

DISPLAY THIS PERMIT ISSUED

# CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

CITY OF PORTLAND

Please Read Application And Notes, if Any, Attached  
JAN 27 2006

## BUILDING INSPECTION PERMIT

Permit Number: 060003  
JAN 27 2006  
PERMIT ISSUED

This is to certify that FUTURE HOLDINGS / Bill Under

has permission to Change of use- Portion of Warehouse Office - same tenant

AT 35 INDUSTRIAL WAY

327A A007001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is altered or service is closed-in. 24 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. Craig Cass 1-26-06

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

*[Signature]*  
1/23/06  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>35 Industrial Way</u>		
Total Square Footage of Proposed Structure		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>327      AA      7</u>		Owner: <u>Future Holdings</u>
Lessee/Buyer's Name (If Applicable)		Telephone: <u>797-8458</u>
Applicant name, address & telephone: <u>Future Holdings</u> <u>2 Industrial way</u> <u>Portland Me 04103</u>		Cost Of Work: \$ <u>27,000</u> Fee: \$ _____ C of O Fee: \$ <u>339<sup>00</sup>/<sub>100</sub></u>
Current Specific use: <u>WAREHOUSE</u> Proposed Specific use: <u>OFFICE</u>		
Project description: <u>change warehouse space to office space. Same tenant</u>		
Contractor's name, address & telephone: <u>Bill Meaden 1932 Broadway S Portland Me.</u>		
Who should we contact when the permit is ready: <u>Bob Kimball</u> <u>★</u>		<u>207 329-6070</u>
Mailing address: _____ <u>any ?'s</u>		<u>04106</u>

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>1/3/05</u>
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This is not a permit; you may not commence ANY work until the permit is issued.

