

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND

# BUILDING PERMIT

This is to certify that **DIRIGO CAPITAL HOLDINGS**

Located At 75 INDUSTRIAL WAY

Job ID: 2012-09-4952-ALTCOMM

CBL: 327A- A-009-001

has permission to make 920 sq ft of office space within the warehouse area as per plans provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

\_\_\_\_\_  
**Fire Prevention Officer**

*Jeanie Bonk* 10-22-12  
**Code Enforcement Officer / Plan Reviewer**

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
PENALTY FOR REMOVING THIS CARD**



# PORTLAND MAINE

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Director of Planning and Urban Development  
Jeff Levine

Job ID: 2012-09-4952-ALTCOMM

Located At: 75 INDUSTRIAL  
WAY

CBL: 327A- A-009-001

## Conditions of Approval:

### **Building**

1. Application approval based upon information provided by the applicant or design professional, including revision received dated 10/19/12. Any deviation from approved plans requires separate review and approval prior to work.
2. Permit approved based on the plans submitted and reviewed w/owner/ contractor, with additional information as agreed on and as noted on plan dated 10/19/12 for the exterior steps and ramp.
3. All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM E 814 or UL 1479, per IBC 2009 Section 713.
4. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

### **Fire**

**The exterior stair and ramp are new and shall comply with the requirements for new. Both shall have proper handrails on both sides.**

All construction shall comply with City Code Chapter 10. The occupancy shall comply with City Code Chapter 10 upon inspection.

Street addresses shall be marked on the structure and shall be as approved by the City E-911 Addressing Officer. Contact Michelle Sweeney at 874-8682 for further information.

Any Fire alarm or Sprinkler systems shall be reviewed by a licensed contractor(s) for code compliance. Compliance letters are required.

A separate Fire Alarm Permit is required for new systems; or for work effecting more than 5 fire alarm devices; or replacement of a fire alarm panel with a different model. All fire alarm installation and servicing companies shall have a Certificate of Fitness from the Fire Department. This review does not include approval of fire alarm system design or installation. Fire Alarm system shall be maintained. If system is to be off line over 4 hours a fire watch shall be in place. Dispatch notification required 874-8576.

A separate Suppression System Permit is required for all new suppression systems or sprinkler work effecting more than 20 heads. This review does not include approval of sprinkler system design or installation.

All buildings with a sprinkler or fire alarm system require a Knox Box to be installed per city ordinance.

Fire extinguishers are required per NFPA 1.

All means of egress to remain accessible at all times.

Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit and on the same circuit as the lighting for the area they serve.

Any cutting and welding done will require a Hot Work Permit from Fire Department.

Walls in structure are to be labeled according to fire resistance rating. IE; 1 hr. / 2 hr. / smoke proof.

A single source supplier should be used for all through penetrations.

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-09-4952-ALTCOMM	Date Applied: 9/13/2012	CBL: 327A- A-009-001	
Location of Construction: 75 INDUSTRIAL WAY	Owner Name: DIRIGO CAPITAL HOLDINGS LLC	Owner Address: 75 INDUSTRIAL WAY PORTLAND, ME 04103	Phone: 797-2345
Business Name: IAS	Contractor Name: Patco Construction Inc. – Rick Day	Contractor Address: 1293 MAIN STREET, SANFORD, ME 04073	Phone: (207) 324-5574 651-7284 RD
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG ALT	Zone: I-M
Past Use: Warehouse and offices	Proposed Use: Same: Warehouse and Offices – to make 920 sq ft of office space within the warehouse area as per plans <i>Exterior canopy, steps, ramp</i>	Cost of Work: \$115,000.00	CEO District:
		Fire Dept: <i>10/19/12</i> <input checked="" type="checkbox"/> Approved w/conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A Signature: <i>[Signature]</i>	Inspection: Use Group: <i>B/S-2</i> Type: <i>ZB</i> <i>MUBEL'09</i> Signature: <i>[Signature]</i>
Proposed Project Description: change of use; warehouse space to office space		Pedestrian Activities District (P.A.D.) <i>10/22/12</i>	
Permit Taken By: Gayle		<b>Zoning Approval</b>	

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<p><b>Special Zone or Reviews</b></p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetlands</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input checked="" type="checkbox"/> Site Plan <i>2011-368</i></p> <p><input type="checkbox"/> Maj <input type="checkbox"/> Min <input checked="" type="checkbox"/> MM</p> <p>Date: <i>01/9/14/12</i></p>	<p><b>Zoning Appeal</b></p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p><b>Historic Preservation</b></p> <p><input checked="" type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>[Signature]</i></p>
	<b>CERTIFICATION</b>		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

11-20-12 GF

OK FMG CLOSE IN

11-27-12 GF PASS OK PLUMBING TO PUMP SYS.

12-4-12 DWM/BKL Rick 651-7284 close-in OK reviewed 1 hr  
termination at roof/wall. Will get Arch. detail.

1-9-13 DWM/BKL Above ceilings OK.

1-25-13 DWM/BKL/capt. Pirone Rick 1 hr wall incomplete, reconfigured stair  
NTC

1-25-13 DWM Dean 774-2300 left msg res IBC 706.11 + 716.51  
He should contact Architect for direction/revisions

1-28-13 DWM Emailed Dean <sup>774-2300</sup> (see attached), left msg for  
Jim 200-2083 (see stamp photo attached)

2-25-13 DWM/John Martell Rick/Jim 797-2345 OK for TCO

will email plans

2012 09 495 66



# General Building Permit Application I-M

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>75 Industrial Way, Portland</u>		
Total Square Footage of Proposed Structure/Area <u>920 S.F.</u>		Square Footage of Lot <u>85,813</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>327 1-M 49</u> <u>327 A A 009</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>Dirigo Capital Holdings LLC</u> Address <u>75 Industrial Way</u> City, State & Zip <u>Portland, Me 04103</u>	Telephone: <u>207-797-2345</u>
Lessee/DBA (If Applicable) <b>RECEIVED</b> <b>SEP 13 2012</b> Dept. of Building Inspections City of Portland Maine	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>115,000</u> C of O Fee: \$ <u>75.00</u> Total Fee: \$ <u>1,245.00</u>
Current legal use (i.e. single family) <u>NA - Warehouse space, Enclosed Inc.</u> If vacant, what was the previous use? <u>NA</u> Proposed Specific use: <u>office Use Warehouse Space To Office</u> Is property part of a subdivision? <u>yes</u> If yes, please name <u>Industrial Way</u> Project description: <u>Construction of 920 S.F. of office space inside an existing warehouse, Metal stud wall construction with gypsum board, split HVAC system and electrical, with one handicap bathroom.</u>		
Contractor's name: <u>Potco Construction Inc</u> Address: <u>1293 Main Street</u> City, State & Zip: <u>Portland, Me 04073</u> Telephone: <u>207-324-5574 (102)</u> Who should we contact when the permit is ready: <u>Rick Day</u> Telephone: <u>807-651-7284</u> Mailing address: <u>1293 Main Street, Portland, Me 04073</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature:

Date:

9/13/12

This is not a permit; you may not commence ANY work until the permit is issued

**Jeanie Bourke - 75 Industrial Way, Industrial Automation Access Improvements - BP Issuance**

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**From:** Philip DiPierro  
**To:** Code Enforcement & Inspections  
**Date:** 9/24/2012 4:23 PM  
**Subject:** 75 Industrial Way, Industrial Automation Access Improvements - BP Issuance

---

Hi all, this project, site plan #2011-368, the Industrial Automation Access Improvements project located at 75 Industrial Way, meets minimum DRC site plan requirements for the issuance of the building permit. See 1S for sign off.

Please contact me with any questions. Thanks.

Phil



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## Receipts Details:

**Tender Information:** Check , BusinessName: Patco Construction, Check Number: 18064  
**Tender Amount:** 1245.00

## Receipt Header:

**Cashier Id:** gguertin  
**Receipt Date:** 9/13/2012  
**Receipt Number:** 48167

## Receipt Details:

Referance ID:	7992	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	1170.00	Charge Amount:	1170.00
Job ID: Job ID: 2012-09-4952-ALTCOMM - change of use; warehouse space to office space			
Additional Comments: 75 Industrial Way, Patco Construction			

Referance ID:	7993	Fee Type:	BP-C of O
Receipt Number:	0	Payment Date:	
Transaction Amount:	75.00	Charge Amount:	75.00
Job ID: Job ID: 2012-09-4952-ALTCOMM - change of use; warehouse space to office space			





## Accessibility Building Code Certificate

Designer: JOHN EINSIEDLER

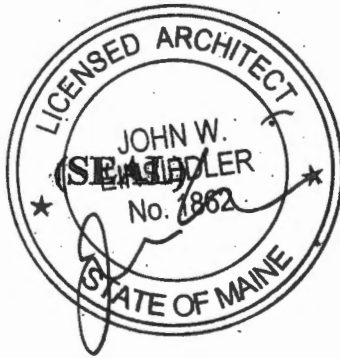
Address of Project: 75 INDUSTRIAL WAY

Nature of Project: INTERIOR OFFICE RENOVATION

\_\_\_\_\_

\_\_\_\_\_

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: John W. Einsiedler

Title: SOLE OWNER

Firm: JOHN W. EINSIEDLER, P.A.

Address: 148 SEA ROAD  
KENNEBUNK, ME 04243

Phone: 207-985-9760

For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)



# Certificate of Design Application

From Designer:

JOHN EINSIEDLER

Date:

SEPT. 6, 2012

Job Name:

DIRIGO CAPITAL

Address of Construction:

75 INDUSTRIAL WAY

## 2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2009 Use Group Classification (s) B / S2

Type of Construction II B

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC NO

Is the Structure mixed use? YES If yes, separated or non separated or non separated (section 302.3) NON-SEPARATED

Supervisory alarm System? YES Geotechnical/Soils report required? (See Section 1802.2) N/A INTENTION

### Structural Design Calculations

\_\_\_\_\_ Submitted for all structural members (106.1 - 106.11)

### Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.14, 1807)  
Floor Area Use \_\_\_\_\_ Loads Shown \_\_\_\_\_

### Wind loads (1603.1.4, 1609)

\_\_\_\_\_ Design option utilized (1609.1.1, 1609.6)  
\_\_\_\_\_ Basic wind speed (1809.3)  
\_\_\_\_\_ Building category and wind importance Factor,  $I_w$  table 1604.5, 1609.5  
\_\_\_\_\_ Wind exposure category (1609.4)  
\_\_\_\_\_ Internal pressure coefficient (ASCE 7)  
\_\_\_\_\_ Component and cladding pressures (1609.1.1, 1609.6.2.2)  
\_\_\_\_\_ Main force wind pressures (7603.1.1, 1609.6.2.1)

### Earth design data (1603.1.5, 1614-1623)

\_\_\_\_\_ Design option utilized (1614.1)  
\_\_\_\_\_ Seismic use group ("Category")  
\_\_\_\_\_ Spectral response coefficients,  $S_D$  &  $S_1$  (1615.1)  
\_\_\_\_\_ Site class (1615.1.5)

\_\_\_\_\_ Live load reduction  
\_\_\_\_\_ Roof live loads (1603.1.2, 1607.11)  
\_\_\_\_\_ Roof snow loads (1603.7.3, 1608)  
\_\_\_\_\_ Ground snow load,  $P_g$  (1608.2)  
\_\_\_\_\_ If  $P_g > 10$  psf, flat-roof snow load  $S_f$   
\_\_\_\_\_ If  $P_g > 10$  psf, snow exposure factor,  $C_e$   
\_\_\_\_\_ If  $P_g > 10$  psf, snow load importance factor,  $I_s$   
\_\_\_\_\_ Roof thermal factor,  $C_t$  (1608.4)  
\_\_\_\_\_ Sloped roof snowload,  $S_s$  (1608.4)  
\_\_\_\_\_ Seismic design category (1616.3)  
\_\_\_\_\_ Basic seismic force resisting system (1617.6.2)  
\_\_\_\_\_ Response modification coefficient,  $R$ , and  
\_\_\_\_\_ deflection amplification factor,  $C_d$  (1617.6.2)  
\_\_\_\_\_ Analysis procedure (1616.6, 1617.5)  
\_\_\_\_\_ Design base shear (1617.4, 1617.5.1)

### Flood loads (1803.1.6, 1612)

\_\_\_\_\_ Flood Hazard area (1612.3)  
\_\_\_\_\_ Elevation of structure

### Other loads

\_\_\_\_\_ Concentrated loads (1607.4)  
\_\_\_\_\_ Partition loads (1607.5)  
\_\_\_\_\_ Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)

EXISTING N/A



# Certificate of Design

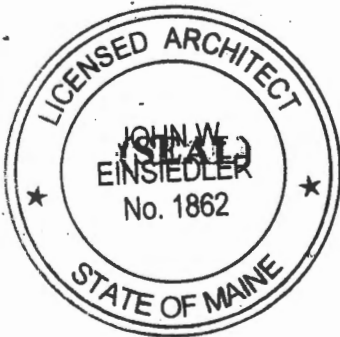
Date: SEPTEMBER 6, 2012

From: JOHN W. EINSIEDLER

These plans and / or specifications covering construction work on:

DIRIGO CAPITAL

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the ~~2003~~ 2009 *International Building Code* and local amendments.



Signature: [Handwritten Signature]

Title: SOLE OWNER

Firm: JOHN W. EINSIEDLER, R.A.

Address: 198 SEA ROAD  
KENNEDUNK, ME 04043

Phone: 207-985-9760

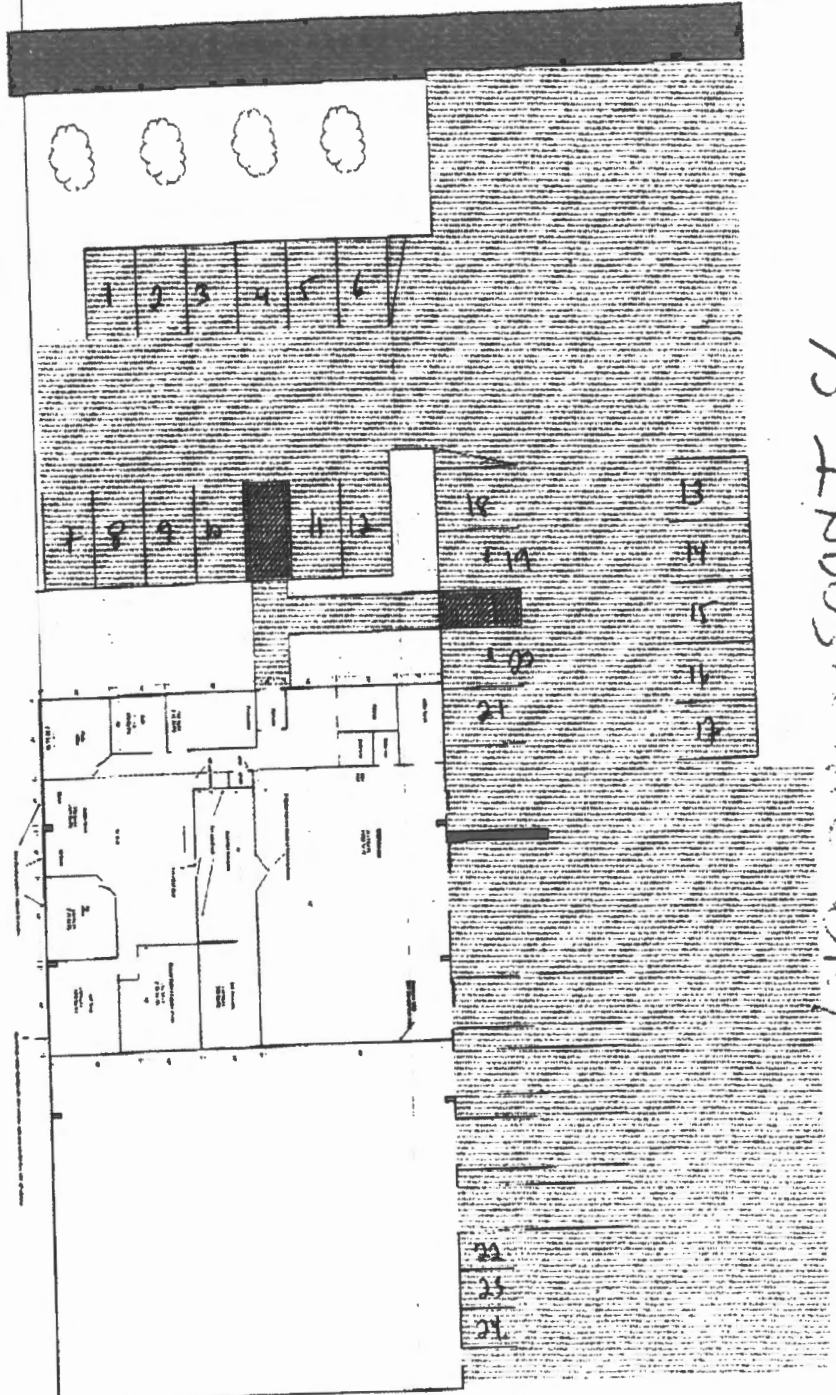
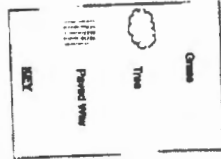
For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)

Previous permit strip 1/4

Apr. 3. 2007 8:48AM

Mainland Structures 856-2825

No. 0173 P. 2



75 INDUSTRIAL CITY

DEPT. OF MUNICIPAL UTILITIES  
 CITY OF PLEASANTON, CALIF.

APR - 3 2007  
 RECEIVED



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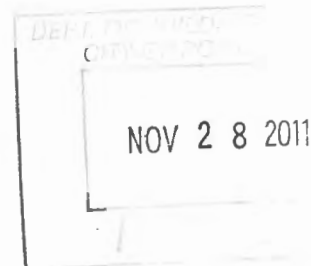
**Planning & Urban Development Department**  
Gregory A. Mitchell, Acting Director

**Planning Division**  
Alexander Jaegerman, Director

November 23, 2011

James Witham, Vice President  
Industrial Automation Supply, Inc  
75 Industrial Way  
Portland, ME 04103

James Seymour, PE  
Sebago Technics, Inc.  
1 Chabot Street, PO Box 1339  
Westbrook ME 04098



**RE:** Access improvements, Industrial Automation Supply Inc  
**Address:** 75 Industrial Way, Portland  
**CBL:** 327-A-A009  
**Application ID:** 2011-368 (*One Solution*)

Dear Mr. Witham and Mr Seymour:

On November 23, 2011, the Portland Planning Authority approved the Level I Site Alteration plan for a new entrance, sidewalk access, parking area and landscaping at 75 Industrial Way, as submitted by Industrial Automation Supply, Inc. and shown on the approved site plans prepared by Sebago Technics (Site Grading Plan & Detail Sheets, Rev A 10-18-2011) with the following conditions:

- i. That the concrete pads located to the south of the new parking area, within the area to be loamed and seeded, shall not be used for any equipment or structures that require vehicle access across the area to be loamed and seeded; and
- ii. That separate permits are required for any new signage.

