

Hannaford

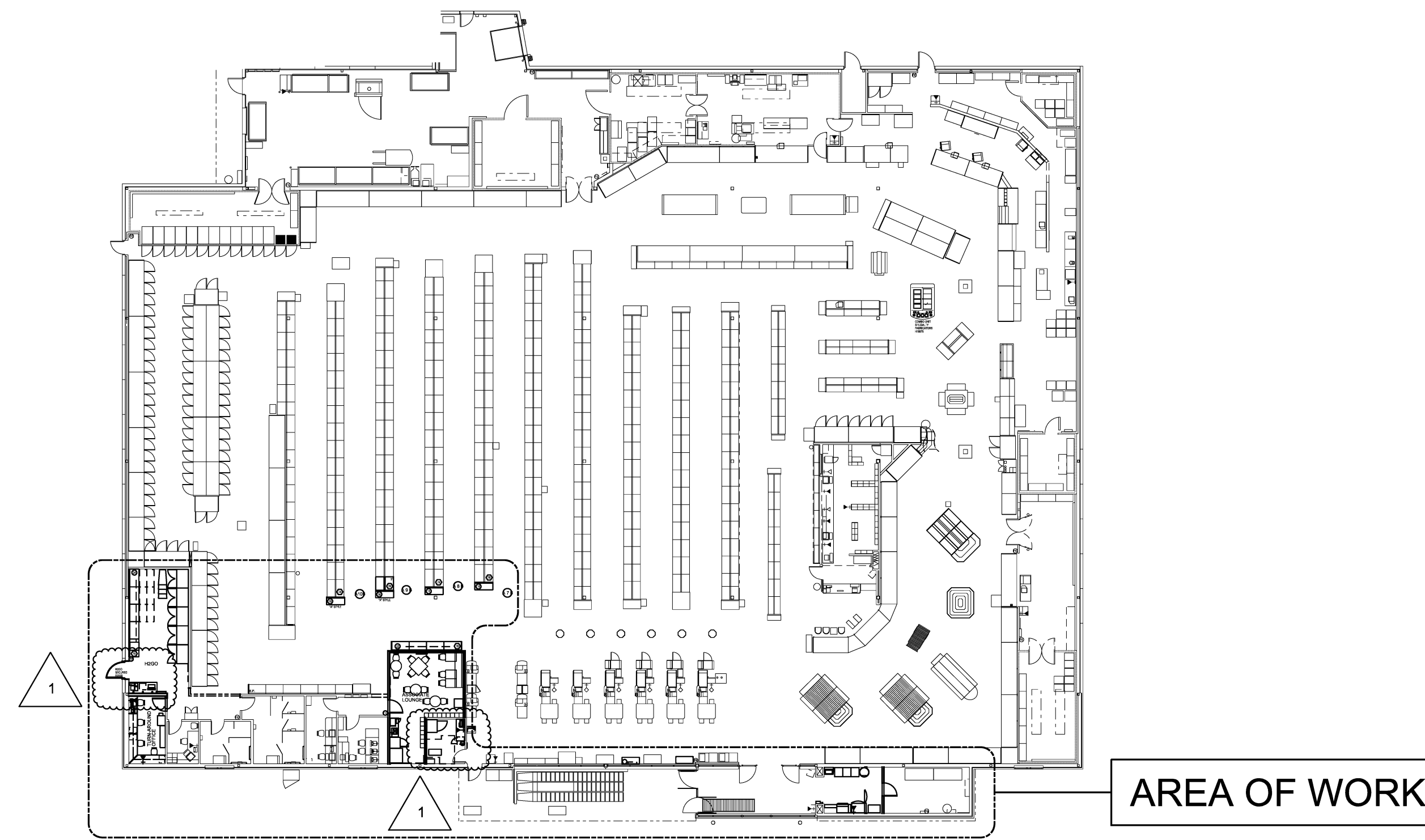
SUPERMARKET & PHARMACY

PORTLAND, MAINE

787 RIVERSIDE ST

ISSUED FOR CONSTRUCTION

DATE : 03-02-18



KEY PLAN

ARCHITECT:
MECHANICAL ENGINEER:
PLUMBING ENGINEER:
ELECTRICAL ENGINEER:



HARRIMAN

HARRIMAN
AUBURN, MAINE
PORTLAND, MAINE
PORTSMOUTH, NEW HAMPSHIRE
BOSTON, MASSACHUSETTS

DRAWING INDEX

A001	COVER SHEET
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A101	PARTIAL FLOOR FINISH PLAN AND WALL TYPES
A102	PARTIAL FLOOR FINISH PLAN AND SPECIFICATIONS
A103	PARTIAL REFLECTED CEILING PLAN AND SPECIFICATIONS
A202	INTERIOR ELEVATIONS AND FINISH SCHEDULE
A502	MISC. ARCHITECTURAL DETAILS, SECTIONS, DOOR SCHEDULE AND SPECIFICATIONS
A801	SPECIFICATIONS
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P101	LEGEND, SCHEDULE, NOTES, SPECIFICATIONS & PLUMBING PART PLANS
ELECTRICAL:	
E001	SPECIFICATIONS, LEGEND, SCHEDULES & RISER
E011	LIGHTING AND POWER PLAN

SYMBOLS

	SECTION INDICATOR - PARTIAL BUILDING
	SECTION INDICATOR - BUILDING, WITH BREAK
	DETAIL INDICATOR
	ELEVATION INDICATOR - EXTERIOR
	ELEVATION INDICATOR - INTERIOR (SINGLE)
	ELEVATION INDICATOR - INTERIOR (MULTIPLE)
	WINDOW TYPE INDICATOR
	DOOR TYPE INDICATOR
	KEYNOTE INDICATOR
	COLUMN GRID INDICATOR
	FIRE EXTINGUISHER
	REVISION INDICATOR (WITH CLOUD)
	WALL TYPE INDICATOR
	ELEVATION INDICATOR
	ELEVATION DATUM
	MATCH LINE INDICATOR

BUILDING DESIGN CRITERIA

BUILDING CODE:

MAINE UNIFORM BUILDING AND ENERGY CODE/
INTERNATIONAL BUILDING CODE 2009
NFPA 101 LIFE SAFETY CODE 2009
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
UNIFORM PLUMBING CODE 2009
NFPA 70 NATIONAL ELECTRICAL CODE 2011
INTERNATIONAL MECHANICAL CODE 2009
INTERNATIONAL ENERGY CONSERVATION CODE 2009
NFPA 1 UNIFORM FIRE CODE 2009

PROJECT DESCRIPTION:

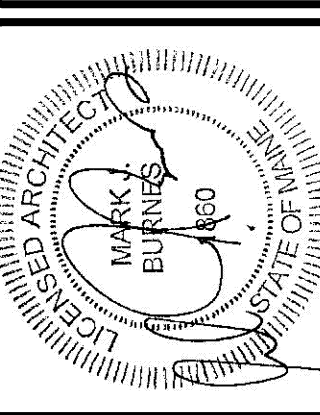
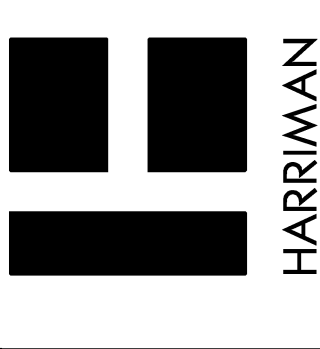
USE GROUP: M MERCANTILE
CONSTRUCTION TYPE: NONCOMBUSTIBLE/ UNPROTECTED (2B)
AREA LIMITATIONS: UNLIMITED (SECTION 507) (FULLY SPRINKLED BUILDING)
BUILDING GROSS SF: 35,895

FIRE PROTECTION SYSTEM:

AUTOMATIC SPRINKLER SYSTEM - IBC 903.2.6 AUTOMATIC FIRE SPRINKLER
REQUIRED IN GROUP M WHEN GROSS SQUARE AREA > 12,000 SF (PROVIDED)
FIRE ALARMS -
907.2.7 FIRE ALARMS REQUIRED IN GROUP M
WHEN OCCUPANT LOAD > 500 (PROVIDED)

Reviewed for Code Compliance
Permitting and Inspections Department
Accepted with Conditions
07/10/2018

Project No. 18007
Auburn, ME 07/10/2018
Portland, ME 07/10/2018
Portsmouth, NH 07/10/2018
Boston, MA 07/10/2018



NO.	REVISIONS	DATE	BY

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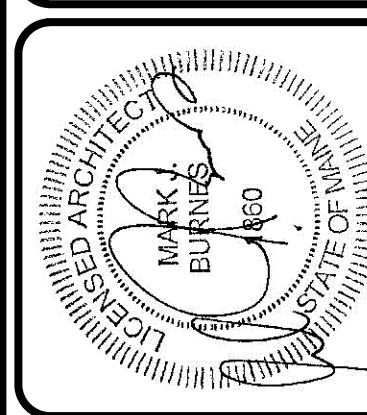
Sheet No. **A001**
Store No. 8354

HANNAFORD SUPERMARKET & PHARMACY
787 RIVERSIDE ST
PORTLAND, MAINE 04103

COVER SHEET
NO SCALE Design
03-02-18 Drawn
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Project No. 18007
 Auburn, ME 04210
 207.784.5200
 207.778.9873
 Portland, ME 04103
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DATE

NO. REVISIONS

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NO. REVISIONS

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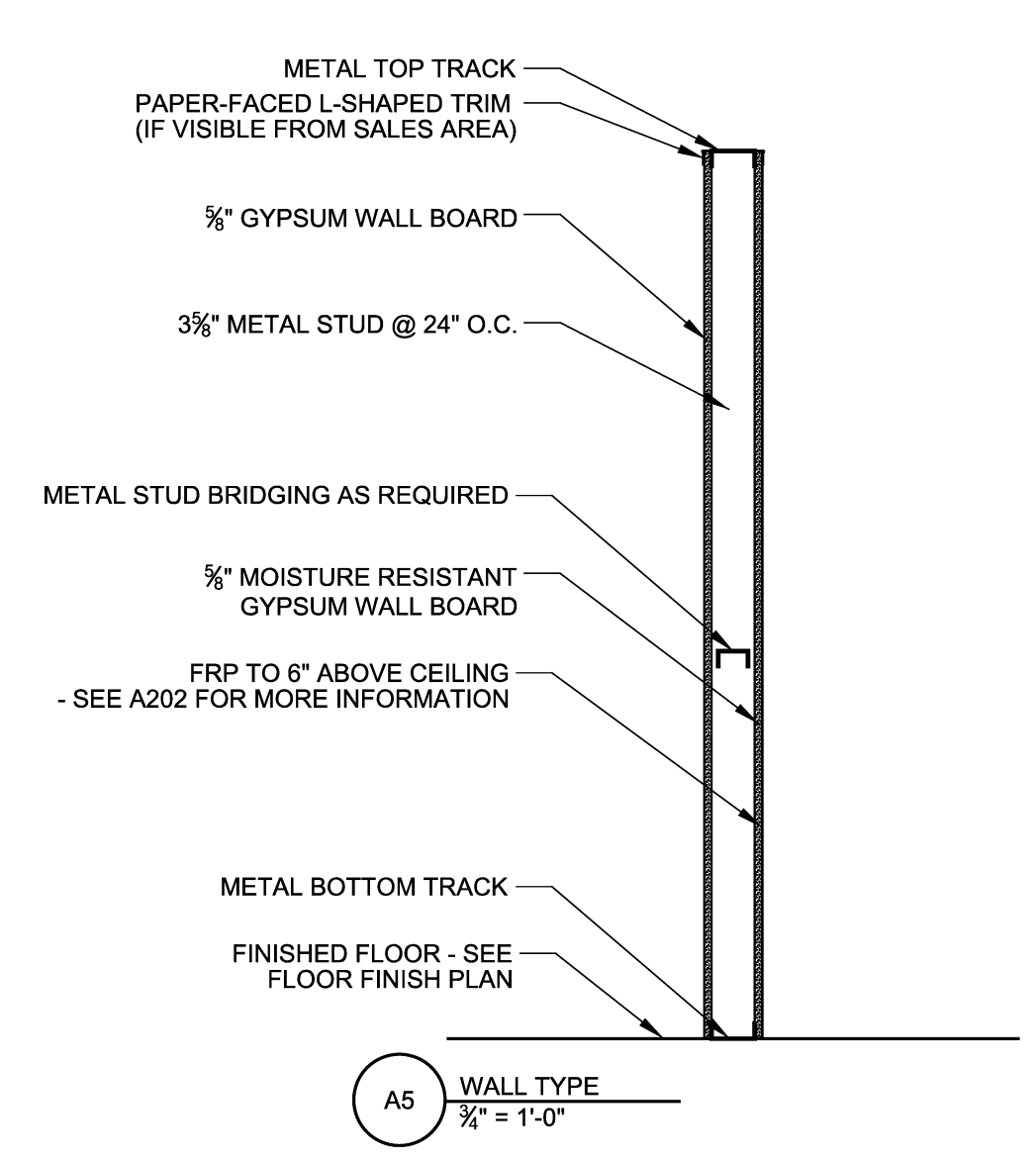
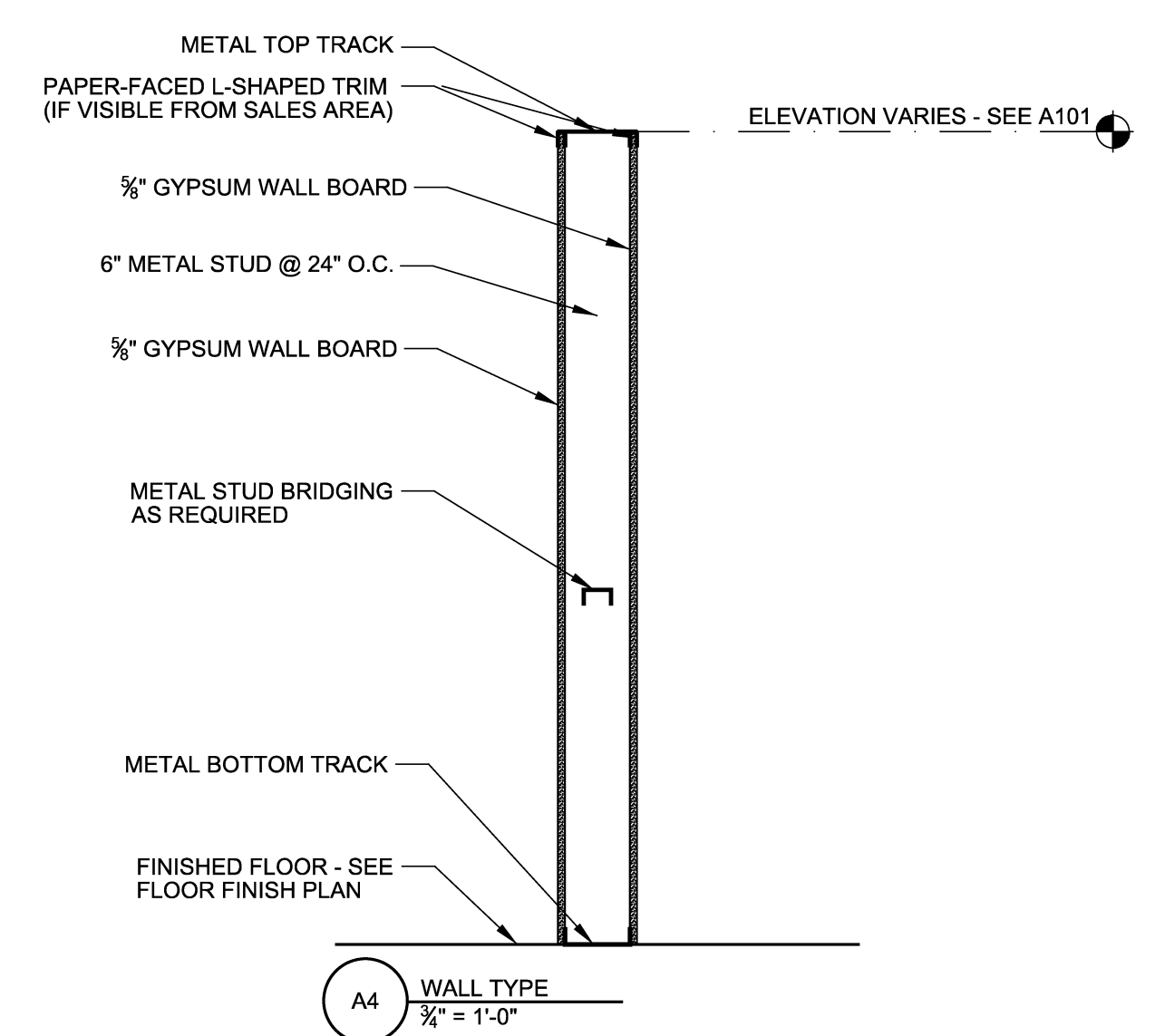
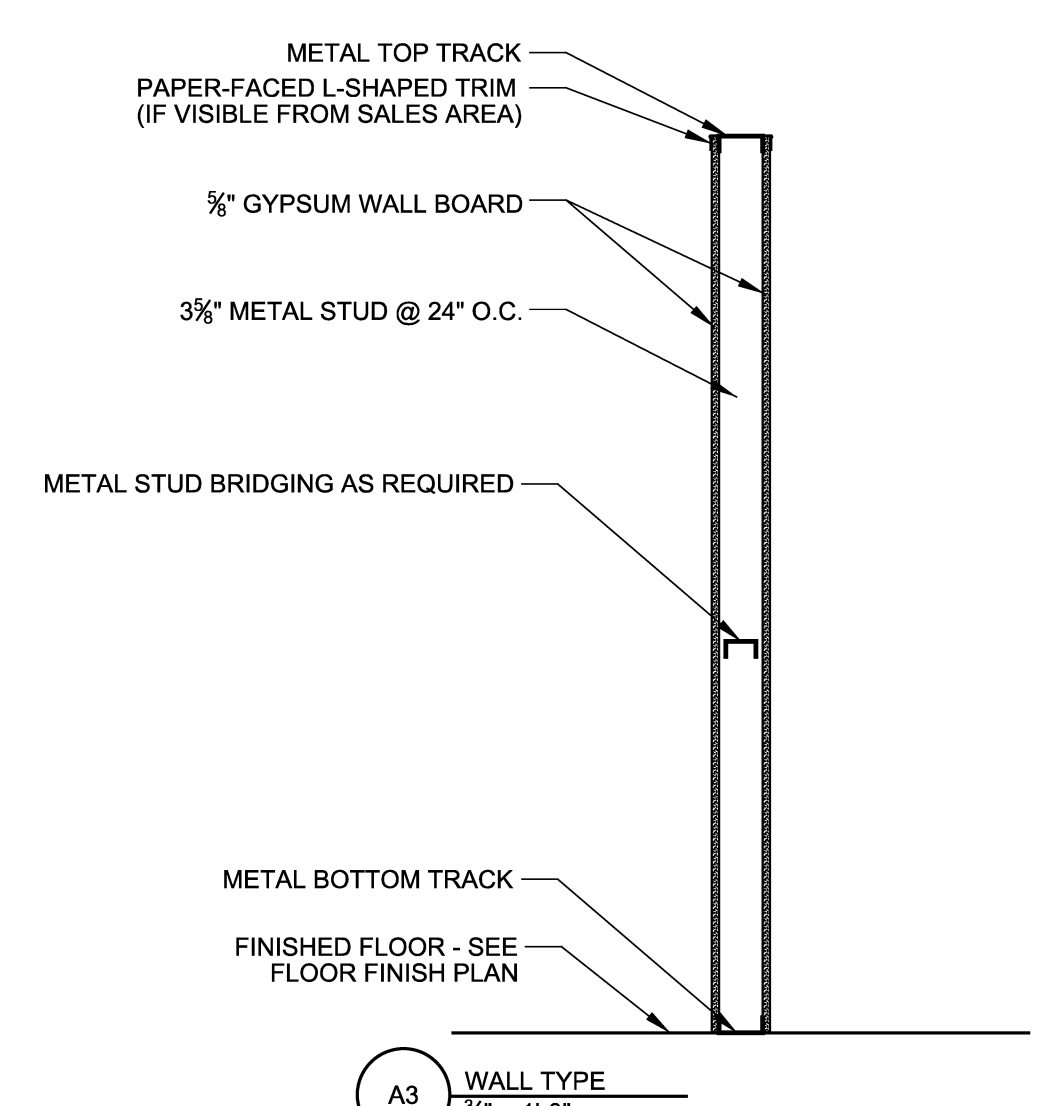
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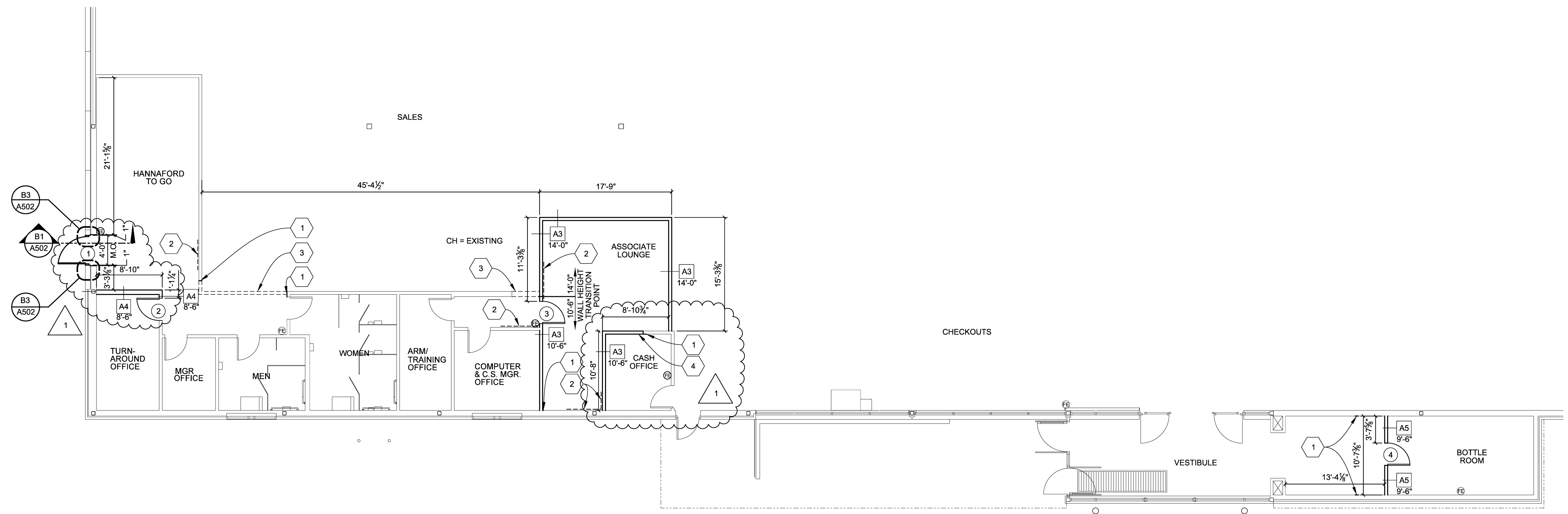
Reviewed for Code Compliance
 Permitting and Inspections Department
 Approved with Conditions
 07/10/2018

- KEY NOTES:** REPRESENTED BY THIS SYMBOL: (A)
- PATCH WALL AT REMOVED PARTITION. FINISH TO BE FLUSH WITH ADJACENT SURFACE AND PREP FOR PAINT
 - COAT HOOK STRIPS: 2 ROWS @ 3'-0" DETAIL C2/A502
 - SOFFIT ABOVE
 - PATCH INFILL WALL AT REMOVED WINDOWS. FINISH TO BE FLUSH WITH ADJACENT SURFACE AND PREP FOR PAINT

- GENERAL NOTES:**
- DESIGN DRAWING ELEVATION 100'-0" EQUAL ACTUAL GRADE ELEVATION.
 - DIMENSIONS ARE TO FACE OF FINISHED WALL OR COLUMN CENTER LINE. DIMENSIONS AT COOLER / FREEZERS ARE TO FACE OF COOLER / FREEZER WALL UNLESS OTHERWISE NOTED.
 - PROVIDE CLEAR CORNER GUARDS AT ALL OUTSIDE CORNERS 3' x 3' x 48" HIGH. INSTALL CORNER GUARDS 4" ABOVE FINISH FLOOR TO 48" HIGH - MANUFACTURED BY PAWLING CORPORATION - PROTEK CG-25.
 - GENERAL CONTRACTOR TO PROVIDE WOOD BLOCKING IN ALL PARTITIONS FOR SURFACE MOUNTED EQUIPMENT INCLUDING, BUT NOT LIMITED TO FIRE EXTINGUISHERS, SHELVING, COUNTERS AND CABINETS.
 - REFER TO DRAWINGS A102 FOR FLOOR FINISHES.
 - REFER TO DRAWINGS A202 FOR INTERIOR ELEVATIONS.
 - REFER TO DRAWINGS A502 FOR DOOR SCHEDULE