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

Cindy Sk  
Signature of Applicant/Designee

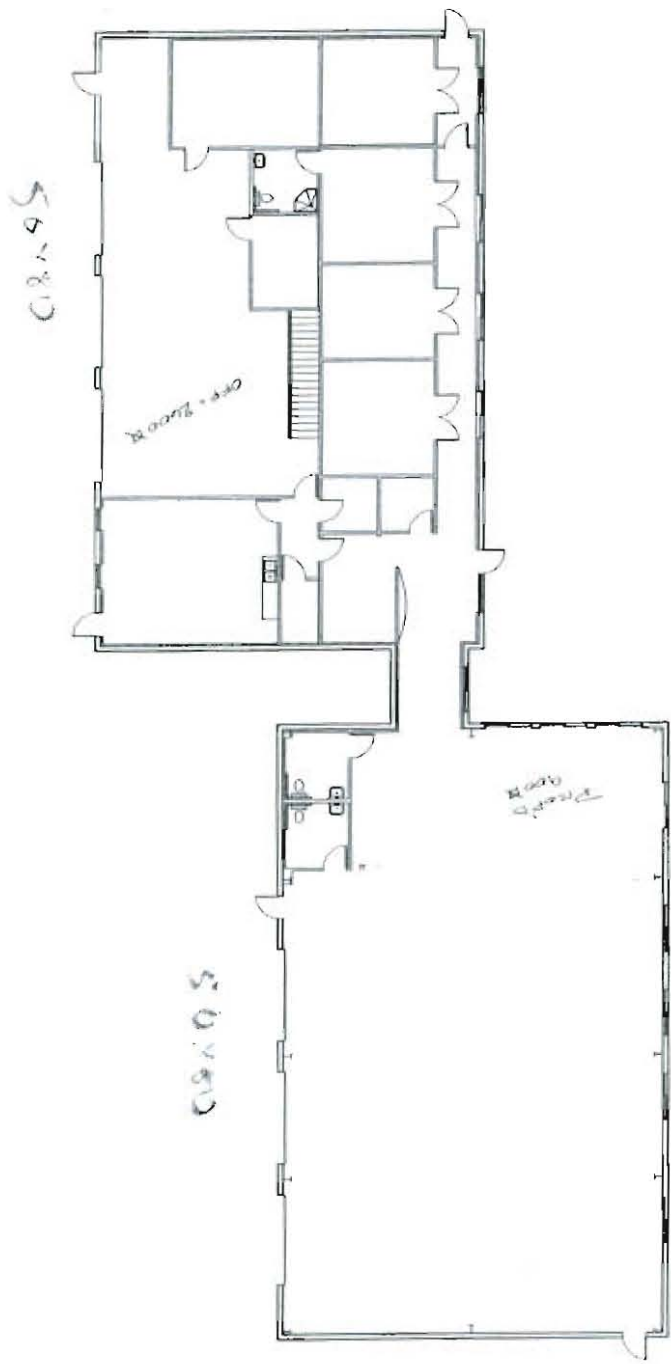
1/26/06  
Date

[Signature]  
Signature of Inspections Official

1.26.06  
Date

CBL: 307 A A 007 Building Permit #: 060003

327-A7



FLOOR PLAN

SCALE: 1/8" = 1'-0"



N. ATLANTIC SCAFFOLDING  
 PROPOSED FLOOR PLAN - OVERALL