The approval is based on the submitted plans. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

Please note the following standard provisions and requirements for all site plan approvals:

1. The site shall be developed and maintained as depicted in the site plan and the written submission of the applicant. Modification of any approved site plan or alteration of a parcel which was the subject of site plan approval after May 20, 1974, shall require the prior approval of a revised site plan by the Planning Board or the planning authority pursuant to the Portland City ordinance. Any such parcel lawfully altered prior to the enactment date of these revisions shall not be further altered without approval as provided herein. Modification or alteration shall mean and include any deviations from the approved site plan including, but not limited to, topography, vegetation and impervious surfaces shown on the site plan. No action, other than an amendment approved by the planning authority or Planning Board, and field changes approved by the Public Services authority as provided herein, by any authority or department shall authorize any such modification or alteration.

City Hall, 389 Congress Street . Portland, ME 04101-3509 . Ph (207) 874-8719 . Fx 756-8258 . TTY 874-8936

2. The above approvals do not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division.
3. HVAC equipment must not exceed maximum noise levels as specified in the ordinance, and evidence of noise levels will be required if such equipment is proposed as part of a building permit application.
4. A performance guarantee covering the site improvements, as well as an inspection fee payment of 2.0% of the guarantee amount (or a minimum fee of \$300), must be submitted to and approved by the Planning Division prior to the release of a building permit, street opening permit or certificate of occupancy for site plans. If you need to make any modifications to the approved plans, you must submit a revised site plan application for staff review and approval.
5. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
6. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
7. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
8. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Jean Fraser at 874-8728.

Sincerely,

*Alexander Jaegerman*  
(JB)

Alexander Jaegerman  
Planning Division Director

Enclosure: Performance Guarantee Packet

**cc. Electronic Distribution:**

Gregory Mitchell, Acting Director of Planning and Urban Development Dept.  
Barbara Barhydt, Development Review Services Manager  
Jean Fraser, Planner  
Philip DiPierro, Development Review Coordinator, Planning  
Marge Schmuckal, Zoning Administrator, Inspections Division  
Tammy Munson, Plan Reviewer, Inspections Division  
Lannie Dobson, Administration, Inspections Division  
Michael Bobinsky, Director, Public Services  
Katherine Barley, Engineering Services Manager, Public Services

Bill Clark, Project Engineer, Public Services  
David Margolis-Pineo, Deputy City Engineer, Public Services  
Michael Farmer, Project Engineer, Public Services  
Jane Ward, Administration, Public Services  
Chris Pirone, Fire Department  
Jeff Tarling, City Arborist, Public Services  
Tom Errico, P.E., T.Y. Lin Associates  
David Senus, P.E., Woodard & Curran  
Assessor's Office

75 Industrial Way – 327A-A-009

#2011-368 – I-M Zone

11/15/2011 I reviewed the floor plans of the existing office and warehouse. Based on that submitted information the required number of parking spaces for the entire building with the proposed professional offices, is 17 parking spaces. I have counted 22 parking spaces on the different plans submitted.

This project is approved for the use and parking and all other zoning requirements. Separate permits are required from Inspection Services for the work and any new signage. Please be aware of maximum noise allowance for HVAC equipment and other such equipment. When permits are applied for, this office will require the level of dBAs emitted from such units.

Marge Schmuckal

Zoning Administrator

75 Industrial Way – 327A-A-009

#2011-368 - I-M Zone

11/4/2011 – This property is located in an I-M Zone which does allow professional offices as a principal use. It is understood that the current industrial use will remain and that a separate use (not accessory) will be created at about 912 square feet (24'x38'). The office area created is entirely within the existing building. There will be some entry alterations on the exterior along with the creation of 8 new parking spaces.

Before I can finish my review, I will need complete floor plans that show me all the uses and floor plans of the entire building. I will need such information to determine parking compliance. I would also need to see a parking plan of the entire lot. I was not able to find all the existing 15 spaces. I am confident that the applicant is meeting or can meet the parking requirements.

Separate permits are required from Inspection Services for the work and any new signage.

Marge Schmuckal

Zoning Administrator



## Marge Schmuckal - 75 Industrial Way

---

**From:** Marge Schmuckal  
**To:** Barbara Barhydt ; Jean Fraser  
**Date:** 11/4/2011 12:07 PM  
**Subject:** 75 Industrial Way

---

My Comments are in One Solution  
Marge

100

Applicant: Industrial Automation Supply Date: 10/25/11

Address: 75 INDUSTRIAL WAY C-B-L: 327A-A-009

CHECK-LIST AGAINST ZONING ORDINANCE

Date -

Zone Location - I-M

Interior or corner lot -

Proposed Use/Work -

Sewage Disposal -

Lot Street Frontage -

Front Yard -

Rear Yard -

Side Yard -

Projections -

Width of Lot -

Height -

Lot Area - 85,813 sq ft given

Lot Coverage/ Impervious Surface - lessening imperv.

Area per Family -

Off-street Parking -

Loading Bays -

Site Plan -

Shoreland Zoning/ Stream Protection -

Flood Plains -

9,920 sq ft Warehouse to use for professional offices under 10,000 sq ft with exterior alterations new entrance warehouse in rest of Bldg

8 New - 14 counted existing 22 total new & existing  
9,920 sq ft / 400 = 24.8  
9,912 sq ft / 400 = 2.28 = 2

9,008 sq ft in den = 9 PKG

per 11/4/11 PLANS existing 9 bays Warehouse

level I 2011-360 N/A

Panel 1 Zone C



October 18, 2011  
04142

Barbara Barhydt, Development Review Services Manager  
City of Portland Planning Division  
City Hall, 4<sup>th</sup> Floor  
389 Congress St.  
Portland, ME 04101

**Level I Site Plan Application Submittal**  
**Proposed Site Improvements for New Building Access**  
**Industrial Automation Supply Inc., 75 Industrial Way, Portland, Maine**

Dear Ms. Barhydt:

On behalf of Industrial Automation Supply, Inc. (IAS), please find one copy of the Level I Site Plan Application, associated design plans, and application fees for their facility at 75 Industrial Way. IAS is proposing the construction of a new building entry and sidewalk for handicap access to their existing structure. Currently, IAS operates business in the building, and wishes to simultaneously apply for a change of use to convert approximately 912 square feet (SF) (38 feet x 24 feet) corner warehouse space to professional office space use within their existing 9,920 SF building which resides on 1.97 acres and fronts on Industrial Way.

The property is zoned as Industrial I-M zone, and was previously owned and operated by Maine Native Produce. Since the current owner does not need the loading dock operations, at least one loading dock is planned to be removed to accommodate the converted internal space/use. The use has a very low impact on the area, is consistent with allowed uses in the industrial zone, and will give the owners an opportunity to generate some rental income from unused space in its current building.

→ A SEPARATE

Construction would consist of a new rear building entrance and sidewalk access connecting the existing parking and former loading dock areas to allow convenient access to a future office use in the rear of the existing building. We will also provide eight new parking spaces which includes one handicap space. As part of the original site plan, the site was limited in expanding into the wetlands located in the rear, which filled nearly 14,600 SF of wetlands; any further substantial wetland filling could be a timely and expensive process to permit. Therefore, we determined that much of the site pavement was under-used, so we propose converting pavement back to a vegetation state such that the new green area exceeds what is needed to create sidewalk access. Since there is actually a decrease in impervious surface, the project will fall into a Level I review. There are no plans for installation of utilities, new building addition, or additional pavement to the site. A small entry canopy will be added to the new entrance.

A formal Stormwater Management Plan has not been prepared due to the decreased area being proposed in impervious surfaces. We will be converting 712 SF of existing parking area, and proposing 611 SF of new sidewalk and impervious areas for access, making a reduction of 101 SF of impervious area. Drainage will be directed to wooded wetland areas following similar patterns as it currently flows from the rear parking lot. All drainage is discharged to a small wetland course which is directed easterly off site. The original development included offsite detention to account for the sites overall development. Therefore, no improvements for stormwater quality and quantity are required, as the reduction in pavement promotes natural treatment and reduced runoff rates.

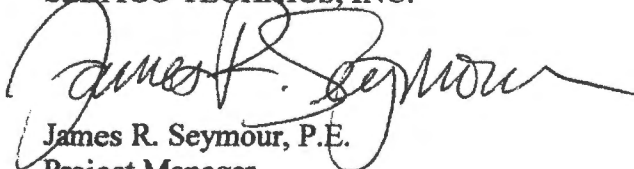
The proposed improvements to the land are very modest, and have been designed to avoid wetland disturbance, and promote pedestrian safety. We are proposing a short retaining wall to transition grading from the sidewalk to the edge of the wetland. In addition, we are proposing some foundation landscaping along the rear of the building, and plan to leave the woods from the wetlands to the southern boundary line in their natural state, with the exception of some minor trimming of dead trees and limbs.

We are hopeful the City will be cooperative with the stormwater review given the reduction in pavement impacts. We have provided an Erosion Control Plan which will protect the site during construction. We feel this solution provides the best plan for limiting soil disturbance, providing grass areas for sediments to be filtered, will best blend the topography of the area with the applicants need to maintain the character of the land, and will be cost-effective and low maintenance.

The applicant is under a very strict construction schedule and would appreciate the earliest opportunity to meet or complete the review of this Level I Application to initiate construction plans for the fall. If you have any questions on this application, please do not hesitate to contact us. We look forward to hearing from you.

Sincerely,

SEBAGO TECHNICS, INC.



James R. Seymour, P.E.  
Project Manager

JRS:jrs/kn

Enc.

cc: James Witham, Vice President, Industrial Automation Supply, Inc.

PROJECT NAME: INDUSTRIAL AUTOMATION SUPPLY INC SITE IMPROVEMENTS

PROPOSED DEVELOPMENT ADDRESS:

75 INDUSTRIAL WAY, PORTLAND, MAINE

PROJECT DESCRIPTION:

INSTALLATION OF ENTRANCE AND SIDEWALK ACCESS, NEW PARKING SPACE DESIGNATION, AND LANDSCAPING FOR A CHANGE OF USE IN THE EXISTING BUILDING.

CHART/BLOCK/LOT: 327-A-A009

CONTACT INFORMATION:

<b>Applicant – must be owner, Lessee or Buyer</b> Name: <u>INDUSTRIAL AUTOMATION SUPPLY, INC</u> <u>C/O JAMES WITHERM, VICE PRESIDENT</u> Business Name, if applicable: Address: <u>75 INDUSTRIAL WAY</u> City/State: <u>PORTLAND, ME</u> Zip Code: <u>04103</u>	<b>Applicant Contact Information</b> Work # <u>207-797-2345</u> Home# Cell # Fax# <u>207-797-2777</u> e-mail: <u>jwitherm@iasino.com</u>
<b>Owner – (if different from Applicant)</b> Name: <u>DIRIGO CAPITAL HOLDINGS LLC</u> Address: <u>75 INDUSTRIAL WAY</u> City/State: <u>PORTLAND, ME</u> Zip Code: <u>04103</u>	<b>Owner Contact Information</b> Work # Home# Cell # Fax# e-mail:
<b>Agent/ Representative</b> Name: <u>SEBAGO TECHNIKS INC</u> <u>C/O JAMES SEYMOUR, P.E.</u> Address: <u>1 CHABOT ST. P.O. BOX 1339</u> City/State: <u>WESTBROOK, ME</u> Zip Code: <u>04098-1339</u>	<b>Agent/Representative Contact information</b> Work # <u>207-856-0277 x 277</u> Cell # <u>207-632-1199</u> e-mail: <u>jseymour@sebagotechniks.com</u>
<b>Billing Information</b> Name: <u>SAME AS APPLICANT</u> Address: City/State: Zip Code:	<b>Billing Information</b> Work # Cell # Fax# e-mail:

<b>Engineer</b> Name: <b>SAME AS AGENT</b> Address: City/State :                      Zip Code:	<b>Engineer Contact Information</b> Work # Cell #                              Fax# e-mail:
<b>Surveyor</b> Name: Address: City/State :                      Zip Code:	<b>Surveyor Contact Information</b> Work # Cell #                              Fax# e-mail:

**APPLICATION FEES:**

**Check all reviews that apply. Payment may be made by Check or Cash addressed to the City of Portland.**

<b>Level I Site Alteration Site Plan</b> <input checked="" type="checkbox"/> Application Fee (\$200.00)  The City invoices separately for the following: <ul style="list-style-type: none"> <li>• Notices (\$.75 each)</li> <li>• Legal Ad (% of total Ad)</li> <li>• Planning Review (\$40.00 hour)</li> <li>• Legal Review (\$75.00 hour)</li> </ul> Third party review is assessed separately.	<b>Fees Paid</b> (offices use) —
<b>Performance Guarantee:</b> A performance guarantee is required to cover all public and private site improvements.	Required
<b>Inspection Fee:</b> An inspection fee of 2% of the performance guarantee is due prior to the release of permits	2% of the performance guarantee

**Application Check List**

**Refer to the application checklist for a detailed list of submittal requirements.**

As of December 1, 2010, all site plans and written application materials must be uploaded to a website for review. At the time of application, instructions for uploading the plans will be provided to the applicant. One paper set of the plans, written materials and application fee must be submitted to the Planning Division Office to start the review process.

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521).

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

**This application is for a Site Plan review only, a Performance Guarantee, Inspection Fee, Building Permit Application and associated fees will be required prior to construction.**

Signature of Applicant: <i>James H. Hatcher</i>	Date: <i>10/19/11</i>
--	--------------------------

Please refer to Article V, Site Plan of the City of Portland Land Use Code for detailed information concerning the City's site plan review process, thresholds and standards. Should you have any questions regarding the submittal requirements or any other aspect of the site plan review process, please contact the Planning Division.

*31345 - 85813 = 371 impervious*

### PROJECT DATA

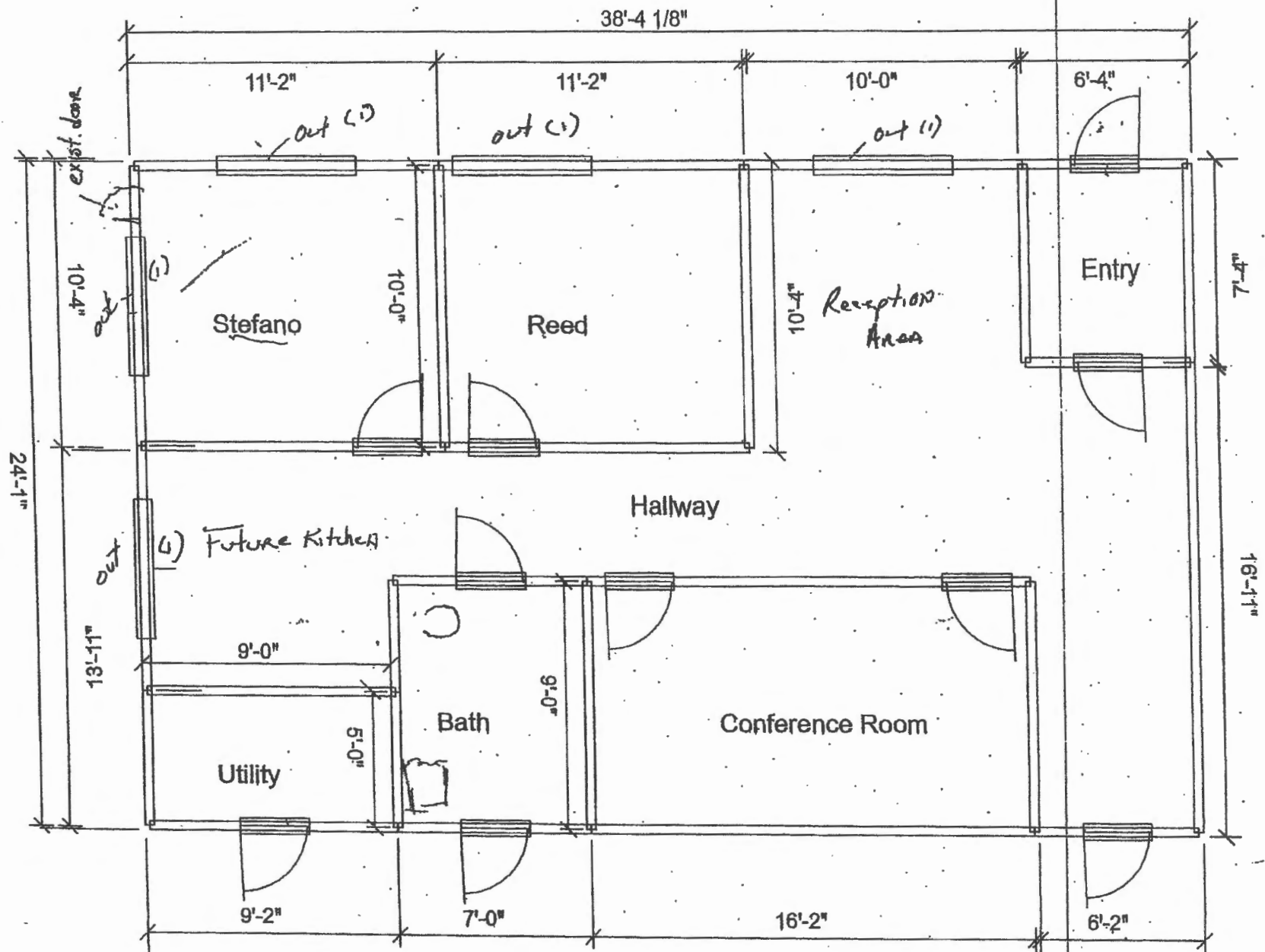
The following information is required where applicable, in order complete the application

Total Site Area	<i>85,813</i> sq. ft.
Proposed Total Disturbed Area of the Site	sq. ft.
<b>IMPERVIOUS SURFACE AREA</b>	
• Proposed Total Paved Area	<i>20,821</i> sq. ft.
• Existing Total Impervious Area	sq. ft.
• Proposed Total Impervious Area	<i>31,345</i> sq. ft.
• Proposed Impervious Net Change	<i>- 101</i> sq. ft.
<b>PARKING SPACES</b>	
• Existing Number of Parking Spaces	<i>15</i>
• Proposed Number of Parking Spaces	<i>8</i>
TOTAL Number of Parking Spaces	<i>23</i>

