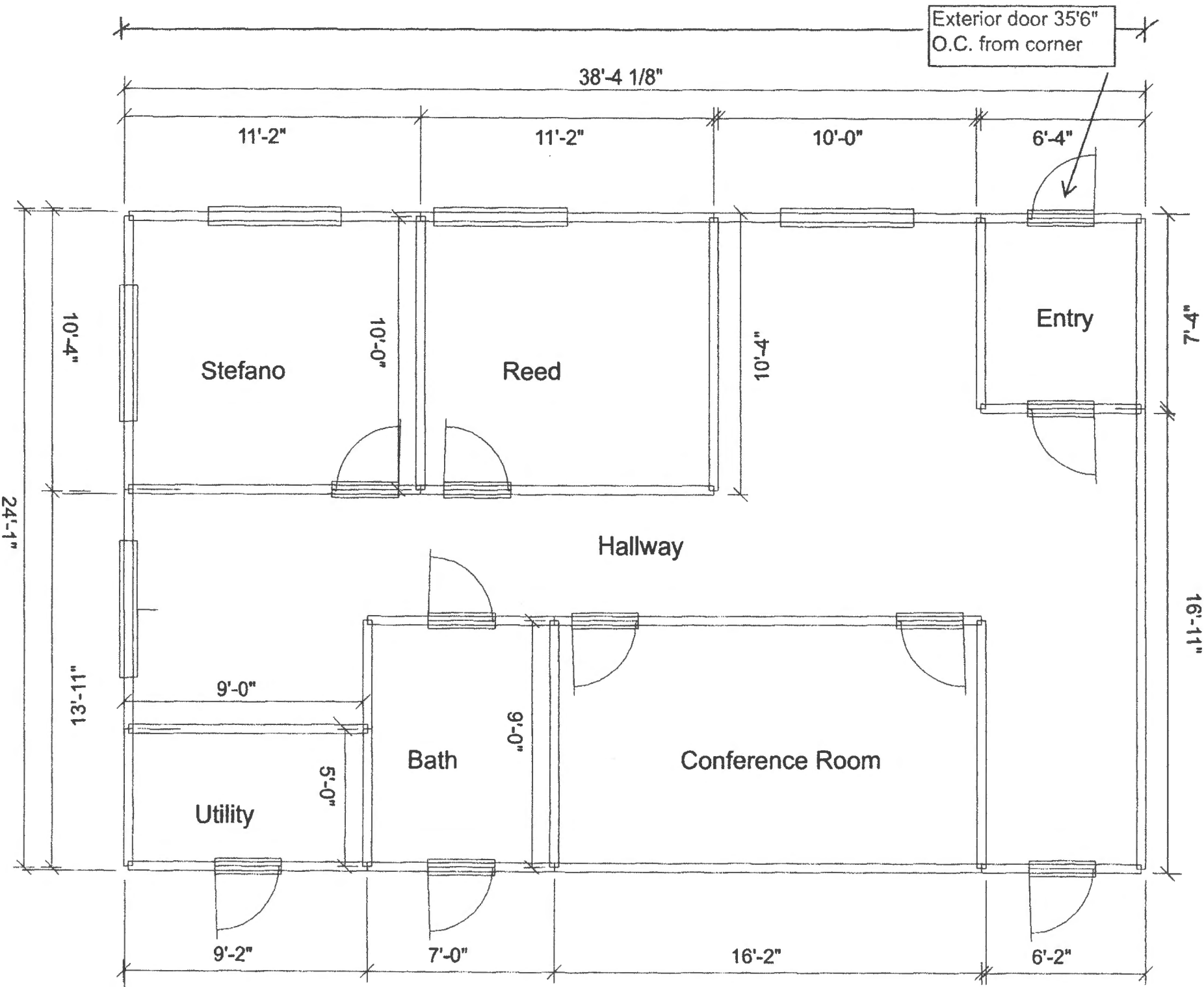
SITE LOCATION MAP OF IAS INC.

LOCATION:
75 INDUSTRIAL WAY
PORTLAND, MAINE

INFORMATION:
IMAGERY ACQUIRED SUMMER 2010
BING IMAGERY
PARCEL AND ROAD DATA FROM CITY OF PORTLAND

SCALE: 1" = 358.8'

DATE: 10/19/11



BUILDING CONVERSION SKETCH.

Marge Schmuckal - Fwd: Re: Dirigo Capital Holdings 77 Industrial Way Buildout

From: Jean Fraser
To: Barhydt, Barbara
Date: 11/4/2011 2:10 PM
Subject: Fwd: Re: Dirigo Capital Holdings 77 Industrial Way Buildout
CC: Schmuckal, Marge
Attachments: 75-77 Industrial Way.pdf; 77 Ind Way Buildout.pdf