- GENERAL NOTES:**
- USE MOISTURE RESISTANT GYPSUM WALLBOARD AT FRP PANELS AND AT CERAMIC TILE ABOVE 4'-0"
 - REFER TO CEILING PLAN, FLOOR FINISH PLAN, INTERIOR ELEVATIONS AND DECOR FINISH NOTES, FOR FINISHES IN THESE AREAS.
 - ALL PENETRATIONS IN GYPSUM WALL BOARD ABOVE THE CEILING ARE TO BE SEALED TIGHT



1 FLOOR PLAN
 1/4" = 1'-0"

Sheet Title
PARTIAL FLOOR PLAN AND WALL TYPES

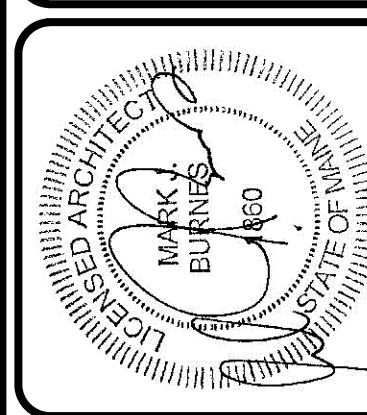
HANNAFORD SUPERMARKET & PHARMACY
 787 RIVERSIDE ST
 PORTLAND, MAINE 04103

Sheet No.
A101

Store No. 8354



Project No. 18007
 Robert J. Harriman
 207.784.5208
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 Portland, Maine 04103
 06/2018
 06/2018



DATE

NO.	REVISIONS	DATE	BY
0	ISSUED FOR WORK REVIEW	02-26-18	NUM
0	ISSUED FOR CONSTRUCTION	02-02-18	NUM
1	ISSUED PER GDC-01	02-21-18	NUM

NO.	REVISIONS	DATE	BY
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0	ISSUED FOR CONSTRUCTION	02-02-18	NUM
1	ISSUED PER GDC-01	02-21-18	NUM

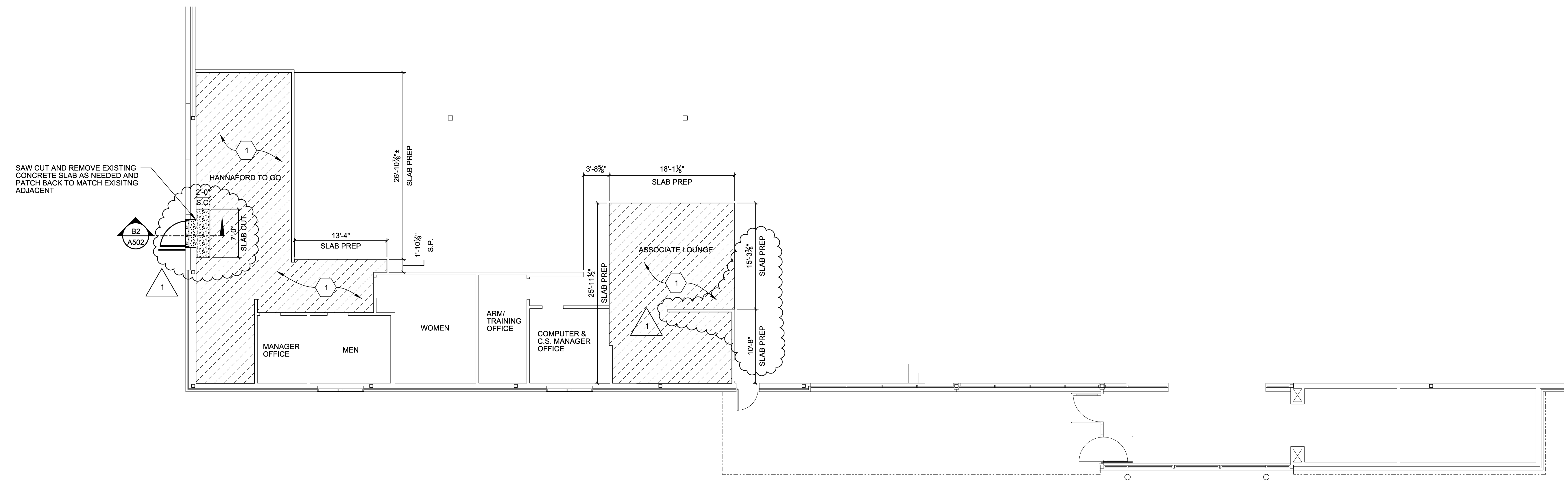
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 787 RIVERSIDE ST
 PORTLAND, MAINE 04103

Sheet No. A100
 Store No. 8354

- GENERAL NOTES:**
- GENERAL CONTRACTOR SHALL PROVIDE SELECTED COMPACTED BACKFILL AT DISTRIBUTED AREAS. EXISTING CONCRETE SLABS ARE CUT AND REMOVED.
 - GENERAL CONTRACTOR TO COORDINATE ALL SLAB CUTS AND TRENCHING FOR NEW AND RECONFIGURED UNDER SLAB WORK - PATCH AND REPAIR SLAB AT SLAB CUTS TO MATCH EXISTING ADJACENT SLAB. REFERENCE DETAILS ON THIS DRAWING. (NOTE: MINIMUM SLAB THICKNESS IS 4")
 - GENERAL CONTRACTOR TO CUT AND REMOVE EXISTING CONCRETE SLAB AS NEEDED IN AREAS INDICATED ON DRAWING FOR INSTALLATION OF ELECTRICAL CONDUIT - REFERENCE ELECTRICAL DRAWINGS FOR FURTHER INFORMATION AND COORDINATION - PATCH AND REPAIR SLAB AT SLAB CUTS TO MATCH EXISTING ADJACENT SLABS AND THICKNESS. (NOTE: MINIMUM SLAB THICKNESS IS 4")
 - GENERAL CONTRACTOR TO FIELD COORDINATE ADDITIONAL SLAB CUTS, REMOVAL AND REPLACEMENT TO ACCOMMODATE PLUMBING AND REFRIGERATION CHANGES AS NEEDED TO PERFORM WORK.
 - DIMENSIONS ARE FROM FACE OF FINISHED STUD PARTITION UNLESS OTHERWISE NOTED. DIMENSIONS ARE PROVIDED FOR GENERAL REFERENCE AND BIDDING PURPOSES ONLY. FIELD COORDINATE WITH EXISTING CONDITIONS TO ACHIEVE DESIGN INTENT.
 - DRAWING SHALL BE READ IN CONJUNCTION WITH PLUMBING, ELECTRICAL AND REFRIGERATION DRAWINGS IF APPLICABLE.
 - GENERAL CONTRACTOR SHALL TAKE PRECAUTION WHEN PLACING CONCRETE SLAB TO AVOID CRUSHING UNDER SLAB CONDUIT, REFRIGERATION AND WATER LINE RUNS.
- FINISH NOTES:**
- REMOVE EXISTING VCT FLOOR TILE AS NEEDED TO PERFORM WORK - PATCH AND REPAIR EXISTING FINISHED CONCRETE FLOOR SLAB IN POCHÉ AREA ON PLAN AS NEEDED TO RECEIVE NEW FLOOR FINISH - NOTE POCHÉ AREA AND DIMENSIONS ARE PROVIDED TO INDICATE DESIGN INTENT AND FOR BIDDING PURPOSES - FIELD COORDINATE AND ADJUST EXTENT OF VCT REMOVAL AND SLAB PREP AS NEEDED TO PERFORM WORK)

- KEY NOTES:** REPRESENTED BY THIS SYMBOL
- REMOVE EXISTING VCT FLOOR TILE COMPLETE IN HATCHED AREA ON PLAN - SEE GENERAL NOTE "H" AND REFERENCE DRAWING A102 FOR FLOOR FINISH.
- LEGEND:**
- PREP AREA FOR NEW VCT FLOOR FINISH - SEE DRAWING A102
- NEW CONCRETE SLAB



- CONCRETE SLABS**
PART 1 - GENERAL
1.1 QUALITY ASSURANCE
- Manufacturer Qualifications:** A firm experienced in manufacturing ready-mixed concrete products and that complies with ASTM C 94 requirements for production facilities and equipment.
 - Testing Agency Qualifications:** An independent testing agency, acceptable to authorities having jurisdiction, qualified according to ASTM C 1077 and ASTM E 129 to conduct the testing indicated, as documented according to ASTM E 548.
 - Personnel:** Conducting field tests shall be qualified as ACI Concrete Field Testing Technician, Grade 1, according to ACI CP-1.
 - Tolerance Testing of Slabs:** Owner will employ an independent testing laboratory to perform an instrument check of the slab surface for finish and levelness.
 - Applicator's Qualifications - Interior Curing and Sealing Compound:** Shall be approved, authorized, factory treated, and licensed by coating system manufacturer. Applicator shall have a minimum of 5 years experience in application of coating systems on commercial projects similar scope and size to those for this project with a record of successful in-service performance.
 - Source Limitations:** Obtain each type or class of cementitious material of the same brand from the same manufacturer's plant, each aggregate from one source, and each admixture from the same manufacturer.
 - ACI Publications:** Comply with the following unless modified by requirements in the Contract Documents:
 - ACI 301, "Specification for Structural Concrete."
 - ACI 302, "Guide for Concrete Floor and Slab Construction."
 - ACI 117, "Specifications for Tolerances for Concrete Construction and Materials."
- 1.2 PROJECT CONDITIONS**
- Before pouring slab on grade, verify plumbing, electrical stubups, and pit locations with refrigeration designer, mechanical contractor, and Owner. All electrical conduit and horizontal plumbing lines shall be buried in the sub-grade.
 - Concrete placement operations shall not damage underground plumbing, electrical or refrigeration lines and damage any embedded wheelbarrows, bugles or pumps shall be used if access to the placement area by truck is restricted or may result in damage to underground items. Any underground lines damaged by concrete placement operations shall be repaired at the Contractor's expense.
 - Sub-grade shall be frost free.
 - To the maximum extent possible schedule slab placements with air temperatures rising after concrete placement. Attempt to schedule slab placements according to favorable weather reports.
 - Coordinate temporary heating, if required, to prevent localized premature drying. Coordinate type of heating system to prevent carbonation of the concrete surface, providing proper ventilation of fumes.
- PART 2 - PRODUCTS**
2.1 CONCRETE MATERIALS
- Provide product manufactured and extracted within 500 miles of the project site.
 - Cementitious Material:** Use the following cementitious materials, of the same type, brand, and source, throughout Project:
 - Portland cement: ASTM C 150, Type I Normal-Weight Aggregate: ASTM C 33, #57 gradation (nominal size 1-inch to No. 4).
 - Fine Aggregate: Free of materials with deleterious reactivity to shall in cement. Slag: 25% of total materials.
 - Lightweight Aggregate: ASTM C 330, 3/4-inch nominal maximum aggregate size.
 - Water: ASTM C 94 and potable.
 - Air-Entraining Admixture: ASTM C 260.
 - Rapid Hardening Concrete Mix used when filling trench drains:
 - Products: ASTM C 109 compressive strength, ASTM C78 Flexural strength. Follow manufacturer's instructions for use.
 - Concrete Mix by CTS Cement Manf. Corp., 11065 Knot Ave., Suite 100, Cypress, CA 90630 800-929-3030 www.rapidset.com
 - Quikrete Commercial Grade FastSet by The Quikrete Company, One Security Center, 3490 Piedmont Rd., NE, Suite 1300, Atlanta, GA 30305 404-634-9100 www.quikrete.com
 - Chemical Admixtures: Provide admixtures certified by manufacturer to be compatible with other admixtures and that will not contribute water-soluble chloride ions exceeding those permitted in hardened concrete. Do not use calcium chloride or admixtures containing calcium chloride.
 - Water-Reducing Admixture: ASTM C 494, Type A or Type F.
 - High-Range, Water-Reducing Admixture: ASTM C 494, Type F.
 - Plasticizers and Retarding Admixture: ASTM C 1012, Type II.
 - Reinforcement: ASTM 615, Grade 60.
 - Welded Wire Fabric: ASTM A 185, Flat sheets.
- 2.2 CURING AND SEALING MATERIALS**
- Evaporation Retarder: Waterborne, monomolecular film forming, manufactured for application to fresh concrete.
 - Moisture-Retaining Cover: ASTM C 171, white polyethylene film or white butyl-polyethylene sheet.
 - Water: Potable.
 - Clear, Waterborne, Membrane-Forming Curing Compound (Interior Slabs Receiving resilient Flooring): ASTM C 1092, Type I, Class II, 18 to 25 percent solids, nonstaining, certified by curing compound manufacturer to not interfere with bonding of floor covering. Verify curing systems and flooring adhesives.
 - AntiSpalling Compound: Solvent-free silane modified siloxane emulsion, Sika Sikagard 701W.
 - Application: For all exterior slabs and sidewalks.
- 2.3 CONCRETE MIXTURES**
- Prepare design mixtures for each type and strength of concrete, proportioned on the basis of laboratory trial mixture or field test data, or both, according to ACI 301.
 - Proportion normal-weight concrete mixture for interior slabs as follows:
 - Minimum Compressive Strength: 1800 psi at 3 days.
 - Minimum Compressive Strength: 3000 psi at 28 days.
 - Maximum Water-Cementitious Materials Ratio: 0.54
 - Slump Limit: 4 inches, plus or minus 1-1/2 inch.
 - 8 inches for concrete with verified slump of 2 to 4 inches before adding high-range water-reducing admixture or plasticizing admixture.
 - Air Content: Do not allow air content of revealed finished floor to exceed 3 percent. Entrapped air only, do not add air entraining admixture.
 - Proportion normal-weight concrete mixture for exterior slabs and sidewalks as follows:
 - Minimum Compressive Strength: 4000 psi at 28 days.
 - Maximum Water-Cementitious Materials Ratio: 0.44.
 - Slump Limit: 4 inches, plus or minus 1-1/2 inch.
 - Air Content: 6.2 percent, plus or minus 1 percent at point of delivery.
- 2.4 CONCRETE MIXING**
- Ready-Mixed Concrete: Measure, batch, mix, and deliver concrete according to ASTM C 94, and furnish batch ticket information. Include on batch ticket the amount of water introduced into the mix at the plant, and amount of water that can be added to site within the specified water-cementitious materials ratio.
- When air temperature is between 85 and 90 deg F, reduce mixing and delivery time from 1-1/2 hours to 75 minutes, when air temperature is above 90 deg F, reduce mixing and delivery time to 60 minutes.

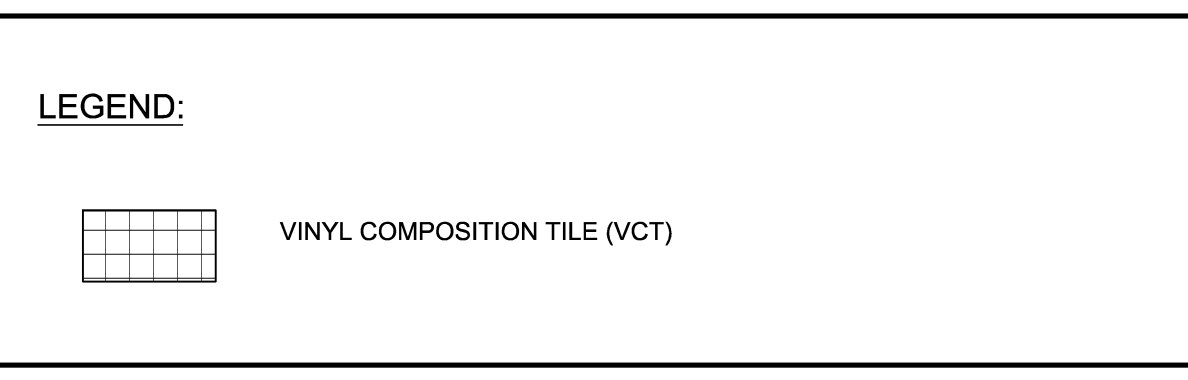


Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
07/10/2018

Project No. 18007
HARRIMAN
07/10/2018

FLOOR FINISH SCHEDULE	
#	COLOR
FF35	NOUGAT

- KEY NOTES:
- REPRESENTED BY THIS SYMBOL: [Symbol]
- EXISTING QUARRY TILE TO REMAIN PATCH AND REPAIR AS REQUIRED
 - FLOOR FINISH TO REMAIN
 - VCT TO SEALED CONCRETE TRANSITION SEE DETAIL A2/A502
 - CLEAN AND BUFF EXISTING STAINED CONCRETE



SECTION 096500 - RESILIENT FLOORING

PART 1 - GENERAL

1.1 SUMMARY

A. Section Includes:

- Vinyl Composition Tile

1.3 QUALITY ASSURANCE

A. Fit-Test-Response Characteristics: As determined by testing identical products according to ASTM E 648 or NFPA 253 by a qualified testing agency.

1. Critical Fit-Test Plus Classification: Class I, not less than 0.45 Wtq/cm.

1.4 PROJECT CONDITIONS

A. Move resilient flooring materials and adhesives into installation area three days prior to installation to achieve temperature stability.

B. Maintain ambient and substrate temperatures within range recommended by manufacturer, but not less than 70 deg F or more than 85 deg F, in spaces to receive resilient flooring.

C. Limit substantial completion, maintain ambient temperatures within range recommended by manufacturer, but not less than 55 deg F or more than 95 deg F.

D. Close spaces to traffic during floor tile installation and for 48 hours after resilient flooring installation.

E. Install resilient flooring after other finishing operations, including painting, have been completed.

PART 2 - RESILIENT WALL BASE AND MOLDING ACCESSORIES

2.1 A. Resilient Base: ASTM F 1881

- Manufacturers:
 - Armstrong World Industries, Inc.
 - Johannes
- Material Requirement: Type IV (vinyl, thermoplastic)
- Manufacturing Method: Group I (level, homogeneous)
- Style: Cove (base with top)
- Minimum Thickness: 0.125 inch
- Height: 4 inches and 6 inches as indicated on drawings
- Lengths: Cuts in manufacturer's standard length
- Outside Corners and Exposed Ends: Preformed
- Finish: Stain

2.3 VINYL COMPOSITION TILE

A. Vinyl Composition Tile: ASTM F 1066.

B. Product: Armstrong World Industries, Inc.; Imperial Texture Standard Execution.

2.4 INSTALLATION MATERIALS

A. Concrete Slab Primer: Non-staining type as recommended by flooring manufacturer.

- Product: Ardex P-51 Primer or P-82 Ultra Primer, as recommended by manufacturer for applications indicated.

B. Underlayment Floor Leveling System: Portland cement based self-leveling system with inorganic binder content; having a compressive strength of 4100 psi after 28 days, and capable of being feathered to match existing elevations.

- Product: Ardex K-15

C. Trowelable Leveling and Patching Compounds: Latex-modified, Portland cement based or blended hydraulic-cement-based formulation provided or approved by manufacturer for applications indicated.

- Product: Ardex SD-F Finisher Finish

D. Adhesives: Water-resistant type recommended by manufacturer to suit floor tile and substrate conditions indicated. Provide adhesive with a VOC limit of 50 g/L.

E. Sealer: Provide protective sealer as recommended by manufacturer.

F. Detergent Solution: Neutral detergent solution was applied immediately after installation.

G. Floor Polish: Provide protective liquid floor polish products as recommended by manufacturer.

3.2 PREPARATION

A. Prepare substrate according to manufacturer's written instructions to ensure adhesion of resilient products.

B. Concrete Substrate: Prepare according to ASTM F 710

- Verify that substrates are dry and free of curing compounds, sealers, and hardeners
- Remove substrate coatings and other substrates that are incompatible with adhesives and that contain soap, wax, oil, silicone, gypsum joint compounds, and existing non-leveling materials using mechanical methods recommended by manufacturer. Do not use solvents.
- Installer is responsible for the proper subfloor preparation for a solid bond! Bond and Moisture Testing: Verify floors are sufficiently dry for install of floor tile by performing Armstrong's bond and moisture test. Using specified flooring material, install 3 foot square panels approximately 50 feet apart throughout the installation area using specified adhesive. If the panels are securely bonded after 72 hour period, the subfloor is considered acceptable.

C. Fill cracks, holes, and depressions in substrates with trowelable leveling and patching compound and remove bumps and ridges to produce a uniform and smooth substrate.

D. Do not install floor tiles until they are same temperature as space where they are to be installed.

- Move resilient products and installation materials into spaces where they will be installed at least 48 hours in advance of installation

E. Sweep and vacuum clean substrate to be covered by resilient products immediately before installation. Do not use any paraffin or oil based sweeping compounds.

F. When flooring adhesives are received, check package labels for product age, product has a 1 - year shelf life. Discard materials that have exceeded their shelf life.

3.3 UNDERLAYMENT INSTALLATION

A. Preparation: Mechanically clean floor by shot-blasting, scuffing or other means that leaves no residue. Do not use chemical means or acid etching; the use of solvents is not an acceptable means of cleaning the substrate. Vacuum clean substrates to be covered by underlayment immediately before application of primer. Installer is responsible for the proper subfloor preparation for a solid bond.

- Cracks in the subfloor shall be repaired to minimize telegraphing through underlayment.

B. Priming: Install in accordance with manufacturer's instructions. Use Ardex P-51 Primer for standard absorbent concrete. Use Ardex P-82 Ultra Primer over non-porous subfloors, outback and other adhesive residues.

C. Underlayment: Mix and apply in accordance with manufacturer's instruction. Installer shall use mixing equipment and tools approved by the manufacturer.

- Apply underlayment to a minimum thickness of 1/8 inch over highest point the subfloor with an average thickness of 1/4 inch.

D. Protect underlayment from abuse by other trades by the use of plywood, Masonite, or other suitable protection course until installation of finish floor.

3.4 FLOOR TILE INSTALLATION

A. Comply with manufacturer's written instructions for installing floor tile.

B. Lay out floor tiles in indicated pattern.

C. Mix tile from container to ensure shade variations are consistent

D. Scribe, cut, and fit floor tiles to butt neatly and tightly to vertical surfaces and permanent fixtures including built-in furniture, cabinets, pipes, outlets, and door frames.

E. Extend floor tiles into toe spaces, door reveals, closets, and similar openings. Extend floor tiles to center of door openings.

F. Maintain reference marks, holes, and opening that are in place or marked for future cutting by repeating on floor tiles as marked on substrates. Use chalk or other nonpermanent, non-staining marking device.

G. Adhere floor tiles to flooring substrates using a full spread of adhesive applied to substrate to produce a completed installation without open cracks, voids, raising and puckering or joints. Marking of adhesive spreader marks, and other surface imperfections.

- Spread only enough adhesive to permit installation of materials before initial set.
- Hand roll with a heavy roller to attain full adhesion.

3.5 RESILIENT BASE AND MOLDING ACCESSORIES INSTALLATION

A. Comply with manufacturer's written instructions for installing resilient base.

B. Apply resilient base to wall, columns, pilasters, casework, and cabinets in toe spaces, and other permanent fixtures in rooms and areas where base is required.

C. Install resilient base in lengths as long as practicable, but not less than 18 inches, without gaps at seams and with tops of adjacent pieces aligned.

- Meet internal corners. Use pre-molded units at external corners and exposed ends.
- Install base on solid backing.
- Scribe and fit to door frames and other interruptions.

D. Tightly adhere resilient base to substrate throughout length of each piece, with base in continuous contact with horizontal and vertical substrates.

E. Do not stretch resilient base during installation.

F. Resilient Molding Accessories: Butt to adjacent materials and tightly adhere to substrates throughout length of each piece. Install reducer strips at edges of floor covering that would otherwise be exposed.