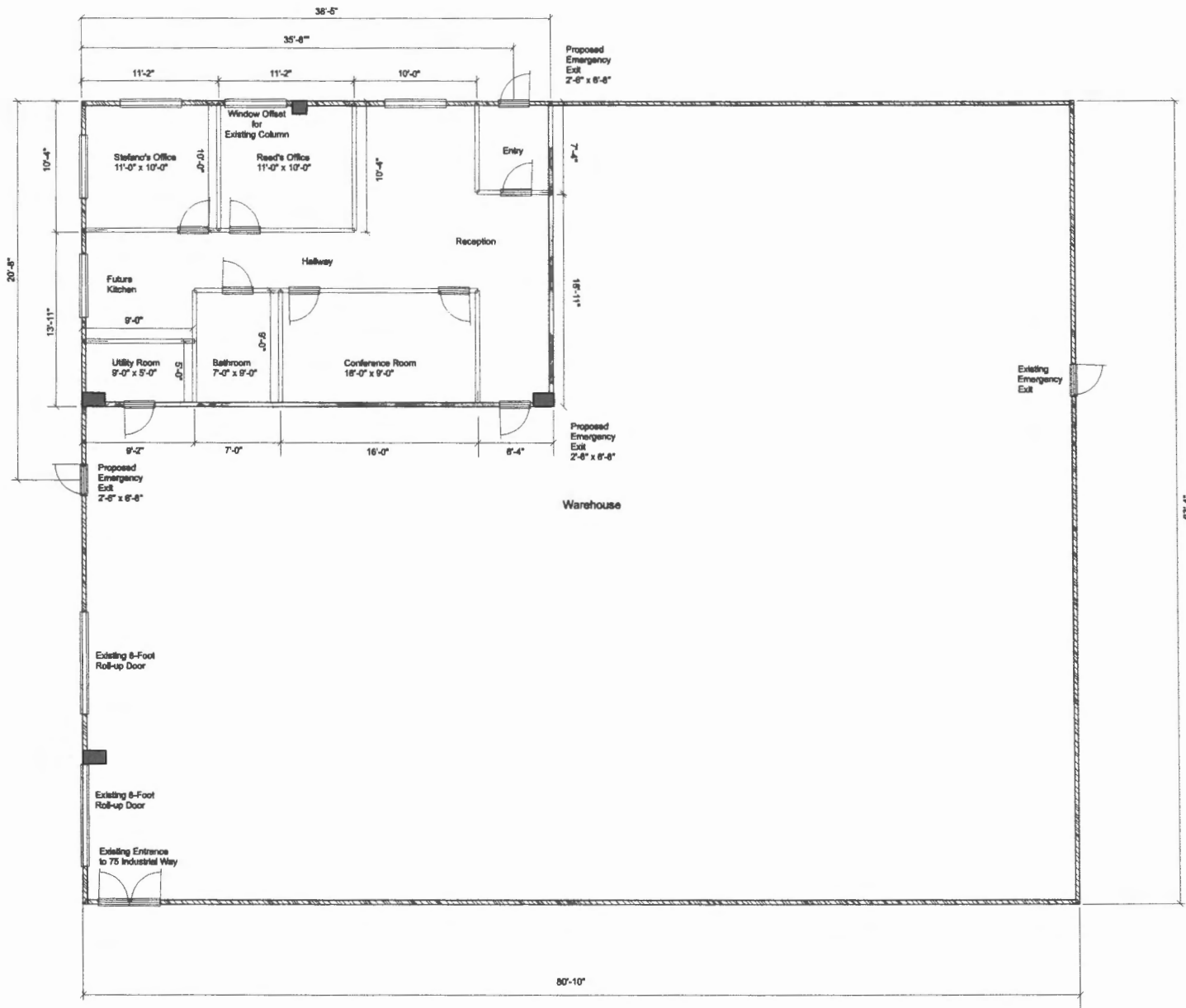
*less*

### General Submittal Requirements – Level I Site Alteration

Applicant Checklist	Planner Checklist	Number of Paper Copies	Submittal Requirement
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Completed application form.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Application fees.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Written description of project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Evidence of right, title and interest.
<input type="checkbox"/> <i>NA</i>	<input type="checkbox"/>	1	Copies of required state and/or federal permits.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Written assessment of zoning.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Written description of existing and proposed easements or other burdens.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Written requests for waivers from individual site plan and/or technical standards.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Evidence of financial and technical capacity.








Notes:  
1. Non-sprinkled building

Legend:

Existing walls 

Fire-stop walls 

Existing Columns 

Project:	77 Industrial Way
Date:	22-Oct-2011
Drawn By:	Reed Searle

## Marge Schmuckal - IAS - 75 Industrial Way -Level I site Alteration Review

---

**From:** Jean Fraser  
**To:** DSenus@woodardcurran.com; Errico, Thomas; Farmer, Michael; Pirone, Ch...  
**Date:** 11/2/2011 12:10 PM  
**Subject:** IAS - 75 Industrial Way -Level I site Alteration Review  
**CC:** Barhydt, Barbara; Margolis-Pineo, David  
**Attachments:** IAS-Application.pdf; IAS-Full Plan Set.pdf; Enerdoor-C-Size.pdf; AR-M455N\_20111101\_152851.pdf

---

To all reviewers:

### Re Industrial Automation Supply Inc at 75 Industrial Way

It looks like there will be a "technical delay" in getting this into e-plan so please see the pdf's attached. This needs an urgent review as applicant submitted 10.19.2011 and wants to start work- it is Level I Site Alteration and so the development is relatively very small- no new building just a new parking area within existing bituminous area with handicapped access ramp and new entrance. (Within building converting 933 sq ft to offices- rest stays warehouse)

Please note:

- Proposed removal of impervious area
- A concern might be retention of concrete pad/?dumpster within the area to be loamed and seeded???  
(We may want a condition that requires any dumpster on the site be located within the remaining bituminous area and enclosed with cedar stockade fence/gate and not be within the loamed and seeded area- other Industrial Way businesses have been required to enclose their dumpsters if visible from Industrial Way)
- Landscape details for small area near new entrance shown on sheet 2
- The last 2 pdfs show the location of the new offices in the building (NE corner)- rest is warehouse - note that on the "Enerdoor" pdf the applicant has advised:  
*A couple of corrections that need noting - the dimension from the top left corner of the buiding to the Proposed Emergency Exit which is labeled as 20'-8", is actually 30'-8". The exit doors by code should be 3'-0" X 7'-0", and the main entry way on the end of the building will have a canopy to match the one on our end (the street side) of the building.*

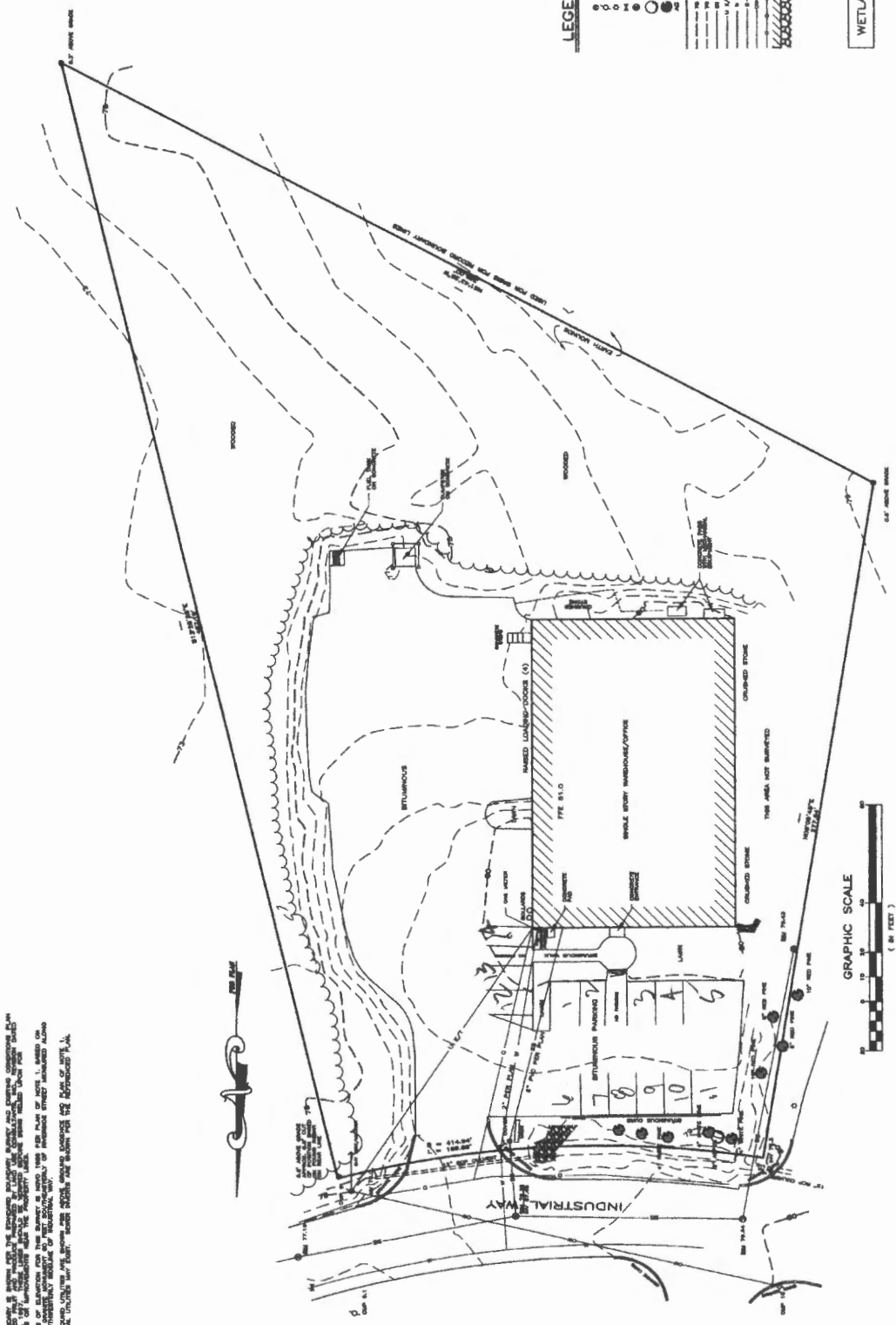
IF E-MAILING COMMENTS, PLEASE SEND TO BARBARA AND ME

thanks

Jean



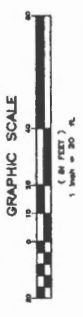
1. TOPOGRAPHIC SURVEY OF THE PROPOSED INDUSTRIAL PARK AND EXISTING CONDITIONS PLAN  
 2. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE STANDARDS AND PRACTICES OF THE PROFESSION OF SURVEYING AS SET FORTH IN THE RULES AND REGULATIONS OF THE BOARD OF SURVEYING AND MAPPING, STATE OF MARYLAND, AND THE PRACTICES OF THE PROFESSION OF SURVEYING AS SET FORTH IN THE RULES AND REGULATIONS OF THE BOARD OF SURVEYING AND MAPPING, STATE OF MARYLAND.  
 3. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE STANDARDS AND PRACTICES OF THE PROFESSION OF SURVEYING AS SET FORTH IN THE RULES AND REGULATIONS OF THE BOARD OF SURVEYING AND MAPPING, STATE OF MARYLAND, AND THE PRACTICES OF THE PROFESSION OF SURVEYING AS SET FORTH IN THE RULES AND REGULATIONS OF THE BOARD OF SURVEYING AND MAPPING, STATE OF MARYLAND.  
 4. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE STANDARDS AND PRACTICES OF THE PROFESSION OF SURVEYING AS SET FORTH IN THE RULES AND REGULATIONS OF THE BOARD OF SURVEYING AND MAPPING, STATE OF MARYLAND, AND THE PRACTICES OF THE PROFESSION OF SURVEYING AS SET FORTH IN THE RULES AND REGULATIONS OF THE BOARD OF SURVEYING AND MAPPING, STATE OF MARYLAND.



**LEGEND**

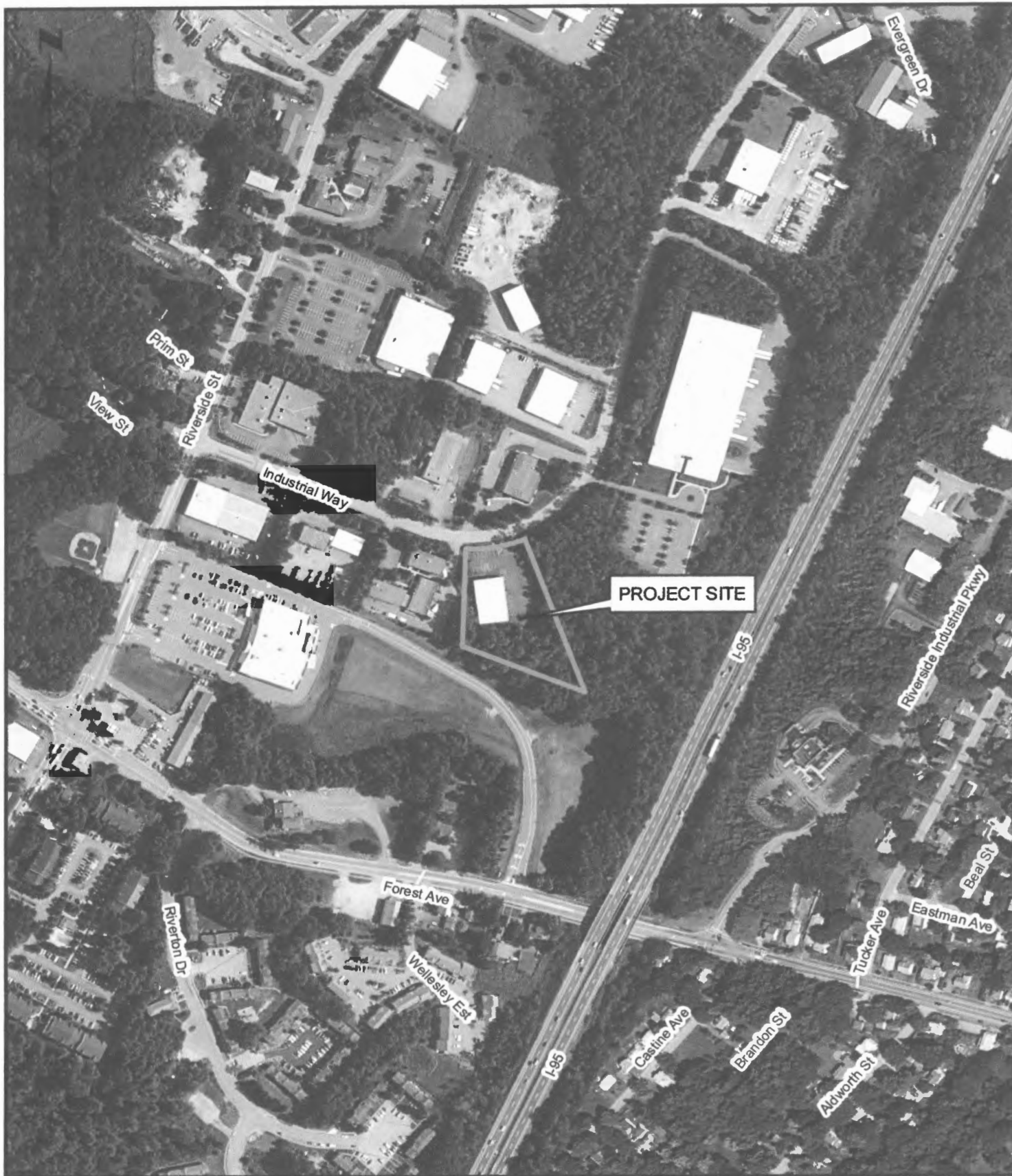
- 4" UTILITY POLE
- 6" UTILITY POLE
- 8" UTILITY POLE
- 12" UTILITY POLE
- 18" UTILITY POLE
- 24" UTILITY POLE
- 30" UTILITY POLE
- 36" UTILITY POLE
- 42" UTILITY POLE
- 48" UTILITY POLE
- 54" UTILITY POLE
- 60" UTILITY POLE
- 66" UTILITY POLE
- 72" UTILITY POLE
- 78" UTILITY POLE
- 84" UTILITY POLE
- 90" UTILITY POLE
- 96" UTILITY POLE
- 102" UTILITY POLE
- 108" UTILITY POLE
- 114" UTILITY POLE
- 120" UTILITY POLE
- 126" UTILITY POLE
- 132" UTILITY POLE
- 138" UTILITY POLE
- 144" UTILITY POLE
- 150" UTILITY POLE
- 156" UTILITY POLE
- 162" UTILITY POLE
- 168" UTILITY POLE
- 174" UTILITY POLE
- 180" UTILITY POLE
- 186" UTILITY POLE
- 192" UTILITY POLE
- 198" UTILITY POLE
- 204" UTILITY POLE
- 210" UTILITY POLE
- 216" UTILITY POLE
- 222" UTILITY POLE
- 228" UTILITY POLE
- 234" UTILITY POLE
- 240" UTILITY POLE
- 246" UTILITY POLE
- 252" UTILITY POLE
- 258" UTILITY POLE
- 264" UTILITY POLE
- 270" UTILITY POLE
- 276" UTILITY POLE
- 282" UTILITY POLE
- 288" UTILITY POLE
- 294" UTILITY POLE
- 300" UTILITY POLE

WETLANDS NOT SHOWN



**TOPOGRAPHIC SURVEY**  
 Lewis & Wasina, Inc.  
 NATIVE WASTE PRODUCTS  
 CITY OF PORTLAND, COUNTY OF CAMBERLAND  
 STATE OF MARYLAND  
 PROJECT: SEABRO TECHNICAL, INC.  
 DATE: 11/15/2007  
 DRAWN BY: [Signature]  
 CHECKED BY: [Signature]  
 SCALE: 1" = 50'  
 SHEET: 1 OF 1

Lewis & Wasina, Inc.  
 11000 WASHINGTON BLVD  
 SUITE 200  
 PORTLAND, MARYLAND 21114  
 TEL: 410-326-1100  
 FAX: 410-326-1101  
 WWW.LEWISANDWASINA.COM



# Sebago Technics

Engineering Expertise You Can Build On

One Chabot Street      250 Goddard Road - Suite B  
 Westbrook, ME 04098-1339      Lewiston, ME 04240  
 Tel (207) 856-0277      Tel (207) 783-5656

[WWW.SEBAGOTECHNICS.COM](http://WWW.SEBAGOTECHNICS.COM)



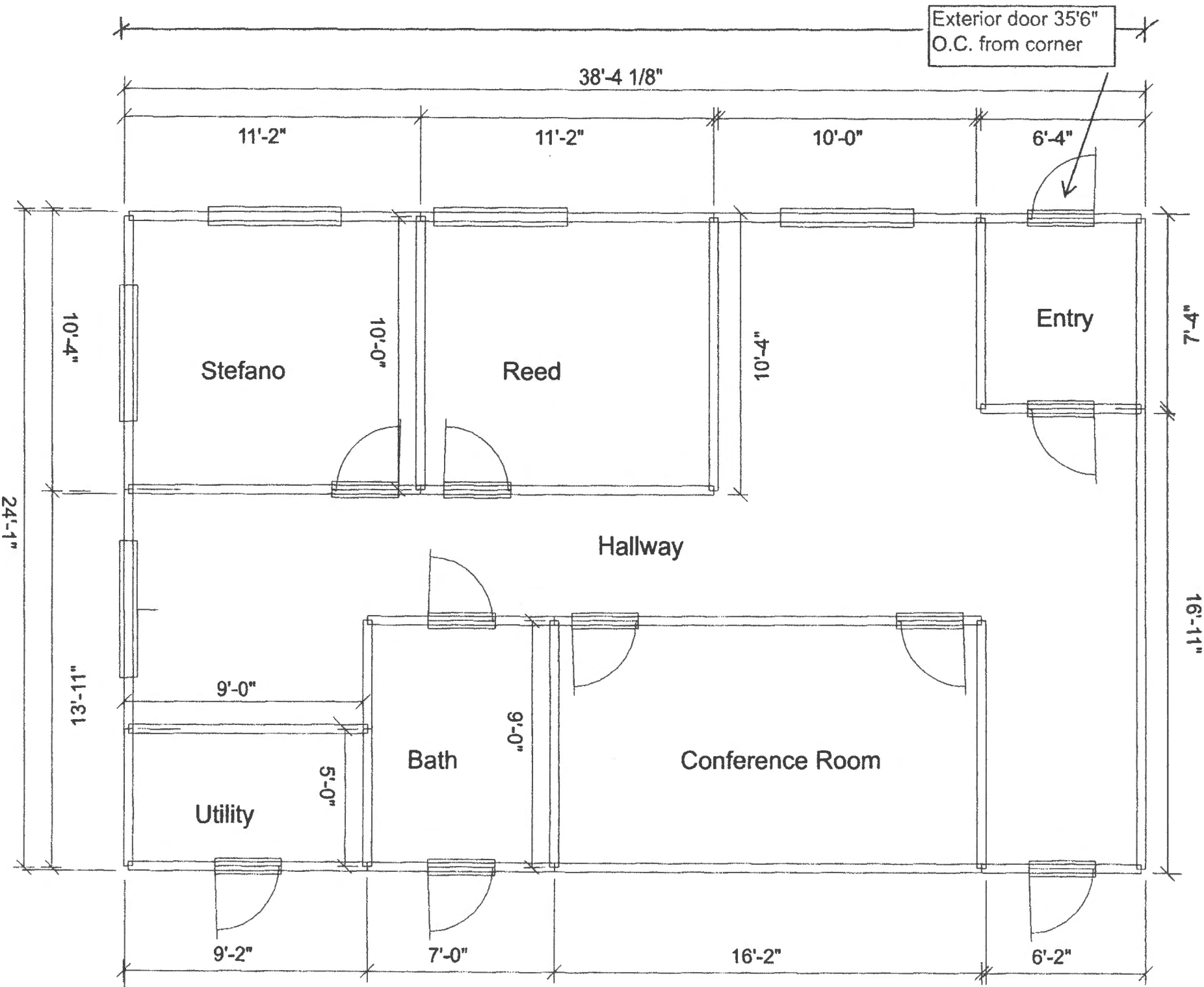
## SITE LOCATION MAP OF IAS INC.