11/4/11

for info

>>> Chris LeBel <clebel@iasinc.com> 11/4/2011 2:08 PM >>>

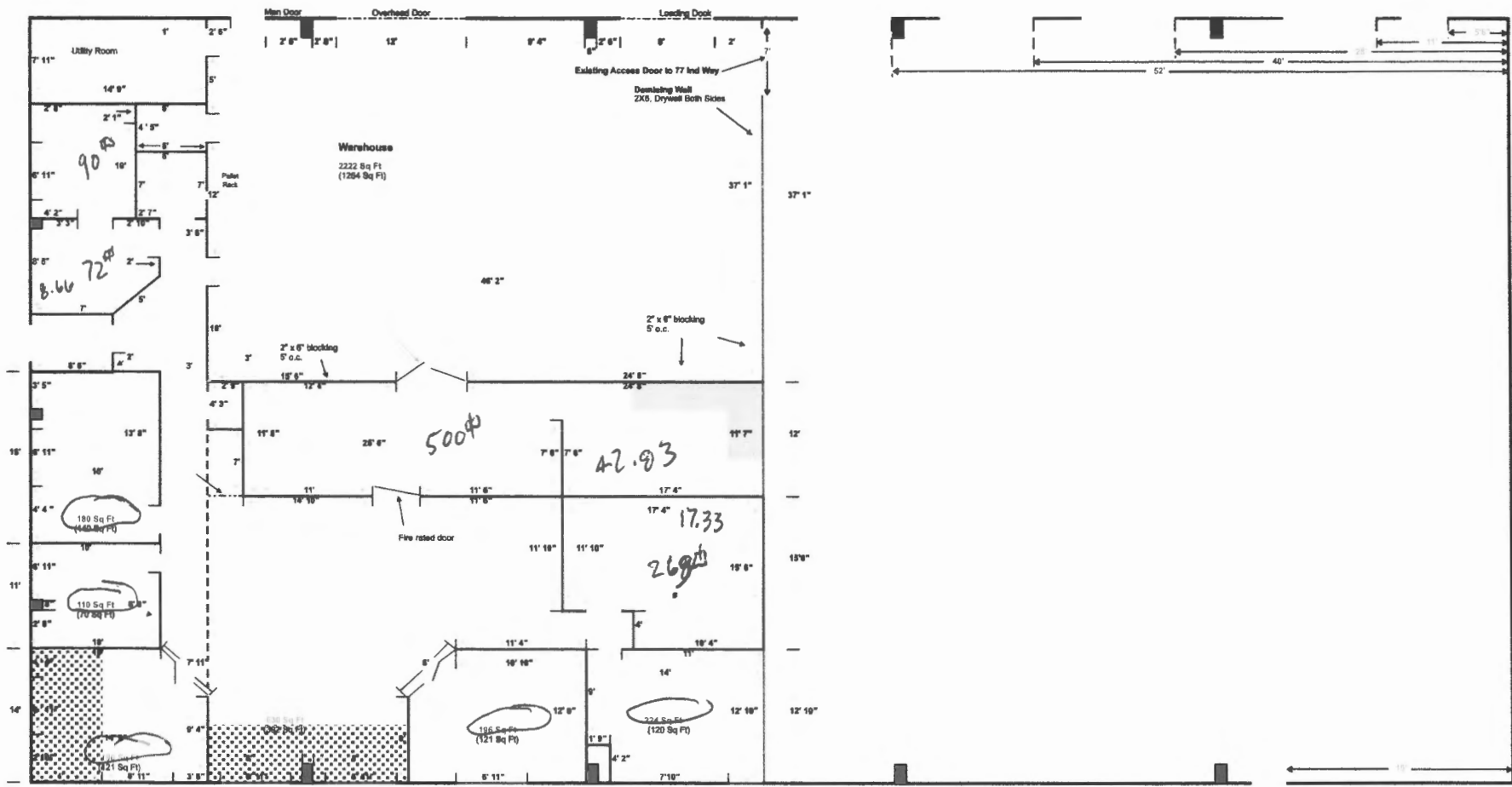
Jean,

The attached file labeled 75-77 Industrial Way shows the entire building as it exists today - our current space consisting of 5000 sq ft of combination office/warehouse space, and the 5000 sq ft 77 Ind Way empty warehouse that we want to build out.

The 77 Ind Way Buildout drawing shows just the right half of the building.

I will forward your note on the site plan to Sebago Technics for revision.

Thanks, Chris



1/4/11

Warehouse = 2222[#]
 500

$$\frac{2722}{1000} = 2.722$$
 2.722 (3)

- 72
- 90
- 100
- 110
- 196
- 630
- 196
- 224
- 269

moved from existing location with door replaced with new exterior door with 1/2 window

8 Pkg Need

$$= 1967 \text{ of buca area} \div 400 = 4.9175$$

PIN CONCRETE RAMP AND STAIRS
TO EXISTING FOUNDATION

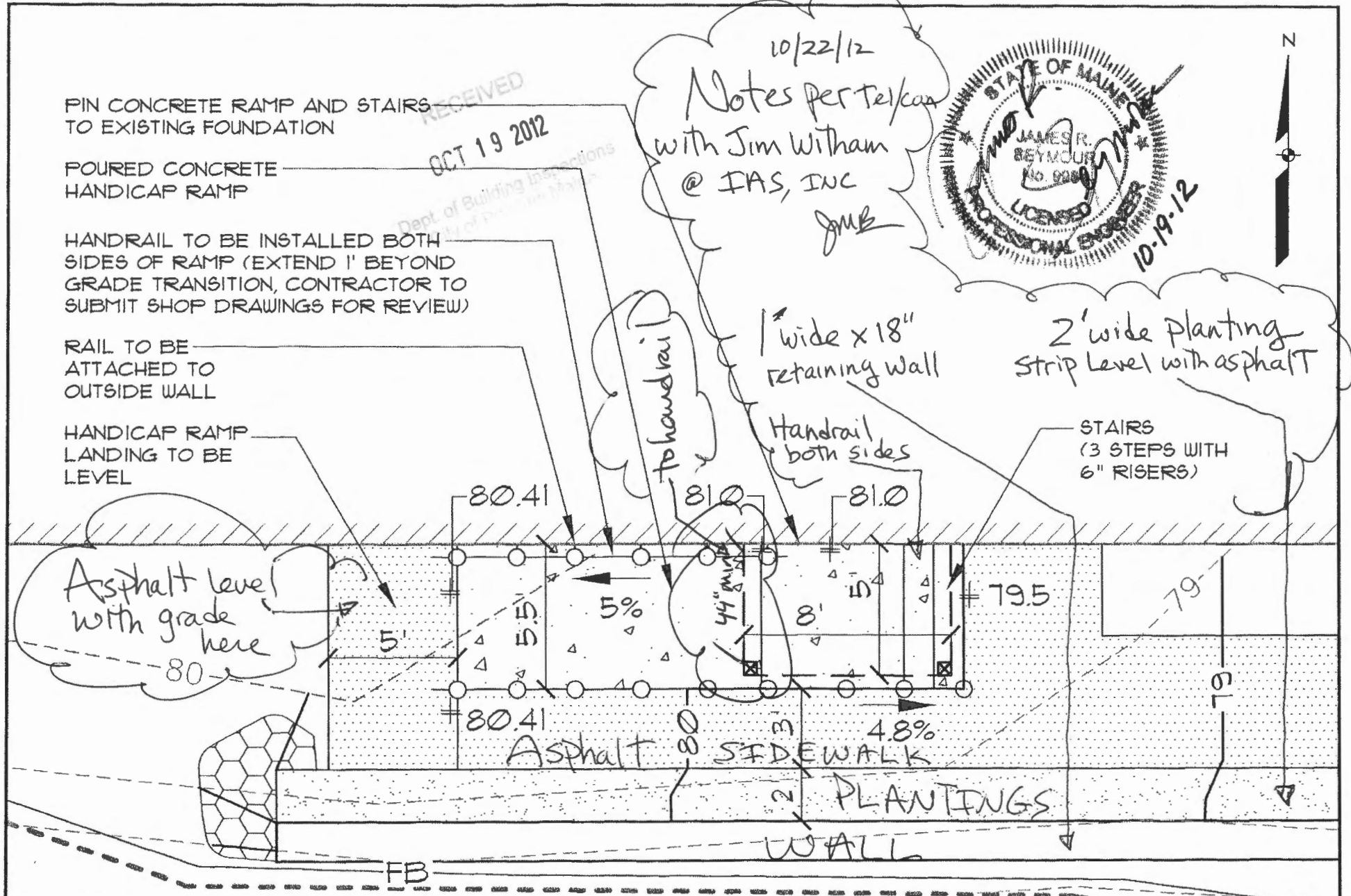
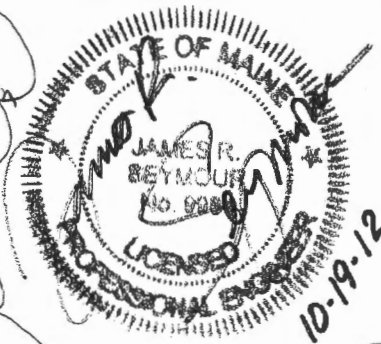
POURED CONCRETE
HANDICAP RAMP