**PATCO**  
 CONSTRUCTION INC.  
 1495 MAIN STREET SANFORD, ME 04073  
 TEL: (207)324-5574 FAX: (207)324-1943  
 www.patco-construction.com

\*\*\* AS SHOWN  
 \*\* MAR28, 2003  
 \*\* JLC  
 \*\* 03045

Site plan for 06-0003

03-1197  
 11/00/04 ~~Site~~ - Weymouth  
 office renovations.

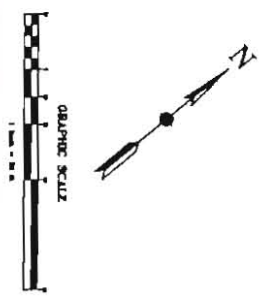
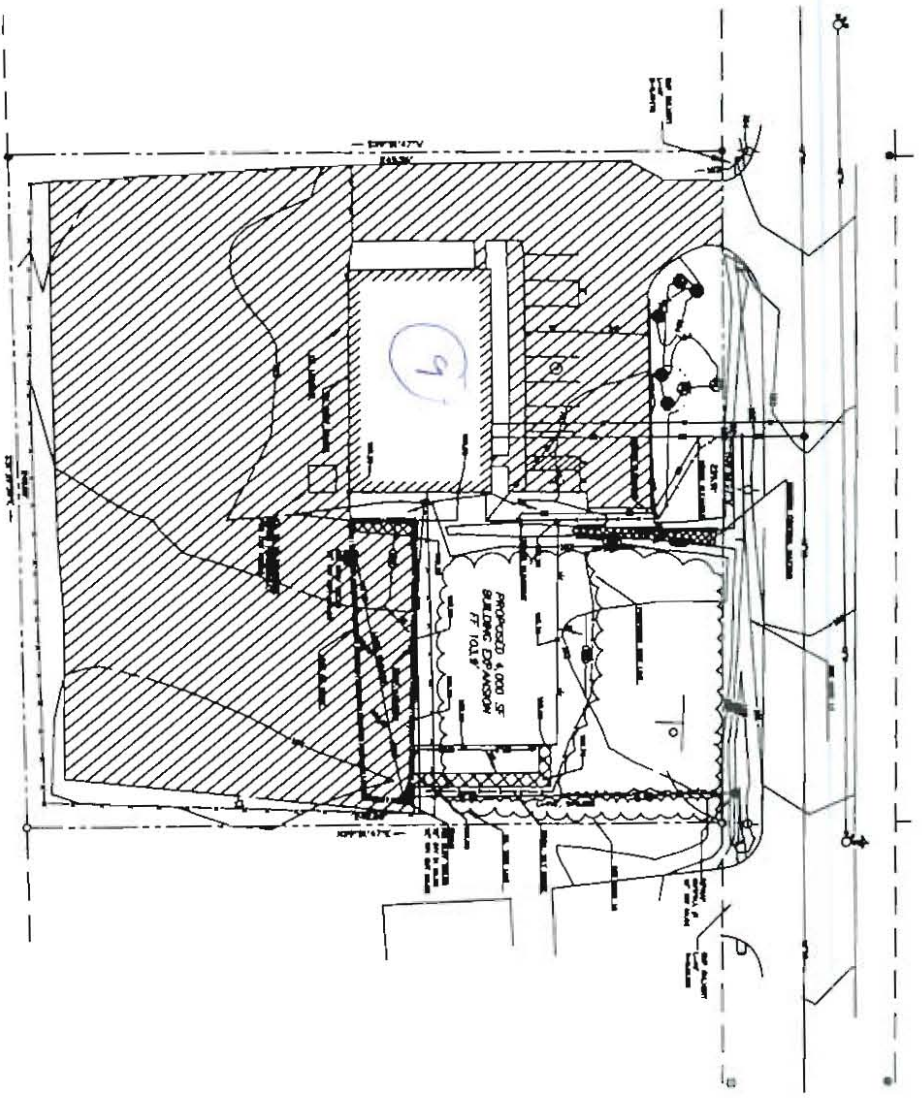