LOCATION:  
75 INDUSTRIAL WAY  
PORTLAND, MAINE

INFORMATION:  
IMAGERY ACQUIRED SUMMER 2010  
BING IMAGERY  
PARCEL AND ROAD DATA FROM CITY OF PORTLAND

SCALE: 1" = 358.8'

DATE: 10/19/11



BUILDING CONVERSION SKETCH.

**Marge Schmuckal - Fwd: Re: Dirigo Capital Holdings 77 Industrial Way Buildout**

---

**From:** Jean Fraser  
**To:** Barhydt, Barbara  
**Date:** 11/4/2011 2:10 PM  
**Subject:** Fwd: Re: Dirigo Capital Holdings 77 Industrial Way Buildout  
**CC:** Schmuckal, Marge  
**Attachments:** 75-77 Industrial Way.pdf; 77 Ind Way Buildout.pdf

11/4/11

for info

>>> Chris LeBel <clebel@iasinc.com> 11/4/2011 2:08 PM >>>

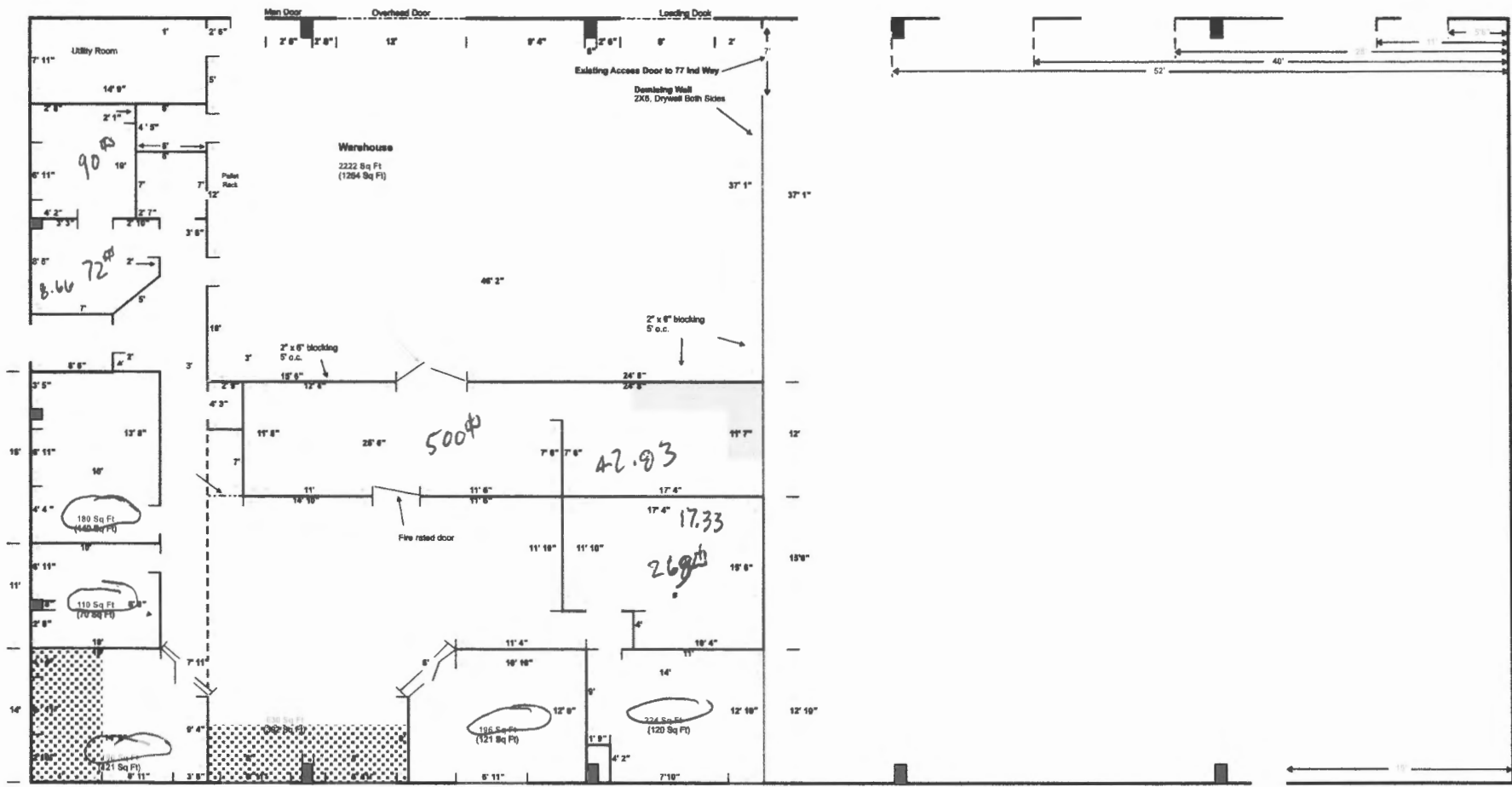
Jean,

The attached file labeled 75-77 Industrial Way shows the entire building as it exists today - our current space consisting of 5000 sq ft of combination office/warehouse space, and the 5000 sq ft 77 Ind Way empty warehouse that we want to build out.

The 77 Ind Way Buildout drawing shows just the right half of the building.

I will forward your note on the site plan to Sebago Technics for revision.

Thanks, Chris



8 Pkg Needed

1/4/11

Warehouse = 2222  
 500  
 $2722 \div 1000 =$   
 2.722 (3)

72  
 90  
 100  
 110  
 196  
 630  
 196  
 224  
 269

= 1967 of buca area  $\div$  400 = 4.9175



PIN CONCRETE RAMP AND STAIRS  
TO EXISTING FOUNDATION

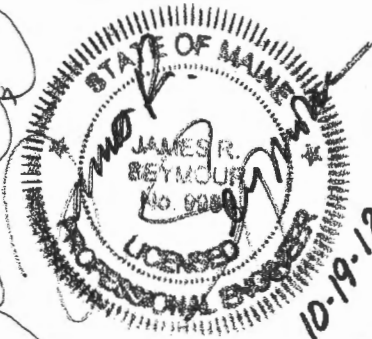
POURED CONCRETE  
HANDICAP RAMP

HANDRAIL TO BE INSTALLED BOTH  
SIDES OF RAMP (EXTEND 1' BEYOND  
GRADE TRANSITION, CONTRACTOR TO  
SUBMIT SHOP DRAWINGS FOR REVIEW)

RAIL TO BE  
ATTACHED TO  
OUTSIDE WALL

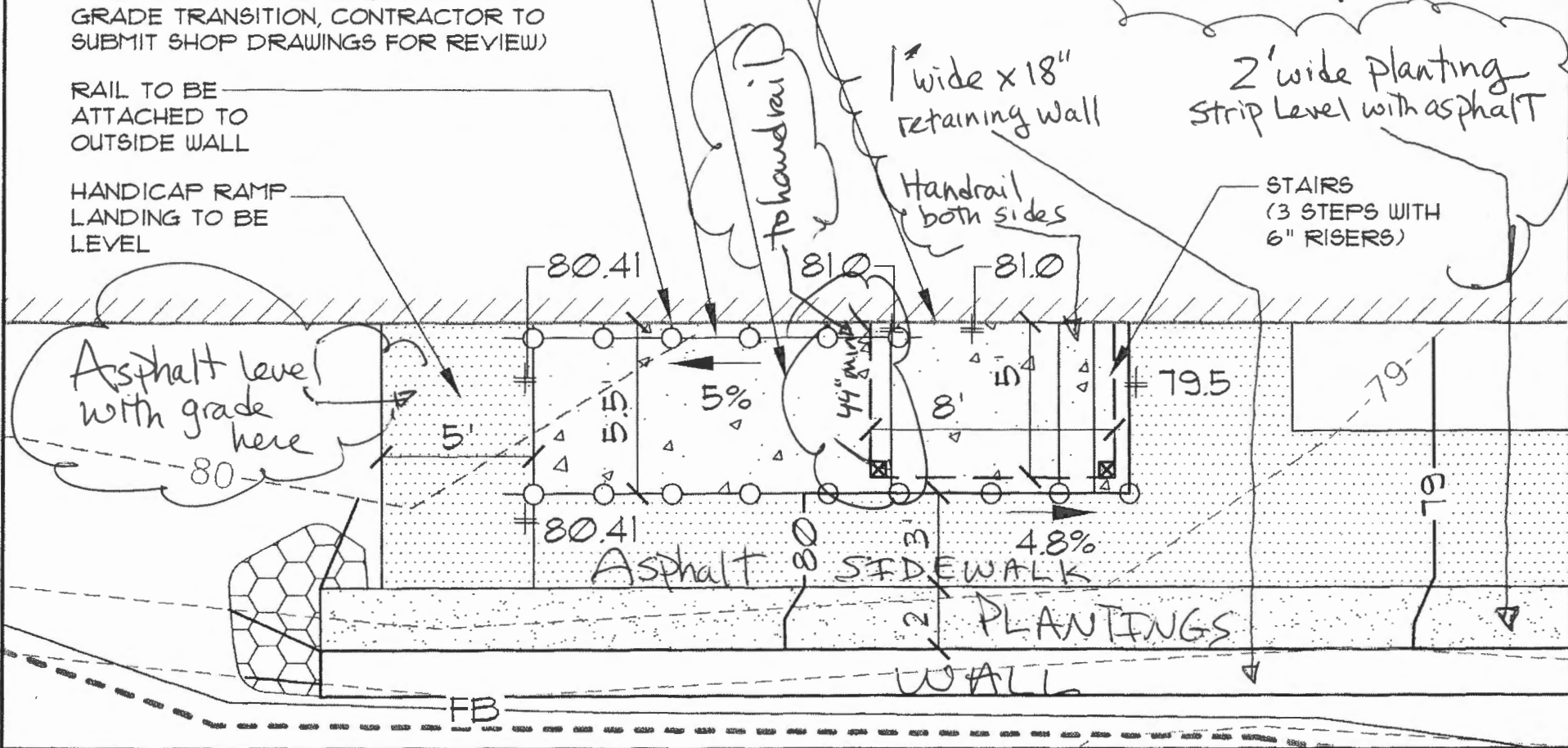
HANDICAP RAMP  
LANDING TO BE  
LEVEL

10/22/12  
Notes per tel/cor  
with Jim Witham  
@ IAS, INC  
JMB



OCT 19 2012

RECEIVED  
Dept. of Building Inspections  
City of Portland, ME



**SEBAGO**  
TECHNICS

WWW.SEBAGOTECHNICS.COM

75 John Roberts Rd. - Suite 1A  
South Portland, ME 04106  
Tel. 207-200-2100

250 Goddard Rd. - Suite B  
Lewiston, ME 04240  
Tel. 207-783-5656

**HANDRAIL ADDITION**

OF: SITE GRADING PLAN - DIRIGO CAPITAL HOLDINGS, LLC

LOCATION: Industrial Automation Supply  
75 INDUSTRIAL WAY  
PORTLAND, MAINE

FOR:

DIRIGO CAPITAL HOLDINGS, LLC  
PORTLAND, MAINE

SCALE: 1" = 5'

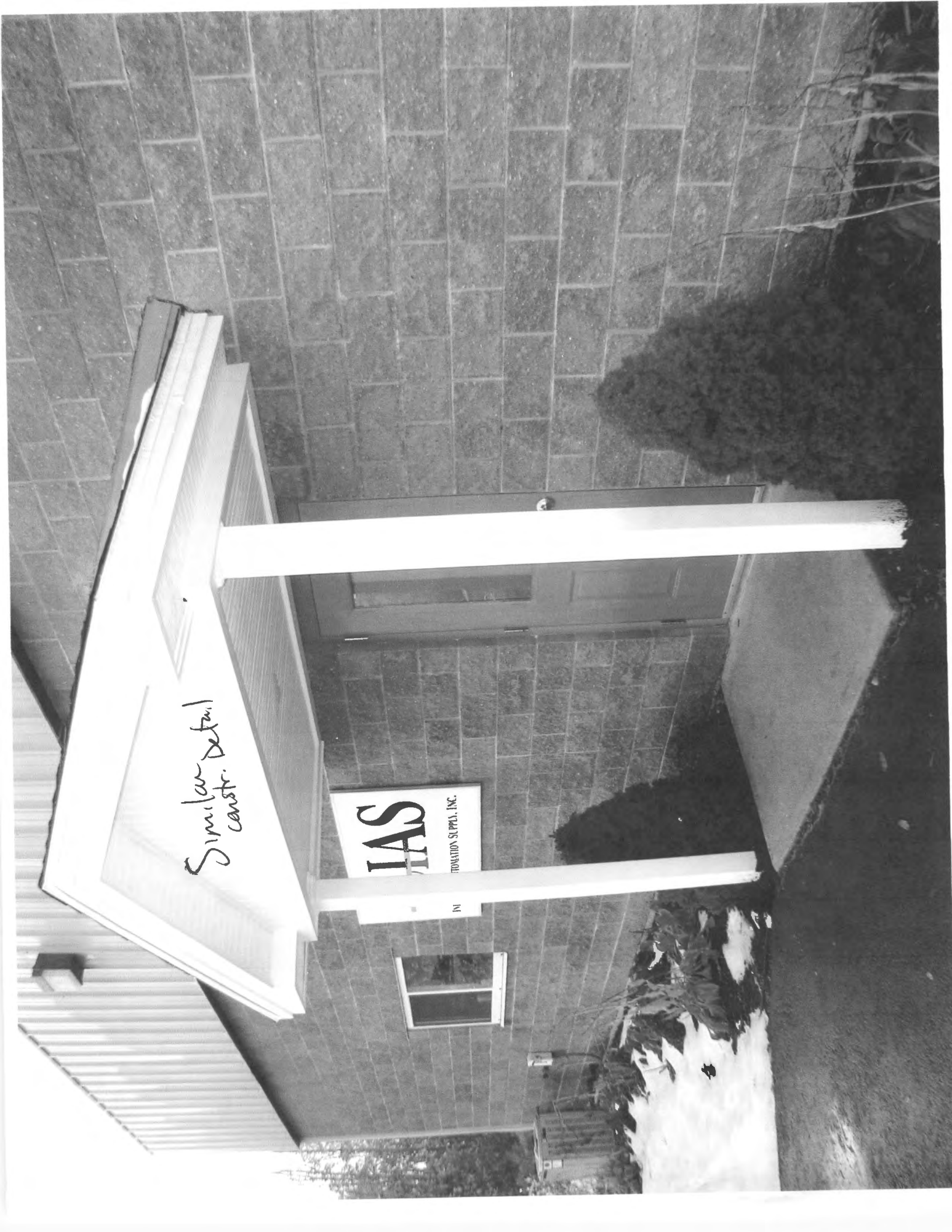
DATE: 10-19-12

SHEET:

1 OF 1

*Similar Detail  
constr.*

**IAS**  
INNOVATION SUPPLY, INC.



Similar Construction  
detail

**IAS**

INDUSTRIAL AUTOMATION SUPPLY, INC.