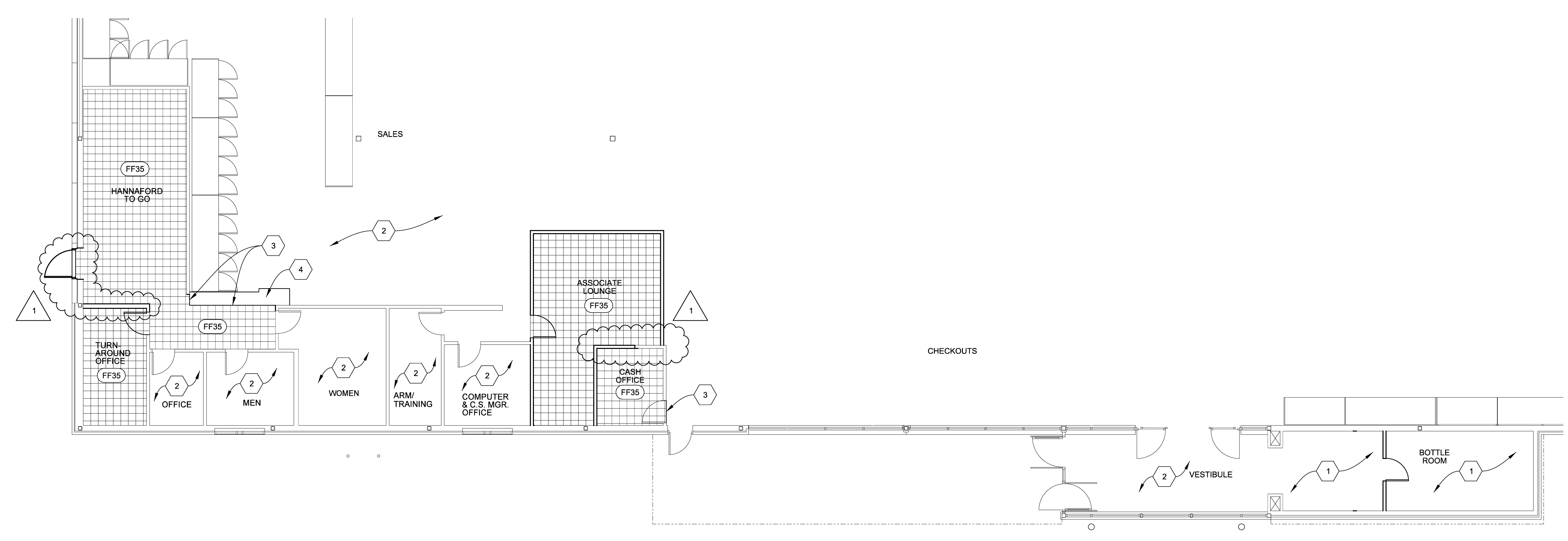
3.6 CLEANING AND PROTECTION

A. Comply with manufacturer's written instructions for cleaning and protection of resilient flooring.

B. Remove excess adhesive from floor, base, and wall surfaces without damage.

C. Damp mop floor with a neutral detergent solution (Armstrong S-485 Commercial Floor Cleaner) at 3 - 4 ounces per gallon. While carefully scrubbing black marks and excessive soil. Do not rewash, scrub, or strip the floor for at least four to five days after installation.

D. Apply two coats of a high quality commercial floor polish (Armstrong S-480 Commercial Floor Polish). The use of a high quality stain-resistant sealer (Armstrong S-485 Commercial Floor Sealer) beneath the polish should be installed in areas of high traffic.



NO.	REVISIONS	DATE
0	ISSUED FOR WORK REVIEW	02-26-18
0	ISSUED FOR CONSTRUCTION	02-02-18
1	ISSUED PER CDC-01	02-21-18

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0	ISSUED FOR WORK REVIEW	02-26-18
0	ISSUED FOR CONSTRUCTION	02-02-18
1	ISSUED PER CDC-01	02-21-18

Sheet Title: PARTIAL FLOOR FINISH PLAN AND SPECIFICATIONS

Scale: 1/8" = 1'-0"

Date: 03-02-18

Design: [Signature]

Drawn: [Signature]

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2018 Deliaire America Shared Services LLC

HANNAFORD SUPERMARKET & PHARMACY
787 RIVERSIDE ST
PORTLAND, MAINE 04103

Sheet No. A102
Store No. 8354

SECTION 095900 - ACOUSTICAL CEILING RESTORATION

PART 1 - GENERAL

1.1 SUMMARY

A. This section includes the restoration of existing acoustical ceiling tile and suspension system.

1.2 QUALITY ASSURANCE

A. Applicator's Qualification:
1. Applicator shall be trained and approved by the product manufacturer as a preferred, certified ceiling restoration contractor.
a. Approved Applicator: CellSpray Ceiling Refinishing, Inc. - 18 Larry Drive, Unit B, Goffstown, NH 03045 (800-258-3098)
2. Applicator shall be experienced in application of specified materials in occupied retail facilities
3. Applicator's personnel: Employ persons trained for application of specified materials

B. Pre-Restoration Meeting:
1. Convene a meeting 14 days before start of ceiling restoration
2. Require attendance of parties directly affecting work of this section, including contractor, owner, architect, applicator, and manufacturer's representative.
3. Review heating and ventilation system operation during restoration operations, protection of shelving and merchandise, tile replacement, surface preparation, application, cleaning, disposal of debris, and coordination with other work.
4. Schedule: Review schedule and sequence of the work, completion time of the work, timing of merchandise removal and restocking if required.

1.3 DELIVERY, STORAGE AND HANDLING

A. Delivery: Deliver materials to site in manufacturer's original, unopened containers, bearing the manufacturer's name and label.
B. Store materials not in use in tightly unopened containers and packaging, sealed until ready for use. In a clean, dry, well ventilated area at minimum ambient temperature of 55 deg F in accordance with manufacturer's instructions. Do not allow material to freeze. Maintain unopened containers in clean condition, free of foreign materials and residue.
C. Handling: Protect materials during handling and application to prevent damage or contamination.

1.4 PROJECT CONDITIONS

A. Apply paints only when temperatures of surfaces to be painted and the ambient temperatures are at a minimum temperature of 55 degrees F.
1. Maintain temperatures for 24 hours prior to painting, during application and for 48 hours after application of finish, unless required otherwise by manufacturer's instructions.
B. Light Levels: Provide light level of 80-foot candles at substrate surface

1.5 EXTRA MATERIALS

A. Furnish 6 cans of aerosol ceiling coating touch-up for owner maintenance use.
B. Provide 10 sprayed tile, package with protective covering for storage and identified with labels describing contents.

PART 2 - PRODUCTS

2.1 CEILSPRAY CEILING REFINISHING SYSTEM

PART 3 - EXECUTION

3.1 EXAMINATION

A. Examine ceilings to receive restoration work. Notify Architect if ceilings conditions have changed since the pre-restoration meeting. Do not begin application until unacceptable conditions have been corrected.
B. Examine existing ceiling tile and ceiling tile replacement for appearance and direction match to surrounding tile. Correct tile to provide uniform appearance. Relocate the new tiles into one area so as to create as much uniformity of appearance as possible.

3.2 PREPARATION

A. Cover walls, floors, equipment, furnishings, merchandise, and other surfaces to be protected against dry-fall spray dust with plastic sheets or drop cloths. Seal seams of covering to prevent contamination of surfaces from over spray and dry-fall dust.
B. Shut off HVAC and other mechanical air movement equipment. Cover grills and vents to prevent dust from entering duct work. Maintain shut down until excess dust has been removed from the area being treated.
C. Mask light fixtures, sprinkler heads, smoke detectors, security lights, and other items to be protected against direct spray.
1. Remove all flush mounted light fixtures with lenses prior to spraying. Replace after completion.
D. Preparation for Acoustical Ceiling Refinishing:
1. Replace damaged and broken tiles with new tiles or used tiles approved by architect.
2. Pretreat ceiling water stains with a primer / sealer.
3. Apply grid cleaning solution to grids and other nonporous surfaces to be coated to remove dirt, oil, grease, nicotine, and other contaminants to ensure proper bonding of acoustical tile coating.
4. Pretreat tiles saturated with grease or nicotine with acoustical tile cleaner to prevent discoloration of acoustical tile coating.

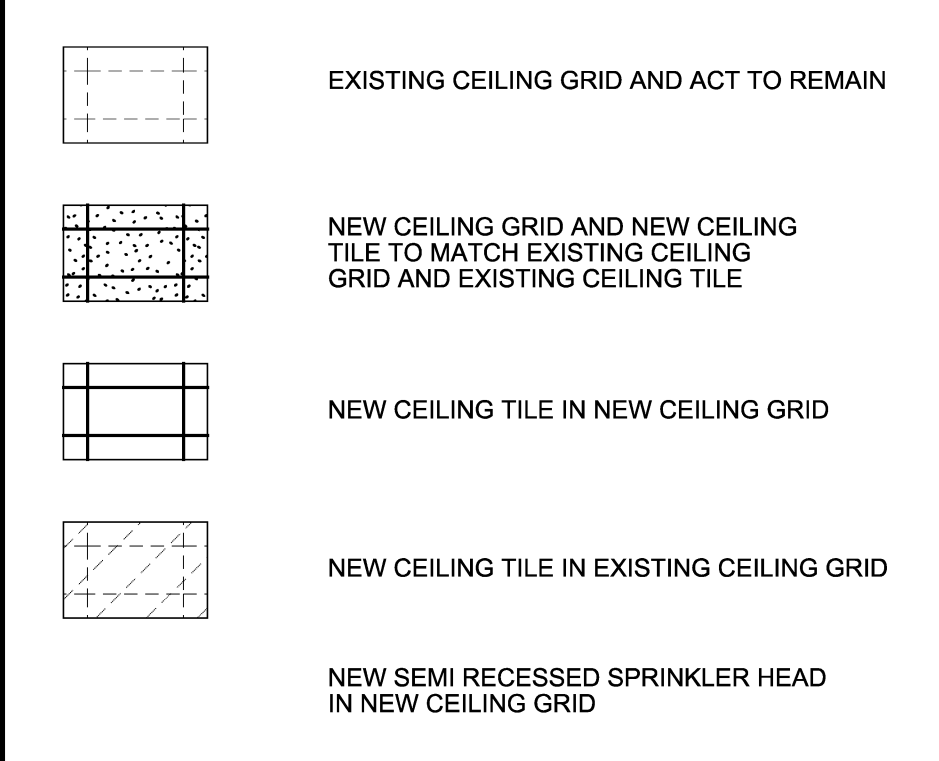
3.3 COATING APPLICATION

A. Apply acoustical tile coating in accordance with manufacturer's instructions at ceiling locations indicated on the drawings.
1. Apply coating with commercial airless sprayer to tile and grid at a rate of 250 sq. ft. per gallon following manufacturer's instruction.
B. Spray acoustical tile coating to in place acoustical ceiling tiles and exposed suspension grid system.

3.4 CLEANING

A. Remove protective plastic sheets, drop cloths, and masking materials, and dispose of in containers provided by the Contractor.
B. Remove remaining spray dust from any fixtures, merchandise or equipment at the direction of Owner.
C. Inspect HVAC filters and if contaminated with ceiling dust materials replace with new filters.

LEGEND:



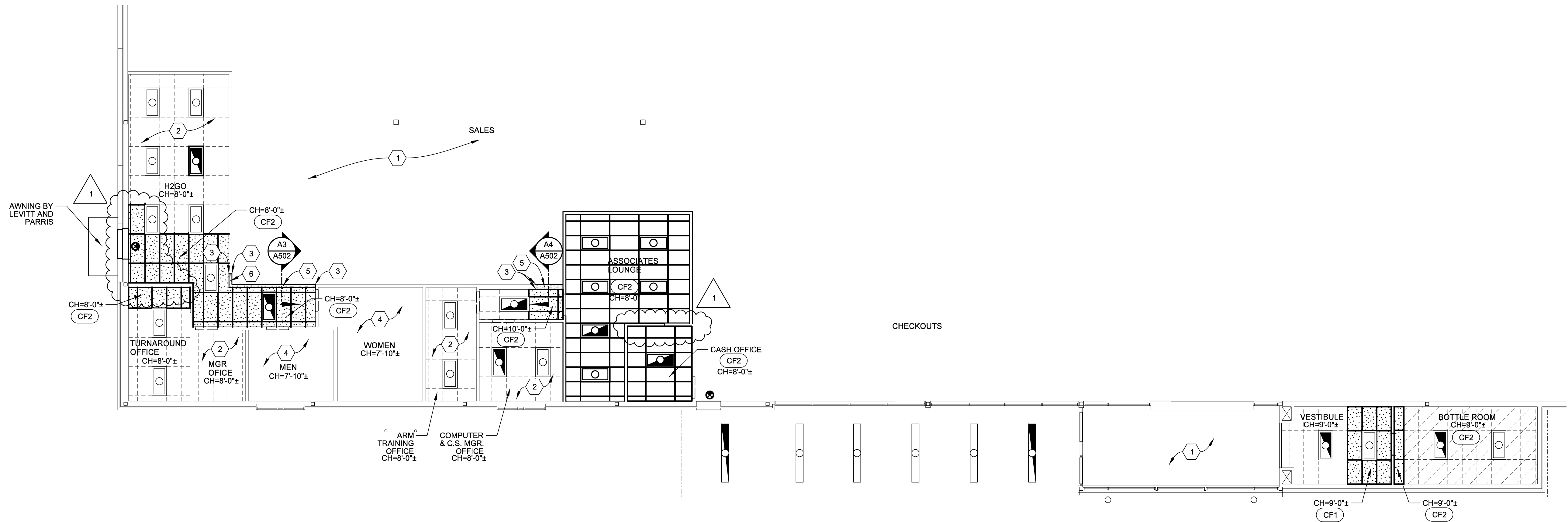
KEY NOTES:

- 1. EXISTING EXPOSED STRUCTURE ABOVE
2. EXISTING CEILING GRID AND ACT TO REMAIN - NO WORK
3. ALIGN FACE OF FINISHES
4. EXISTING GYPSUM WALL BOARD CEILING TO REMAIN - NO WORK
5. BOTTOM OF SOFFIT = 8'-0" TOP OF SOFFIT = 14'-0" TO MATCH EXISTING ADJACENT WALL
6. BOTTOM OF SOFFIT = 8'-0", TOP OF SOFFIT = 12'-0" TO MATCH EXISTING ADJACENT WALL

GENERAL NOTES:

- A. ALL STRUCTURAL STEEL, METAL DECK, CONDUIT, DUCTS, TUBING AND MISCELLANEOUS STEEL ITEMS, ETC. EXPOSED TO VIEW IN THE SALES AREA SHALL BE PAINTED TO MATCH EXISTING ADJACENT.
B. REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR EQUIPMENT MOUNTING HEIGHTS.
C. ALL DIMENSIONS ARE TAKEN TO FINISHED FACE OF WALL OR CENTERLINE OF COLUMN UNLESS OTHERWISE NOTED. DIMENSIONS ARE PROVIDED FOR GENERAL REFERENCE AND BIDDING PURPOSES ONLY. FIELD COORDINATE WITH EXISTING CONDITIONS TO ACHIEVE DESIGN INTENT.
D. IN THE EVENT THAT CONFLICT OCCURS BETWEEN THIS REFLECTED CEILING PLAN AND MECHANICAL OR ELECTRICAL DRAWINGS REGARDING THE EXACT LOCATION OF LIGHT FIXTURES, GRILLES, AND OTHER DEVICES, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY.
E. ALL CEILING TILES AND CEILING GRID TO BE PAINTED (CREAM IF VISIBLE TO CUSTOMERS) REFERENCE SPEC SECTION 095900 AND CEILING FINISH SCHEDULE.
F. ALL VISIBLE CEILING MOUNTED DIFFUSERS, PLATES & GRILLES SHALL BE PAINTED TO MATCH ADJACENT C.G.F. FINISH.
G. SEE CEILING FINISH SCHEDULE ON A202 FOR FINISHES.
H. NEW ACT TO MATCH EXISTING ACT MANUFACTURER, COLOR, AND TEXTURE G.C. TO FIELD VERIFY EXISTING CONDITIONS.
I. SEE INTERIOR MATERIALS FINISH SCHEDULE ON A202.
J. REWORK EXISTING SPRINKLER LAYOUT TO PROVIDE FIRE PROTECTION FOR UPDATED CEILING PLAN. PROVIDE WHITE SEMI-RECESSED QUICK RESPONSE SPRINKLER HEADS WITHIN NEW CEILING TILES. COORDINATE SPRINKLER HEAD LOCATIONS WITH ALL OTHER TRADES. SPRINKLER SYSTEM SHALL COMPLY WITH NFPA-13 2016 EDITION.

Table with columns: #, COLOR, REMARKS. Rows: CF1 CREAM ACT 2X4, CF2 WHITE ACT 2X4



Project No. 18007

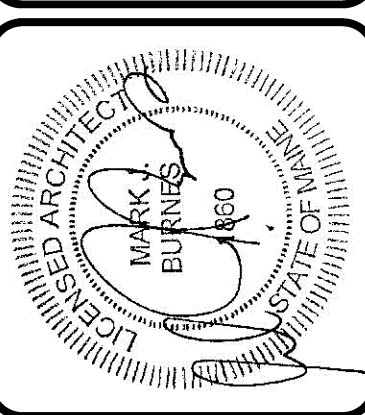
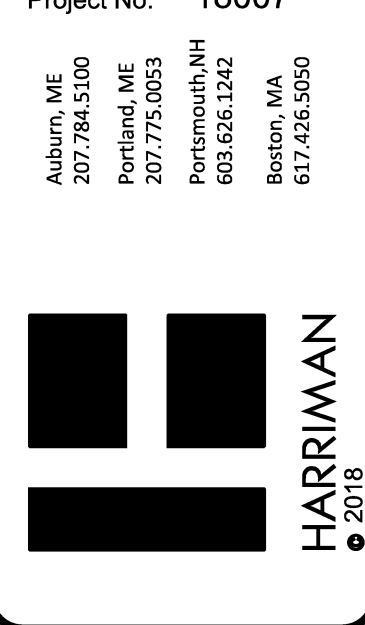