LEGEND

Proposed Building	Proposed Driveway	Proposed Parking	Proposed Sidewalk	Proposed Storm Drain	Proposed Sewer	Proposed Water	Proposed Gas	Proposed Electric	Proposed Telephone	Proposed Cable	Proposed Fencing	Proposed Landscaping	Proposed Retention Wall	Proposed Erosion Control	Proposed Tree	Proposed Shrub	Proposed Grass	Proposed Bare Soil	Proposed Existing Building	Proposed Existing Driveway	Proposed Existing Parking	Proposed Existing Sidewalk	Proposed Existing Storm Drain	Proposed Existing Sewer	Proposed Existing Water	Proposed Existing Gas	Proposed Existing Electric	Proposed Existing Telephone	Proposed Existing Cable	Proposed Existing Fencing	Proposed Existing Landscaping	Proposed Existing Retention Wall	Proposed Existing Erosion Control	Proposed Existing Tree	Proposed Existing Shrub	Proposed Existing Grass	Proposed Existing Bare Soil
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GENERAL NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MAINE CONSTRUCTION CODES AND REGULATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND PUBLIC UTILITIES AT ALL TIMES.
4. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
5. THE CONTRACTOR SHALL MAINTAIN PROPER EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION.
6. THE CONTRACTOR SHALL MAINTAIN PROPER STORMWATER MANAGEMENT PRACTICES.
7. THE CONTRACTOR SHALL MAINTAIN PROPER SAFETY MEASURES ON THE CONSTRUCTION SITE.
8. THE CONTRACTOR SHALL MAINTAIN PROPER RECORDS OF ALL CONSTRUCTION ACTIVITIES.
9. THE CONTRACTOR SHALL MAINTAIN PROPER COMMUNICATIONS WITH ALL STAKEHOLDERS.
10. THE CONTRACTOR SHALL MAINTAIN PROPER SCHEDULING AND TIMELINESS OF CONSTRUCTION.
11. THE CONTRACTOR SHALL MAINTAIN PROPER QUALITY CONTROL MEASURES.
12. THE CONTRACTOR SHALL MAINTAIN PROPER ENVIRONMENTAL PROTECTION MEASURES.
13. THE CONTRACTOR SHALL MAINTAIN PROPER SOCIAL RESPONSIBILITY MEASURES.
14. THE CONTRACTOR SHALL MAINTAIN PROPER COMMUNITY RELATIONS MEASURES.
15. THE CONTRACTOR SHALL MAINTAIN PROPER EMPLOYEE SAFETY MEASURES.
16. THE CONTRACTOR SHALL MAINTAIN PROPER EQUIPMENT SAFETY MEASURES.
17. THE CONTRACTOR SHALL MAINTAIN PROPER MATERIAL SAFETY MEASURES.
18. THE CONTRACTOR SHALL MAINTAIN PROPER WASTE MANAGEMENT MEASURES.
19. THE CONTRACTOR SHALL MAINTAIN PROPER AIR QUALITY MEASURES.
20. THE CONTRACTOR SHALL MAINTAIN PROPER NOISE CONTROL MEASURES.
21. THE CONTRACTOR SHALL MAINTAIN PROPER VIBRATION CONTROL MEASURES.
22. THE CONTRACTOR SHALL MAINTAIN PROPER LIGHT POLLUTION CONTROL MEASURES.
23. THE CONTRACTOR SHALL MAINTAIN PROPER HEAT ISLAND MITIGATION MEASURES.
24. THE CONTRACTOR SHALL MAINTAIN PROPER WATER CONSERVATION MEASURES.
25. THE CONTRACTOR SHALL MAINTAIN PROPER ENERGY EFFICIENCY MEASURES.
26. THE CONTRACTOR SHALL MAINTAIN PROPER GREEN BUILDING MEASURES.
27. THE CONTRACTOR SHALL MAINTAIN PROPER SUSTAINABILITY MEASURES.
28. THE CONTRACTOR SHALL MAINTAIN PROPER SOCIAL EQUITY MEASURES.
29. THE CONTRACTOR SHALL MAINTAIN PROPER ECONOMIC DEVELOPMENT MEASURES.
30. THE CONTRACTOR SHALL MAINTAIN PROPER CULTURAL HERITAGE MEASURES.
31. THE CONTRACTOR SHALL MAINTAIN PROPER HISTORIC PRESERVATION MEASURES.
32. THE CONTRACTOR SHALL MAINTAIN PROPER ARCHITECTURAL QUALITY MEASURES.
33. THE CONTRACTOR SHALL MAINTAIN PROPER ARTS AND CULTURE MEASURES.
34. THE CONTRACTOR SHALL MAINTAIN PROPER RECREATION MEASURES.
35. THE CONTRACTOR SHALL MAINTAIN PROPER OPEN SPACE MEASURES.
36. THE CONTRACTOR SHALL MAINTAIN PROPER BIODIVERSITY MEASURES.
37. THE CONTRACTOR SHALL MAINTAIN PROPER CLIMATE RESILIENCE MEASURES.
38. THE CONTRACTOR SHALL MAINTAIN PROPER RESILIENCE MEASURES.
39. THE CONTRACTOR SHALL MAINTAIN PROPER ADAPTATION MEASURES.
40. THE CONTRACTOR SHALL MAINTAIN PROPER MITIGATION MEASURES.
41. THE CONTRACTOR SHALL MAINTAIN PROPER PREVENTION MEASURES.
42. THE CONTRACTOR SHALL MAINTAIN PROPER PROTECTION MEASURES.
43. THE CONTRACTOR SHALL MAINTAIN PROPER RESTORATION MEASURES.
44. THE CONTRACTOR SHALL MAINTAIN PROPER REPAIR MEASURES.
45. THE CONTRACTOR SHALL MAINTAIN PROPER REPLACEMENT MEASURES.
46. THE CONTRACTOR SHALL MAINTAIN PROPER REMEDIATION MEASURES.
47. THE CONTRACTOR SHALL MAINTAIN PROPER REUSE MEASURES.
48. THE CONTRACTOR SHALL MAINTAIN PROPER REDUCTION MEASURES.
49. THE CONTRACTOR SHALL MAINTAIN PROPER RECYCLING MEASURES.
50. THE CONTRACTOR SHALL MAINTAIN PROPER REFINISHING MEASURES.
51. THE CONTRACTOR SHALL MAINTAIN PROPER REPAIRING MEASURES.
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58. THE CONTRACTOR SHALL MAINTAIN PROPER REFINISHING MEASURES.
59. THE CONTRACTOR SHALL MAINTAIN PROPER REPAIRING MEASURES.
60. THE CONTRACTOR SHALL MAINTAIN PROPER RESTORING MEASURES.