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Footings/Setbacks prior to pouring concrete

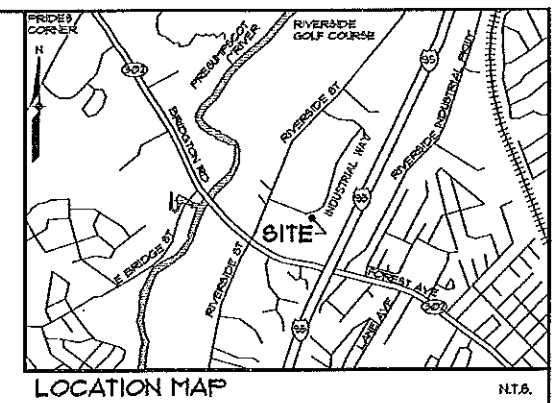
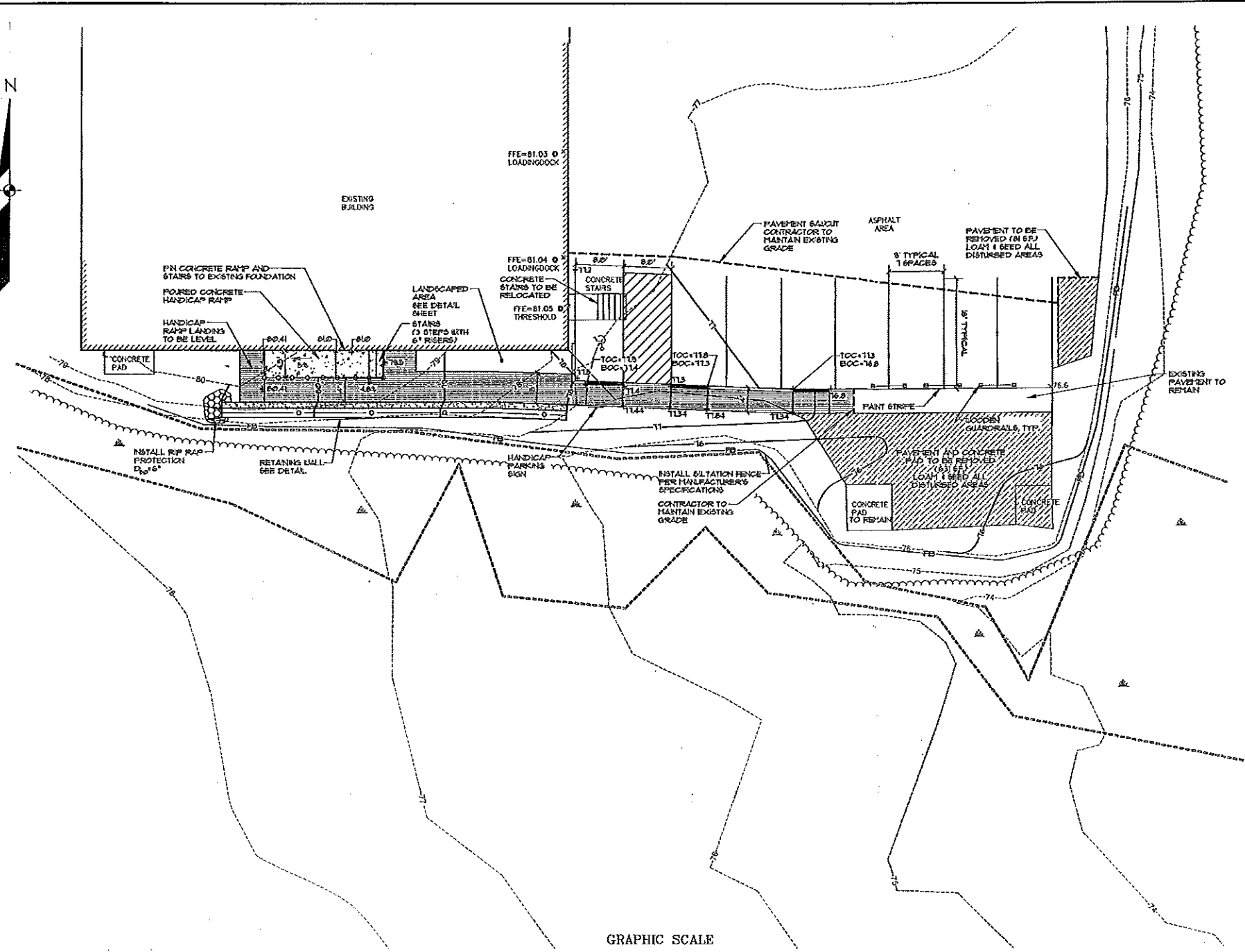
Close In Elec/Plmb/Frame prior to insulate or gyp

Certificate of Occupancy Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

9/26/12



GENERAL NOTES:

- 1. THE RECORD OWNER OF THE PARCEL IS DRIGO CAPITAL HOLDINGS, LLC BY DEED DATED FEBRUARY 27, 2001 AND RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 24816 PAGE 5.
2. THE PROPERTY IS SHOWN AS LOT 43 ON THE CITY OF PORTLAND TAX MAP 571 AND IS LOCATED IN THE I-H INDUSTRIAL ZONE.
3. SPACE AND BULK CRITERIA:
I-H ZONE
MIN LOT SIZE: NONE
MIN STREET FRONTAGE: 60 FEET
MIN FRONT YARD: 7 X HEIGHT OF BUILDING
MIN SIDE YARD: 7 X HEIGHT OF BUILDING UP TO 25 FEET / 35 FEET IF ADJUTING RESIDENTIAL ZONE USE
MIN REAR YARD: 7 X HEIGHT OF BUILDING UP TO 25 FEET / 35 FEET IF ADJUTING RESIDENTIAL ZONE USE
MIN PAVEMENT SETBACK: 10 FEET
MAX BUILDING HEIGHT: 75
MAX IMPERVIOUS SURFACE RATIO: 15%
4. TOTAL AREA OF PARCEL: 181 AC. (85,83 SQUARE FEET)
5. BOUNDARY INFORMATION DEFICIT HEREON IS AS SHOWN ON PLAN REFERENCE 8-A. TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON FIELD WORK BY SEBAGO TECHNICS, INC. IN SEPTEMBER OF 2011. ELEVATIONS DEFICIT HEREON ARE BASED ON 1985 VERTICAL DATUM.
6. PLAN REFERENCES:
A. "STANDARD BOUNDARY SURVEY & EXISTING CONDITIONS" FOR PIZZO FRUIT 1 PRODUCE BY LAND USE CONSULTANTS, INC. DATED JUNE 4, 1991 AND REVISED THROUGH JULY 9, 1991.
B. "TOPOGRAPHIC SURVEY" FOR NATIVE HAINR PRODUCE BY LEBBE & WASSNA, INC. DATED OCTOBER 6, 2004 AND REVISED THROUGH OCTOBER 10, 2004.

IMPERVIOUS AREA CALCULATIONS:

ADDED IMPERVIOUS AREA = 611 SF
IMPERVIOUS AREA TO BE REMOVED = 118 SF
NET DIFFERENCE = 493 SF

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 11-23-2011

LEGEND table with columns for EXISTING, DESCRIPTION, and PROPOSED. Includes symbols for boundary lines, benchmarks, buildings, wetlands, edge of wetland, 60ft, edge pavement, edge concrete, pavement paint, gravel, curbside, tree line, contours, spot grade, retaining wall, deciduous tree, coniferous tree, mulch line, guardrail, filter banner, and riprap.

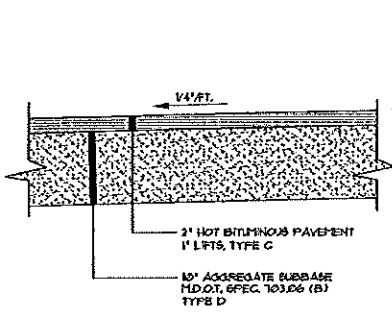
CONSTRUCTION NOTES

- 1. ALL WORK SHALL CONFORM TO THE APPLICABLE CODES AND ORDINANCES.
2. CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIM OR HERSELF WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIM OR HERSELF WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDINGS WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
3. CONTRACTOR SHALL NOTIFY ENGINEER OF ALL PRODUCTS OR ITEMS NOTED AS 'EXISTING' WHICH ARE NOT FOUND IN THE FIELD.
4. INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND OWNER'S REQUIREMENTS UNLESS SPECIFICALLY OTHERWISE INDICATED OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO FABRICATION AND ERECTION OF ANY MATERIAL. ANY UNUSUAL CONDITIONS SHALL BE REPORTED TO THE ATTENTION OF THE ENGINEER.
6. CONTRACTOR SHALL CLEAN AND REMOVE DEBRIS AND SEDIMENT DEPOSITED ON PUBLIC STREETS, SIDEWALKS, ADJACENT AREAS, OR OTHER PUBLIC SPACES DUE TO CONSTRUCTION.
7. CONTRACTOR SHALL INCORPORATE PROVISIONS AS NECESSARY IN CONSTRUCTION TO PROTECT EXISTING STRUCTURES, PHYSICAL FEATURES, AND MAINTAIN SITE STABILITY DURING CONSTRUCTION. CONTRACTOR SHALL RESTORE ALL AREAS TO ORIGINAL CONDITION AND AS DIRECTED BY DESIGN DRAWINGS.
8. SITE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION.
9. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES" PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.
10. THE CONTRACTOR IS HEREBY CAUTIONED THAT ALL SITE FEATURES SHOWN HEREON ARE BASED ON FIELD OBSERVATIONS BY THE SURVEYOR. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT DIGSAFE (1-800-DIGSAFE) AT LEAST THREE (3) BUT NOT MORE THAN THIRTY (30) DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DISPOSITION TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES.
11. CONTRACTOR SHALL BE AWARE THAT DIGSAFE ONLY NOTIFIES ITS 'MEMBER' UTILITIES ABOUT THE DIG WHEN NOTIFIED. DIGSAFE WILL ADVISE CONTRACTOR OF MEMBER UTILITIES IN THE AREA. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND CONTACTING NON-MEMBER UTILITIES DIRECTLY. NON-MEMBER UTILITIES MAY INCLUDE TOWN OR CITY WATER AND SEWER DISTRICTS AND SHALL, LOCAL UTILITIES, AS WELL AS USGS PUBLIC WORKS SYSTEMS.
12. CONTRACTORS SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF 23 MRS 336B-A. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITIES TO OBTAIN AUTHORIZATION PRIOR TO RELOCATION OF ANY EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS. IF A UTILITY CONFLICT ARISES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER, THE MUNICIPALITY AND APPROPRIATE UTILITY COMPANY PRIOR TO PROCEEDING WITH ANY RELOCATION.
13. ALL PAVEMENT MARKINGS AND DIRECTIONAL SIGNAGE SHOWN ON THE PLAN SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS.
14. ALL PAVEMENT JOINTS SHALL BE SAUCUT PRIOR TO PAYING TO PROVIDE A DURABLE AND UNIFORM JOINT.
15. NO HOLES, TRENCHES OR STRUCTURES SHALL BE LEFT OPEN OVERNIGHT IN ANY EXCAVATION ACCESSIBLE TO THE PUBLIC OR IN PUBLIC RIGHTS-OF-WAY.
16. THE PROPOSED LIMITS OF CLEARING SHOWN HEREON ARE APPROXIMATE BASED UPON THE PROPOSED LIMITS OF SITE GRADING. THE APPLICANT RESERVES THE RIGHT TO PERFORM NORMAL FOREST MANAGEMENT ACTIVITIES OUTSIDE OF THE CLEARING LIMIT AS SHOWN. TREE REMOVAL OUTSIDE OF THE LIMITS OF CLEARING MAY BE NECESSARY TO REMOVE DEAD OR DYING TREES OR TREE LIMBS. THIS REMOVAL IS DUE TO POTENTIAL SAFETY HAZARDS AND TO PROMOTE PROPER FOREST GROWTH.
17. IMMEDIATELY UPON COMPLETION OF OUTFILLS, THE CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH EROSION CONTROL NOTES AND AS SPECIFIED ON PLANS.
18. THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR THE REMOVAL, REPLACEMENT AND REIFICATION OF ALL DAMAGED AND DEFECTIVE MATERIAL AND WORKMANSHIP IN CONNECTION WITH THE CONTRACT WORK. THE CONTRACTOR SHALL REPLACE OR REPAIR AS DIRECTED BY THE OWNER ALL SUCH DAMAGED OR DEFECTIVE MATERIALS WHICH APPEAR WITHIN A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.
19. ALL WORK PERFORMED BY THE GENERAL CONTRACTOR AND/OR TRADE SUBCONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF LOCAL, STATE OR FEDERAL LAWS, AS WELL AS ANY OTHER GOVERNING REQUIREMENTS, WHETHER OR NOT SPECIFIED ON THE DRAWINGS.
20. WHERE THE TERMS "APPROVED EQUAL", "OTHER APPROVED", "EQUAL TO", "ACCEPTABLE" OR OTHER GENERAL QUALIFYING TERMS ARE USED IN THESE NOTES, IT SHALL BE UNDERSTOOD THAT REFERENCE IS MADE TO THE RULING AND JUDGMENT OF SEBAGO TECHNICS, INC.
21. THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR THE WORK UNTIL TURNED OVER TO THE OWNER.
22. THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS ON SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES.
23. THE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ANY CHANGES AND DEVIATION OF APPROVED PLANS NOT AUTHORIZED BY THE ARCHITECT/ENGINEER AND/OR CLIENT/OWNER.
24. DETAILS ARE INTENDED TO SHOW END RESULT OF DESIGN. ANY MODIFICATION TO SUB FIELD DIMENSION AND CONDITION SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO ANY WORK.
25. BEFORE THE FINAL ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL REMOVE ALL EQUIPMENT AND MATERIALS, REPAIR OR REPLACE PRIVATE OR PUBLIC PROPERTY WHICH MAY HAVE BEEN DAMAGED OR DESTROYED DURING CONSTRUCTION, CLEAN THE AREAS WITHIN AND ADJACENT TO THE PROJECT WHICH HAVE BEEN OBSTRUCTED BY HIS/HER OPERATIONS, AND LEAVE THE PROJECT AREA NEAT AND PRESENTABLE.
26. ALL SUBSURFACE UTILITY LINES SHOWN HEREON ARE BASED SOLELY ON THE FIELD LOCATION OF VISIBLE STRUCTURES, 6"X6", 6"X8", HYDRANTS, ETC. IN CONJUNCTION WITH DESIGN AND OR AS-BUILT PLANS SUPPLIED TO SEBAGO TECHNICS INC. BY OTHERS PRIOR TO ANY CONSTRUCTION. EXCAVATION, TEST BORINGS, DRILLING, ETC. DIG SAFE MUST BE NOTIFIED AND A SITE IDENTIFICATION NUMBER ALONG WITH A SAFE TO DIG DATE OBTAINED. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION, DEPTH AND MATERIAL OF ALL SUBSURFACE UTILITY LINES SHOWN HEREON AND ANY AND ALL OTHERS LOCATED ON SITE WITHIN THE CONSTRUCTION AREA.

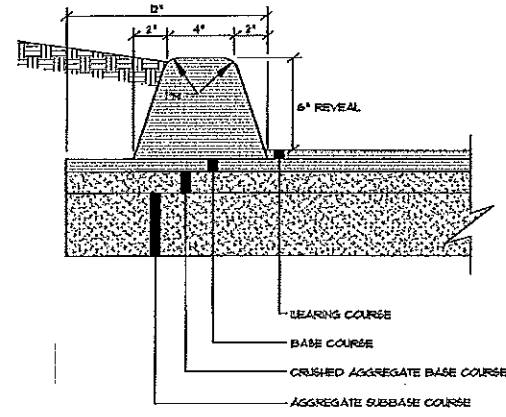
Sebago Technics logo and contact information: 200 Goodland Road, Suite B, Westbrook, ME 04092-1330. Includes project number 04142 and date 04/12.

SITE GRADING PLAN OF INDUSTRIAL AUTOMATION SUPPLY, INC. SHEET 1 OF 3. Includes date 10-03-11, scale 1"=10', and drawing number 04142SS.dwg.

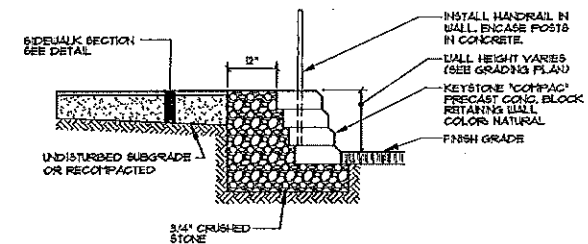
Zoneuq (+ I will stamp the scaled plans you have seen)



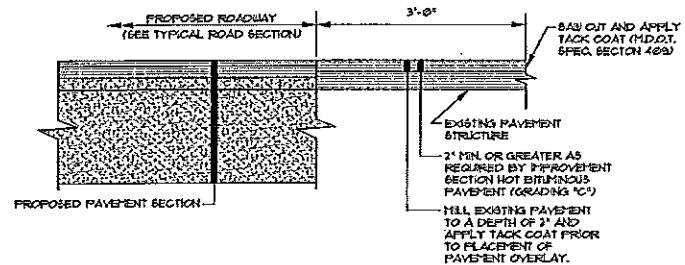
**BITUMINOUS SIDEWALK**  
NOT TO SCALE



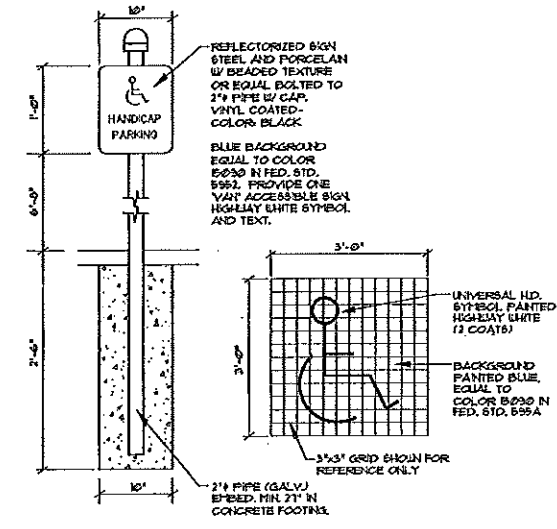
**BITUMINOUS CURB SECTION**  
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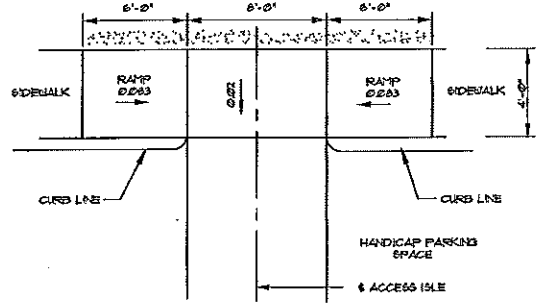
**CONCRETE BLOCK RETAINING WALL**  
NOT TO SCALE



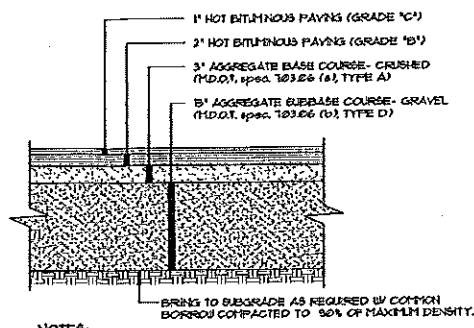
**TYPICAL PAVEMENT JOINT**  
NOT TO SCALE



**HANDICAP SIGNS**  
NOT TO SCALE

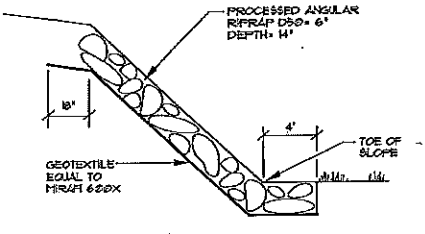


**HANDICAP RAMP**  
NOT TO SCALE

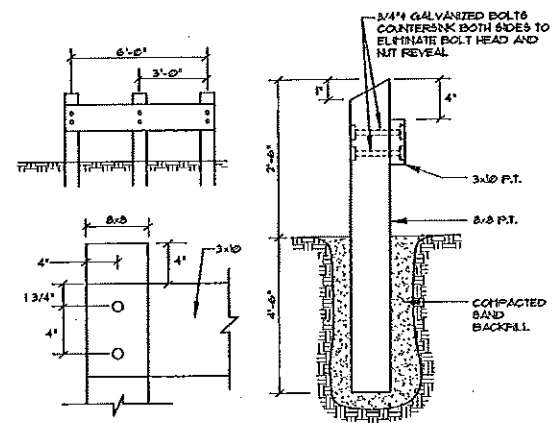


**TYP. PAVED PARKING LOT SECTION**  
NOT TO SCALE

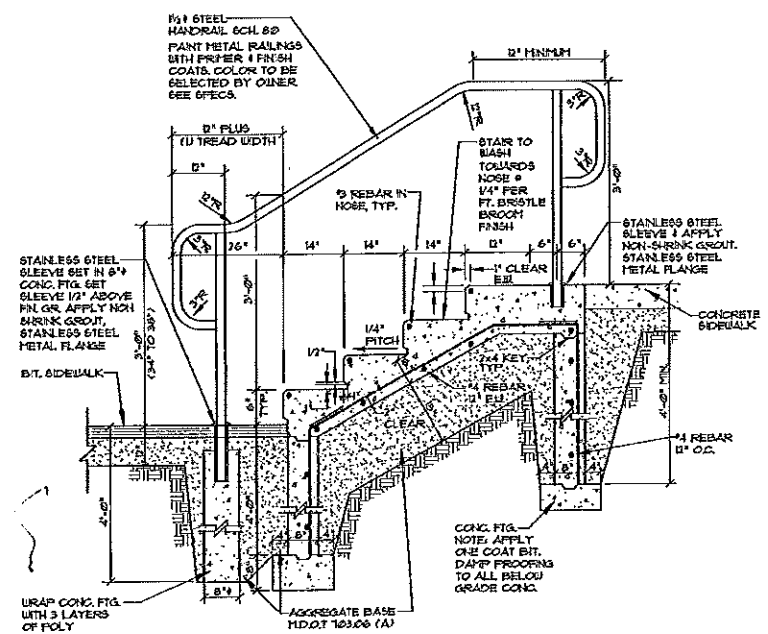
**NOTES:**  
1. COMPACT GRAVEL SUBBASE BASE COURSE TO 92% MAXIMUM DENSITY USING HEAVY ROLLER COMPACTION.  
2. CONTRACTOR SHALL SET GRADE STAKES MARKING SUBBASE AND FRESH GRADE ELEVATIONS FOR CONSTRUCTION REFERENCE.