HANDRAIL TO BE INSTALLED BOTH
SIDES OF RAMP (EXTEND 1' BEYOND
GRADE TRANSITION, CONTRACTOR TO
SUBMIT SHOP DRAWINGS FOR REVIEW)

RAIL TO BE
ATTACHED TO
OUTSIDE WALL

HANDICAP RAMP
LANDING TO BE
LEVEL

10/22/12
Notes per tel/cor
with Jim Witham
@ IAS, INC
JMB



SEBAGO
TECHNICS

WWW.SEBAGOTECHNICS.COM

75 John Roberts Rd. - Suite 1A
South Portland, ME 04106
Tel. 207-200-2100

250 Goddard Rd. - Suite B
Lewiston, ME 04240
Tel. 207-783-5656

HANDRAIL ADDITION

OF: SITE GRADING PLAN - DIRIGO CAPITAL HOLDINGS, LLC

LOCATION: Industrial Automation Supply

75 INDUSTRIAL WAY
PORTLAND, MAINE

FOR:

DIRIGO CAPITAL HOLDINGS, LLC
PORTLAND, MAINE

SCALE: 1" = 5'

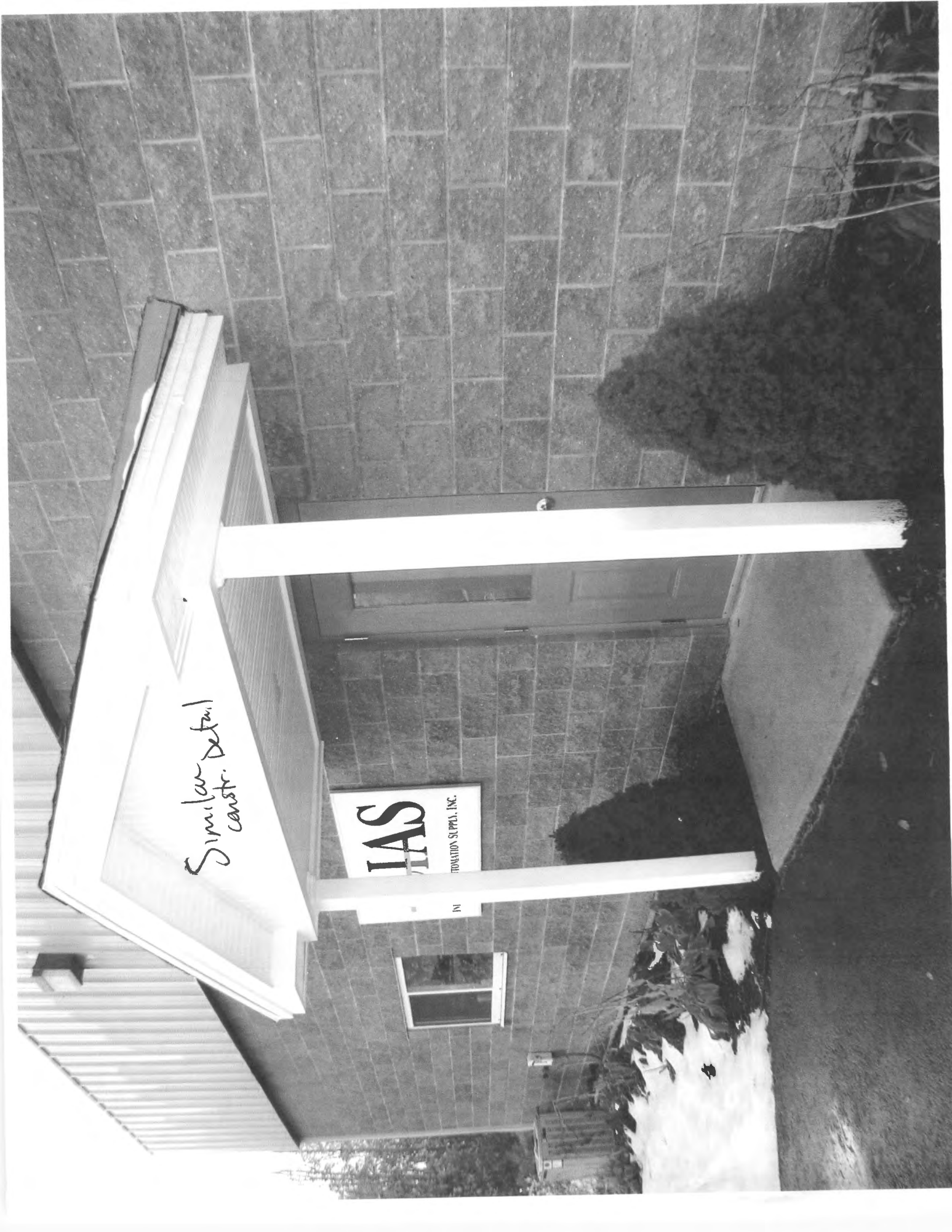
DATE: 10-19-12

SHEET:

1 OF 1

*Similar Detail
constr.*

IAS
INNOVATION SUPPLY, INC.
IN



Similar Construction
detail

IAS

INDUSTRIAL AUTOMATION SUPPLY, INC.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Footings/Setbacks prior to pouring concrete