PROJECT DATA:

PROJECT & LOCATION OF THE WORKING DOCUMENT SHEET	NO. OF SHEETS	NO. OF SHEETS USED
1. PROJECT NAME: [REDACTED]	1	1
2. PROJECT LOCATION: [REDACTED]	1	1
3. PROJECT DATE: [REDACTED]	1	1
4. PROJECT TYPE: [REDACTED]	1	1
5. PROJECT PHASE: [REDACTED]	1	1
6. PROJECT STATUS: [REDACTED]	1	1
7. PROJECT OWNER: [REDACTED]	1	1
8. PROJECT CONTACT: [REDACTED]	1	1
9. PROJECT ADDRESS: [REDACTED]	1	1
10. PROJECT CITY: [REDACTED]	1	1
11. PROJECT STATE: [REDACTED]	1	1
12. PROJECT ZIP: [REDACTED]	1	1
13. PROJECT COUNTY: [REDACTED]	1	1
14. PROJECT DISTRICT: [REDACTED]	1	1
15. PROJECT WARD: [REDACTED]	1	1
16. PROJECT NEIGHBORHOOD: [REDACTED]	1	1
17. PROJECT ZONING: [REDACTED]	1	1
18. PROJECT PERMIT NO.: [REDACTED]	1	1
19. PROJECT PLAN NO.: [REDACTED]	1	1
20. PROJECT SHEET NO.: [REDACTED]	1	1

Designed: TDO	Reviewed:	Date:
Drawn: TDO	Checked: DAK	
Scale: 1" = 20'		
Date: 8-8-03		

PROPERTY OF:  
 N. ATLANTIC SCAFFOLDING  
 35 INDUSTRIAL WAY  
 PORTLAND, MAINE 04103



SITE LAYOUT, GRADING & DRAINAGE PLAN

327A-A-7

03-1197

TO: Inspections Department  
FROM: Jay Reynolds, Development Review Coordinator  
DATE: May 7, 2004  
RE: C. of O. for #35 Industrial Way, North Atlantic Scaffolding  
(CBL 327AA007) (ID 2003-0163)

---

After visiting #35 Industrial Way, I have the following comments:

Site work complete:

At this time, **I recommend issuing a permanent Certificate of Occupancy.**

Please contact me if you have any questions or comments.

Cc: Sarah Hopkins, Development Review Services Manager  
Mike Nugent, Inspection Services Manager

File: O:\plan\drc\industrial35a.doc

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File: O:\plan\drc\industrial35a.doc



# Future Holdings

2 Industrial Way • Portland, ME 04103

City of Portland  
389 Congress Street  
Portland, ME 04101  
Mr. Mike Nugent

387AA7  
387AA7


1/23/06

RE: Property located at 35 Industrial Way Portland, ME

Dear Mr. Nugent:

Please consider this letter as a formal request to re-classify the above referenced property from its current classification of 2 to 3b. If you should have any questions or require further information please feel free to call my office. Thank you for your prompt attention to this matter.

Sincerely:

  
Kenneth G. Spenard  
Pres.

