

DISPLAY THIS  
PERMIT ISSUED

CARD ON PRINCIPAL FRONTAGE OF WORK  
**CITY OF PORTLAND**

BUILDING INSPECTION

PERMIT

Please Read  
Application And  
Notes, If Any,  
Attached

JAN 24 2006

Permit Number: 060003

CITY OF PORTLAND

PERMIT ISSUED

This is to certify that FUTURE HOLDINGS / Bill Underhas permission to Change of use- Portion of Warehouse office use same to rentAT 35 INDUSTRIAL WAY

327A A007001

provided that the person or persons firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

ification of inspection must be  
given and when permission procured  
before this building or part thereof is  
used or service closed-in  
OUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

## OTHER REQUIRED APPROVALS

Fire Dept. CASEY CASE 1-26-06

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

*[Signature]*  
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD/

# City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Location of Construction:</b> 35 INDUSTRIAL WAY		<b>Owner Name:</b> FUTURE HOLDINGS		<b>Owner Address:</b> 35 INDUSTRIAL WAY		<b>Permit No:</b> 06-0003		<b>Issue Date:</b> JAN 24 2006		<b>CBL:</b> 327A A007001	
<b>Business Name:</b>		<b>Contractor Name:</b> Bill Mader		<b>Contractor Address:</b> 1932 Broadway South Portland		<b>Phone:</b>		<b>CITY OF PORTLAND</b>			
<b>Lessee/Buyer's Name</b>		<b>Phone:</b>		<b>Permit Type:</b> Change of Use - Commercial		<b>Zone:</b> SM					
<b>Past Use:</b> commercial/ warehouse		<b>Proposed Use:</b> Change of use- Portion of Warehouse to office space same tenant		<b>Permit Fee:</b> \$339.00		<b>Cost of Work:</b> \$27,000.00		<b>CEO District:</b> 5			
				<b>FIRE DEPT:</b> <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied See Conditions		<b>INSPECTION:</b> Use Group: QB Type: 3B 1/23/06					
<b>Proposed Project Description:</b> Change of use- Portion of Warehouse to office space same tenant				<b>Signature:</b> Greg Cass		<b>Signature:</b> [Signature]					
				<b>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)</b>							
				Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied							
				Signature:		Date:					

<b>Permit Taken By:</b> ldobson	<b>Date Applied For:</b> 01/03/2006	<b>Zoning Approval</b>		
<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within <b>six (6)</b> months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>		<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> OK Date: 1/13/06 ABM	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:

## CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT

ADDRESS

DATE

PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

DATE

PHONE



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>35 Industrial Way</u>		
Total Square Footage of Proposed Structure		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>327</u> <u>AA</u> <u>7</u>	Owner <u>Future Holdings</u>	Telephone: <u>797-8458</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Future Holdings</u> <u>2 Industrial Way</u> <u>Portland Me 04103</u>	cost Of Work: \$ <u>27,000</u> Fee: \$ _____ C of O Fee: \$ <u>339.<sup>00</sup>/<sub>100</sub></u>
Current Specific use: <u>WAREHOUSE</u> Proposed Specific use: <u>OFFICE</u>		
Project description: <u>change warehouse space to office space. Same tenant A-</u>		
Contractor's name, address & telephone: <u>Bill Marden 1932 Broadway S Portland Me.</u>		
Who should we contact when the permit is ready: <u>Bob Kimball A</u>		<u>207 329-6070</u>
Mailing address: _____ <u>any ?'s</u>		<u>04106</u>

**Please submit all of the information outlined in the Commercial Application Checklist.  
Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>1/3/05</u>
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**This is not a permit; you may not commence ANY work until the permit is issued.**