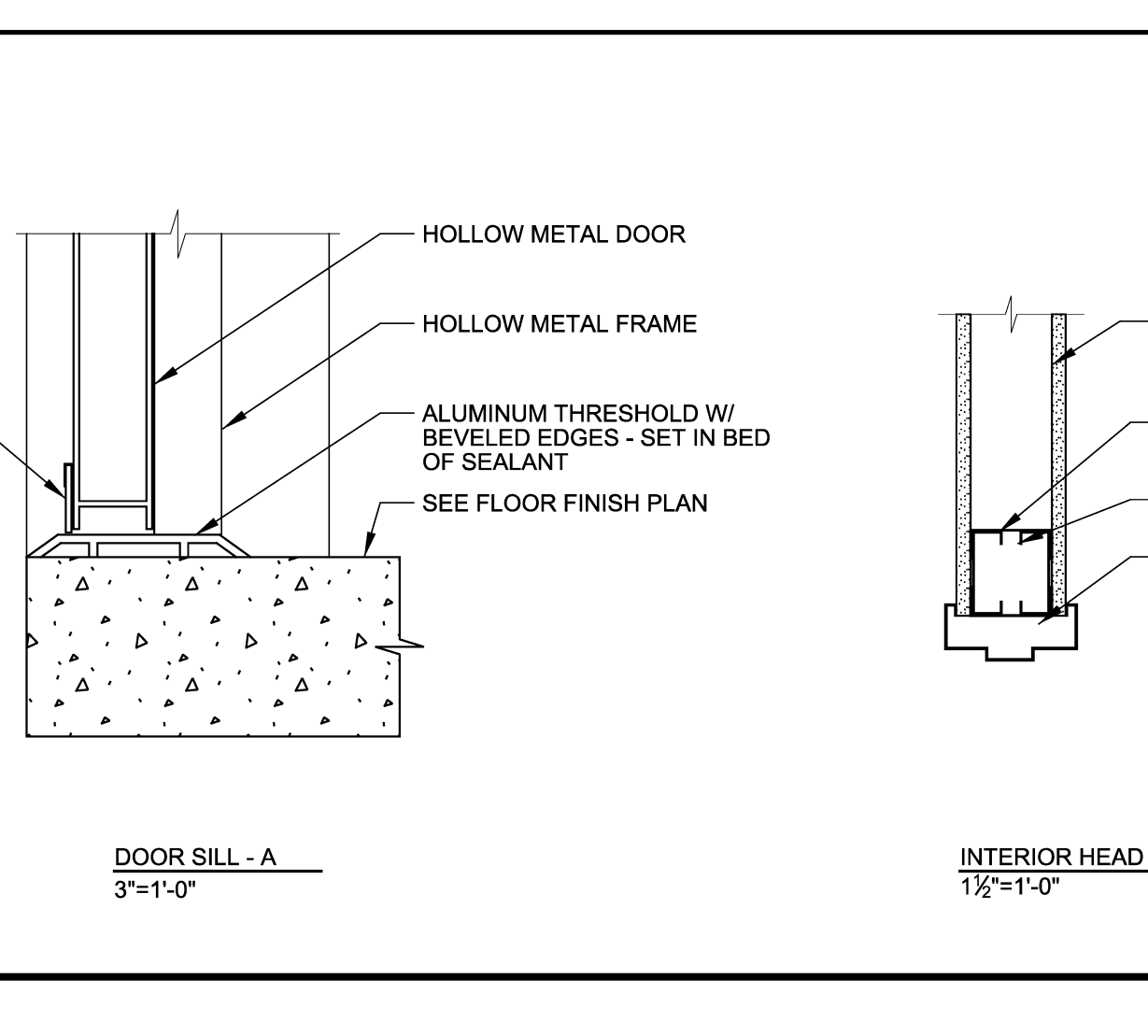
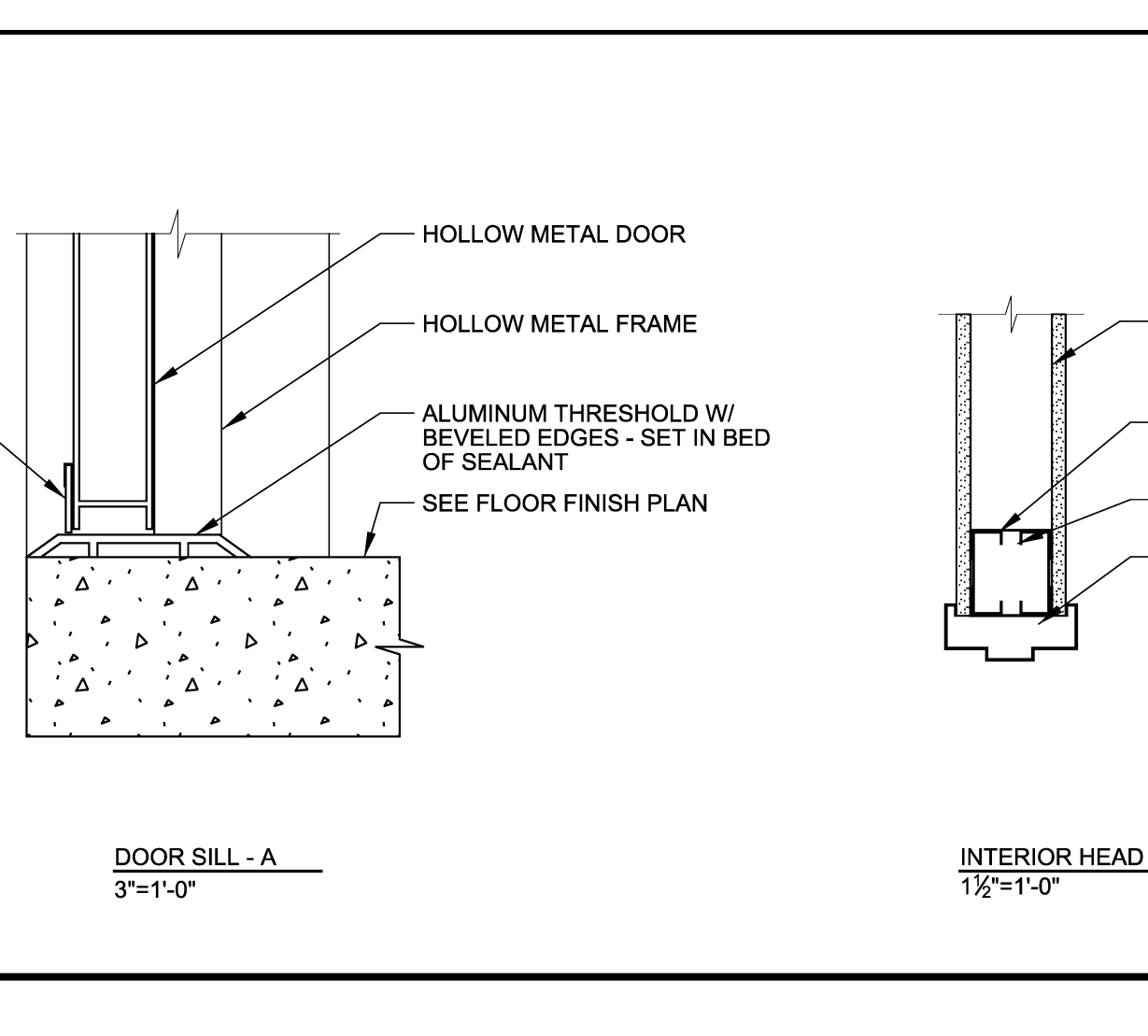
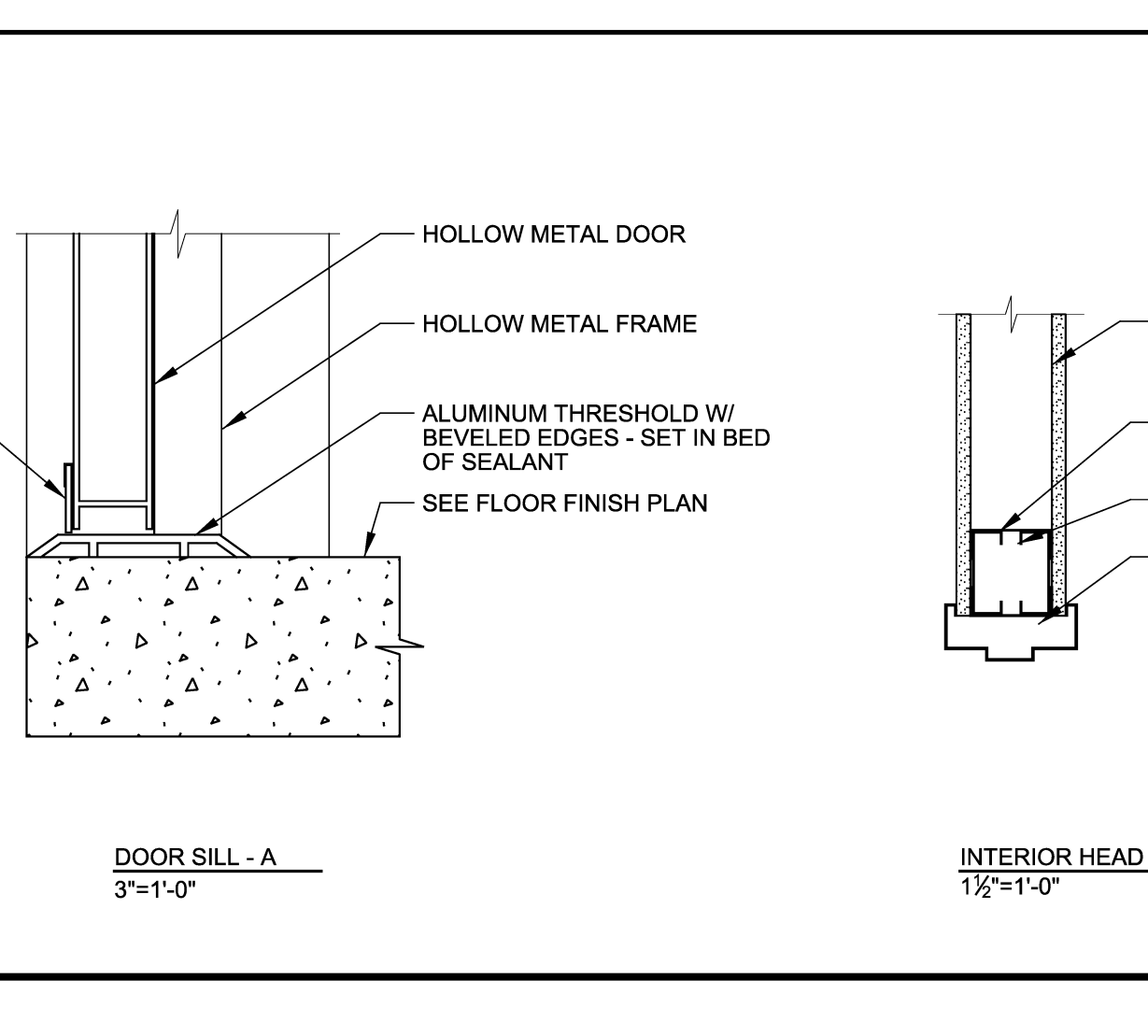
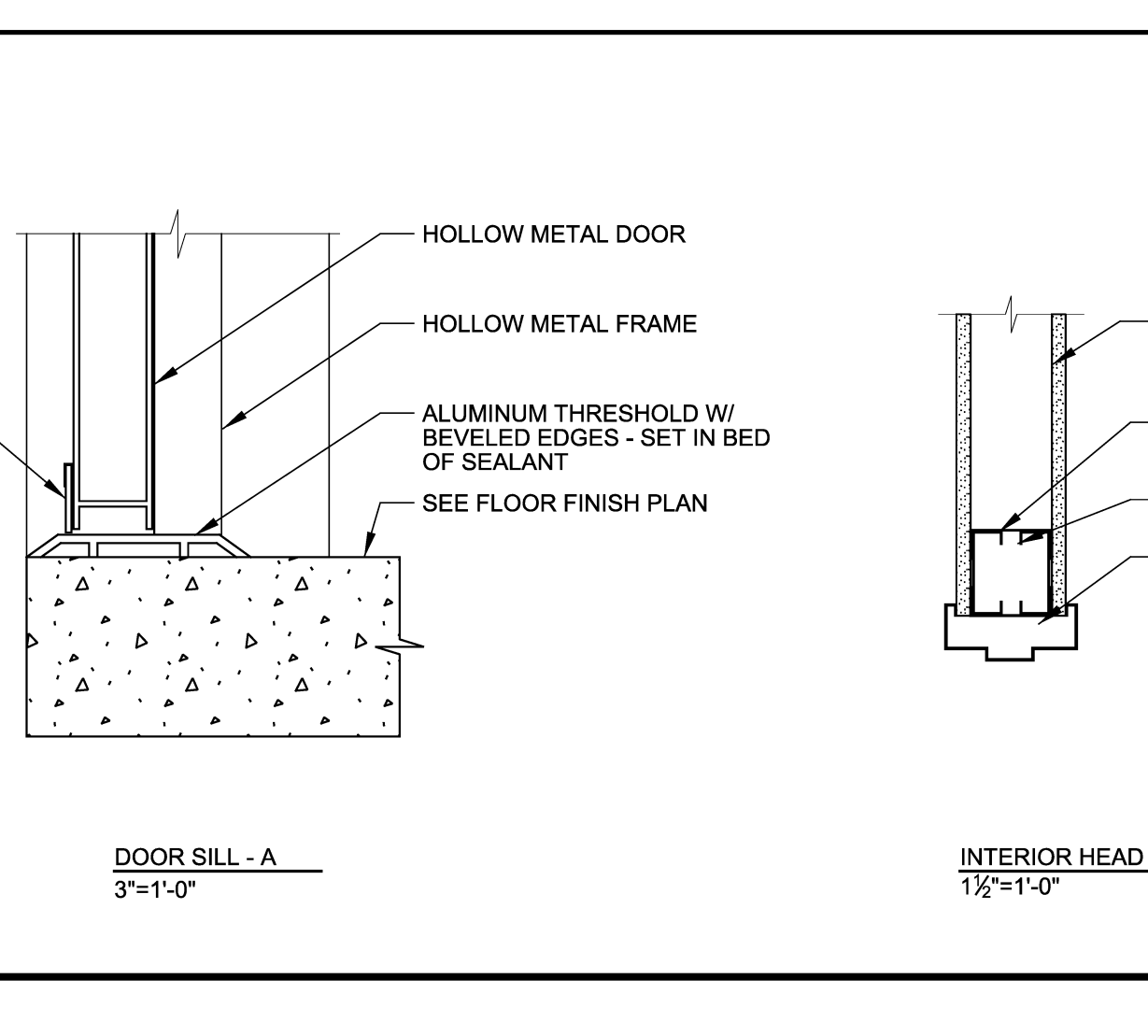
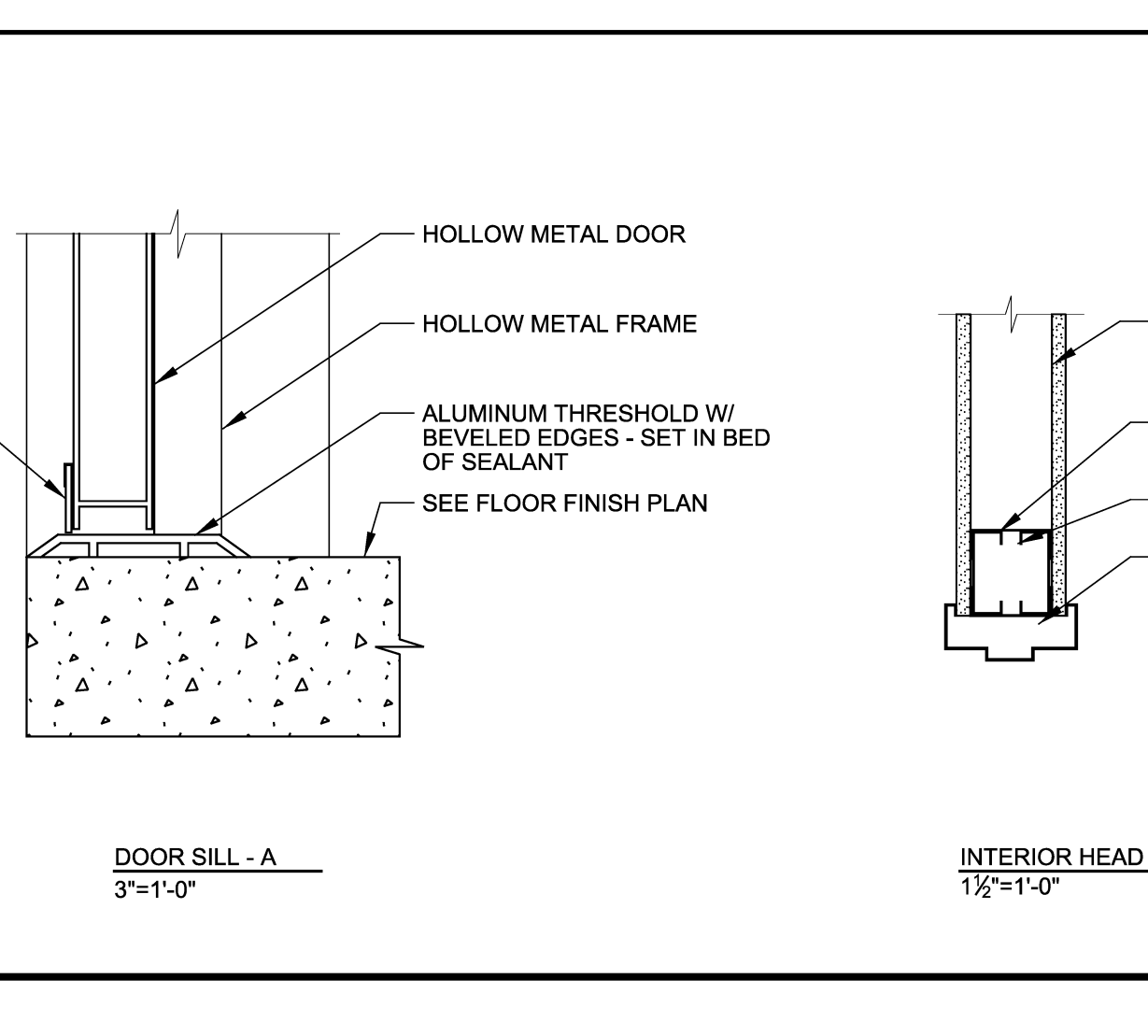
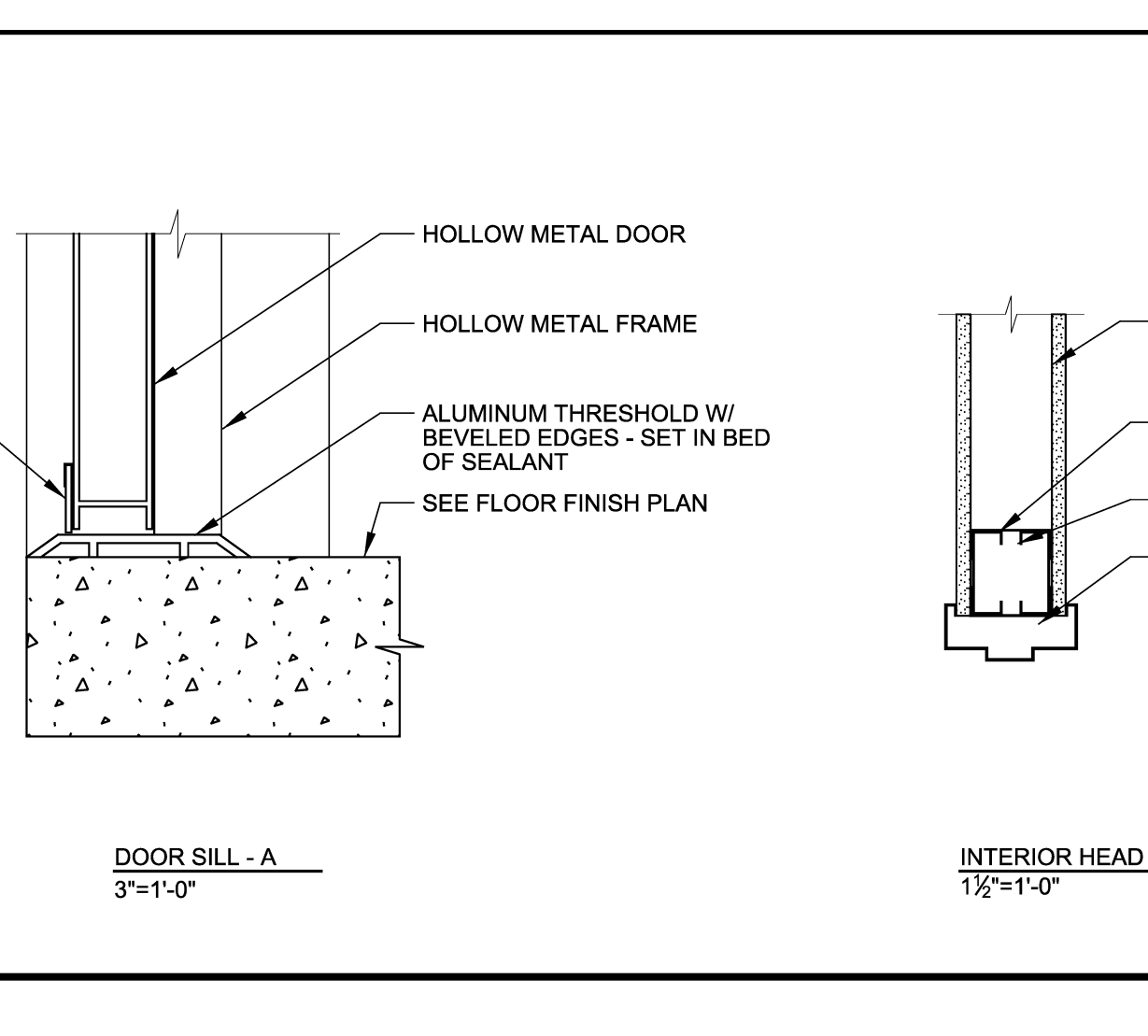
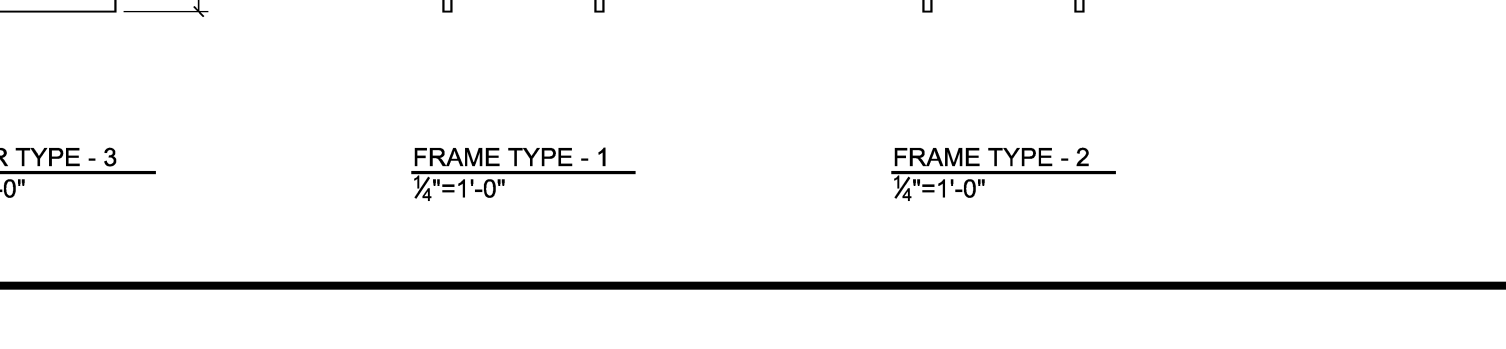
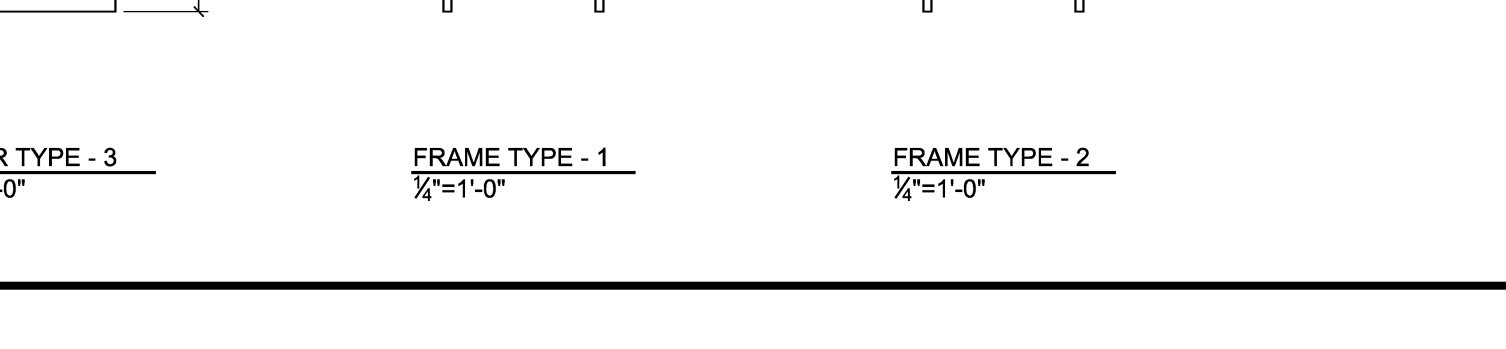
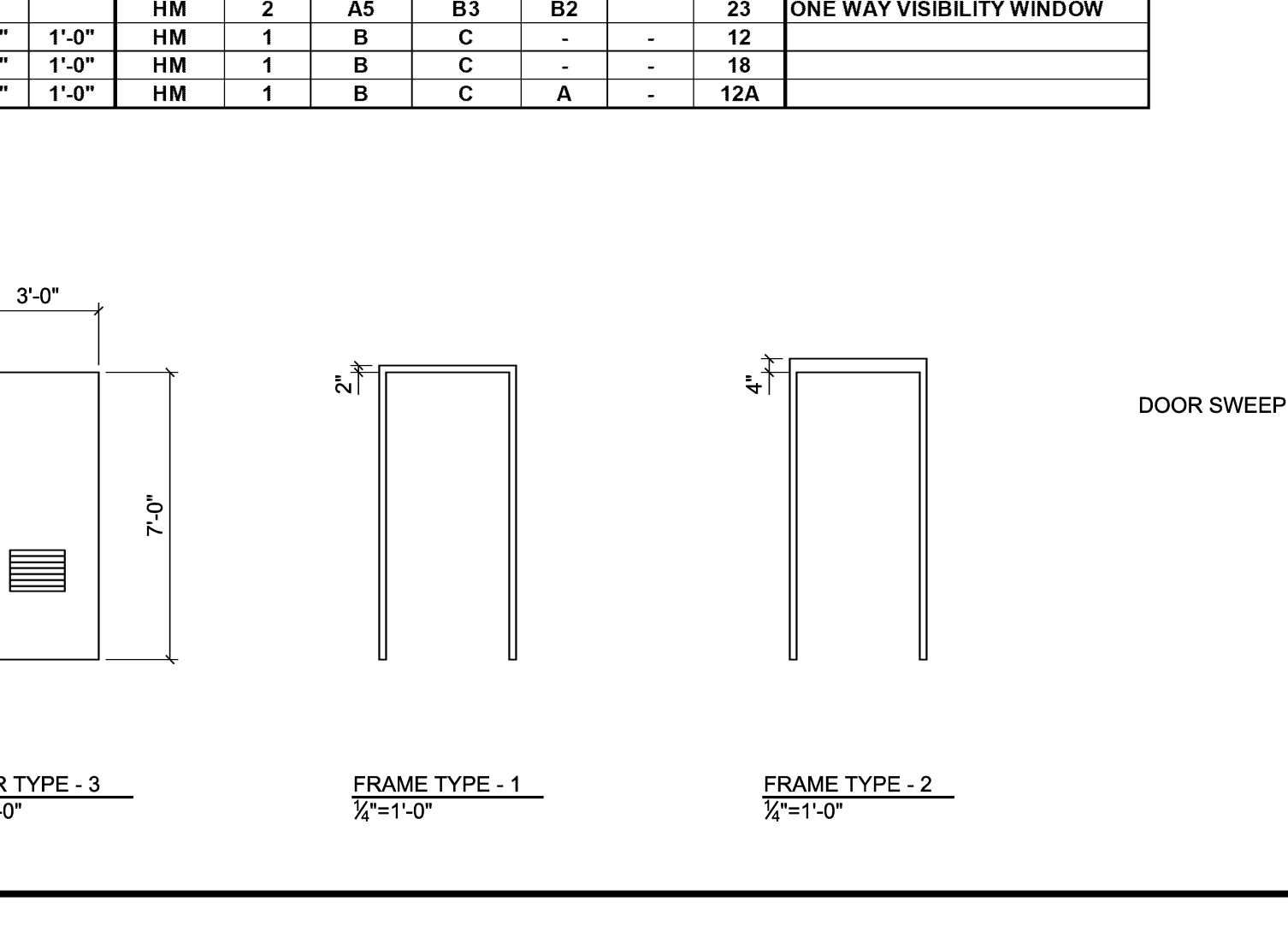
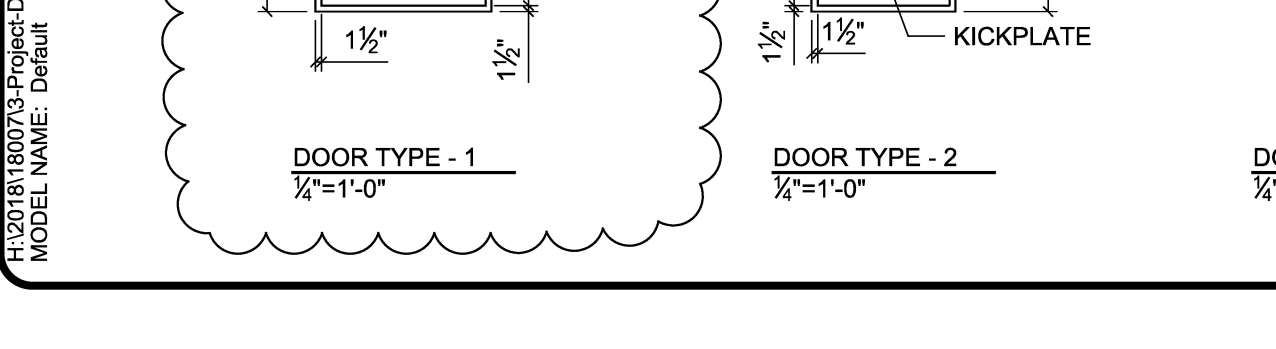
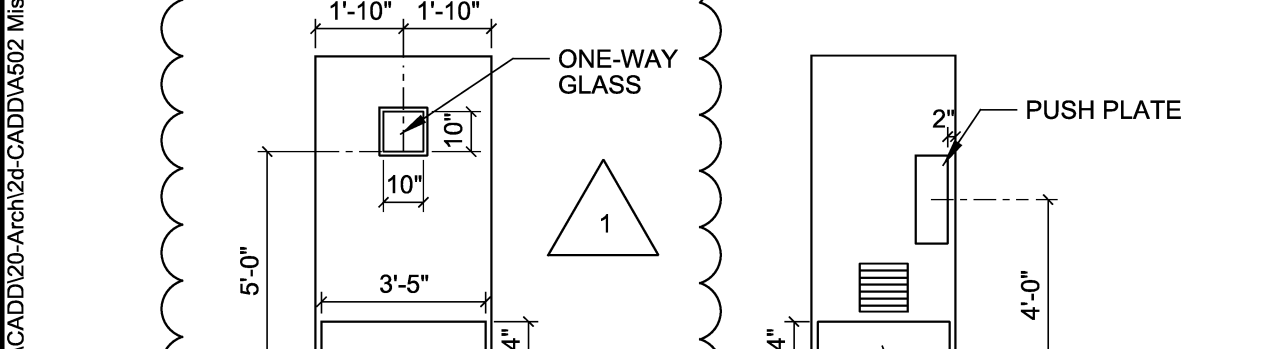
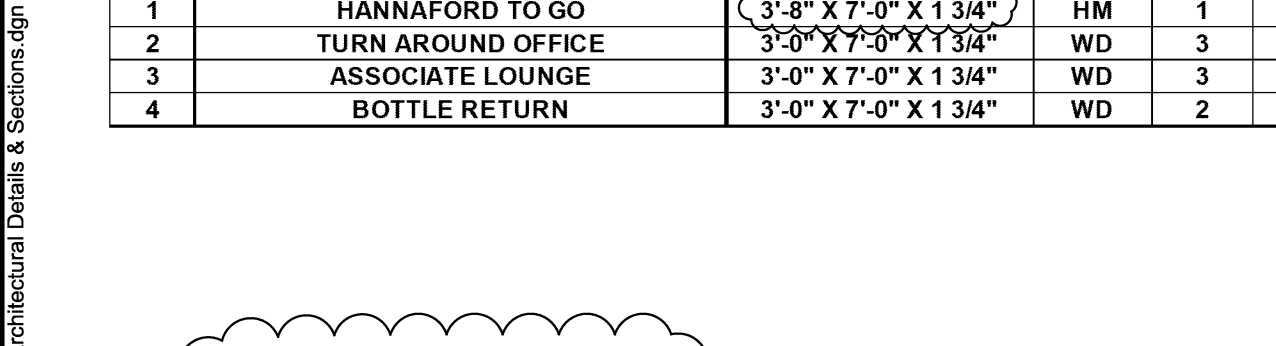
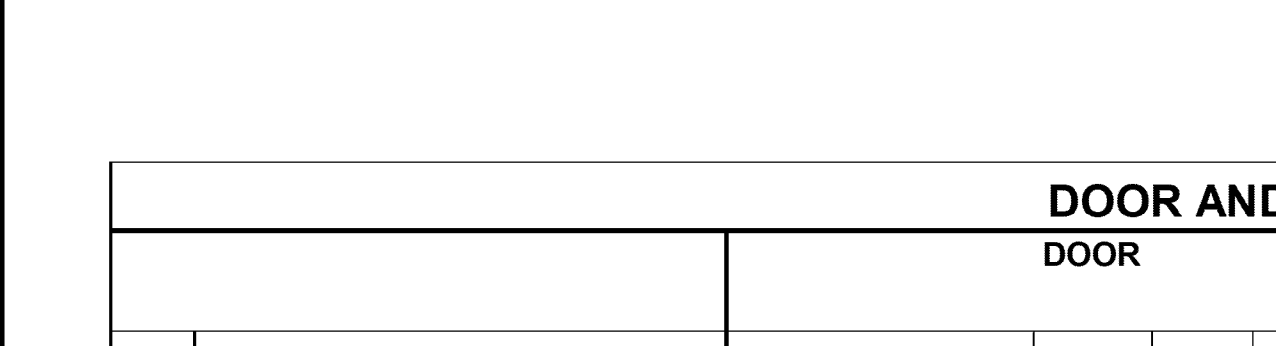
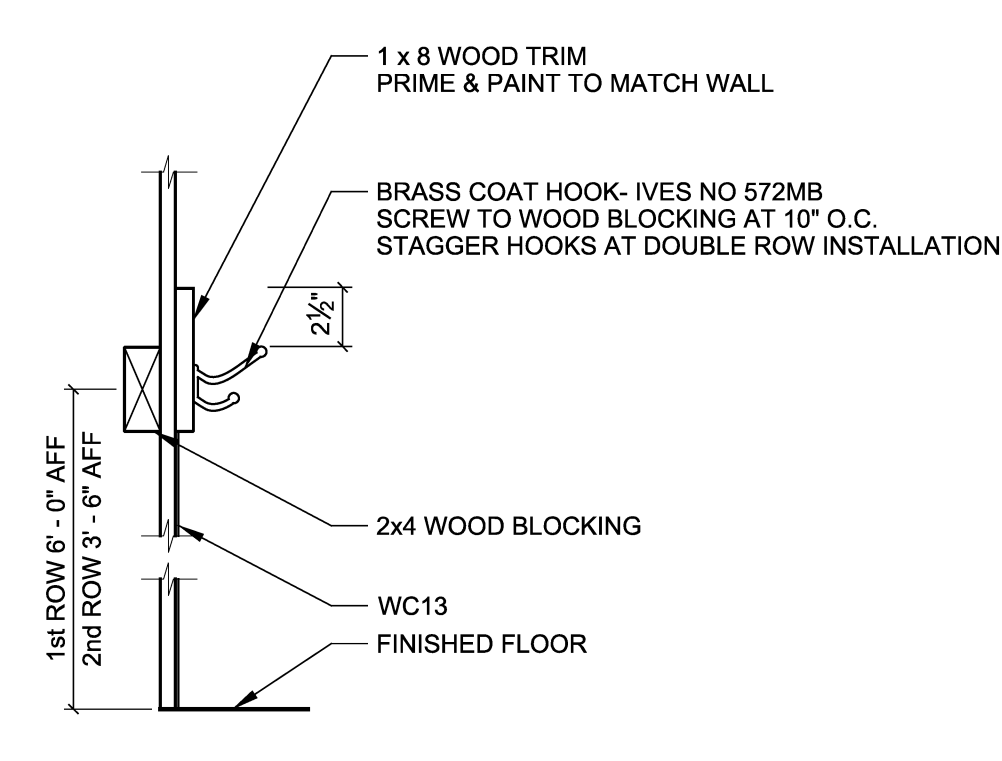