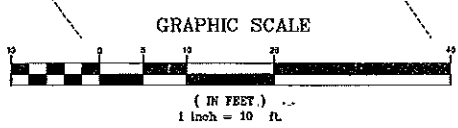
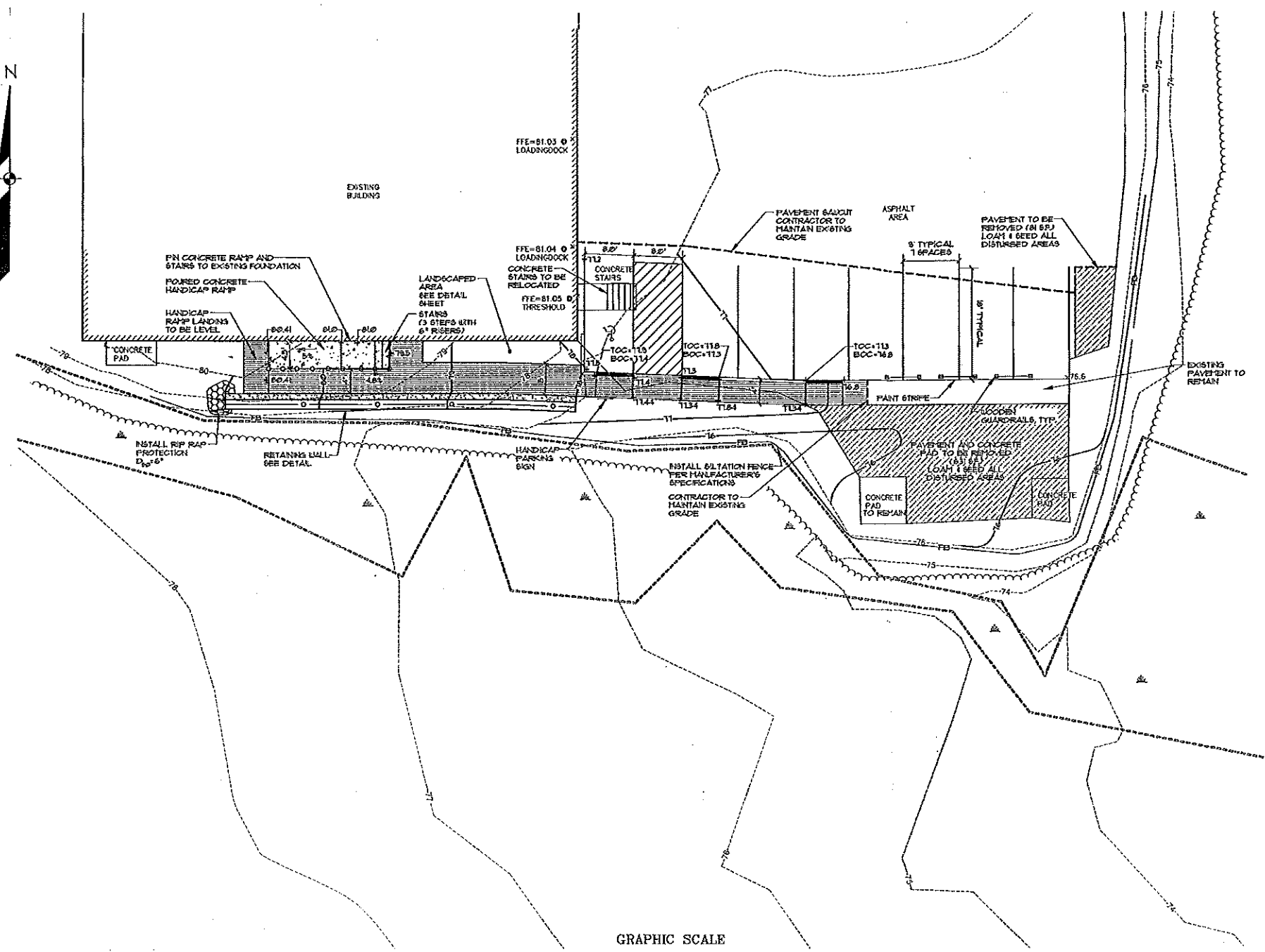
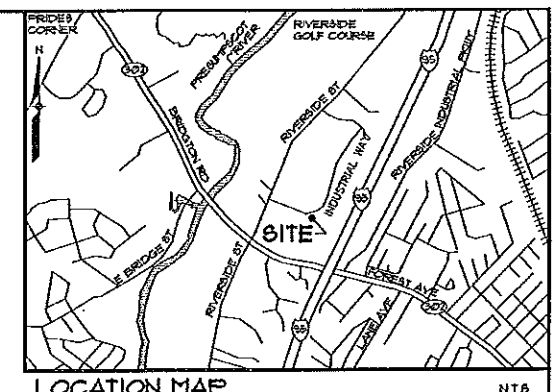
Close In Elec/Plmb/Frame prior to insulate or gyp

Certificate of Occupancy Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

4/26/12



EXISTING	DESCRIPTION	PROPOSED
	BOUNDARY LINE/ROW	
	BENCHMARK	
	WETLANDS	
	EDGE WETLAND	
	60% EDGE PAVEMENT	
	EDGE CONCRETE	
	PAVEMENT PAINT	
	GRAVEL	
	CURBLINE	
	TREELINE	
	-122-- -120- CONTOURS	
	x30.20 6POT GRADE	
	RETAINING WALL	
	DECIDUOUS TREE	
	CONIFEROUS TREE	
	MULCH LINE	
	GUARDRAIL	
	FILTER BARRIER	
	RIPRAP	