**City of Portland, Maine - Building or Use Permit**

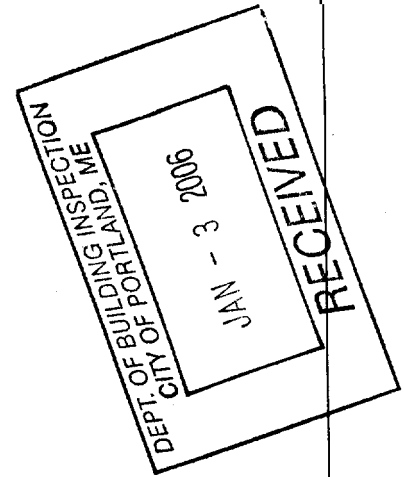
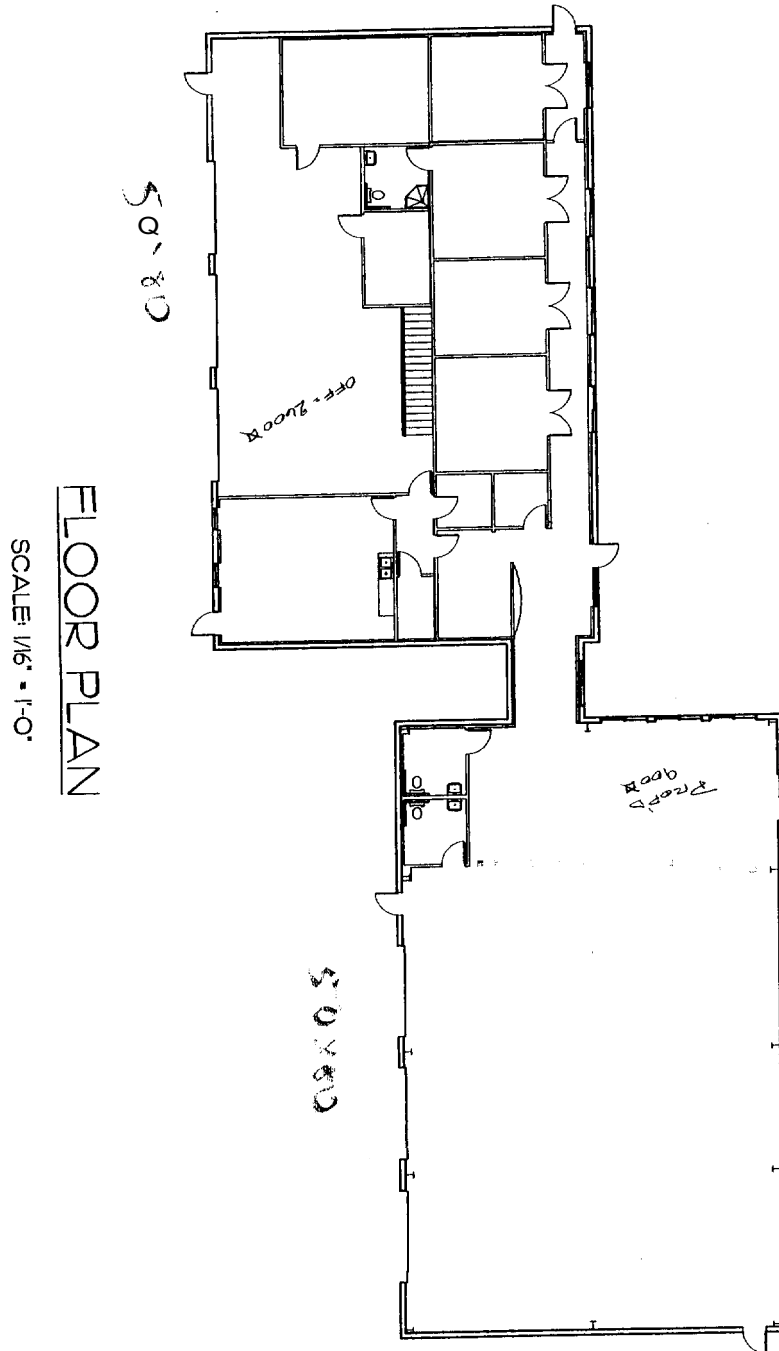
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 06-0003		<b>Date Applied For:</b> 01/03/2006	<b>CBL:</b> 327A A007001
<b>Location of Construction:</b> 35 INDUSTRIAL WAY	<b>Owner Name:</b> FUTURE HOLDINGS	<b>Owner Address:</b> 35 INDUSTRIAL WAY	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Bill Mader	<b>Contractor Address:</b> 1932 Broadway South Portland	<b>Phone</b> (207) 329-6070
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Change of Use - Commercial	
<b>Proposed Use:</b> Change of use- Portion of Warehouse to office space same tenant		<b>Proposed Project Description:</b> Change of use- Portion of Warehouse to office space same tenant	
<b>Dept:</b> Zoning <b>Status:</b> Approved <b>Reviewer:</b> Ann Machado <b>Approval Date:</b> 01/13/2006 <b>Note:</b> 1/13/06 With the change of use of warehouse space to office space an additional parking space is required. <b>Ok to Issue:</b> <input type="checkbox"/> Permit 03-1197 showed that 8 spaces were required when the current warehouse was added on. The site plan shows 9 parking spaces so the required parking is met, but any more change of uses requiring more spaces will require additional spaces added.			
<b>Dept:</b> Building <b>Status:</b> Approved with Conditions <b>Reviewer:</b> Mike Nugent <b>Approval Date:</b> 01/23/2006 <b>Note:</b> <b>Ok to Issue:</b> <input type="checkbox"/> 1) Separate permits are required for Plumbing Electrical and HVAC 2) The space above the office ceiling cannot be used for any purpose including storage as it was not designed to support any use or occupancy.			
<b>Dept:</b> Fire <b>Status:</b> Approved with Conditions <b>Reviewer:</b> Cptn Greg Cass <b>Approval Date:</b> 01/16/2006 <b>Note:</b> <b>Ok to Issue:</b> <input checked="" type="checkbox"/> 1) Building to comply with NFPA 101 Copy available @ Inspections. 2) 2 hour separation required between occupancies			