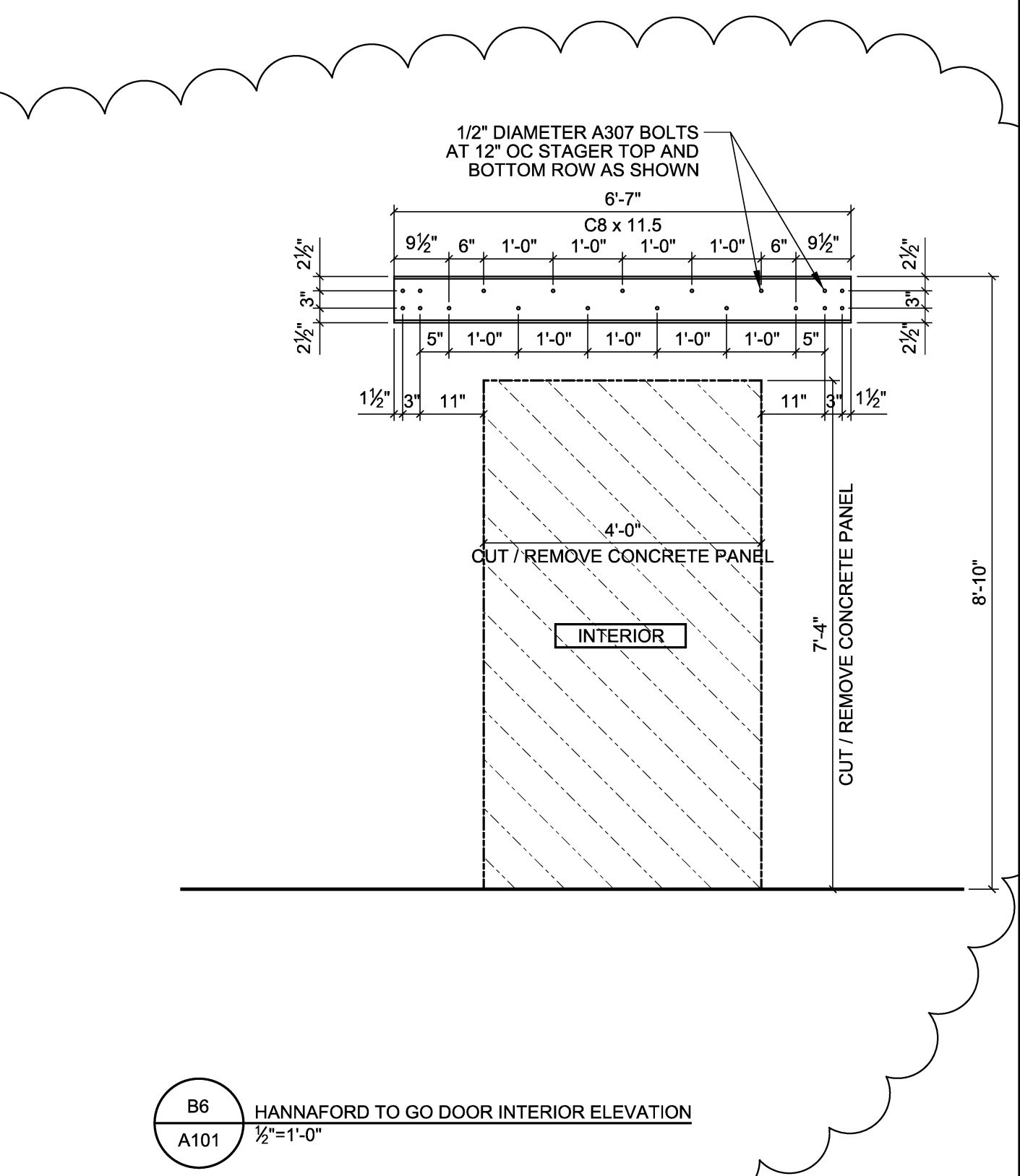
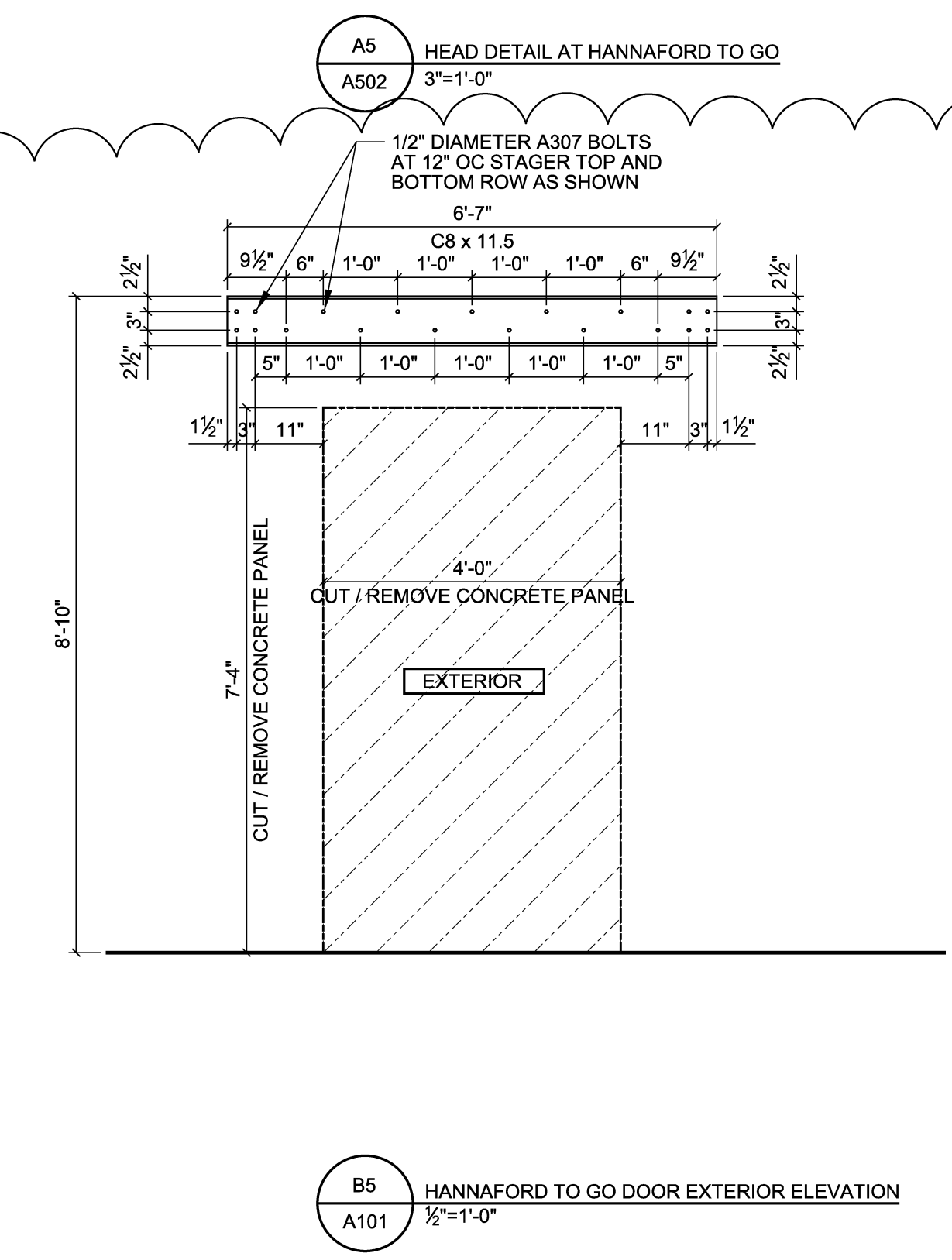
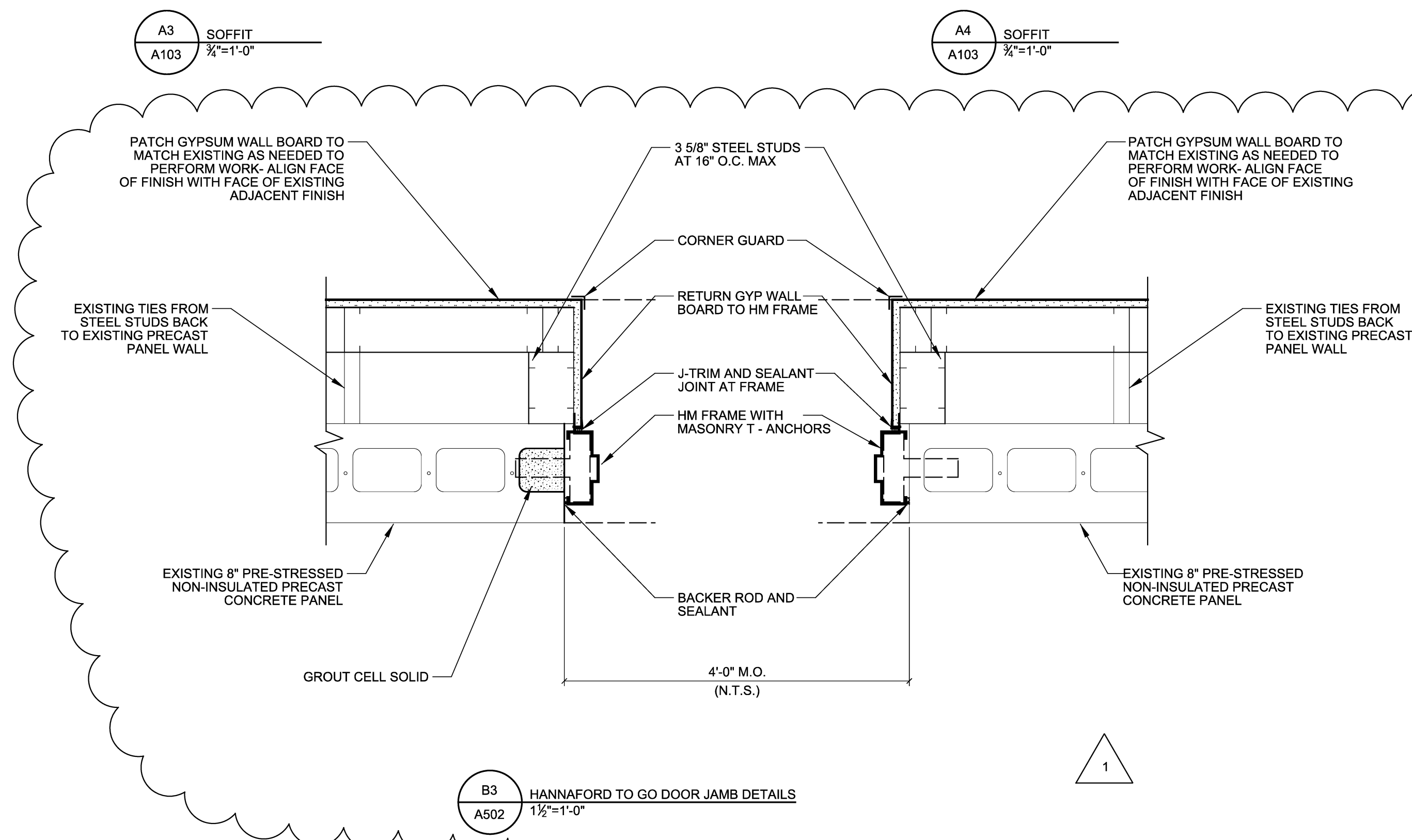
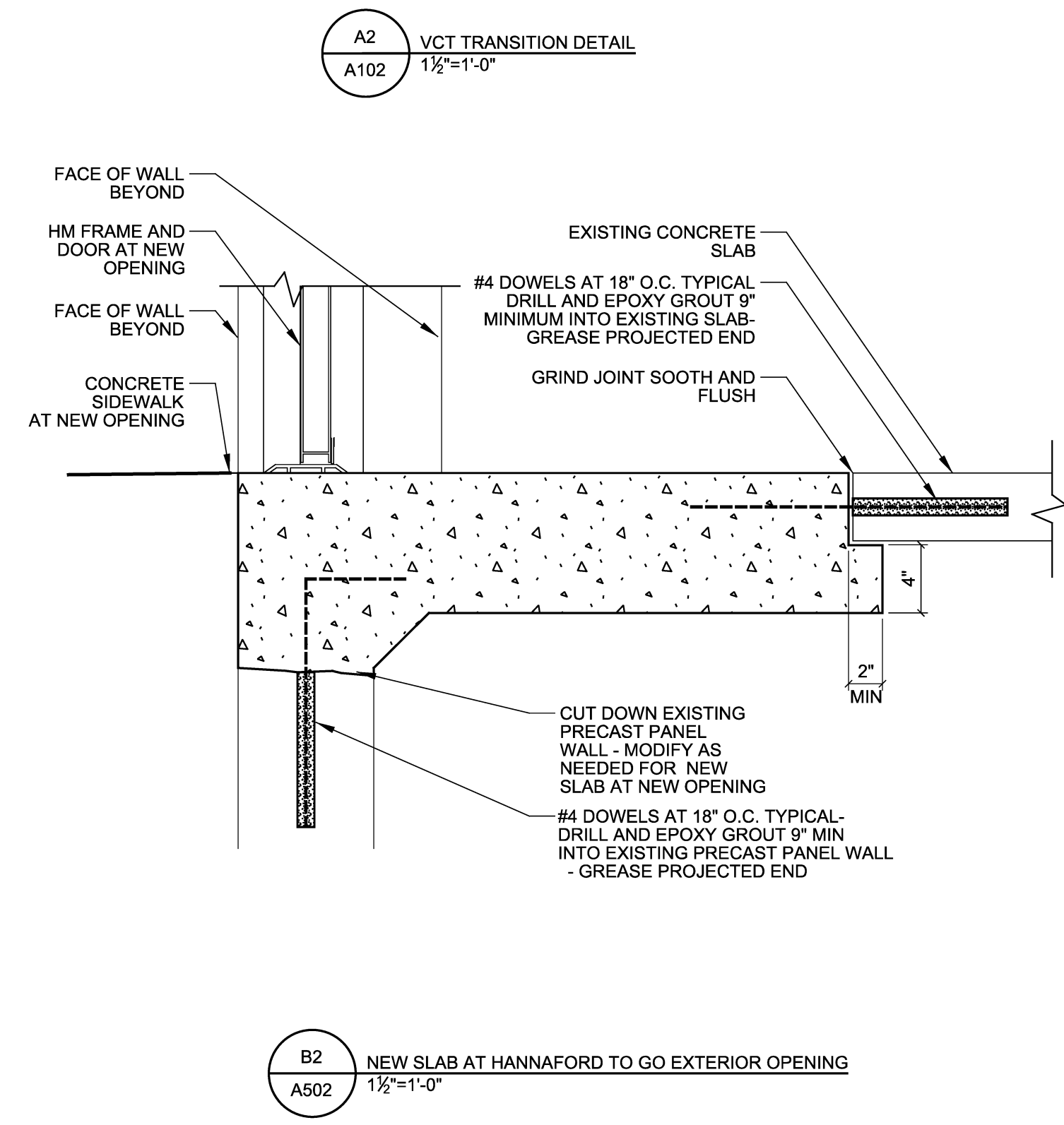
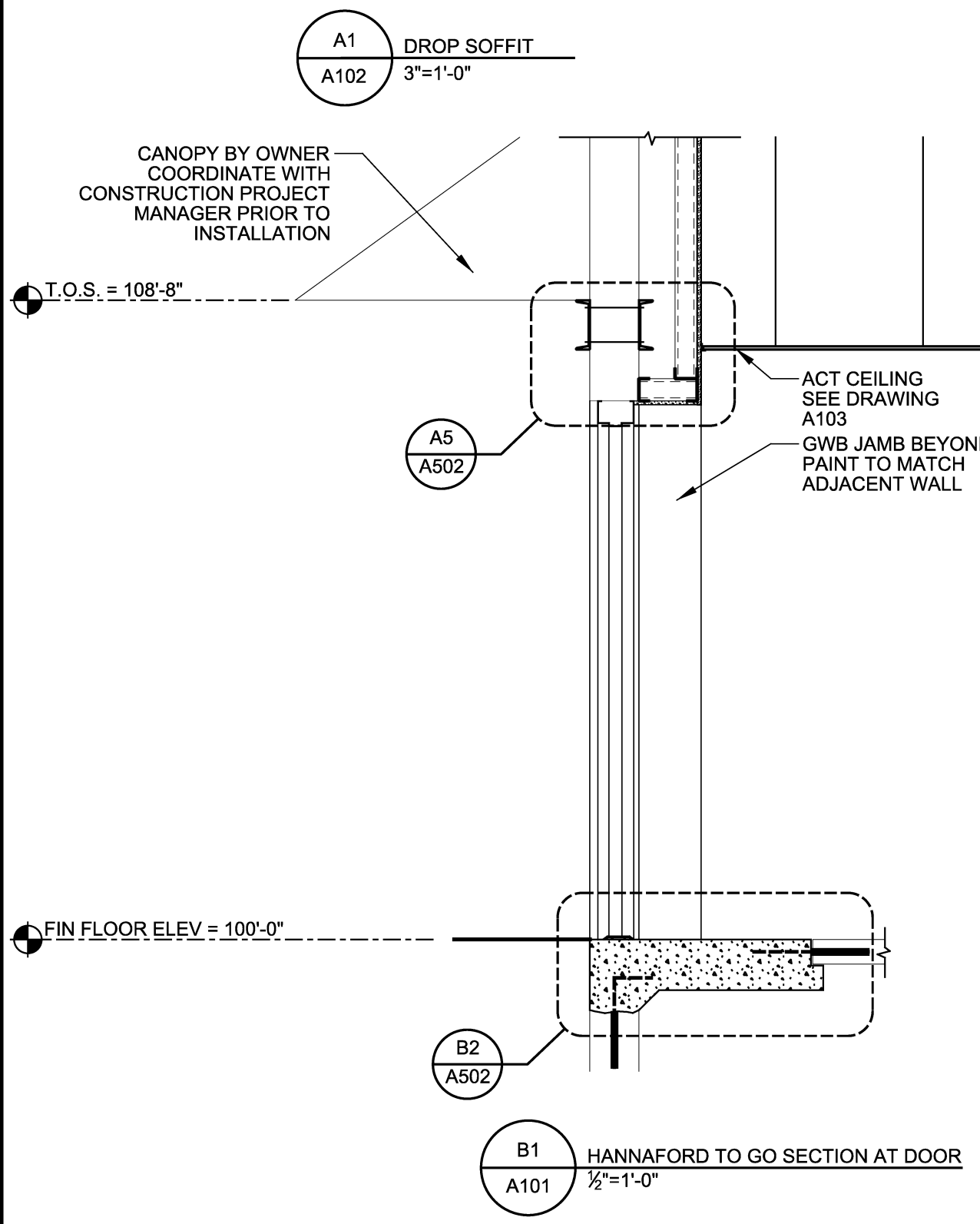
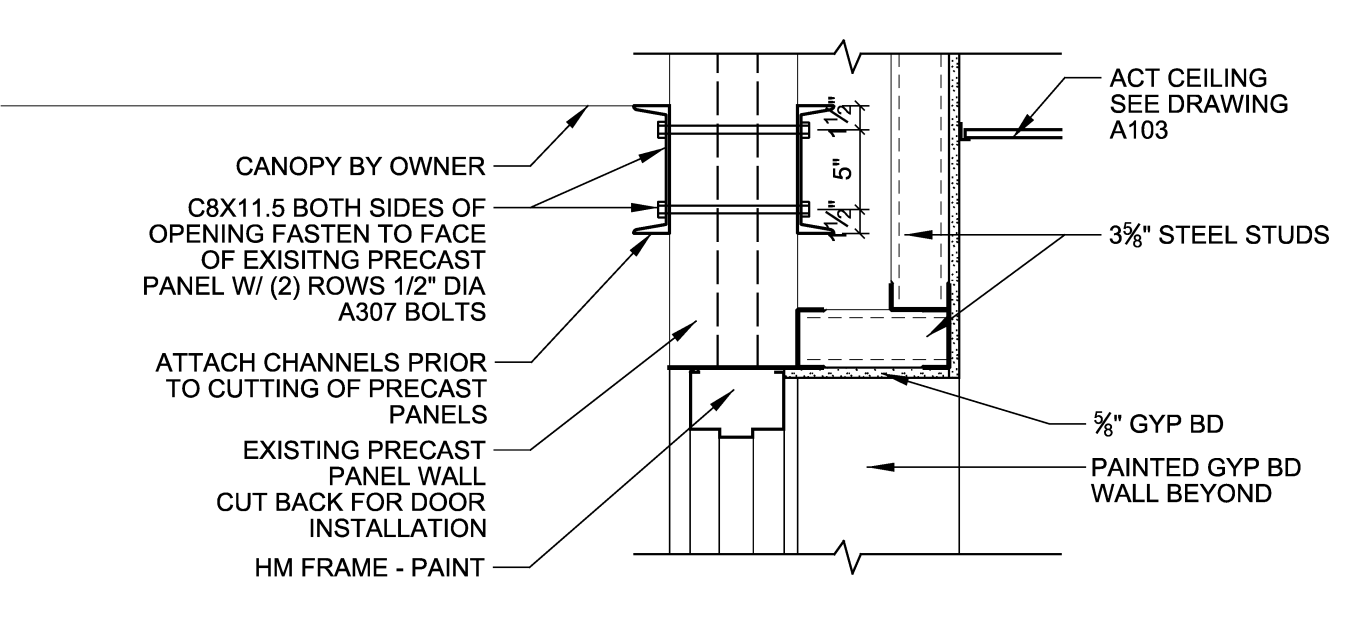
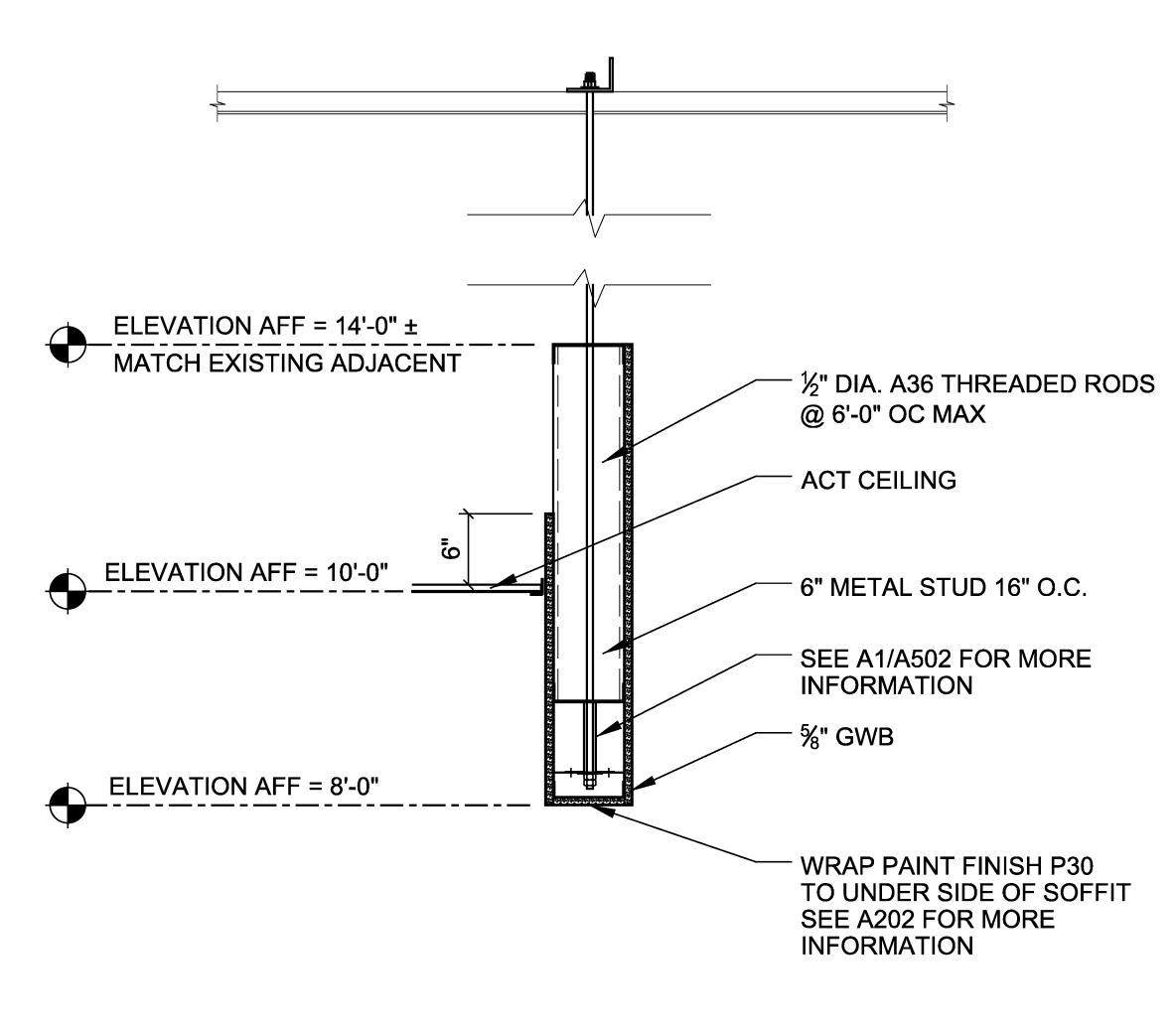
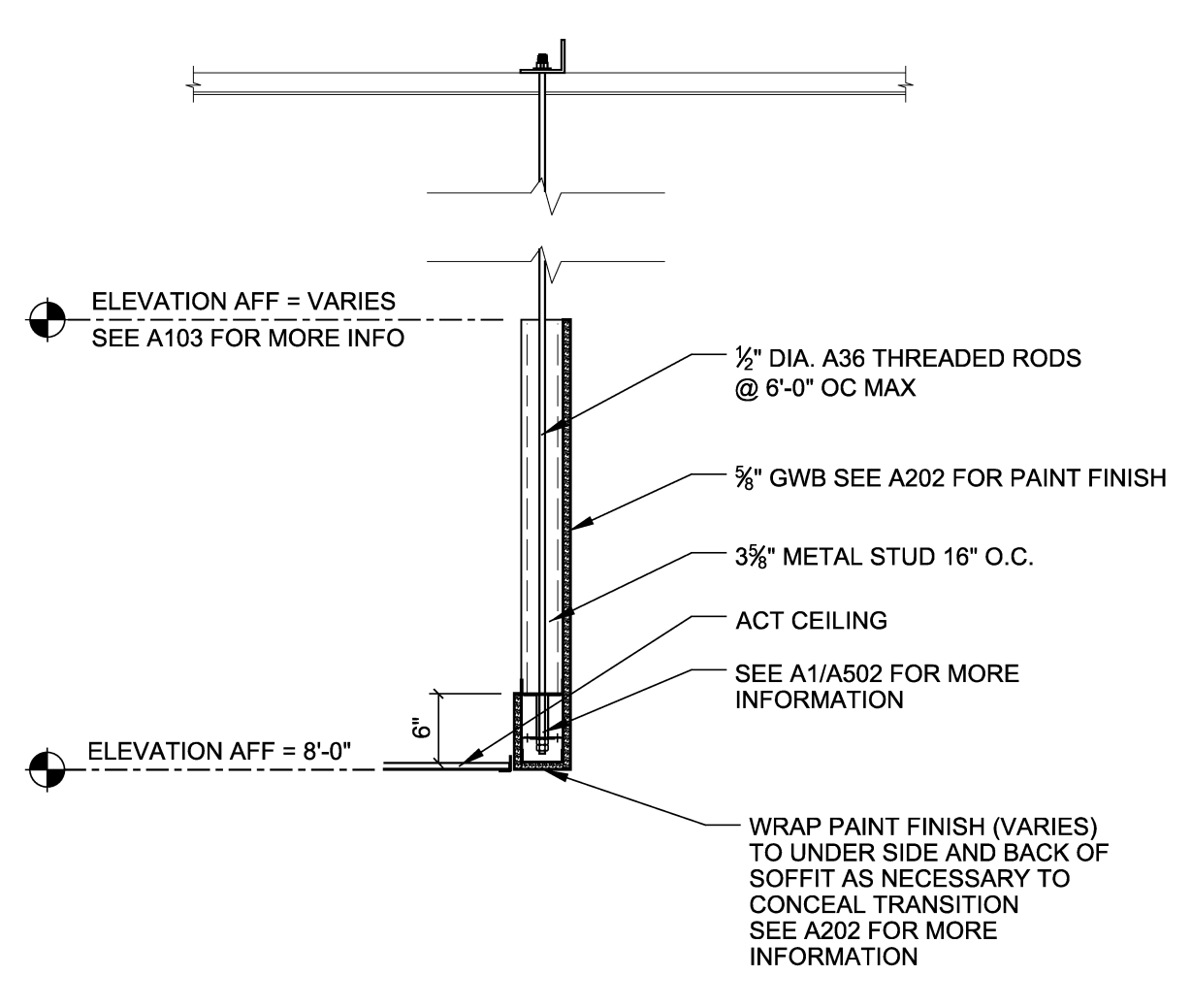
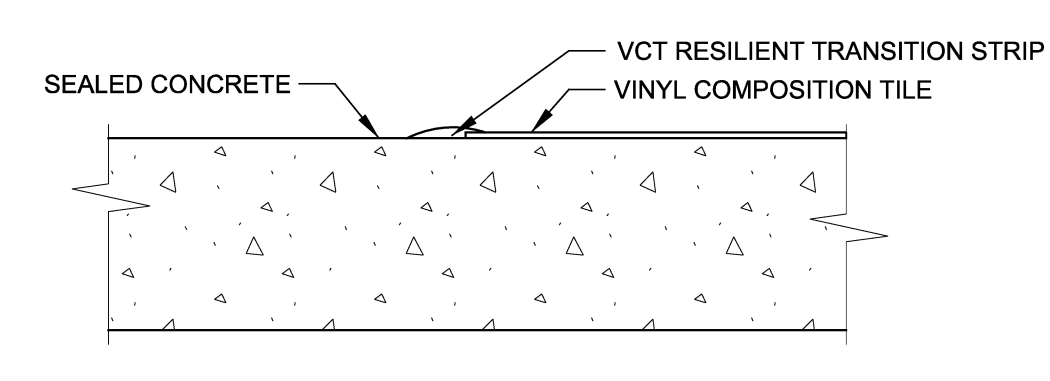
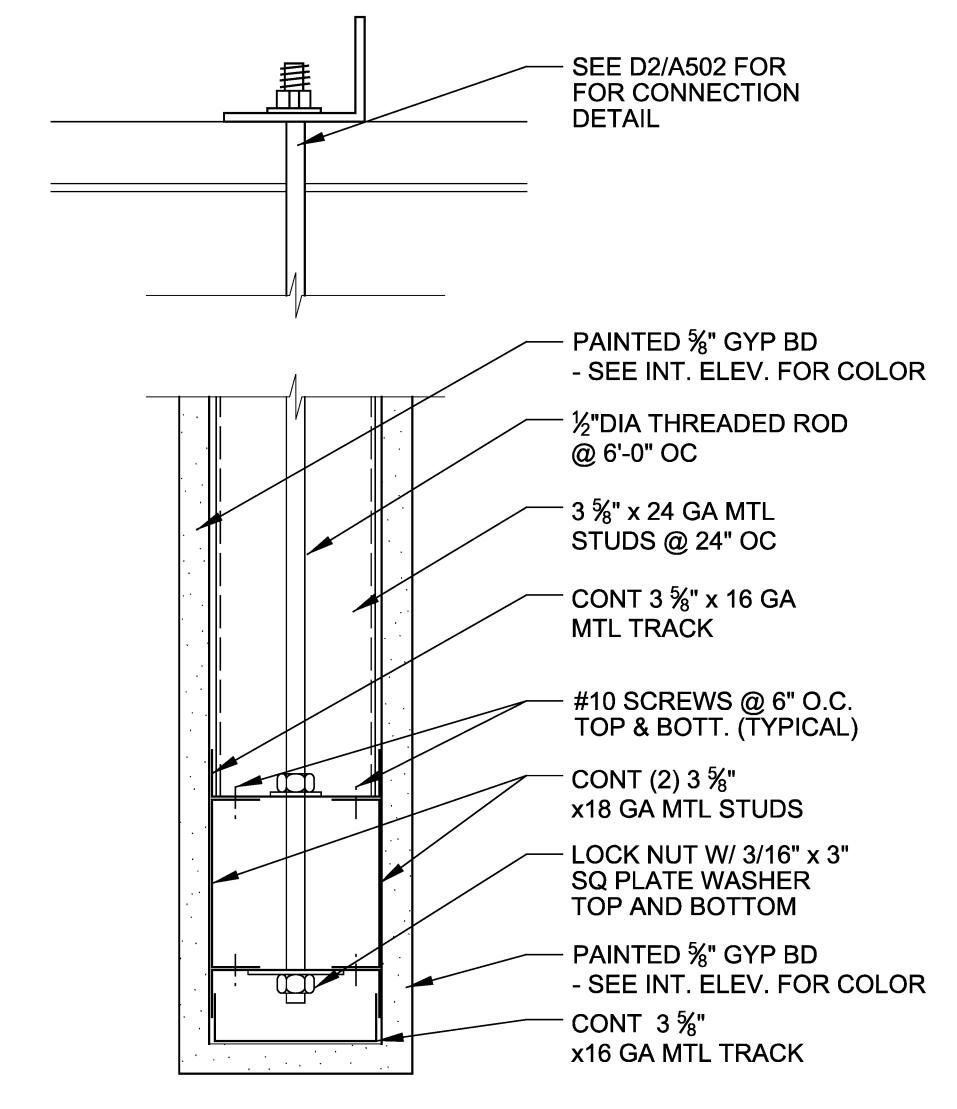
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Table with columns: DATE, NUM, ISSUED FOR WORK REVIEW, ISSUED FOR CONSTRUCTION, ISSUED PER G.C. CONTRACT. Includes dates and counts for each stage.