CONSTRUCTION NOTES

- ALL WORK SHALL CONFORM TO THE APPLICABLE CODES AND ORDINANCES.
- CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIM OR HERSELF WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIM OR HERSELF WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDINGS WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
- CONTRACTOR SHALL NOTIFY ENGINEER OF ALL PRODUCTS OR ITEMS NOTED AS 'EXISTING' WHICH ARE NOT FOUND IN THE FIELD.
- INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND OWNER'S REQUIREMENTS UNLESS SPECIFICALLY OTHERWISE INDICATED OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO FABRICATION AND ERECTION OF ANY MATERIAL. ANY UNUSUAL CONDITIONS SHALL BE REPORTED TO THE ATTENTION OF THE ENGINEER.
- CONTRACTOR SHALL CLEAN AND REMOVE DEBRIS AND SEDIMENT DEPOSITED ON PUBLIC STREETS, SIDEWALKS, ADJACENT AREAS, OR OTHER PUBLIC WAYS DUE TO CONSTRUCTION.
- CONTRACTOR SHALL INCORPORATE PROVISIONS AS NECESSARY IN CONSTRUCTION TO PROTECT EXISTING STRUCTURES, PHYSICAL FEATURES, AND MAINTAIN SITE STABILITY DURING CONSTRUCTION. CONTRACTOR SHALL RESTORE ALL AREAS TO ORIGINAL CONDITION AND AS DIRECTED BY DESIGN DRAWINGS.
- SITE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "MANE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES" PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.
- THE CONTRACTOR IS HEREBY CAUTIONED THAT ALL SITE FEATURES SHOWN HEREON ARE BASED ON FIELD OBSERVATIONS BY THE SURVEYOR. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT DIGSAFE (1-800-DIGSAFE) AT LEAST THREE (3) BUT NOT MORE THAN THIRTY (30) DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DISPOSITION TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES.
- CONTRACTOR SHALL BE AWARE THAT DIGSAFE ONLY NOTIFIES ITS 'MEMBER' UTILITIES ABOUT THE DIG WHEN NOTIFIED. DIGSAFE WILL ADVISE CONTRACTOR OF MEMBER UTILITIES IN THE AREA. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND CONTACTING NON-MEMBER UTILITIES DIRECTLY. NON-MEMBER UTILITIES MAY INCLUDE TOWN OR CITY WATER AND SEWER DISTRICTS AND SHALL, LOCAL UTILITIES, AS WELL AS USGS PUBLIC WORKS SYSTEMS.
- CONTRACTORS SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF 23 MRS.A 336B-A. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITIES TO OBTAIN AUTHORIZATION PRIOR TO RELOCATION OF ANY EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS. IF A UTILITY CONFLICT ARISES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER, THE MUNICIPALITY AND APPROPRIATE UTILITY COMPANY PRIOR TO PROCEEDING WITH ANY RELOCATION.
- ALL PAVEMENT MARKINGS AND DIRECTIONAL SIGNAGE SHOWN ON THE PLAN SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS.
- ALL PAVEMENT JOINTS SHALL BE SAUCUT PRIOR TO PAYING TO PROVIDE A DURABLE AND UNIFORM JOINT.
- NO HOLES, TRENCHES OR STRUCTURES SHALL BE LEFT OPEN OVERNIGHT IN ANY EXCAVATION ACCESSIBLE TO THE PUBLIC OR IN PUBLIC RIGHTS-OF-WAY.
- THE PROPOSED LIMITS OF CLEARING SHOWN HEREON ARE APPROXIMATE BASED UPON THE PROPOSED LIMITS OF SITE GRADING. THE APPLICANT RESERVES THE RIGHT TO PERFORM NORMAL FOREST MANAGEMENT ACTIVITIES OUTSIDE OF THE CLEARING LIMIT AS SHOWN. TREE REMOVAL OUTSIDE OF THE LIMITS OF CLEARING MAY BE NECESSARY TO REMOVE DEAD OR DYING TREES OR TREE LIMBS. THIS REMOVAL IS DUE TO POTENTIAL SAFETY HAZARDS AND TO PROMOTE PROPER FOREST GROWTH.
- IMMEDIATELY UPON COMPLETION OF OUTFILLS, THE CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH EROSION CONTROL NOTES AND AS SPECIFIED ON PLANS.
- THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR THE REMOVAL, REPLACEMENT AND REIFICATION OF ALL DAMAGED AND DEFECTIVE MATERIAL AND WORKMANSHIP IN CONNECTION WITH THE CONTRACT WORK. THE CONTRACTOR SHALL REPLACE OR REPAIR AS DIRECTED BY THE OWNER ALL SUCH DAMAGED OR DEFECTIVE MATERIALS WHICH APPEAR WITHIN A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.
- ALL WORK PERFORMED BY THE GENERAL CONTRACTOR AND/OR TRADE SUBCONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF LOCAL, STATE OR FEDERAL LAWS, AS WELL AS ANY OTHER GOVERNING REQUIREMENTS, WHETHER OR NOT SPECIFIED ON THE DRAWINGS.
- WHERE THE TERMS "APPROVED EQUAL", "OTHER APPROVED", "EQUAL TO", "ACCEPTABLE" OR OTHER GENERAL QUALIFYING TERMS ARE USED IN THESE NOTES, IT SHALL BE UNDERSTOOD THAT REFERENCE IS MADE TO THE RULING AND JUDGMENT OF SEBAGO TECHNICS, INC.
- THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR THE WORK UNTIL TURNED OVER TO THE OWNER.
- THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS ON SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES.
- THE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ANY CHANGES AND DEVIATION OF APPROVED PLANS NOT AUTHORIZED BY THE ARCHITECT/ENGINEER AND/OR CLIENT/OWNER.
- DETAILS ARE INTENDED TO SHOW END RESULT OF DESIGN. ANY MODIFICATION TO SUBMIT FIELD DIMENSION AND CONDITION SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO ANY WORK.
- BEFORE THE FINAL ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL REMOVE ALL EQUIPMENT AND MATERIALS, REPAIR OR REPLACE PRIVATE OR PUBLIC PROPERTY WHICH MAY HAVE BEEN DAMAGED OR DESTROYED DURING CONSTRUCTION, CLEAN THE AREAS WITHIN AND ADJACENT TO THE PROJECT WHICH HAVE BEEN OBSTRUCTED BY HIS/HER OPERATIONS, AND LEAVE THE PROJECT AREA NEAT AND PLEASANTABLE.
- ALL SUBSURFACE UTILITY LINES SHOWN HEREON ARE BASED SOLELY ON THE FIELD LOCATION OF VISIBLE STRUCTURES, BATHS, CUBS, HYDRANTS, ETC. IN CONJUNCTION WITH DESIGN AND OR AS-BUILT PLANS SUPPLIED TO SEBAGO TECHNICS INC. BY OTHERS PRIOR TO ANY CONSTRUCTION. EXCAVATION, TEST BORINGS, DRILLINGS, ETC. DIG SAFE MUST BE NOTIFIED AND A SITE IDENTIFICATION NUMBER ALONG WITH A SAFE TO DIG DATE OBTAINED. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION, DEPTH AND MATERIAL OF ALL SUBSURFACE UTILITY LINES SHOWN HEREON AND ANY AND ALL OTHERS LOCATED ON SITE WITHIN THE CONSTRUCTION AREA.

GENERAL NOTES:

- THE RECORD OWNER OF THE PARCEL IS DRIGO CAPITAL HOLDINGS, LLC BY DEED DATED FEBRUARY 27, 2001 AND RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 24816 PAGE 5.
- THE PROPERTY IS SHOWN AS LOT 43 ON THE CITY OF PORTLAND TAX MAP 571 AND IS LOCATED IN THE I-H INDUSTRIAL ZONE.
- SPACE AND BULK CRITERIA:
 I-H ZONE
 MIN LOT SIZE: NONE
 MIN STREET FRONTAGE: 60 FEET
 MIN FRONT YARD: 7 X HEIGHT OF BUILDING
 MIN SIDE YARD: 7 X HEIGHT OF BUILDING UP TO 25 FEET / 35 FEET IF ADJUTING RESIDENTIAL ZONE USE
 MIN REAR YARD: 7 X HEIGHT OF BUILDING UP TO 25 FEET / 35 FEET IF ADJUTING RESIDENTIAL ZONE USE
 MIN PAVEMENT SETBACK: 10 FEET
 MAX BUILDING HEIGHT: 35
 MAX IMPERVIOUS SURFACE RATIO: 35%
- TOTAL AREA OF PARCEL: 1.81 AC. (85,83 SQUARE FEET)
- BOUNDARY INFORMATION DEFICIT HEREON IS AS SHOWN ON PLAN REFERENCE 6.A. TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON FIELD WORK BY SEBAGO TECHNICS, INC. IN SEPTEMBER OF 2011. ELEVATIONS DEFICIT HEREON ARE BASED ON 1985 VERTICAL DATUM.
- PLAN REFERENCES:
 A. "STANDARD BOUNDARY SURVEY & EXISTING CONDITIONS" FOR PIZZO FRUIT 1 PRODUCE BY LAND USE CONSULTANTS, INC. DATED JUNE 4, 1991 AND REVISED THROUGH JULY 9, 1991.
 B. "TOPOGRAPHIC SURVEY" FOR NATIVE HAINR PRODUCE BY LEBIE & WASHNA, INC. DATED OCTOBER 6, 2004 AND REVISED THROUGH OCTOBER 10, 2004.