327AA7

S E A M

Structural Engineering Association of Maine

FINAL REPORT OF SPECIAL INSPECTIONS

PROJECT: NORTH ATLANTIC SCAFFOLDING ADDITION

LOCATION: PORTLAND MAINE

PERMIT APPLICANT: FUTURE HOLDINGS, INC

APPLICANT'S ADDRESS: 35 INDUSTRIAL WAY  
PORTLAND, ME 04101

STRUCTURAL ENGINEER OF RECORD: STEVEN R. GRANT, PE SRG ENGINEERING, INC.  
Name Firm

ARCHITECT OF RECORD: JOHN ERNSIEDLER (SAME)  
Name Firm

GENERAL CONTRACTOR: PATCO CONST, INC

To the best of my information, knowledge, and belief, the Special Inspections required for this project, and described in the Statement of Special Inspections submitted for the project, have been completed.

The following discrepancies that were outstanding since the last interim report, No. \_\_\_ dated \_\_\_\_\_, have been corrected:

\_\_\_\_\_  
(NIA)  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

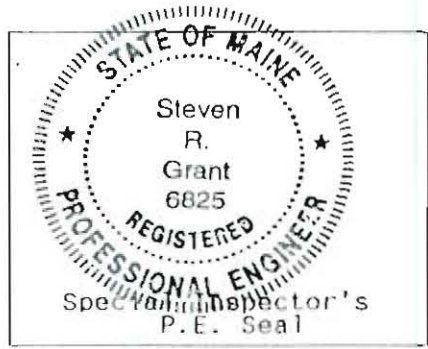
(Use additional sheets, if necessary)

Interim reports submitted to this final report, and numbered 1 to 3, form a basis for, and are to be considered an integral part of this final report.

Submitted By:  
SPECIAL INSPECTOR

STEVEN R. GRANT, PE.

NAME: Steve Grant  
SIGNATURE: [Signature] DATE: 1-17-04



SRG ENGINEERING, INC.  
P.O. Box 925  
GRAY, ME 04039

PROJECT: <i>NO. ATLANTIC SCARPOLOING</i>		SCHEDULE OF SPECIAL INSPECTION SERVICES				PAGE <i>1</i> OF <i>3</i>		
MATERIAL / ACTIVITY	ITEM	SERVICE	Y/N	EXTENT (All, Sample, Other, None)	APPLICABLE TO THIS PROJECT			
					COMMENTS	AGENT #	DATE COMPLETED	REV #
1705.3 STEEL CONSTRUCTION	1.00							
Steel Fabrication		In-plant review: Part A - Fabrication procedures			NOT READ (N/A)			
		Part B - Procedures implementation Review conformance to Part A		SER to determine extent after completion of Part A				
	X	Review material certificates of compliance (Bolts, nuts, washers, structural steel, & weld filler material)			NOT PROVIDED			
	✓	Review connections	Y	ALL OF STRUCTURE	GOOD		12-1-03	
		Review welding of seismic-resisting system in Cat. "C" buildings			NOT READ.			
Steel Erection		Review welder certification			NOT READ			
	X	Review materials certificates of compliance (Bolts, nuts, washers, & weld filler material)			NOT PROVIDED			
	✓	Review primary steel connections	Y	ALL OF STRUCTURE	GOOD		12-1-03	
	✓	Moment connections	Y	ALL	GOOD		12-1-03	
	✓	Shear connections	Y	ALL	GOOD		12-1-03	
	✓	Bracing connections	Y	ALL	GOOD		12-1-03	
		Review welded Cat. "C" seismic connections						
		Review welded column splices						
		Review base metal testing for "t" > 1 1/2"						
	✓	Review secondary steel connections	Y	ALL	GOOD		12-1-03	
	✓	Girts	Y	ALL	GOOD		12-1-03	
	✓	Steel deck						
		Lintels						
		Review installation of shear studs						
	✓	Review Details / Steel Frame	Y	ALL	GOOD		12-1-03	

All Steel Construction Special Inspections have been completed in accordance with BOCA Section 1705.3