**SIDE SLOPE RIPRAP**  
NOT TO SCALE

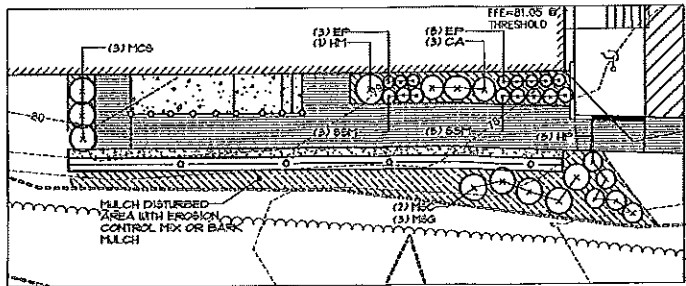


**PRESSURE TREATED WOOD GUARDRAIL**  
NOT TO SCALE



**CONCRETE STAIR**  
NOT TO SCALE

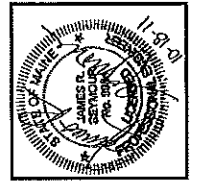
**NOTES:**  
1. STEPS OVER 4" IN BOTH SHALL HAVE CONTINUOUS HANDRAILS ON BOTH SIDES. INTERMEDIATE RAILS ARE REQUIRED SO THAT ALL PORTIONS OF THE REQUIRED WIDTH OF STAIRS ARE WITHIN 25" OF A HANDRAIL. ONLY ONE RAIL IS REQUIRED ON STAIRS LESS THAN 4" WIDE.  
2. HANDRAILS SHALL EXTEND AT LEAST 12" BEYOND THE TOP AND 12" PLUS ONE TREAD WIDTH BEYOND THE BOTTOM OF THE STEPS AND SHALL BE PARALLEL WITH THE FLOOR OR GROUND SURFACE.  
3. THE CLEAR SPACE BETWEEN THE HANDRAIL AND THE WALL SHALL BE 4".  
4. THE TOP OF THE HANDRAIL GRIPPING SURFACE SHALL BE MOUNTED BETWEEN 34" AND 38" ABOVE STAIR NOSINGS.  
5. ENDS OF HANDRAIL SHALL BE EITHER ROUNDED OR RETURNED SMOOTHLY TO THE FLOOR, WALL OR POST.  
6. ALL HAND RAILS SHALL HAVE A CIRCULAR CROSS SECTION WITH AN OUTSIDE DIAMETER OF AT LEAST 1 1/2" AND NOT GREATER THAN 2".  
7. HAND RAILS ARE NOT REQUIRED FOR STAIRWAYS WITH LEGS LESS THAN 2 RISERS.



**PLANT LIST**

KEY	BOTANICAL NAME	COMMON NAME	SIZE
HP	HOSTA 'SUM & SUBSTANCE'	SUN & SUBSTANCE HOSTA	4"
HI	HYDRANGEA MACROPHYLLA 'ENDLESS SUMMER'	ENDLESS SUMMER HYDRANGEA	4"
HS	HECANTHUS SPENSIS 'COSMOPOLITAN'	COSMOPOLITAN MAIDEN GRASS	2"
HS	HECANTHUS SPENSIS 'GRACILLIUS'	GRACILLIUS MAIDEN GRASS	2"
BSM	SALVIA SUPERBA 'MAY NIGHT'	MAY NIGHT SALVIA	4"
EP	ECHINACEA PURPUREA 'MAGNUS'	CONEFLOWER	4"
CA	CLETHRA ALNFOLIA 'SIXTEEN CANDLES'	SIXTEEN CANDLE	24"

**LANDSCAPING DETAIL**  
SCALE: 1"=10"



DATE	10-18-11	STATUS	SUBMITTED TO CITY FOR SITE PLAN REVIEW
BY	JRS	DATE	
REV.	A	DATE	

**Sebago Technics**  
Engineering, Excavating, You Can Build On.  
250 Oakdale Road - Suite 10  
Lewiston, ME 04203  
Tel: (207) 528-0277  
WWW.SEBAGOTECHNICS.COM

PROJECT NO. 11-23-2011  
FIELD BOOK DESIGN CHQC DRAWN JRS  
DATE 04/12

**CITY OF PORTLAND**  
**APPROVED SITE PLAN**  
Subject to Dept. Conditions  
Date of Approval: 11-23-2011

**DETAILS**  
OF: **INDUSTRIAL AUTOMATION SUPPLY, INC.**  
75 INDUSTRIAL WPKY  
PORTLAND, ME

FOR: **INDUSTRIAL AUTOMATION SUPPLY, INC.**  
75 INDUSTRIAL WPKY  
PORTLAND, ME 04105

DATE 10-03-11 SCALE AS NOTED

SHEET 2 OF 3

# EROSION CONTROL MEASURES

## PRE-CONSTRUCTION PHASE

PRIOR TO THE BEGINNING OF ANY CONSTRUCTION SEDIMENT BARRIERS (SILT FENCE) WILL BE STAKED/INSTALLED ACROSS THE SLOPE(S) ON THE CONTOUR AT OR JUST BELOW THE LIMITS OF CLEARING OR GRUBBING, AND/OR JUST ABOVE ANY ADJACENT PROPERTY LINE OR WATERCOURSE TO PROTECT AGAINST CONSTRUCTION RELATED EROSION. THE PLACEMENT OF SEDIMENT BARRIERS SHALL BE COMPLETED IN ACCORDANCE WITH GUIDELINES ESTABLISHED IN BEST MANAGEMENT PRACTICES AND IN ACCORDANCE WITH THIS EROSION CONTROL PLAN AND DETAILS IN THIS PLAN SET. THIS NETWORK IS TO BE MAINTAINED BY THE CONTRACTOR UNTIL ALL EXPOSED SLOPES HAVE AT LEAST 85% - 90% VIGOROUS PERENNIAL VEGETATIVE COVER TO PREVENT EROSION. TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER PERMANENT STABILIZATION IS ACHIEVED.

PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL PREPARE A DETAILED SCHEDULE AND MARKED UP PLAN INDICATING AREAS AND COMPONENTS OF THE WORK AND KEY DATES SHOWING DATE OF COMPLETION OF THE WORK. THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE MUNICIPAL STAFF. THREE COPIES OF THE SCHEDULE AND MARKED UP PLAN SHALL BE PROVIDED TO THE MUNICIPALITY THREE DAYS PRIOR TO THE SCHEDULED PRE-CONSTRUCTION MEETING. SPECIAL ATTENTION SHALL BE GIVEN TO THE 14 DAY LEAF OF DISTURBANCE IN THE SCHEDULE ADDRESSING TEMPORARY AND PERMANENT VEGETATION MEASURES.

## CONSTRUCTION AND POST-CONSTRUCTION PHASE

AREAS UNDERGOING ACTUAL CONSTRUCTION SHALL ONLY EXPOSE THAT AMOUNT OF MINERAL SOIL NECESSARY FOR PROGRESSIVE AND EFFICIENT CONSTRUCTION. AN AREA CONSIDERED OPEN IS ANY AREA NOT STABILIZED WITH PAVED, VEGETATED, OR OTHER COVER. OPEN AREAS SHALL BE MAINTAINED WITH TEMPORARY EROSION CONTROL AS SHOWN ON THE DESIGN PLANS AND AS DESCRIBED WITHIN THIS EROSION CONTROL PLAN WITHIN 14-DAYS OF DISTURBANCE. AREAS LOCATED WITHIN 100' OF STREAMS SHALL BE ANCHORED WITH TEMPORARY EROSION CONTROL WITHIN 14-DAYS AFTER THE END OF CONSTRUCTION. NOTES FOR THE TREATMENT OF OPEN AREAS AFTER OCTOBER 1ST OF THE CONSTRUCTION YEAR.

THE CONTRACTOR MUST INSTALL ANY ADDED MEASURES WHICH MAY BE NECESSARY TO CONTROL EROSION/SEDIMENTATION FROM THE SITE DEPENDENT UPON THE ACTUAL SITE AND WEATHER CONDITIONS. CONTINUATION OF EARTHWORK OPERATIONS ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED, IN ORDER TO MINIMIZE AREAS WITHOUT EROSION CONTROL PROTECTION.

## EROSION CONTROL APPLICATION MEASURES

THE PLACEMENT OF EROSION CONTROL MEASURES SHALL BE COMPLETED IN ACCORDANCE WITH GUIDELINES ESTABLISHED IN BEST MANAGEMENT PRACTICES AND IN ACCORDANCE WITH THE EROSION CONTROL PLAN AND DETAILS IN THE PLAN SET.

### 1. TEMPORARY MULCHING

ALL DISTURBED AREAS SHALL BE MULCHED WITH MATERIALS SPECIFIED BELOW PRIOR TO ANY STORM EVENT. ALL DISTURBED AREAS NOT FINAL GRADED WITHIN 14 DAYS SHALL BE MULCHED. ALSO, AREAS WHICH HAVE BEEN TEMPORARILY OR PERMANENTLY EXPOSED SHALL BE MULCHED IMMEDIATELY FOLLOWING SEEDING. EROSION CONTROL BLANKETS ARE RECOMMENDED ON SLOPES OF GRASSED MATERIALS AND ON SLOPES GREATER THAN 8%. MULCH ANCHORINGS SHOULD BE USED ON SLOPES GREATER THAN 8% AFTER SEPTEMBER 5TH OF THE CONSTRUCTION YEAR (SEE WINTER EROSION CONTROL NOTES).

**TYPES OF MULCH:**  
HAY OR STRAW SHALL BE APPLIED AT A RATE OF 15 LBS/1000 SQ. FT. (15 TONS PER ACRE).  
EROSION CONTROL MIX SHALL BE PLACED EVENLY AND MUST PROVIDE 100% SOIL COVERAGE. EROSION CONTROL MIX SHALL BE APPLIED AT A RATE OF 2 SQUARE FEET PLUS 10 INCHES PLUS 10 INCHES PER 100 FEET OF SLOPE UP TO 100 FEET. THE THICKNESS ON SLOPES BETWEEN 31 AND 21 SHALL BE 4 INCHES PLUS 12 INCHES PER 100 FEET OF SLOPE UP TO 100 FEET. THIS SHALL NOT BE USED ON SLOPES GREATER THAN 21%.

EROSION CONTROL MIX SHALL BE APPLIED TO THE DISTURBED SOIL TO GUARANTEE CONTACT BETWEEN THE MIX AND THE SOIL. IS OBTAINED. INSTALL BLANKETS AND STAPLES IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

### 2. SOIL STOCKPILES

STOCKPILES OF SOIL OR SUBSOIL SHALL BE MULCHED WITH HAY OR STRAW AT A RATE OF 15 LBS/1000 SQ. FT. (15 TONS PER ACRE) OR WITH A FOUR-INCH LAYER OF WOOD WASTE EROSION CONTROL MIX. THIS WILL BE DONE WITHIN 24 HOURS OF STOCKING AND BEFORE ANY FURTHER DISTURBANCE. SOIL STOCKPILES WILL NOT BE PLACED (EVEN COVERED WITH HAY OR STRAW) WITHIN 100 FEET FROM ANY NATURAL RESOURCES.

### 3. NATURAL RESOURCES PROTECTION

ANY AREAS WITHIN 100 FEET FROM ANY NATURAL RESOURCES, IF NOT STABILIZED WITH A MINIMUM OF 75% MATURE VEGETATION CATCH, SHALL BE MULCHED USING TEMPORARY MULCHING AS DESCRIBED IN PART 1 OF THIS SECTION WITHIN 14 DAYS OF EXPOSURE OR PRIOR TO ANY STORM EVENT. SEDIMENT BARRIERS (AS DESCRIBED IN PART 4 OF THIS SECTION) SHALL BE PLACED BETWEEN ANY NATURAL RESOURCE AND THE DISTURBED AREA. PROJECTS CROSSING THE NATURAL RESOURCE SHALL BE PROTECTED A MINIMUM DISTANCE OF 100 FEET ON EITHER SIDE FROM THE RESOURCE.

### 4. SEDIMENT BARRIERS

PRIOR TO THE BEGINNING OF ANY CONSTRUCTION, SEDIMENT BARRIERS SHALL BE STAKED ACROSS THE SLOPE(S) ON THE CONTOUR AT OR JUST BELOW THE LIMITS OF CLEARING OR GRUBBING, AND/OR JUST ABOVE ANY ADJACENT PROPERTY LINE OR WATERCOURSE TO PROTECT AGAINST CONSTRUCTION RELATED EROSION. SEDIMENT BARRIERS SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL ALL EXPOSED SLOPES HAVE AT LEAST 85%-90% VIGOROUS PERENNIAL VEGETATIVE COVER TO PREVENT EROSION.

SILT FENCE SHALL BE INSTALLED PER THE DETAIL ON THE PLANS. THE EFFECTIVE HEIGHT OF THE FENCE SHALL NOT EXCEED 36 INCHES. IT IS RECOMMENDED THAT SILT FENCE BE REMOVED BY CUTTING THE FENCE MATERIALS AT GROUND LEVEL, SO AS TO AVOID ADDITIONAL SOIL DISTURBANCE.

HAY BALES SHALL BE INSTALLED PER THE DETAIL ON THE PLANS. BALES SHALL BE WIRE-BOUND OR STRIPS-TIED AND THESE BINDINGS MUST REMAIN PARALLEL WITH THE GROUND SURFACE DURING INSTALLATION TO PREVENT DETRIORATION OF THE BINDINGS. BALES SHALL BE INSTALLED WITHIN A MINIMUM 4 INCH DEEP TRENCH LINE WITH ENDS OF ADJACENT BALES TIGHTLY ADJUTING TO ONE ANOTHER.

EROSION CONTROL MIX SHALL BE INSTALLED PER THE DETAIL ON THE PLANS. THE MIX SHALL CONSIST PRIMARILY OF ORGANIC MATERIAL AND CONTAIN A KEY DATE SHOWING DATE OF COMPLETION OF THE WORK. THE MIX COMPOSITION SHALL MEET THE STANDARDS DESCRIBED WITHIN THE MDEP BEST MANAGEMENT PRACTICES. NO TRENCHING IS REQUIRED FOR INSTALLATION OF THIS BARRIER.

### 5. STORM-DRAIN INLET PROTECTION

INLET PROTECTION SHALL BE PLACED AROUND A STORM-DRAIN DROP INLET OR CURB INLET PRIOR TO PERMANENT STABILIZATION OF THE IMMEDIATE AND UPSTREAM DISTURBED AREAS. THEY SHALL BE CONSTRUCTED IN A MANNER THAT WILL FACILITATE CLEAN-OFF AND DISPOSAL OF TRAFFIC SEDIMENTS AND FINESIZE INTERFERENCE WITH CONSTRUCTION ACTIVITIES. ANY RESILIENT FLOWING OF WATER FROM THE PROTECTION METHOD MUST NOT CAUSE EXCESSIVE INCONVENIENCE OR DAMAGE TO ADJACENT AREAS OR STRUCTURES.

HAY BALE DROP INLET PROTECTION: WE DO NOT RECOMMEND THE USE OF HAY BALES AS INLET PROTECTION.

CONCRETE BLOCK AND STONE INLET SEDIMENT FILTERS (OR CUBIC INLETS) SHALL BE INSTALLED PER THE DETAIL ON THE PLANS. THE HEIGHT OF THE CONCRETE BLOCK BARRIER CAN VARY BUT MUST BE BETWEEN 12 AND 24 INCHES TALL. A MINIMUM OF 1 INCH CRUSHED STONE SHALL BE USED.

MANUFACTURED SEDIMENT BARRIERS AND FILTER (OR CUBIC INLETS) MANUFACTURED FILTERS, AS SPECIFIED IN THE DETAIL ON THE PLANS, MAY BE USED IF INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

### 6. DUST CONTROL

DUST CONTROL DURING CONSTRUCTION SHALL BE ACHIEVED BY THE USE OF A WATERING TRUCK TO PERIODICALLY SPRINKLE THE EXPOSED ROADWAY AREAS AS NECESSARY TO REDUCE DUST DURING THE DRY MONTHS. APPLYING OTHER DUST CONTROL PRODUCTS SUCH AS CALCIUM CHLORIDE OR OTHER MANUFACTURED PRODUCTS ARE ALLOWED IF AUTHORIZED BY THE PROPER LOCAL, STATE AND/OR FEDERAL REGULATING AGENCIES. HOWEVER, IT IS THE CONTRACTOR'S ULTIMATE RESPONSIBILITY TO MITIGATE DUST AND SOIL LOSS FROM THE SITE.