Table with columns: Scale, Date, Design, Drawn, M.J.R., R.J.B. Includes scale (1/8" = 1'-0") and dates (03-02-18).

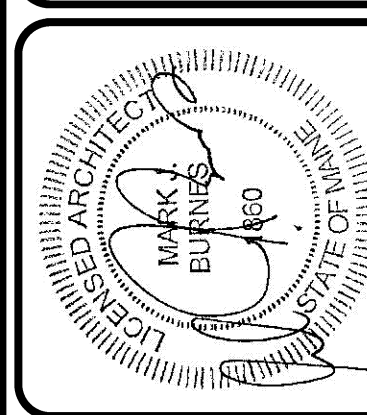
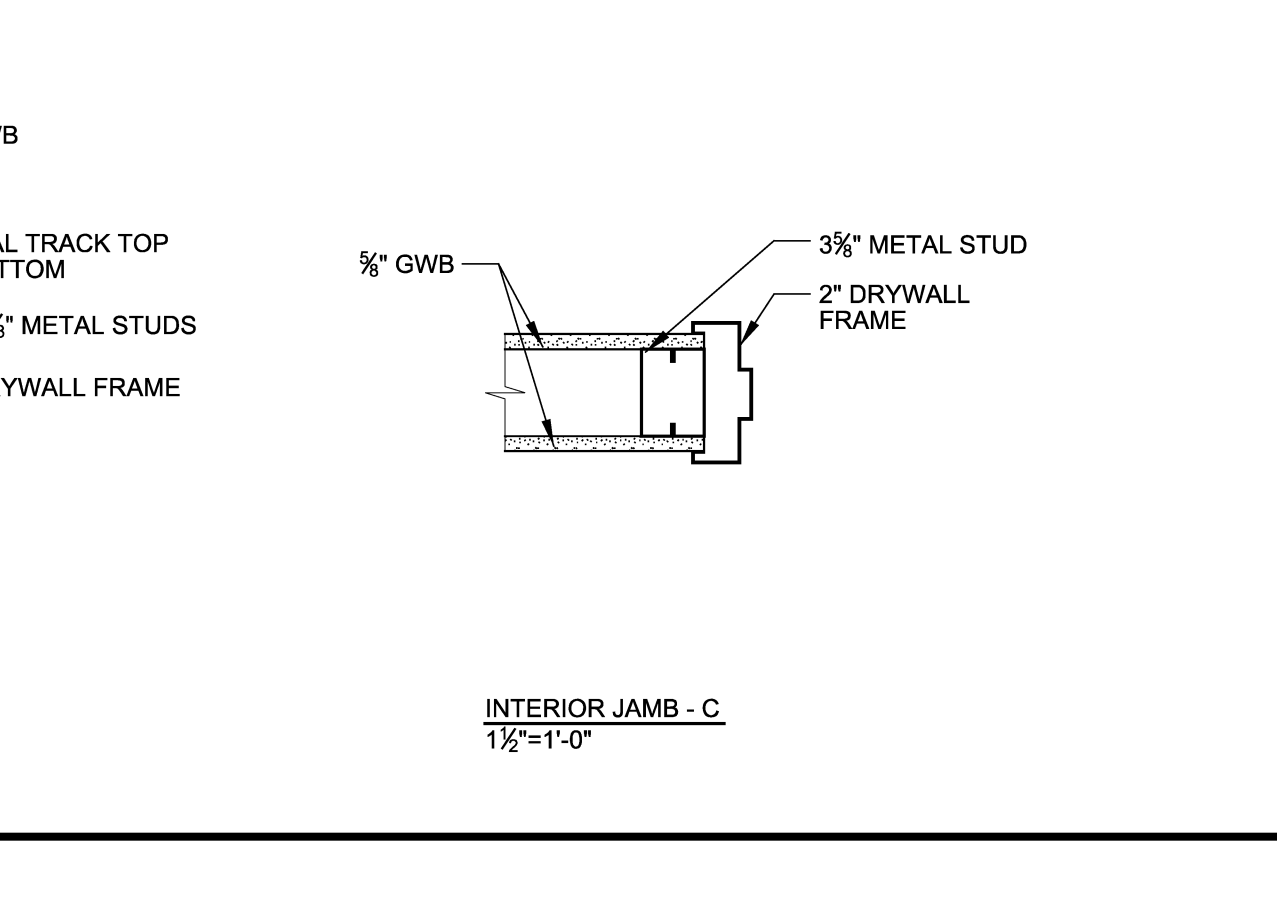
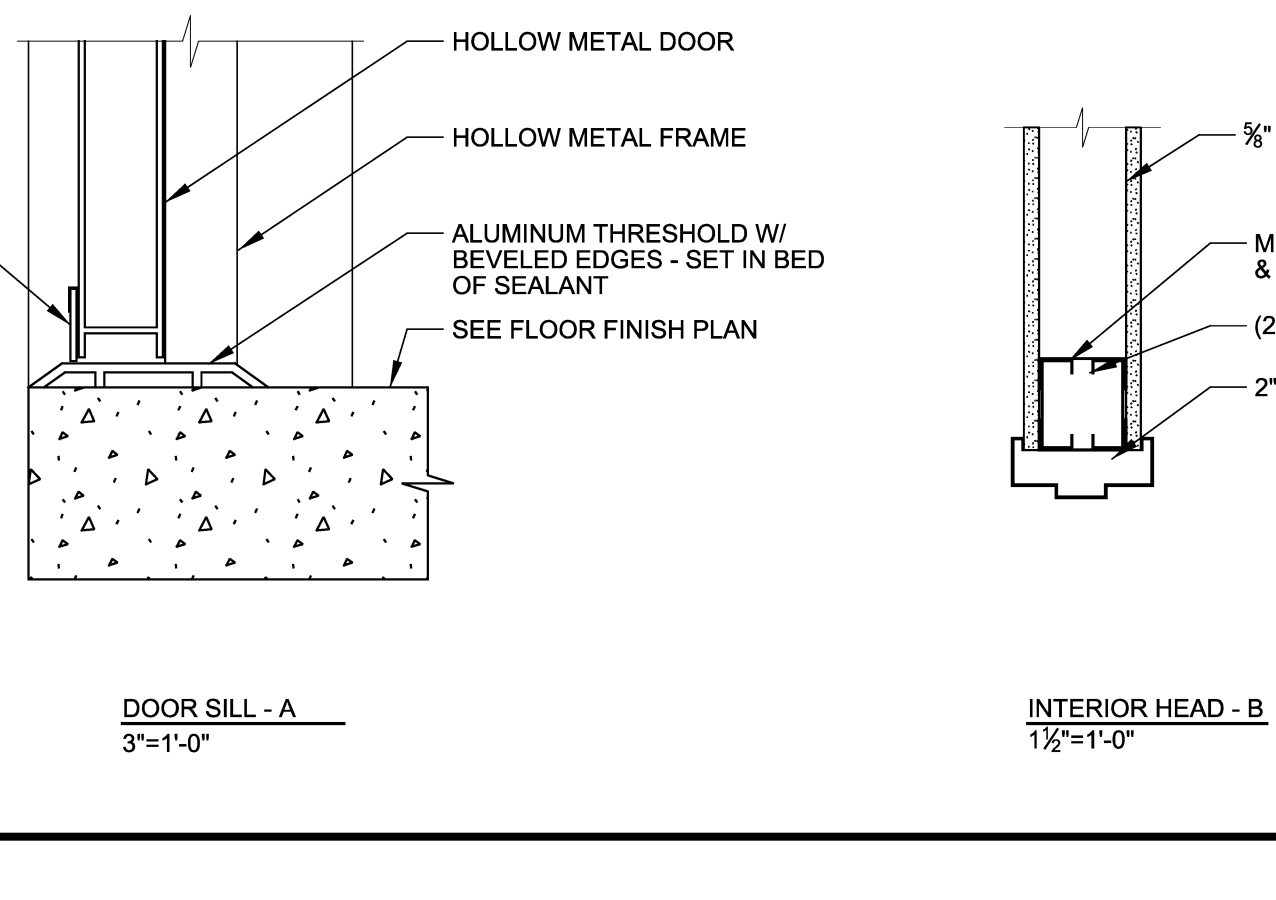
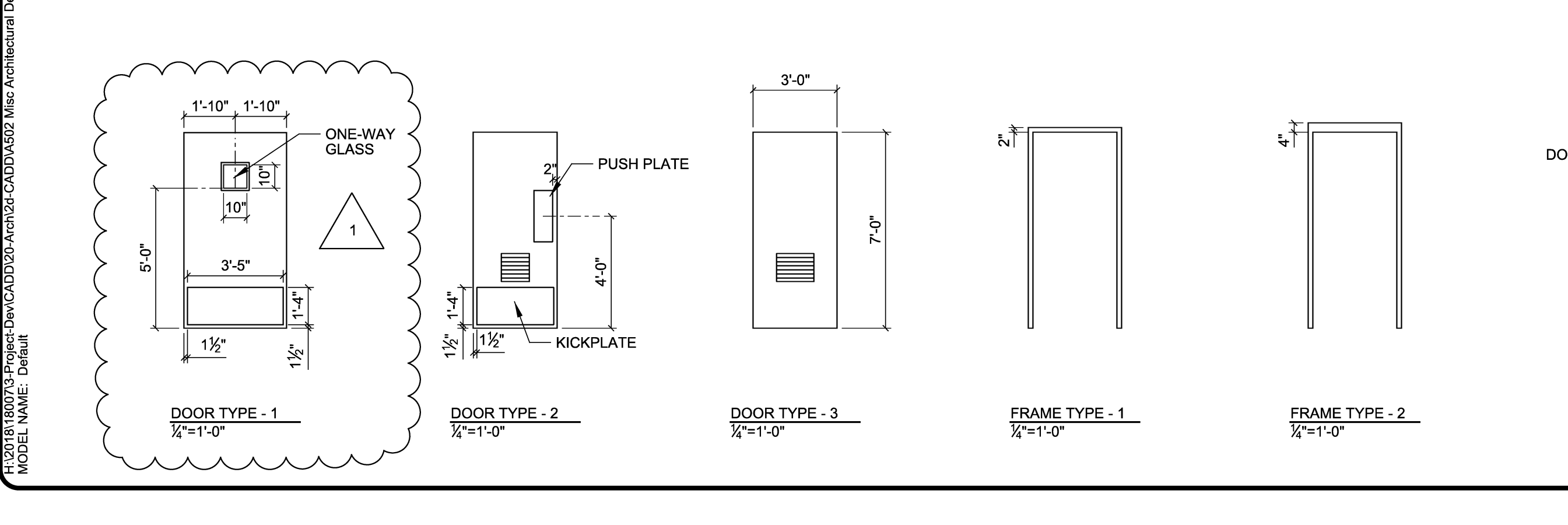
Sheet Title: PARTIAL REFLECTED CEILING PLAN AND SPECIFICATIONS
HANNAFORD SUPERMARKET & PHARMACY
787 RIVERSIDE ST
PORTLAND, MAINE 04103