IMPERVIOUS AREA CALCULATIONS:

ADDED IMPERVIOUS AREA = 611 SF
 IMPERVIOUS AREA TO BE REMOVED = 118 SF
 NET DIFFERENCE = 493 SF

**CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 11-23-2011**

Sebago Technics
 Engineering, Excavating, You Can Trust Us On...
 200 Goodland Road - Suite B
 Westbrook, ME 04092-1530
 Tel: (207) 828-0277
 www.sebagocontractors.com

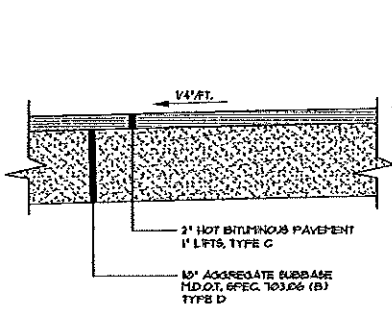
PROJECT NO. 04142
 FIELD BOOK DESIGN CHKD DRAWN JRS
 04/12 JRS

SITE GRADING PLAN
 OF:
INDUSTRIAL AUTOMATION SUPPLY, INC.
 75 INDUSTRIAL WAY
 PORTLAND, ME
 FOR:
INDUSTRIAL AUTOMATION SUPPLY, INC.
 75 INDUSTRIAL WAY
 PORTLAND, ME 04103
 TAB: Model

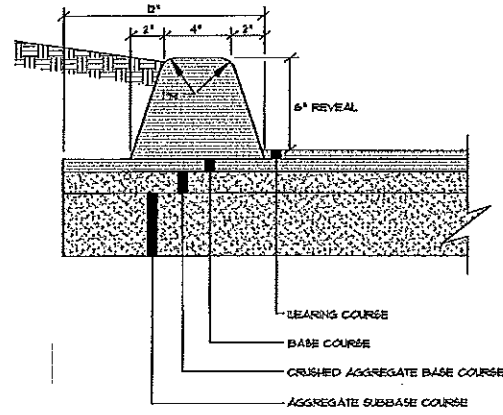
DATE: 10-03-11 SCALE: 1"=10'

SHEET 1 OF 3

Zonung (+ I will stamp the scaled plans you have seen)

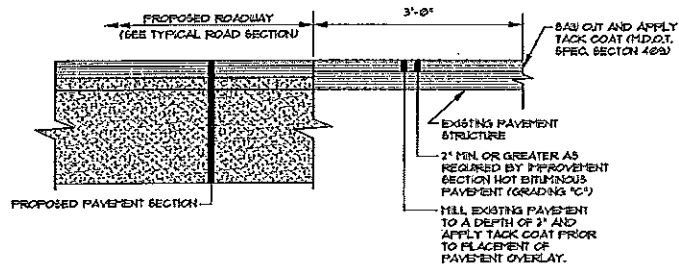
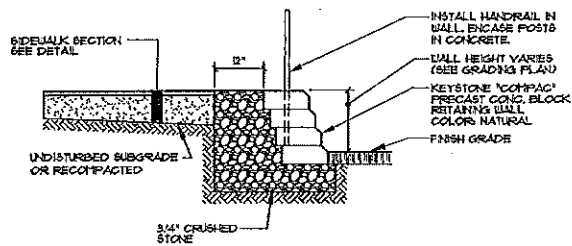


BITUMINOUS SIDEWALK
NOT TO SCALE

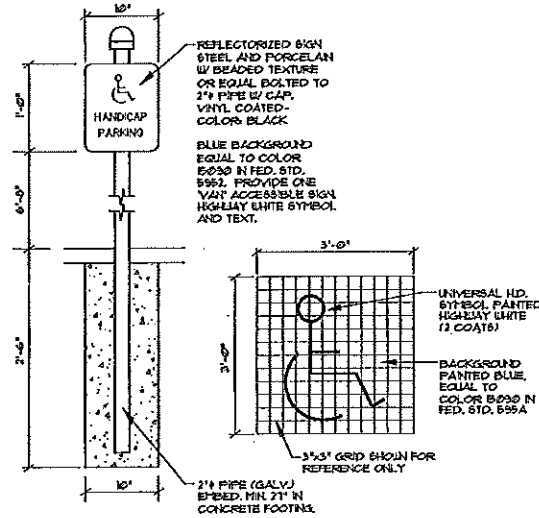


BITUMINOUS CURB SECTION
NOT TO SCALE

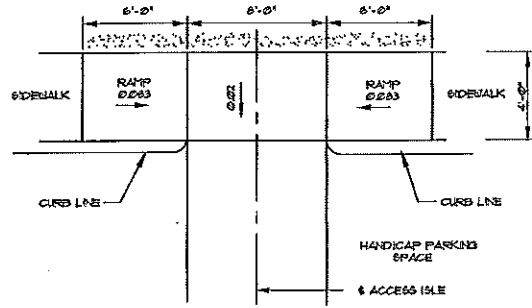
CONCRETE BLOCK RETAINING WALL
NOT TO SCALE