### 7. TEMPORARY VEGETATION

TEMPORARY VEGETATION SHALL BE APPLIED TO DISTURBED AREAS THAT WILL NOT RECEIVE FINAL GRADINGS FOR PERIODS UP TO 12 MONTHS. THIS PROCEDURE SHOULD BE USED EXTENSIVELY IN AREAS ADJACENT TO NATURAL RESOURCES. SEEDBED PREPARATION AND APPLICATION OF SEED SHALL BE AS INDICATED IN THE PERMANENT VEGETATION SECTION OF THIS NARRATIVE. SPECIFIC SEEDS (FAST GROWING AND SHORT LIVING) SHALL BE SELECTED FROM THE MAINE EROSION AND SEDIMENT CONTROL BMP MANUAL, DATED 3/2003 OR LATER. ALTERNATIVE EROSION CONTROL MEASURES SHOULD BE USED IF SEEDING CANNOT BE DONE BEFORE SEPTEMBER 5TH OF THE CONSTRUCTION YEAR.

### 8. PERMANENT VEGETATION

REVEGETATION MEASURES SHALL COMMENCE IMMEDIATELY UPON COMPLETION OF FINAL GRADINGS OF AREAS TO BE LOANED AND SEEDED. THE APPLICATION OF SEED SHALL BE COMPLETED BETWEEN APRIL 1ST AND OCTOBER 1ST OF THE CONSTRUCTION YEAR. PLEASE REFER TO THE WINTER EROSION CONTROL NOTES FOR MORE DETAIL. REVEGETATION MEASURES SHALL CONSIST OF THE FOLLOWING:

### SEEDBED PREPARATION

A FOUR (4) INCHES OF LOAM SHALL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE. LOAM SHALL BE FREE OF SUBSOIL, CLAY LUMBS, STONES AND OTHER OBJECTS OVER 2 INCHES OR LARGER IN ANY DIMENSION, AND WITHOUT WEEDS, ROOTS OR OTHER OBJECTIONABLE MATERIAL.

SOIL TESTS SHALL BE TAKEN AT THE TIME OF SOIL STRIPPING TO DETERMINE FERTILIZATION REQUIREMENTS. SOIL TESTS SHALL BE TAKEN PROPERLY AS TO NOT INTERFERE WITH THE 14-DAY LEAF ON SOIL EXPOSURE. BASED UPON TEST RESULTS, SOIL ADJUSTMENTS SHALL BE INCORPORATED INTO THE SOIL PRIOR TO FINAL SEEDING. IN LIEU OF SOIL TESTS, SOIL ADJUSTMENTS MAY BE APPLIED AS FOLLOWS:

ITEM	APPLICATION RATE
10-10-10 FERTILIZER (N-P2O5-K2O OR EQUAL)	10.4 LBS/1000 SQ. FT.
GROUND LIMESTONE (80% CALCIUM I HAZARDAL OXIDE)	50 LBS/1000 SQ. FT.

C. WORK LINE AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH PROPER EQUIPMENT. ROLL THE AREA TO FIRM THE SEEDBED EXCEPT ON CLAY OR SILTY SOILS OR COARSE SAND.

## APPLICATION OF SEED

A SEEDING SHALL BE CONDUCTED BETWEEN APRIL 1ST AND OCTOBER 1ST OF THE CONSTRUCTION YEAR. GENERALLY A SEED MIXTURE MAY BE APPLIED AS FOLLOWS (MDEP FORM PK-2 IS DISPLAYED):

SEED TYPE	APPLICATION RATE
CREEPING RED FESCUE	0.16 LBS/1000 SQ. FT. (1.6 TONS/ACRE)
TALL FESCUE	0.16 LBS/1000 SQ. FT. (1.6 TONS/ACRE)
TOTAL	0.31 LBS/1000 SQ. FT. (3.1 TONS/ACRE)

NOTE: A SPECIFIC SEED MIXTURE SHOULD BE CHOSEN TO MATCH THE SOIL'S CONDITION OF THE SITE. VARIOUS AGENCIES CAN BE CONSULTED SUCH AS DISTRICT AGENCIES, EROSION CONTROL SPECIALISTS AND LOCAL AGENCIES TO DETERMINE THE BEST SEED MIXTURE FOR THE EROSION AND SEDIMENT CONTROL BMP MANUAL, DATED 3/2003 OR LATER.

B. HYDROSEEDING SHALL BE CONDUCTED ON PREPARED AREAS WITH SLOPES LESS THAN 2:1. LIQUID AND FERTILIZER MAY BE APPLIED SIMULTANEOUSLY WITH THE SEED. RECOMMENDED SEEDING RATES MUST BE INCREASED BY 50% WHEN HYDROSEEDING IS USED.

C. MULCHING SHALL COMMENCE IMMEDIATELY AFTER SEED IS APPLIED. REFER TO THE TEMPORARY MULCHING SECTION OF THIS NARRATIVE FOR DETAILS.

## SEEDING

FOLLOWING SEEDBED PREPARATION, SOIL CAN BE APPLIED IN LIEU OF SEEDING IN AREAS WHERE IMMEDIATE VEGETATION IS MOST BENEFICIAL SUCH AS DITCHES, AROUND STORM-DRAIN DROP INLETS AND AREAS OF AESTHETIC VALUE. SOIL SHOULD BE LAID AT RIGHT ANGLES TO THE DIRECTION OF FLOW STARTING AT THE HIGHEST ELEVATION. SOIL SHOULD BE ROLLED OR TAMPED DOWN TO EVEN OUT THE JOINTS ONCE LAID DOWN. WHERE FLOW IS PREVALENT THE SOIL MUST BE PROPERLY ANCHORED DOWN. RESEED THE SOIL IMMEDIATELY AFTER INSTALLATION. IN MOST CASES, SOIL CAN BE ESTABLISHED BETWEEN APRIL 1ST AND NOVEMBER 1ST OF THE CONSTRUCTION YEAR, HOWEVER REFER TO THE WINTER EROSION CONTROL NOTES FOR ANY ACTIVITIES AFTER OCTOBER 1ST.

## TRENCH DEWATERING AND TEMPORARY STREAM DIVERSION

WATER FROM CONSTRUCTION TRENCH DEWATERING OR TEMPORARY STREAM DIVERSION WILL PASS FIRST THROUGH A FILTER BAG OR CONTAINER STRUCTURE (E.G. HAY BALE) BEFORE BEING DISCHARGED. THE DISCHARGE SITE SHALL BE SELECTED TO AVOID FLOODING AND SEDIMENTATION OF PROTECTED RESOURCES. IN NO CASE SHALL THE FILTER BAG OR CONTAINER STRUCTURE BE LOCATED WITHIN 100 FEET OF A PROTECTED NATURAL RESOURCE.

## STANDARDS FOR TIMELY STABILIZATION

STANDARD FOR THE TIMELY STABILIZATION OF DISTURBED SLOPES -- BY OCTOBER 1ST THE CONTRACTOR WILL CONSTRUCT AND STABILIZE ALL DISTURBED SLOPES BY NOVEMBER 5TH. THE CONTRACTOR WILL CONSIDER ANY AREA HAVING A GRADE GREATER THAN 8% (10:1) TO BE A SLOPE. IF THE CONTRACTOR FAILS TO STABILIZE ANY SLOPE BY SEPTEMBER 5TH, THEN THE CONTRACTOR WILL TAKE ONE OF THE FOLLOWING ACTIONS TO STABILIZE THE SLOPE FOR LATE FALL AND WINTER:

1. STABILIZE THE SOIL WITH TEMPORARY VEGETATION AND EROSION CONTROL MIX -- BY OCTOBER 1ST THE CONTRACTOR WILL SEED THE DISTURBED SLOPE WITH WINTER RYE AT A SEEDING RATE OF 3 POUNDS PER 1000 SQUARE FEET AND APPLY EROSION CONTROL MIX OVER THE MULCHED SLOPE. THE CONTRACTOR WILL MONITOR GROWTH OF THE RYE OVER THE NEXT 30 DAYS. IF THE RYE FAILS TO GROW AT LEAST THREE INCHES OR COVER AT LEAST 75% OF THE DISTURBED SLOPE BY NOVEMBER 1ST, THEN THE APPLICANT WILL COVER THE SLOPE WITH A LAYER OF WOOD WASTE COFFERT AS DESCRIBED IN ITEM 2(C) OF THIS STANDARD OR WITH STONE RIPRAP AS DESCRIBED IN ITEM 2(D) OF THIS STANDARD.

2. STABILIZE THE SLOPE WITH TEMPORARY VEGETATION -- BY OCTOBER 1ST THE CONTRACTOR WILL PROPERLY INSTALL SOIL WITH PROPER INSTALLATION INCLUDING THE APPLICANT PINNING THE SOIL ONTO THE SLOPE WITH WIRE PINS. ROLLING THE SOIL TO GUARANTEE CONTACT BETWEEN THE SOIL AND UNDERLYING SOIL, AND WATERING THE SOIL TO PROMOTE ROOT GROWTH. THE CONTRACTOR WILL NOT USE LATE-SEASON SOIL INSTALLATION TO STABILIZE SLOPES HAVING A GRADE GREATER THAN 33% (10:1).

3. STABILIZE THE SLOPE WITH WOOD WASTE COFFERT -- THE CONTRACTOR WILL PLACE A SIX-INCH LAYER OF WOOD WASTE COFFERT ON THE SLOPE BY NOVEMBER 5TH. PRIOR TO PLACING THE WOOD WASTE COFFERT, THE APPLICANT WILL REMOVE ANY SNOW ACCUMULATION ON THE DISTURBED SLOPE. THE CONTRACTOR WILL STABILIZE THE SLOPE WITH ANCHORED MULCH HAVING GRADES GREATER THAN 50% (1:1) OR HAVING GROUNDWATER SEEPS ON THE SLOPE FACE.

4. STABILIZE THE SLOPE WITH STONE RIPRAP -- THE CONTRACTOR WILL PLACE A LAYER OF STONE RIPRAP ON THE SLOPE BY NOVEMBER 5TH. THE CONTRACTOR WILL USE A REGISTERED PROFESSIONAL ENGINEER TO DETERMINE THE STONE SIZE NEEDED FOR STABILITY AND TO DESIGN A FILTER LAYER FOR UNDERNEATH THE RIPRAP.

STANDARD FOR THE TIMELY STABILIZATION OF DISTURBED SOILS -- BY SEPTEMBER 5TH THE CONTRACTOR WILL SEED AND MULCH ALL DISTURBED SOILS ON AREAS HAVING A GRADE LESS THAN 8%. IF THE CONTRACTOR FAILS TO STABILIZE THESE SOILS BY THIS DATE, THEN THE CONTRACTOR WILL TAKE ONE OF THE FOLLOWING ACTIONS TO STABILIZE THE SOIL FOR LATE FALL AND WINTER:

1. STABILIZE THE SOIL WITH TEMPORARY VEGETATION -- BY OCTOBER 1ST THE CONTRACTOR WILL SEED THE DISTURBED SOIL WITH WINTER RYE AT A SEEDING RATE OF 3 POUNDS PER 1000 SQUARE FEET, LIGHTLY MULCH THE SEEDS WITH HAY OR STRAW AT 15 POUNDS PER 1000 SQUARE FEET, AND ANCHOR THE MULCH WITH PLASTIC NETTING. THE APPLICANT WILL MONITOR GROWTH OF THE RYE OVER THE NEXT 30 DAYS. IF THE RYE FAILS TO GROW AT LEAST THREE INCHES OR COVER AT LEAST 75% OF THE DISTURBED SOIL, BEFORE NOVEMBER 5TH, THEN THE APPLICANT WILL MULCH THE AREA FOR OVER-WINTER PROTECTION AS DESCRIBED IN ITEM 2(C) OF THIS STANDARD.

2. STABILIZE THE SOIL WITH SOIL -- THE APPLICANT WILL STABILIZE THE DISTURBED SOIL WITH PROPERLY INSTALLED SOIL BY OCTOBER 1ST. PROPER INSTALLATION INCLUDES THE APPLICANT PINNING THE SOIL ONTO THE SOIL WITH WIRE PINS, ROLLING THE SOIL TO GUARANTEE CONTACT BETWEEN THE SOIL AND UNDERLYING SOIL, AND WATERING THE SOIL TO PROMOTE ROOT GROWTH.

3. STABILIZE THE SOIL WITH MULCH -- BY NOVEMBER 5TH THE APPLICANT WILL MULCH THE DISTURBED SOIL BY SPREADING HAY OR STRAW AT A RATE OF AT LEAST 50 POUNDS PER 1000 SQUARE FEET ON THE AREA SO THAT NO SOIL IS VISIBLE THROUGH THE MULCH. PRIOR TO APPLYING THE MULCH, THE APPLICANT WILL REMOVE ANY SNOW ACCUMULATION ON THE DISTURBED SOIL. IMMEDIATELY AFTER APPLYING THE MULCH, THE APPLICANT WILL ANCHOR THE MULCH WITH PLASTIC NETTING TO PREVENT WIND FROM MOVING THE MULCH OFF THE DISTURBED SOIL.

CONSTRUCTION SCHEDULE  
SITE IMPROVEMENTS WILL MOST LIKELY BEGIN IN NOVEMBER 2011 DEPENDING UPON FINAL PROJECT APPROVAL. THE FOLLOWING SCHEDULE IS ANTICIPATED FOR THE CONSTRUCTION OF THE SITE IMPROVEMENTS.

SCHEDULE	DATE
1. ESTIMATED CONSTRUCTION TIME	3 WEEKS
2. EROSION CONTROL MEASURES PLACED	WEEK 1
3. SITE DEMOLITION	WEEK 1
4. CONSTRUCTION OF SITE IMPROVEMENTS	WEEK 2-3
5. MULCH SPREAD FOR WINTER EROSION CONTROL	JANUARY OF CONSTRUCTION YEAR
6. START FINAL SEEDING ON PREPARED AREAS (DURING GROWING SEASON)	FALL 2011
7. WEEKLY MONITORING OF VEGETATIVE GROWTH	FALL 2011
8. RE-SEEDING OF AREAS, IF NEEDED	SPRING 2012
9. REMOVAL OF EROSION CONTROL DEVICES	UPON FINAL PROJECT COMPLETION

\* DATES ARE SUBJECT TO CHANGE AT THE DISCRETION OF THE ENGINEER, DEPENDING ON CONSTRUCTION PROGRESS.

## INSPECTIONS/MONITORING

1. MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. AFTER EACH RAINFALL, SOIL STORM OR PERIOD OF THAWING AND RUNOFF, OR AT LEAST EVERY SEVEN (7) DAYS, THE CONTRACTOR SHALL PERFORM A VISUAL INSPECTION OF ALL INSTALLED EROSION CONTROL MEASURES. THE CONTRACTOR SHALL PERFORM REPAIRS AS NEEDED TO ALLOW CONTINUED PROPER FUNCTIONING OF THE EROSION CONTROL MEASURES. THE CONTRACTOR SHALL PROVIDE THE NECESSARY RECORDS AND WRITTEN DOCUMENTATION DESCRIBING DATES OF INSPECTIONS AND NECESSARY FOLLOW-UP WORK TO MAINTAIN EROSION CONTROL MEASURES THROUGH THE PROJECT TO THE END.

2. FOLLOWING THE TEMPORARY AND/OR FINAL SEEDING, THE CONTRACTOR SHALL INSPECT THE WORK AREA MONTHLY UNTIL THE SEEDINGS HAVE BEEN ESTABLISHED. INSPECTIONS SHOULD BE CONDUCTED DURING THE WINTER MONTHS. RESEEDING SHALL BE CARRIED OUT BY THE CONTRACTOR WITH FOLLOW-UP INSPECTIONS IN THE EVENT OF ANY FAILURES UNTIL VEGETATION IS ADEQUATELY ESTABLISHED.

# WINTER EROSION CONTROL MEASURES

THE WINTER CONSTRUCTION PERIOD IS FROM OCTOBER 1 THROUGH APRIL 5. IF THE CONSTRUCTION SITE IS NOT STABILIZED WITH PAVED, A ROAD GRAVEL BASE, 75% MATURE VEGETATION COVER OR RIPRAP BY NOVEMBER 5, THEN THE SITE NEEDS TO BE PROTECTED WITH OVER-WINTER STABILIZATION. AN AREA CONSIDERED OPEN IS ANY AREA NOT STABILIZED WITH PAVED, VEGETATION MULCHING, EROSION CONTROL, HATS, RIPRAP OR GRAVEL BASE ON A ROAD.

UNDER EXCAVATION AND EARTHWORK SHALL BE COMPLETED SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME. THE EXPOSED AREA TO THOSE AREAS IN WHICH LOAM IS EXPECTED TO BE UNDER TAKEN DURING THE PROCEEDING 15 DAYS AND THAT CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT.

ALL AREAS SHALL BE CONSIDERED TO BE OPEN UNTIL THE SUBBASE GRAVEL IS INSTALLED IN ROADWAY AREAS OR THE AREAS OF FUTURE LOAM AND SEED HAVE BEEN LOANED, SEEDED AND MULCHED. HAY AND STRAW MULCH RATE SHALL BE A MINIMUM OF 50 LBS/1000 SQ. FT. (5 TONS PER ACRE). THE CONTRACTOR MUST INSTALL ANY ADDED MEASURES WHICH MAY BE NECESSARY TO CONTROL EROSION/SEDIMENTATION FROM THE SITE DEPENDENT UPON THE ACTUAL SITE AND WEATHER CONDITIONS.

CONTINUATION OF EARTHWORK OPERATIONS ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED, IN ORDER TO MINIMIZE AREAS WITHOUT EROSION CONTROL PROTECTION.

## 1. SOIL STOCKPILES

STOCKPILES OF SOIL OR SUBSOIL WILL BE MULCHED FOR OVER WINTER PROTECTION WITH HAY OR STRAW AT TWICE THE NORMAL RATE OR AT 50 LBS/1000 SQ. FT. (5 TONS PER ACRE) OR WITH A FOUR-INCH LAYER OF WOOD WASTE EROSION CONTROL MIX. THIS WILL BE DONE WITHIN 24 HOURS OF STOCKING AND BEFORE ANY FURTHER DISTURBANCE. SOIL STOCKPILES WILL NOT BE PLACED (EVEN COVERED WITH HAY OR STRAW) WITHIN 100 FEET FROM ANY NATURAL RESOURCES.

## 2. NATURAL RESOURCES PROTECTION

ANY AREAS WITHIN 100 FEET FROM ANY NATURAL RESOURCES, IF NOT STABILIZED WITH A MINIMUM OF 75% MATURE VEGETATION CATCH, SHALL BE MULCHED BY SEPTEMBER 1 AND ANCHORED WITH PLASTIC NETTING OR PROTECTED WITH EROSION CONTROL MIX. DURING WINTER CONSTRUCTION, A DOUBLE LINE OF SEDIMENT BARRIERS (IE. SILT FENCE BACKED WITH HAY) SHALL BE PROTECTED WITH THE DOUBLE LINE OF SEDIMENT BARRIERS TO ENSURE FUNCTIONALITY DURING THE SPRING THAW AND RAINS.

PROJECTS CROSSING THE NATURAL RESOURCE SHALL BE PROTECTED A MINIMUM DISTANCE OF 100 FEET ON EITHER SIDE FROM THE RESOURCE. EXISTING PROJECTS NOT STABILIZED BY SEPTEMBER 1 SHALL BE PROTECTED WITH THE DOUBLE LINE OF SEDIMENT BARRIERS TO ENSURE FUNCTIONALITY DURING THE SPRING THAW AND RAINS.