Sheet No. A103
Store No. 8354



DOOR AND FRAME SCHEDULE											
DR NO	ROOM NAME	SIZE	DOOR				FRAME				REMARKS
			MAT	TYPE	LOUVER	MAT	TYPE	HEAD	JAMB	SILL	
1	HANNAFORD TO GO	3'-0\"/>									
2	TURN AROUND OFFICE	3'-0\"/>									
3	ASSOCIATE LOUNGE	3'-0\"/>									
4	BOTTLE RETURN	3'-0\"/>									

GENERAL NOTES:
A SEE SPECIFICATIONS ON DRAWING A801 FOR HDWR SET # AND ADDITIONAL INFORMATION



NO	REVISIONS	DATE	BY
0	ISSUED FOR WORK REVIEW	02-28-18	NUM
0	ISSUED FOR CONSTRUCTION	02-02-18	NUM
1	ISSUED PER CADCUT	02-21-18	NUM

NO	REVISIONS	DATE	BY
0	ISSUED FOR WORK REVIEW	02-28-18	NUM
0	ISSUED FOR CONSTRUCTION	02-02-18	NUM
1	ISSUED PER CADCUT	02-21-18	NUM

Sheet Title: MISC. ARCHITECTURAL DETAILS, SECTIONS, DOOR SCHEDULE AND SPECIFICATIONS
Scale: AS NOTED
Date: 03-02-18
Design: [Signature]
Drawn: [Signature]
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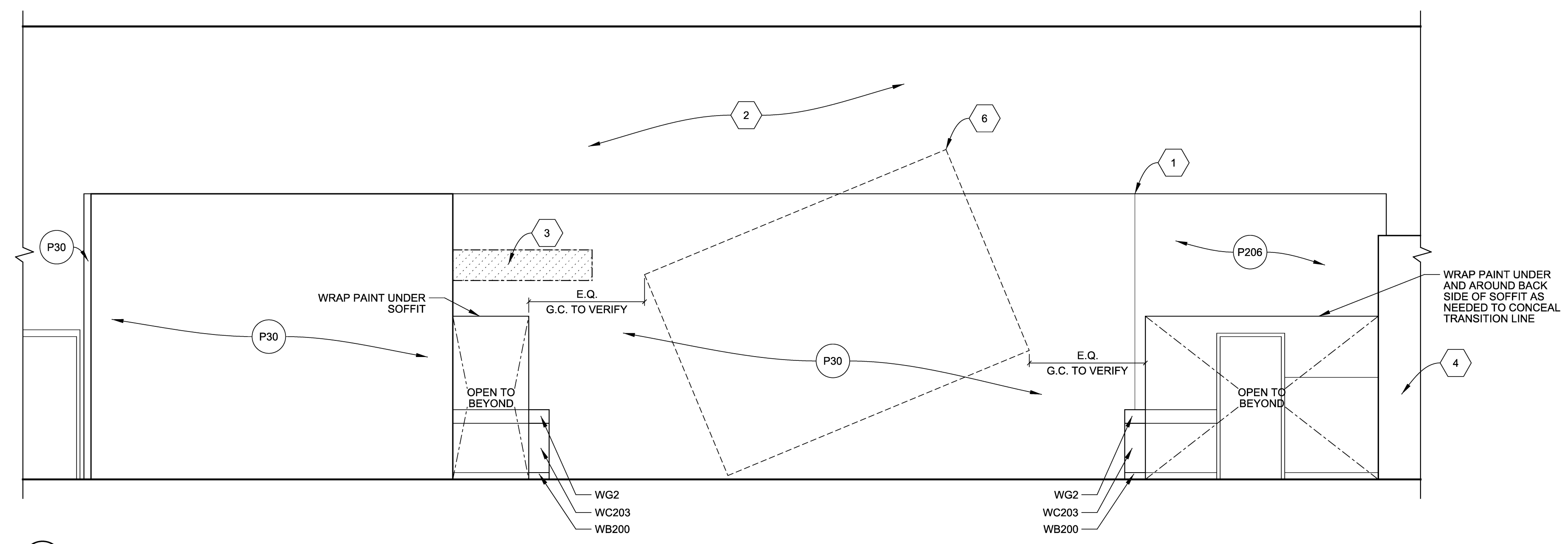
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787 RIVERSIDE ST
PORTLAND, MAINE 04103



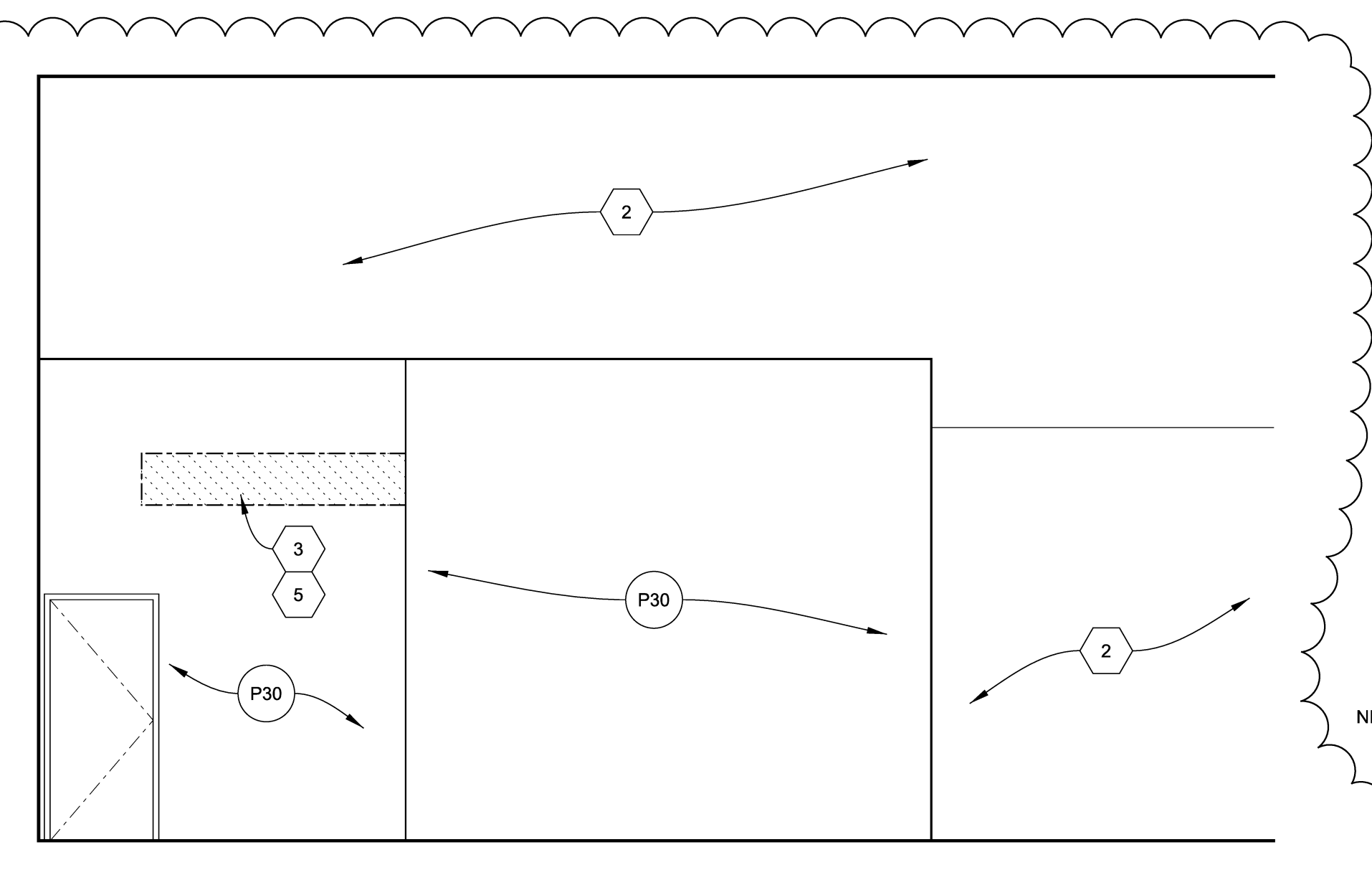
MATERIAL FINISH SCHEDULE			
PAINT	TAG	MANUFACTURE'S COLOR AND NUMBER	REMARKS
	P30	P&L 9-4 PUMPKIN CHIFFON	G.C. TO FIELD VERIFY COLOR OF EXISTING WALL
	P35	P&L 1283 LOVEBIRD	G.C. TO FIELD VERIFY COLOR OF EXISTING WALL
	P81	SW 6144 BAGEL	GENERAL SALES, FRONT END
	P87	SW 6374 TORCHLIGHT	G.C. TO FIELD VERIFY COLOR OF EXISTING WALL
	P92	SW 6095 TOASTY	HANNAFORD TO GO
	P201	SW 6379 JERSEY CREAM	GENERAL
	P203	SW 6667 AFTERGLOW	EMPLOYEE BREAKROOM (ACCENT)
	P206	SW 6180 OAK MOSS	HANNAFORD TO GO WALL COLOR IN SALES AREA
WALL FINISHES			
	WC13	JUTE LINEN	G.C. TO FIELD VERIFY COLOR OF EXISTING ADJACENT FINISH - VESTIBULE
	WC203	CRANE COMPOSITES #966- ALMOND BREEZE - VARIETEX	FRP GENERAL - PROVIDE MATCHING ACCESSORIES MOULDINGS
	WB200	ARMSTRONG 60: COLOR JET BLACK	4" VINYL BASE
	WG2	BLACK	8" WALL GUARD
	VB1	ARMSTRONG 76: DEEP BROWN - VINYL BASE	G.C. TO FIELD VERIFY COLOR OF EXISTING ADJACENT FINISH - VESTIBULE
	FRP2	KALWALL CORP. -.090" IVORY KAL-LITE	G.C. TO FIELD VERIFY COLOR OF EXISTING ADJACENT FINISH - VESTIBULE
		8" WALL GUARD - BLACK - SEE SPEC - GENERAL	G.C. TO FIELD VERIFY COLOR OF EXISTING ADJACENT FINISH - VESTIBULE

- KEY NOTES:** REPRESENTED BY THIS SYMBOL (N)
- PAINT TRANSITION LINE
 - EXISTING WALL BEYOND - NO WORK
 - PATCH AND REPLACE GYPSUM WALL BOARD AS NEEDED AT AREA OF REMOVED SOFFIT - PREP FOR PAINT FINISH
 - EXISTING WALL FINISH TO REMAIN - NO WORK
 - FINISH TO MATCH EXISTING ADJACENT FINISH - GC TO VERIFY IN FIELD
 - NEW CORNUCOPIA DECOR TO BE CENTERED ON WALL - GC TO VERIFY IN FIELD
 - EXISTING WALL GUARD FRP AND WALL BASE TO REMAIN
 - REMOVE EXISTING TICKER TAPE IN FULL WORD INCREMENTS AS NEEDED TO PERFORM WORK - G.C. TO VERIFY IN FIELD
 - 8" WALL GAIRD TO MATCH EXISTING ADJACENT WALL GUARD - SEE FINISH SCHEDULE FOR MORE INFORMATION - G.C. TO VERIFY IN FIELD
 - 4" VINYL WALL BASE TO MATCH EXISTING ADJACENT WALL BASE - SEE FINISH SCHEDULE FOR MORE INFORMATION - G.C. TO VERIFY IN FIELD

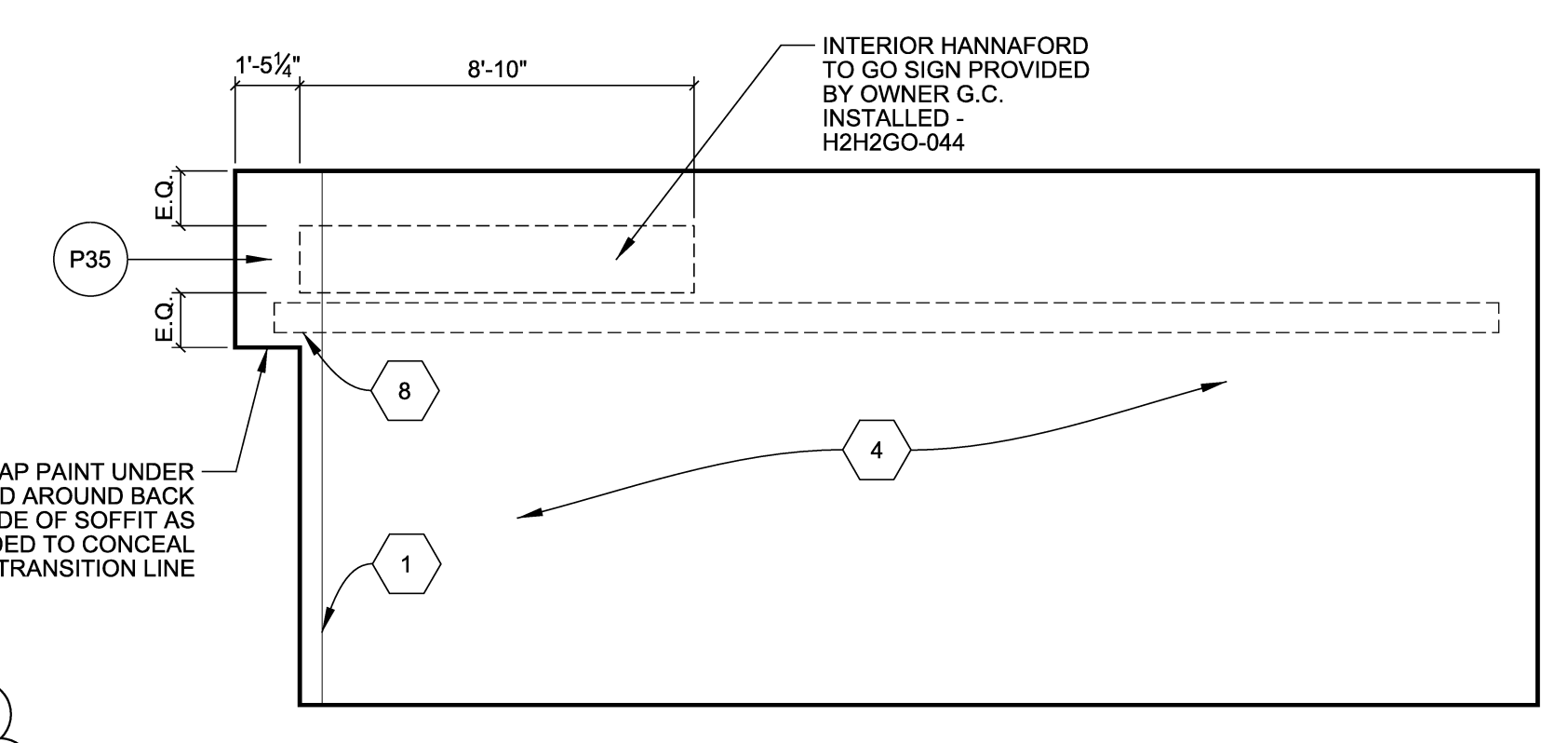
- GENERAL NOTES:**
- G.C. TO FIELD VERIFY ALL EXISTING PAINT AND FINISHES AS REQUIRED TO PERFORM WORK.



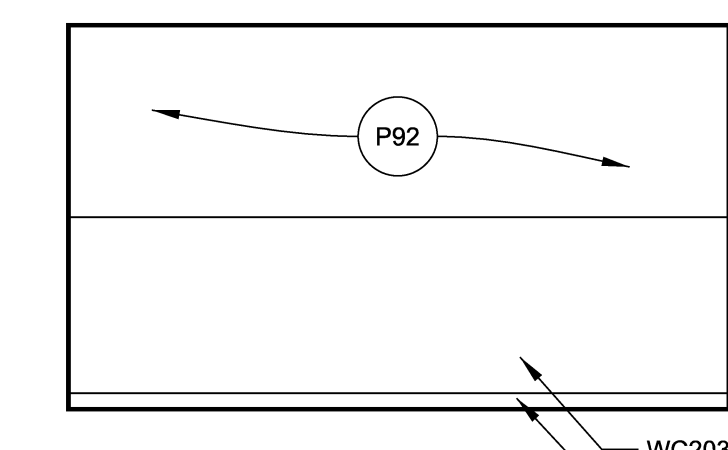
A HANNAFORD TO GO / ASSOCIATES LOUNGE
1/2" = 1'-0"



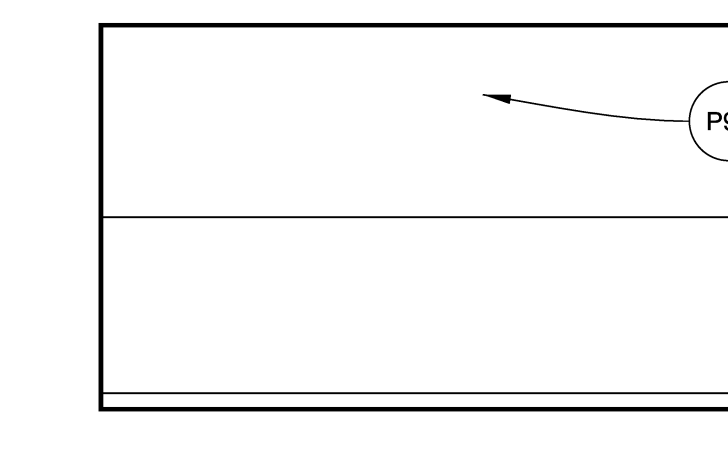
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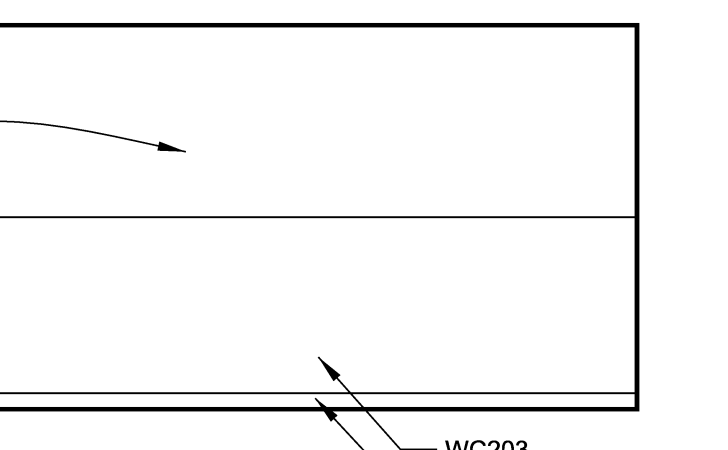
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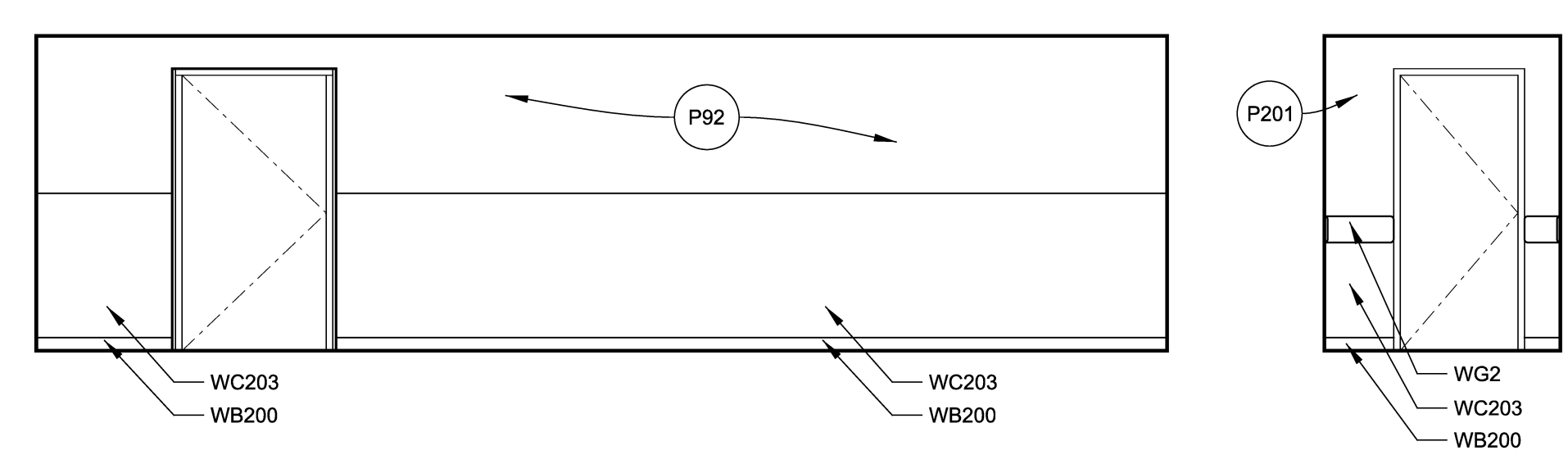
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1/2" = 1'-0"



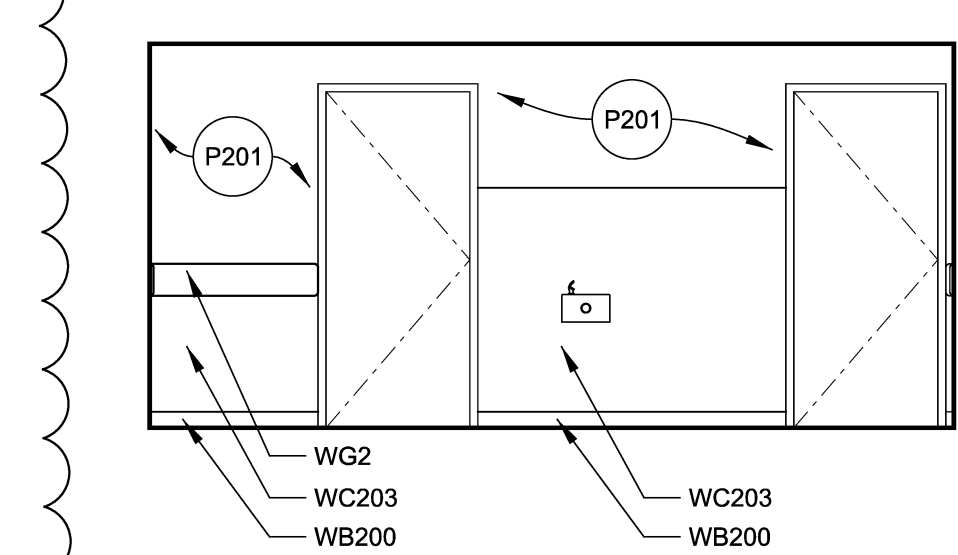
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1/2" = 1'-0"