Special Inspector

*[Signature]*

Date

*1-17-04*

SRG ENGINEERING, INC.  
P.O. Box 925  
GRAY, ME 04039

PROJECT: <i>No. Atlantic Scaffolding</i>		SCHEDULE OF SPECIAL INSPECTION SERVICES				PAGE <i>2</i> OF <i>3</i>		
MATERIAL / ACTIVITY	ITEM	SERVICE	Y/N	EXTENT (All, Sample, Other, None)	APPLICABLE TO THIS PROJECT			
					COMMENTS	AGENT #	DATE COMPLETED	REV. #
1705.4 CONCRETE CONSTRUCTION	2.00				NOT PROVIDED			
Concrete Materials	X	Review materials (ACI Chapter 3)			NOT PROVIDED			
	X	Review mix design (ACI Chapter 4)			NOT PROVIDED			
	X	Review reinforcing certification & weldability (ASTM A706) if required			NOT PROVIDED			
Placing Reinforcement	✓	Review condition & placement of reinforcing and prestressing steel (ACI 318 7.4.7.1)	Y	Wall North B, 4, 5 Line Forming Dishes All Walls	GOOD		11-10-03	
	N.R.	Review welding of reinforcing in Cat "C" seismic-resisting systems			NOT REQ'D			
Formwork	✓	Review formwork (ACI 318 6.1)	Y	Lines B, 4, J Lines	GOOD		11-10-03	
	X	Review form removal & reshoring (ACI 318 6.2)			NOT PROVIDED			
Concrete Operations	✓	Review concrete strength tests (ACI 318 5.6)	Y	FRONT WALLS, BACK WALLS	GOOD		12-12-03	
	X	Review mix proportions and technique (ACI 318 5.2, 5.3, 5.4 & 5.8)			NOT PROVIDED			
	X	Review concrete placement (ACI 318 5.9 & 5.10)			NOT PROVIDED			
	X	Review curing technique & temperature (ACI 318 5.11, 5.12 & 5.13)			NOT PROVIDED			
Prestressing Operations		Review application of prestressing force (ACI 318 18.18)						
		Review grouting of bonded prestressing tendons in Cat. "C" seismic-resisting systems						
Precast Manufacturing		In-plant review Part A - Fabrication procedures						
		Part B - Procedures implementation Review conformance to Part A						
Erection of Precast Concrete		Review erection of precast units						
		Review key reinforcement						
		Review key grouting						
		Review concrete topping						
		Review connections						

All Concrete Construction Special Inspections have been completed in accordance with BOCA Section 1705.4

Special Inspector: *[Signature]*

Date: *1-17-04*

SRG ENGINEERING, INC.  
P.O. Box 925  
GRAY, ME 04039

PROJECT: <i>No. ATLANTIC SCAFFOLDING</i>		SCHEDULE OF SPECIAL INSPECTION SERVICES			PAGE <i>3</i> OF <i>3</i>			
JOB # <i>03-192</i>		APPLICABLE TO THIS PROJECT						
MATERIAL / ACTIVITY	ITEM	SERVICE	Y/N	EXTENT (All Sample, Other, None)	COMMENTS	AGENT #	DATE COMPLETED	REV. #
1705.7 PREPARED FILL	5.00							
Site Preparation	✓	Review site preparation prior to prepared fill placement		<i>Sample: By SWCORE ENG</i>	<i>NOT By SAG</i>			
During Fill Placement	NR	Review compliance to soils report Material ( <i>NATIVE FILL</i> )		<i>Geotech report NOT PROVIDED for PATCO.</i>	<i>NOT LOGD</i>			
	NR	Lift thickness		<i>SAMPLE; By SWCORE ENG</i>	<i>NOT By SAG</i>			
Evaluation of in-Place Density	✓	Review in-place dry density for compliance with soils report		<i>SAMPLE, By SWCORE ENG</i>	<i>NOT By SAG</i>			
All Prepared Fill Special Inspections have been completed in accordance with BOCA Section 1705.7		<i>(AS NOTED ABOVE)</i>		Special Inspector <i>[Signature]</i>	Date <i>1-17-94</i>			