## 3. SEDIMENT BARRIERS

DURING FROZEN CONDITIONS, SEDIMENT BARRIERS SHALL CONSIST OF WOOD WASTE FILTER BERRS AT 150 FEET SPACING. THE PROPER INSTALLATION OF HAY BALES AND SEDIMENT SILT FENCES.

## 4. MULCHING

ALL AREA SHALL BE CONSIDERED TO BE DENuded UNTIL AREAS OF FUTURE LOAM AND SEED HAVE BEEN LOANED, SEEDED AND MULCHED. HAY AND STRAW MULCH SHALL BE APPLIED AT A RATE OF 50 LBS PER 1000 SQUARE FEET OR 5 TONS/ACRE (TWICE THE NORMAL ACCEPTED RATE OF 25-LBS/1000 SQ. FT. OR 1/2 TONS/ACRE) AND SHALL BE PROPERLY ANCHORED. MULCH SHALL NOT BE SPREAD ON TOP OF OR BELOW THE SNOW. SNOW WILL BE REMOVED DOWN TO A ONE-INCH DEPTH OR LESS PRIOR TO APPLICATION.

AFTER EACH DAY OF FINAL GRADING, THE AREA WILL BE PROPERLY STABILIZED WITH ANCHORED HAY OR STRAW OR EROSION CONTROL MIXING.

AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR HAY AT A RATE OF 50 LBS PER 1000 SQUARE FEET (5 TONS/ACRE) AND ADEQUATELY ANCHORED THAT GROUND SURFACE IS NOT VISIBLE THROUGH THE MULCH.

BETWEEN THE DATES OF SEPTEMBER 1 AND APRIL 5, ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING, ASPHALT EMULSION CHEMICAL, TRUCK OR WOOD CELLULOSE FIBER. WHEN GROUND SURFACE IS NOT VISIBLE THROUGH THE MULCH THEN COVER IS SUFFICIENT. AFTER NOVEMBER 5TH, MULCH AND ANCHORS OF ALL BARE SOIL SHALL OCCUR AT THE END OF EACH FINAL GRADING WORK DAY.

## 5. MULCHING ON SLOPES AND DITCHES

SLOPES SHALL NOT BE LEFT EXPOSED FOR ANY EXTENDED TIME OF WORK SUSPENSION UNLESS FULLY MULCHED AND ANCHORED WITH HAY OR STRAW WITH EROSION CONTROL BLANKETS. MULCHING SHALL BE APPLIED AT A RATE OF 250 LBS/1000 SQ. FT. ON ALL SLOPES GREATER THAN 8%.

MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 8%. EROSION CONTROL BLANKETS SHALL BE USED IN LIEU OF MULCH IN ALL DRAINAGE WAYS WITH SLOPES 8%.

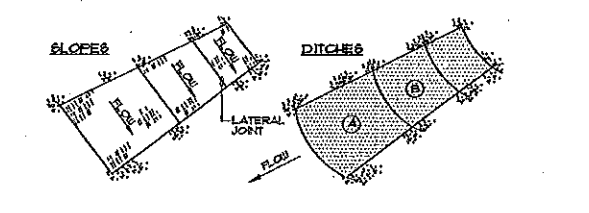
EROSION CONTROL MIX CAN BE USED TO SUBSTITUTE EROSION CONTROL BLANKETS ON ALL SLOPES EXCEPT DITCHES.

## 6. SEEDING

BETWEEN THE DATES OF OCTOBER 5 AND APRIL 1ST, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES FINISHED AREAS SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOANED, FINAL GRADED WITH A UNIFORM SURFACE, THEN THE AREA MAY BE DORMANT SEEDED AT A RATE OF 3 TIMES HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED.

DORMANT SEEDING MAY BE SELECTED TO BE PLACED PRIOR TO THE PLACEMENT OF MULCH AND FABRIC NETTING ANCHORED WITH STAPLES.

IF DORMANT SEEDING IS USED FOR THE SITE, ALL DISTURBED AREAS SHALL RECEIVE 4' OF LOAM AND SEED AT AN APPLICATION RATE OF 150/1000 SQ. FT. ALL AREAS SEEDED DURING THE WINTER WILL BE INSPECTED IN THE SPRING FOR ADEQUATE CATCH. ALL AREAS EFFICIENTLY VEGETATED.



- NOTES:
- BURY THE TOP END OF THE FIBER MATERIAL IN A 6" TRENCH AND BACKFILL, AND TAMP TRENCHING SECURE END WITH STAPLES AT 6" SPACING, 4" DOWN FROM EXPOSED END.
  - FLOW DIRECTION JOINTS TO HAVE UPPER END OF LOWER STRIP BURIED WITH UPPER LAYERS OVERLAPPED 4" AND STAPLED.
  - LATERAL JOINTS TO HAVE 4" OVERLAP OF STRIPS. STAPLE 18" ON CENTER.
  - STAPLE OUTSIDE LATERAL EDGE 2' ON CENTER.
  - WIRE STAPLES TO BE 1/2" DIA. 6" LONG AND 1-1/2" WIDE.
  - USE NORTH AMERICAN GREEN D90 OR APPROVED EQUAL.

## EROSION CONTROL BLANKET

NOT TO SCALE

LESS THAN 75% CATCH SHALL BE REVEGETATED BY REPLACING LOAM SEED AND MULCH. IF DORMANT SEEDING IS NOT USED FOR THE SITE, ALL DISTURBED AREAS SHALL BE REVEGETATED IN THE SPRING.

## 1. TRENCH DEWATERING AND TEMPORARY STREAM DIVERSION

WATER FROM CONSTRUCTION TRENCH DEWATERING OR TEMPORARY STREAM DIVERSION WILL PASS FIRST THROUGH A FILTER BAG OR CONTAINER STRUCTURE (E.G. HAY BALE) BEFORE BEING DISCHARGED. THE DISCHARGE SITE SHALL BE SELECTED TO AVOID FLOODING, ICING, AND SEDIMENT DISCHARGES TO A PROTECTED RESOURCE. IN NO CASE SHALL THE FILTER BAG OR CONTAINER STRUCTURE BE LOCATED WITHIN 100 FEET OF A PROTECTED NATURAL RESOURCE.

## 2. INSPECTION AND MONITORING

MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION SEASON. AFTER EACH RAINFALL, SNOW STORM OR PERIOD OF THAWING AND RUNOFF, THE CONTRACTOR SHALL PERFORM A VISUAL INSPECTION OF ALL INSTALLED EROSION CONTROL MEASURES AND PERFORM REPAIRS AS NEEDED TO INSURE THEIR CONTINUOUS FUNCTION. FOLLOWING THE TEMPORARY AND/OR FINAL SEEDING AND MULCHING, THE CONTRACTOR SHALL IN THE SPRING INSPECT AND REPAIR ANY DAMAGES AND/OR UNSTABILIZED SPOTS. ESTABLISHED VEGETATIVE COVER MEANS A MINIMUM OF 85 TO 90% OF AREAS VEGETATED WITH VIGOROUS GRASS.

## STANDARDS FOR TIMELY STABILIZATION OF CONSTRUCTION SITES DURING WINTER

STANDARD FOR THE TIMELY STABILIZATION OF DITCHES AND CHANNELS -- THE APPLICANT WILL CONSTRUCT AND STABILIZE ALL STONE-LINED DITCHES AND CHANNELS ON THE SITE BY NOVEMBER 5. THE APPLICANT WILL CONSTRUCT AND STABILIZE ALL GRASS-LINED DITCHES AND CHANNELS ON THE SITE BY SEPTEMBER 5. IF THE APPLICANT FAILS TO STABILIZE A DITCH OR CHANNEL BY SEPTEMBER 5, THEN THE APPLICANT WILL TAKE ONE OF THE FOLLOWING ACTIONS TO STABILIZE THE DITCH FOR LATE FALL AND WINTER:

1. STABILIZE THE DITCH WITH SOIL -- THE APPLICANT WILL LINE THE DITCH WITH PROPERLY INSTALLED SOIL BY OCTOBER 1. PROPER INSTALLATION INCLUDES THE APPLICANT PINNING THE SOIL ONTO THE SOIL WITH WIRE PINS, ROLLING THE SOIL TO GUARANTEE CONTACT BETWEEN THE SOIL AND UNDERLYING SOIL, AND WATERING THE SOIL TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL. THE CONTRACTOR WILL NOT USE LATE-SEASON SOIL INSTALLATION TO STABILIZE SLOPES HAVING A GRADE GREATER THAN 33% (10:1).

2. STABILIZE THE DITCH WITH TEMPORARY VEGETATION AND EROSION CONTROL MIX -- BY OCTOBER 1ST THE APPLICANT WILL SEED THE DISTURBED DITCH WITH WINTER RYE AT A SEEDING RATE OF 3 POUNDS PER 1000 SQUARE FEET AND APPLY EROSION CONTROL MIX OVER THE MULCHED DITCH. THE CONTRACTOR WILL MONITOR GROWTH OF THE RYE OVER THE NEXT 30 DAYS. IF THE RYE FAILS TO GROW AT LEAST THREE INCHES OR COVER AT LEAST 75% OF THE DISTURBED DITCH, BEFORE NOVEMBER 5TH, THEN THE APPLICANT WILL COVER THE DITCH WITH A LAYER OF WOOD WASTE COFFERT AS DESCRIBED IN ITEM 2(C) OF THIS STANDARD OR WITH STONE RIPRAP AS DESCRIBED IN ITEM 2(D) OF THIS STANDARD.

3. STABILIZE THE DITCH WITH WOOD WASTE COFFERT -- THE APPLICANT WILL PLACE A SIX-INCH LAYER OF WOOD WASTE COFFERT ON THE DITCH BY NOVEMBER 5TH. PRIOR TO PLACING THE WOOD WASTE COFFERT, THE APPLICANT WILL REMOVE ANY SNOW ACCUMULATION ON THE DISTURBED DITCH. THE CONTRACTOR WILL STABILIZE THE DITCH WITH ANCHORED MULCH HAVING GRADES GREATER THAN 50% (1:1) OR HAVING GROUNDWATER SEEPS ON THE DITCH FACE.

4. STABILIZE THE DITCH WITH STONE RIPRAP -- THE APPLICANT WILL PLACE A LAYER OF STONE RIPRAP ON THE DITCH BY NOVEMBER 5TH. THE APPLICANT WILL USE A REGISTERED PROFESSIONAL ENGINEER TO DETERMINE THE STONE SIZE NEEDED FOR STABILITY AND TO DESIGN A FILTER LAYER FOR UNDERNEATH THE RIPRAP.

STANDARD FOR THE TIMELY STABILIZATION OF DISTURBED SLOPES -- THE APPLICANT WILL CONSTRUCT AND STABILIZE SLOPE-COVERED SLOPES BY NOVEMBER 5. THE APPLICANT WILL SEED AND MULCH ALL SLOPES TO BE VEGETATED BY SEPTEMBER 5. THE DEPARTMENT WILL CONSIDER ANY AREA HAVING A GRADE GREATER THAN 8% (10:1) TO BE A SLOPE. IF THE APPLICANT FAILS TO STABILIZE ANY SLOPE BY SEPTEMBER 5, THEN THE APPLICANT WILL TAKE ONE OF THE FOLLOWING ACTIONS TO STABILIZE THE SLOPE FOR LATE FALL AND WINTER:

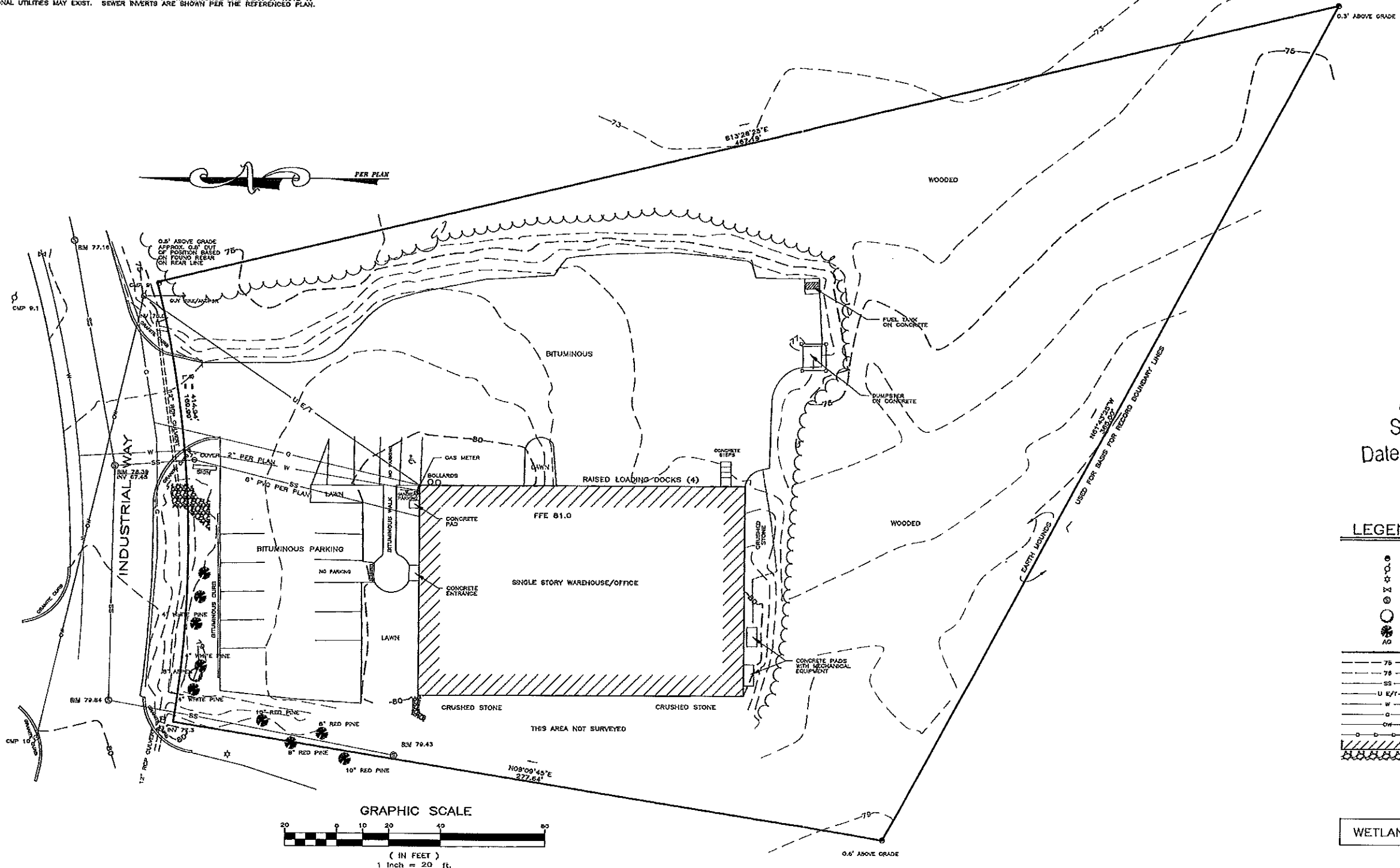
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2. STABILIZE THE SLOPE WITH TEMPORARY VEGETATION -- BY OCTOBER 1ST THE APPLICANT WILL PROPERLY INSTALL SOIL WITH PROPER INSTALLATION INCLUDING THE APPLICANT PINNING THE SOIL ONTO THE SLOPE WITH WIRE PINS, ROLLING THE SOIL TO GUARANTEE CONTACT BETWEEN THE SOIL AND UNDERLYING SOIL, AND WATERING THE SOIL TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL. THE APPLICANT WILL NOT USE LATE-SEASON SOIL INSTALLATION TO STABILIZE SLOPES HAVING A GRADE GREATER THAN 33% (10:1).

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- BOUNDARY IS SHOWN PER THE STANDARD BOUNDARY SURVEY AND EXISTING CONDITIONS PLAN OR PIZED FRUIT AND PRODUCE PREPARED BY LAND USE CONSULTANTS, INC., REVISION DATED JULY 19, 1997. THESE LINES SHOULD BE VERIFIED BEFORE BEING RELIED UPON FOR SETBACKS OR IMPROVEMENTS NEAR THE PROPERTY LINES.
- THE BASIS OF ELEVATION FOR THIS SURVEY IS NGVD 1928 PER PLAN OF NOTE 1. BASED ON A 8"x8" GRANITE MONUMENT 60 FEET SOUTHEASTERLY OF RIVERSIDE STREET MEASURED ALONG THE SOUTHWESTERLY SIDELINE OF INDUSTRIAL WAY.
  - UNDERGROUND UTILITIES ARE SHOWN PER ABOVE GROUND EVIDENCE AND PLAN OF NOTE 1. ADDITIONAL UTILITIES MAY EXIST. SEWER INVERTS ARE SHOWN PER THE REFERENCED PLAN.

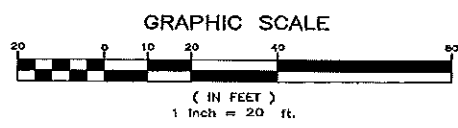


CITY OF PORTLAND  
 APPROVED SITE PLAN  
 Subject to Dept. Conditions  
 Date of Approval: 11-23-2011

**LEGEND**

⊙	FOUND 5/8" REBAR WITH CAP PLS 1165
⊙	UTILITY POLE
⊙	LIGHT POLE
⊙	WATER VALVE
⊙	SANITARY SEWER MANHOLE
⊙	DECIDUOUS TREE
⊙	CONIFEROUS TREE
⊙	ABOVE GROUND
---	BOUNDARY LINE
---	INDEX CONTOURS
---	INTERMEDIATE CONTOURS
---	SANITARY SEWER LINE
---	UNDERGROUND ELECTRIC/TELEPHONE
---	WATER LINE
---	GAS LINE
---	OVERHEAD WIRES
---	STOCKADE FENCE
---	BUILDING/STRUCTURE
---	RP RAP OR CRUSHED STONES

WETLANDS NOT SHOWN



DESIGNED BY	DATE	STATUS
1 BEL	10/12/04	SUBMIT TO CLIENT
DRIVEN		
DRAWN		
CHECKED		
DATE		
SCALE		
FIELD BOOK		
PROJECT		
FILE NAME		
CONTOUR		

AS SHOWN BY  
 Bruce E. Lewis PLS 2114  
 SEAL  
 Bruce E. Lewis

**Lewis & Wasina, Inc.**  
 PROFESSIONAL LAND SURVEYORS  
 11 Highmeadow Drive  
 Gorham, ME 04038  
 Tel: (207) 892-0597 Fax: (207) 892-0558

**TOPOGRAPHIC SURVEY**  
**NATIVE MAINE PRODUCE**  
 75 INDUSTRIAL WAY  
 CITY OF PORTLAND, COUNTY OF CUMBERLAND  
 STATE OF MAINE  
 for  
**SEBAGO TECHNICS, INC.**  
 One Chobol Street  
 Westbrook, ME 04092