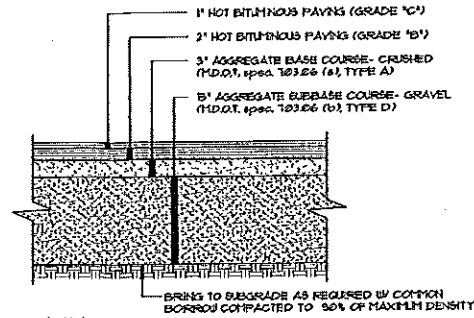
TYPICAL PAVEMENT JOINT
NOT TO SCALE



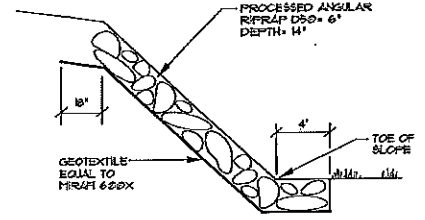
HANDICAP SIGNS
NOT TO SCALE



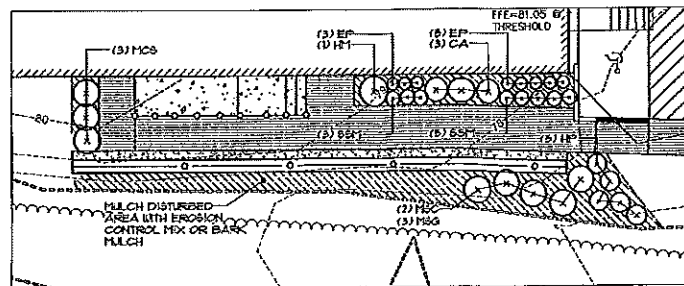
HANDICAP RAMP
NOT TO SCALE



TYP. PAVED PARKING LOT SECTION
NOT TO SCALE



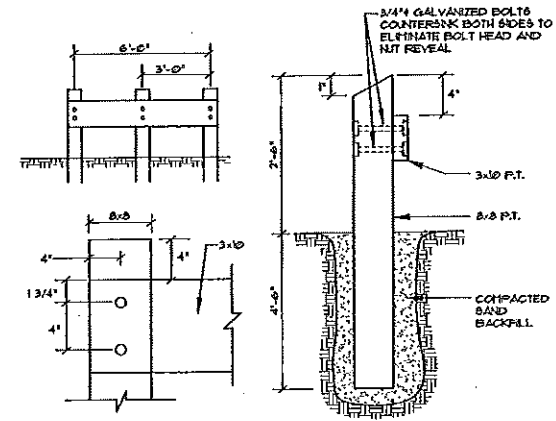
SIDE SLOPE RIPRAP
NOT TO SCALE



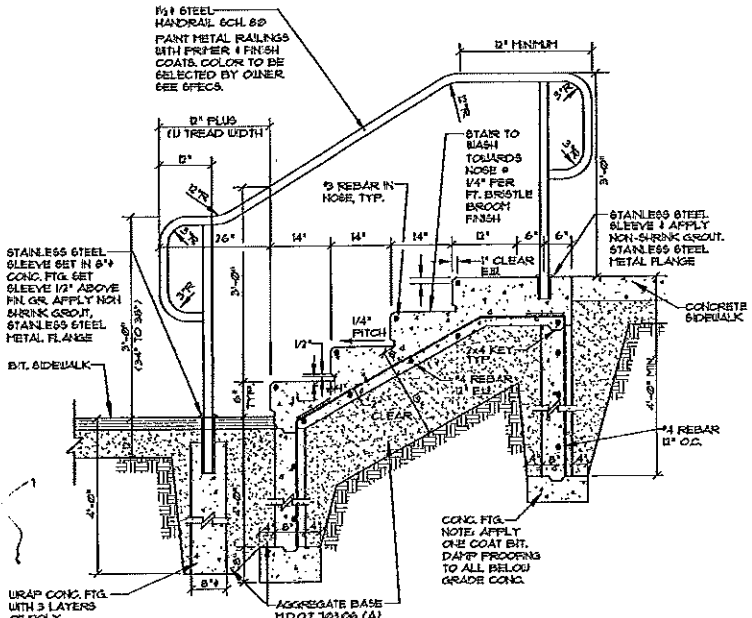
PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	SIZE
HP	HOSTA 'SUM & SUBSTANCE'	SUM & SUBSTANCE HOSTA	4"
HI	HYDRANGEA MACROPETALA 'ENDLESS SUMMER'	ENDLESS SUMMER HYDRANGEA	4"
HS	HECANTHUS SPENSIS 'COSMOPOLITAN'	COSMOPOLITAN MAIDEN GRASS	2"
HS	HECANTHUS SPENSIS 'GRACILLIUS'	GRACILLIUS MAIDEN GRASS	2"
BM	BALVIA SUPERBA 'MAY NIGHT'	MAY NIGHT BALVIA	4"
EP	ECHINCEA PURPUREA 'MAGNUS'	CONEFLOWER	4"
CA	CLETHRA ALNFOLIA 'SIXTEEN CANDLES'	SIXTEEN CANDLE	24"

LANDSCAPING DETAIL
SCALE: 1"=10"



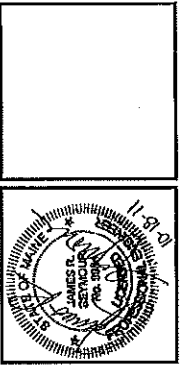
PRESSURE TREATED WOOD GUARDRAIL
NOT TO SCALE



CONCRETE STAIR
NOT TO SCALE

- NOTES:**
- STEPS OVER 4" IN BOTH SHALL HAVE CONTINUOUS HANDRAILS ON BOTH SIDES. INTERMEDIATE RAILS ARE REQUIRED SO THAT ALL PORTIONS OF THE REQUIRED WIDTH OF STAIRS ARE WITHIN 25" OF A HANDRAIL. ONLY ONE RAIL IS REQUIRED ON STAIRS LESS THAN 42" WIDE.
 - HANDRAILS SHALL EXTEND AT LEAST 12" BEYOND THE TOP AND 12" PLUS ONE TREAD WIDTH BEYOND THE BOTTOM OF THE STEPS AND SHALL BE PARALLEL WITH THE FLOOR OR GROUND SURFACE.
 - THE CLEAR SPACE BETWEEN THE HANDRAIL AND THE WALL SHALL BE 6".
 - THE TOP OF THE HANDRAIL GRIPPING SURFACE SHALL BE MOUNTED BETWEEN 34" AND 38" ABOVE STAIR NOSINGS.
 - ENDS OF HANDRAIL SHALL BE EITHER ROUNDED OR RETURNED SMOOTHLY TO THE FLOOR, WALL OR POST.
 - ALL HAND RAILS SHALL HAVE A CIRCULAR CROSS SECTION WITH AN OUTSIDE DIAMETER OF AT LEAST 1 1/2" AND NOT GREATER THAN 2".
 - HAND RAILS ARE NOT REQUIRED FOR STAIRWAYS WITH LEGS LESS THAN 2 RISERS.

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 11-23-2011



DATE	10-18-11	STATUS	SUBMITTED TO CITY FOR SITE PLAN REVIEW
BY	JRS	DATE	
REV.	A	DATE	

Sebago Technics
Engineering, Excavating, You Can Build On.
250 Oakdale Street
Westport, ME 04091-0339
Tel: (207) 638-0277
WWW.SEBAGOTECHNICS.COM