**Comments:**

1/6/2006-amachado: Left message with Bob Kimball. We need a site plan of the property that shows the parking since another space is required with the change of use. Received 1/11/06.

1/20/2006-mjn: Need letter requesting that the type of construction be reclassified from type 2b to type 3b to enable them to use wood framing elements. The Two Hour Fire Separation assembly in the plans is not a "True" rated assembly. Needs to provide UL



# N. ATLANTIC SCAFFOLDING

PROPOSED FLOOR PLAN - OVERALL

**PATCO**  
CONSTRUCTION INC.

1203 MAIN STREET SANFORD, ME 04073  
TEL: (207)324-6574 FAX: (207)324-1643  
www.patco-construction.com

SCALE AS SHOWN

DATE: MAR28, 2003

DESK: PJL

REV: 03045

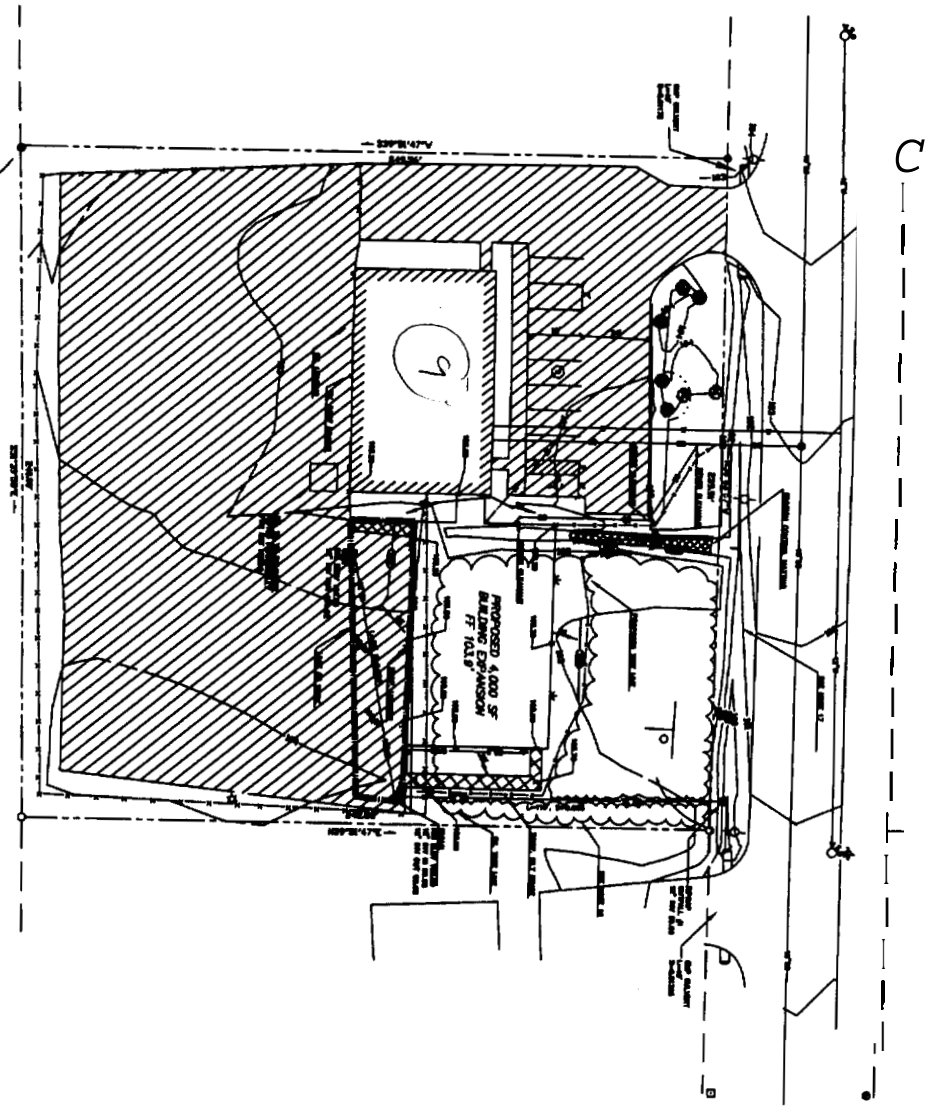
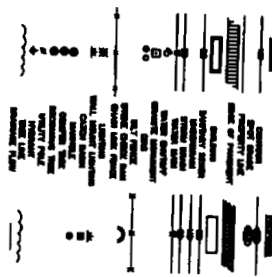
same site for 06-0003

03-1197  
 10004 office warehouse  
 addition  
 office renovations.

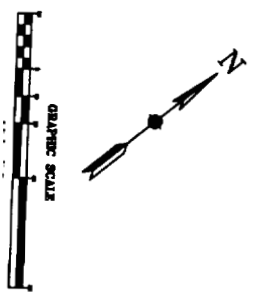


LOCALS MAP  
 Sheet 1-000000-1

LEGEND



- GENERAL NOTES:
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS, BRIDGES, AND STRUCTURES, AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR WATERWAYS AND MARINE STRUCTURES.
  2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS, BRIDGES, AND STRUCTURES, AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR WATERWAYS AND MARINE STRUCTURES.
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PROJECT DATA:

1. PROPERTY IS LOCATED IN THE TOWNSHIP AND RANGE SHOWN ON MAP	
2. PROJECT ADDRESS: 12345 Main St	
3. PROJECT & SHEET INFORMATION	
4. PROJECT & SHEET INFORMATION	
5. PROJECT & SHEET INFORMATION	
6. PROJECT & SHEET INFORMATION	
7. PROJECT & SHEET INFORMATION	
8. PROJECT & SHEET INFORMATION	
9. PROJECT & SHEET INFORMATION	
10. PROJECT & SHEET INFORMATION	

Job No. 4105 Sheet 2 of 3	SITE LAYOUT, GRADING & DRAINAGE PLAN	Designed TPO Drawn TPO Checked DAK Scale 1" = 20' Date 8-8-03	Revision 1. 8-8-03 2. 8-8-03 3. 8-8-03	PROPERTY OF: N. ATLANTIC SCAFFOLDING 35 INDUSTRIAL WAY PORTLAND, MAINE 04103	