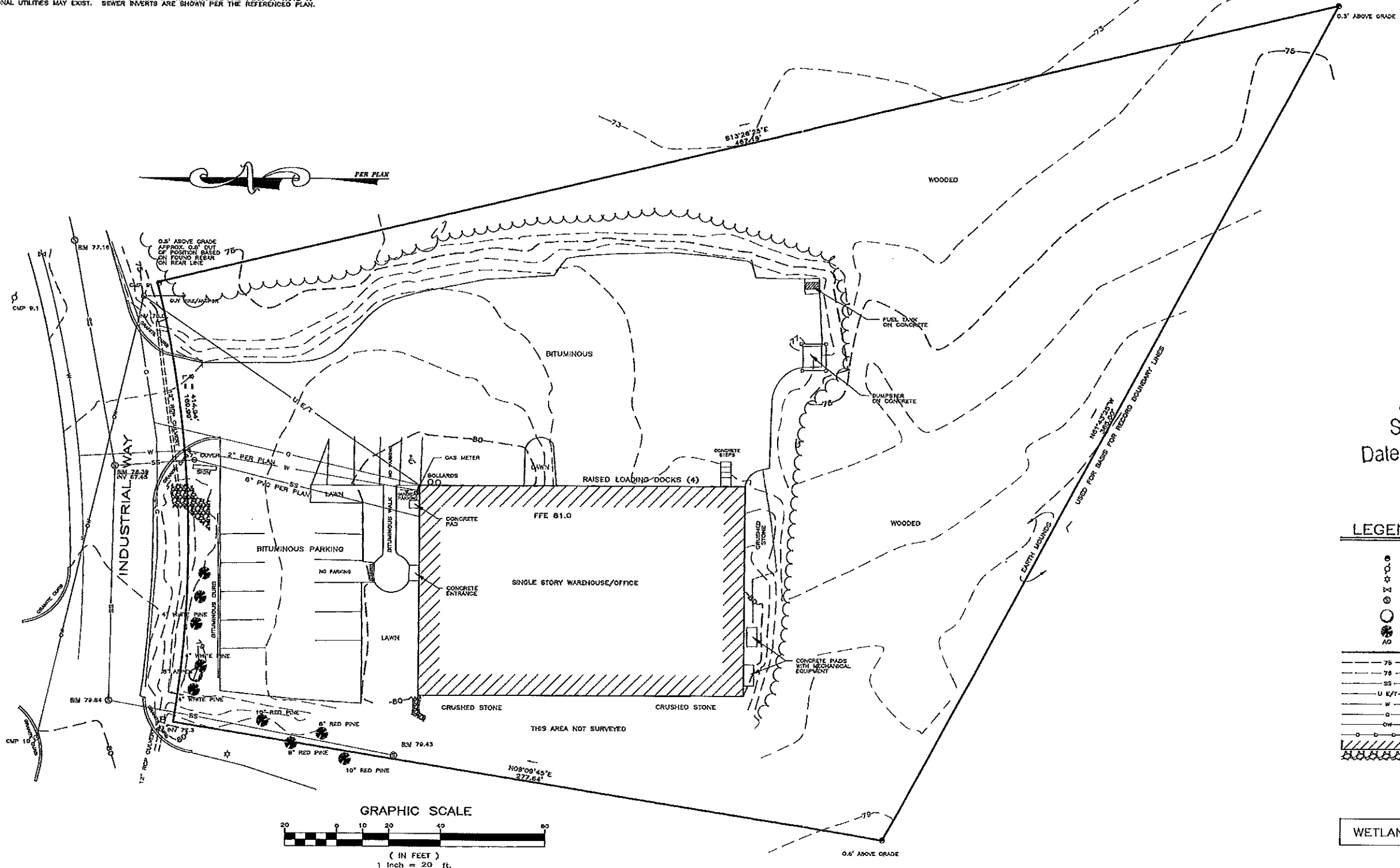
PROJECT NO. 11-03-0277
FIELD BOOK DESIGN CHQC
04142

INDUSTRIAL AUTOMATION SUPPLY, INC.
75 INDUSTRIAL WAY
PORTLAND, ME 04106

INDUSTRIAL AUTOMATION SUPPLY, INC.
75 INDUSTRIAL WAY
PORTLAND, ME 04106

DATE	SCALE
10-03-11	AS NOTED

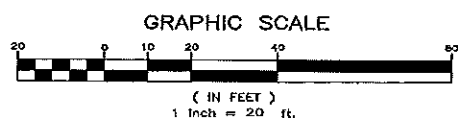
- BOUNDARY IS SHOWN PER THE STANDARD BOUNDARY SURVEY AND EXISTING CONDITIONS PLAN OR PIZED FRUIT AND PRODUCE PREPARED BY LAND USE CONSULTANTS, INC., REVISION DATED JULY 19, 1997. THESE LINES SHOULD BE VERIFIED BEFORE BEING RELIED UPON FOR SETBACKS OR IMPROVEMENTS NEAR THE PROPERTY LINES.
- THE BASIS OF ELEVATION FOR THIS SURVEY IS NGVD 1928 PER PLAN OF NOTE 1. BASED ON A 8"x8" GRANITE MONUMENT 60 FEET SOUTHEASTERLY OF RIVERSIDE STREET MEASURED ALONG THE SOUTHWESTERLY SIDELINE OF INDUSTRIAL WAY.
 - UNDERGROUND UTILITIES ARE SHOWN PER ABOVE GROUND EVIDENCE AND PLAN OF NOTE 1. ADDITIONAL UTILITIES MAY EXIST. SEWER INVERTS ARE SHOWN PER THE REFERENCED PLAN.



CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 11-23-2011

LEGEND

⊙	FOUND 5/8" REBAR WITH CAP PLS 1165
⊙	UTILITY POLE
⊙	LIGHT POLE
⊙	WATER VALVE
⊙	SANITARY SEWER MANHOLE
⊙	DECIDUOUS TREE
⊙	CONIFEROUS TREE
⊙	ABOVE GROUND
---	BOUNDARY LINE
-75-	INDEX CONTOURS
-76-	INTERMEDIATE CONTOURS
SS	SANITARY SEWER LINE
U E/T	UNDERGROUND ELECTRIC/TELEPHONE
W	WATER LINE
G	GAS LINE
OW	OVERHEAD WIRES
⊙	STOCKADE FENCE
▨	BUILDING/STRUCTURE
⊘	RP RAP OR CRUSHED STONES



REV.	BY	DATE	STATUS
1	BEL	10/12/04	SUBMIT TO CLIENT

Designed:	N/A	TOPOGRAPHIC SURVEY NATIVE MAINE PRODUCE 75 INDUSTRIAL WAY CITY OF PORTLAND, COUNTY OF CUMBERLAND STATE OF MAINE for SEBAGO TECHNICS, INC. One Chobol Street Westbrook, ME 04092
Drawn:	APL	
Checked:	BEL	
Date:	10/6/04	
Scale:	1" = 20'	
Field Book:	FILE	Project: 24031 File Name: 24031TOPC Contour Int.: 1 FOOT
Project:	24031	
File Name:	24031TOPC	
Contour Int.:	1 FOOT	SHEET 1 OF 1

AS SHOWN BY
 Bruce E. Lewis PLS
 2/11/11

SEAL
 Bruce E. Lewis

Lewis & Wasina, Inc.
 PROFESSIONAL LAND SURVEYORS

11 Highmeadow Drive
 Gorham, ME 04038
 Tel: (207) 892-0597 Fax: (207) 892-0558

NOT VALID WITHOUT EMBOS AND SIGNATURE