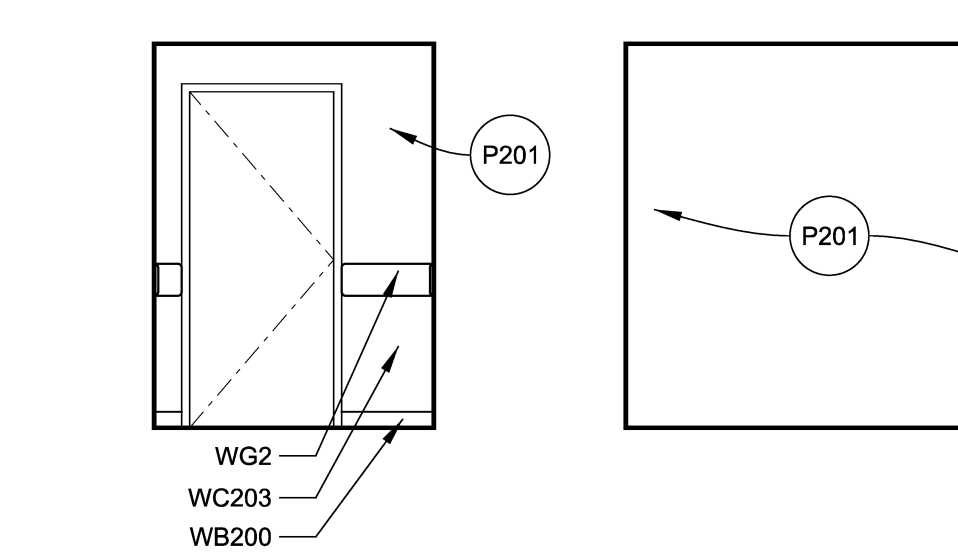
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1/2" = 1'-0"



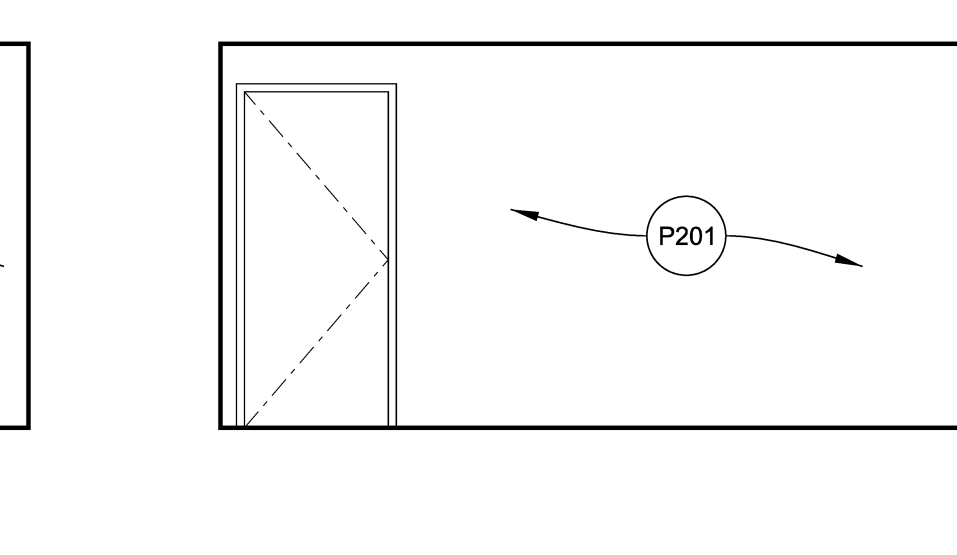
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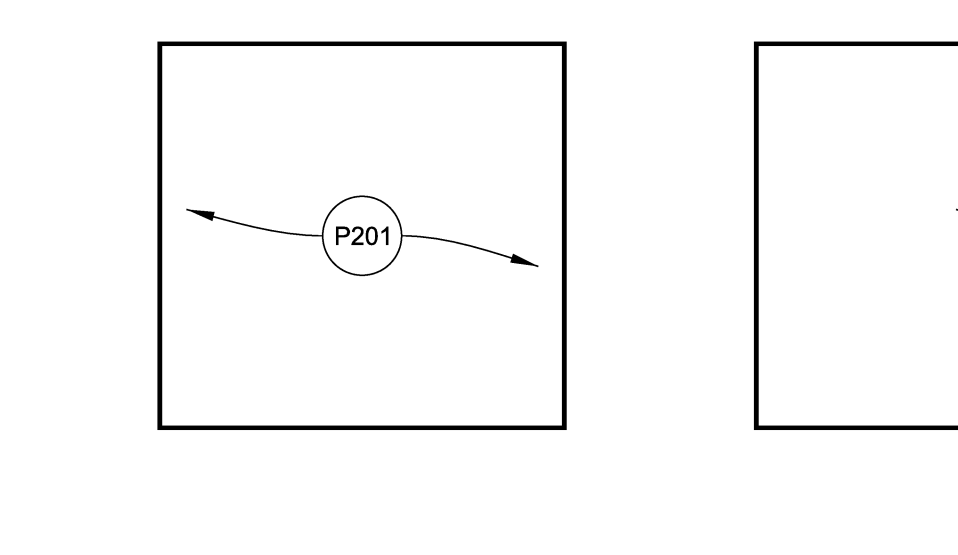
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1/2" = 1'-0"



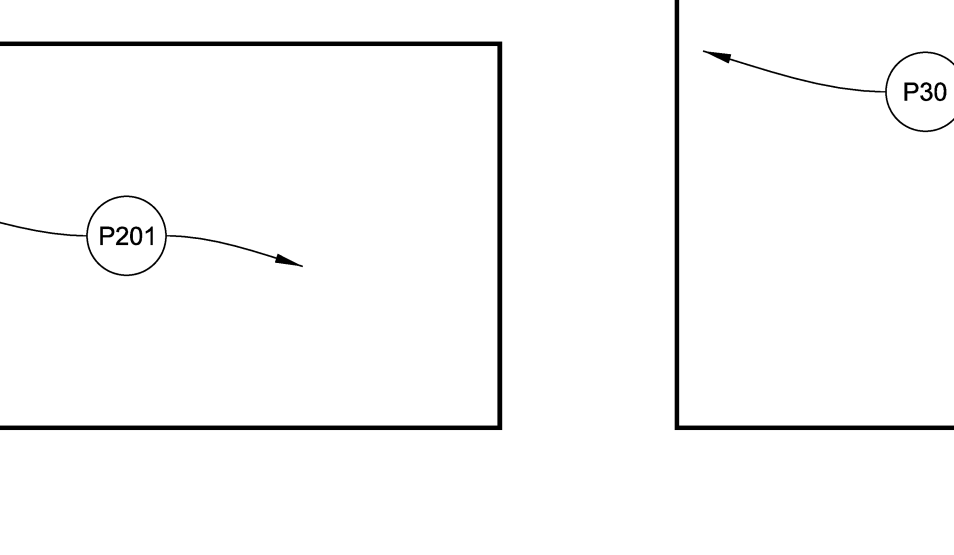
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1/2" = 1'-0"



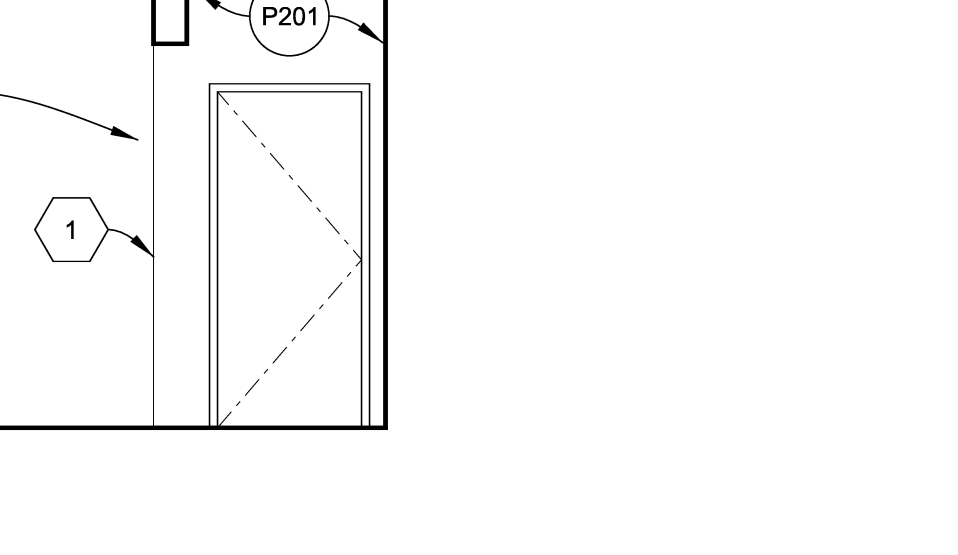
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1/2" = 1'-0"



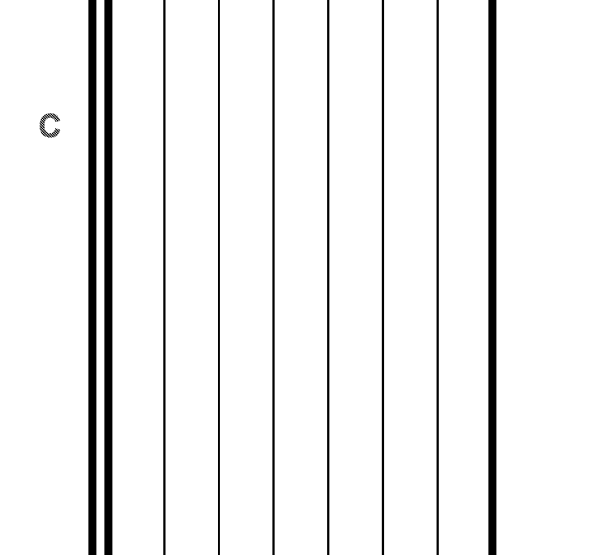
K TURN-AROUND OFFICE
1/2" = 1'-0"



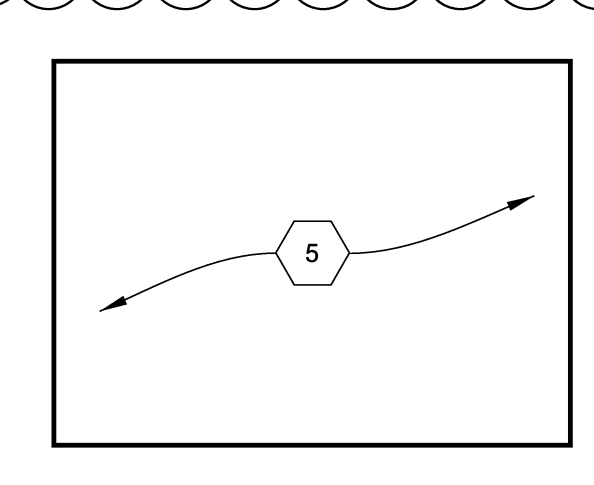
L TURN-AROUND OFFICE
1/2" = 1'-0"



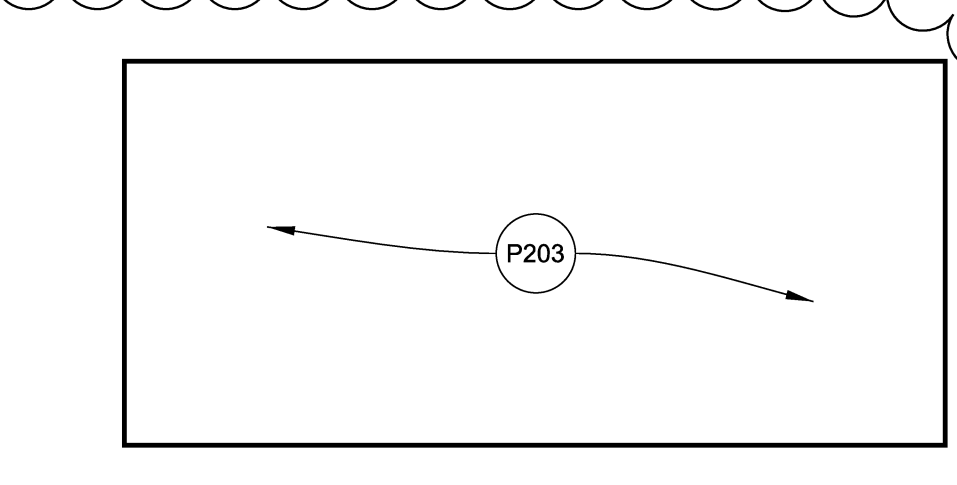
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1/2" = 1'-0"



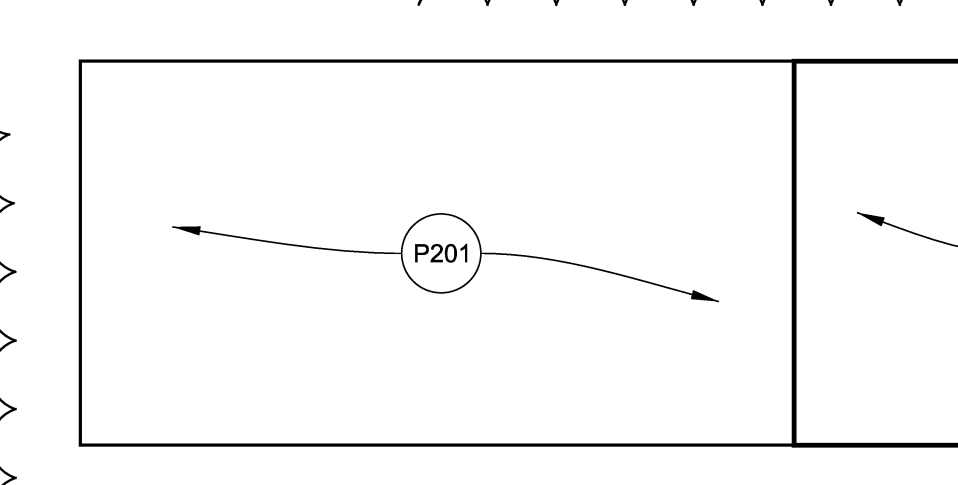
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1/2" = 1'-0"



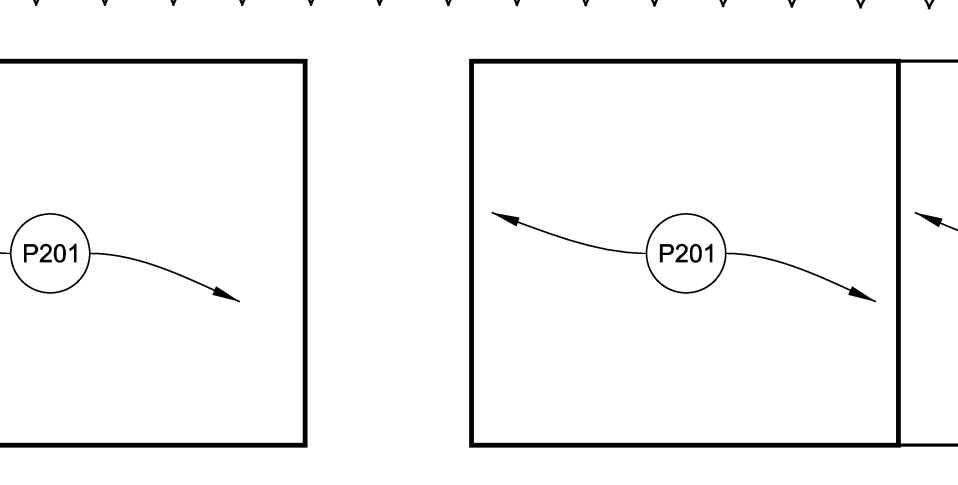
O C.S. MGR OFFICE
1/2" = 1'-0"



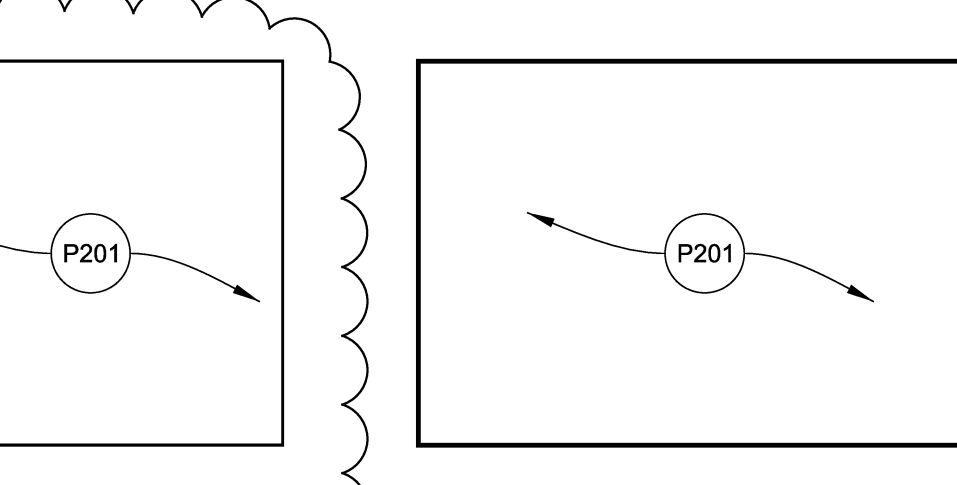
P ASSOCIATES LOUNGE
1/2" = 1'-0"



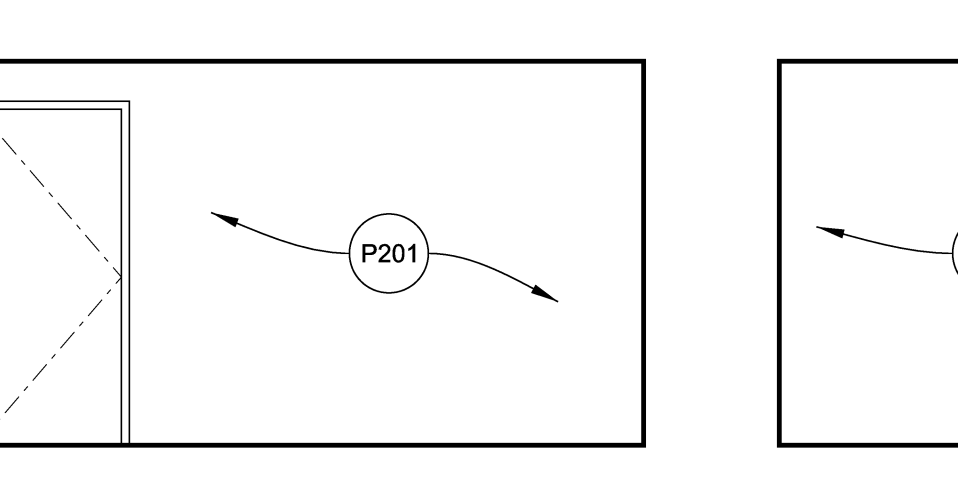
Q ASSOCIATES LOUNGE
1/2" = 1'-0"



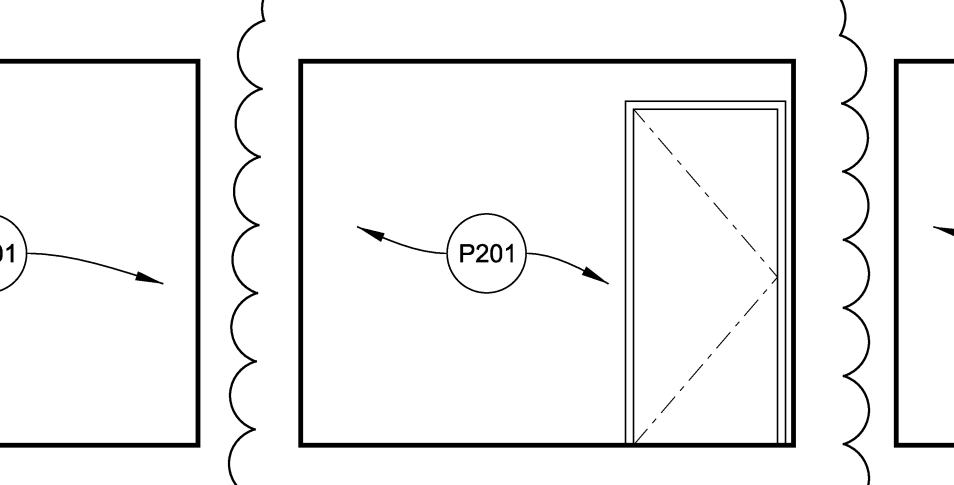
R ASSOCIATES LOUNGE
1/2" = 1'-0"



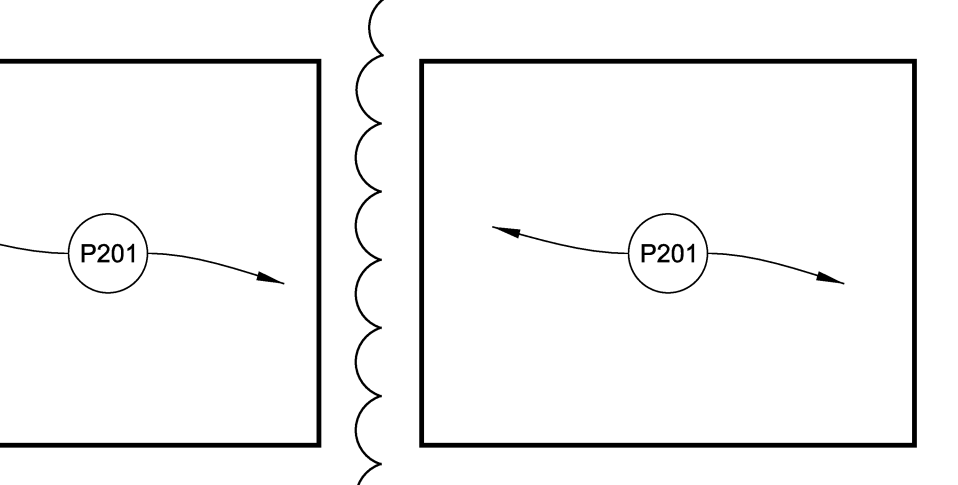
S ASSOCIATES LOUNGE
1/2" = 1'-0"



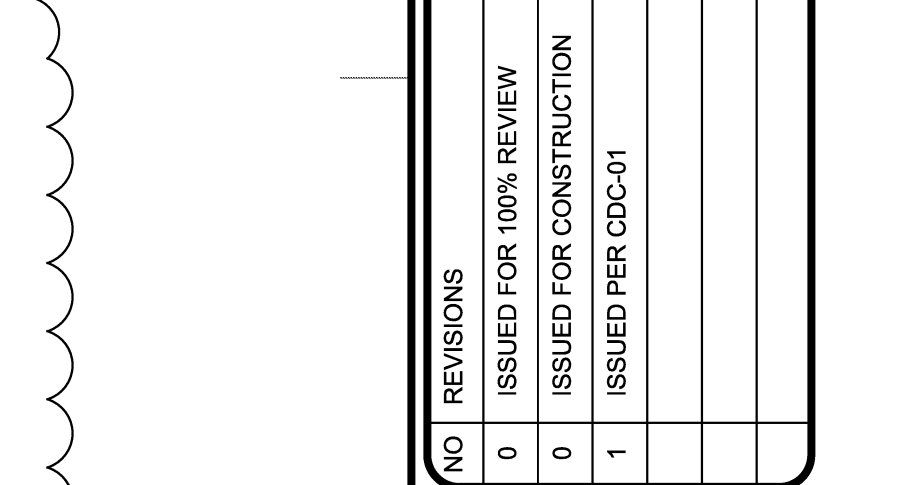
T ASSOCIATES LOUNGE
1/2" = 1'-0"



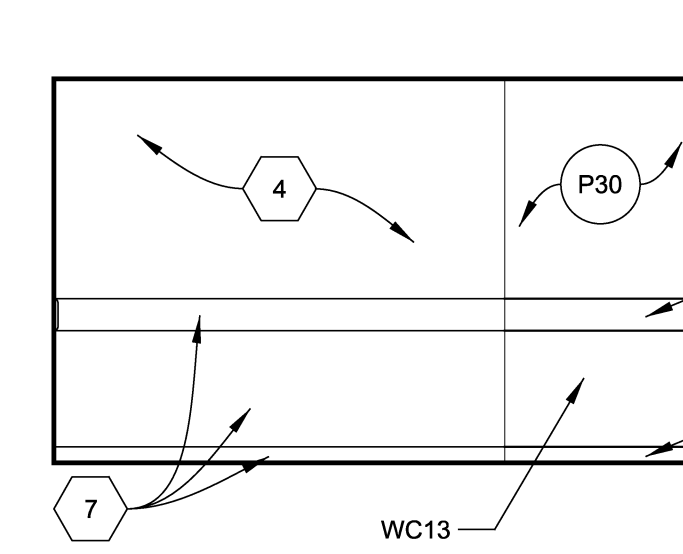
U CASH ROOM
1/2" = 1'-0"



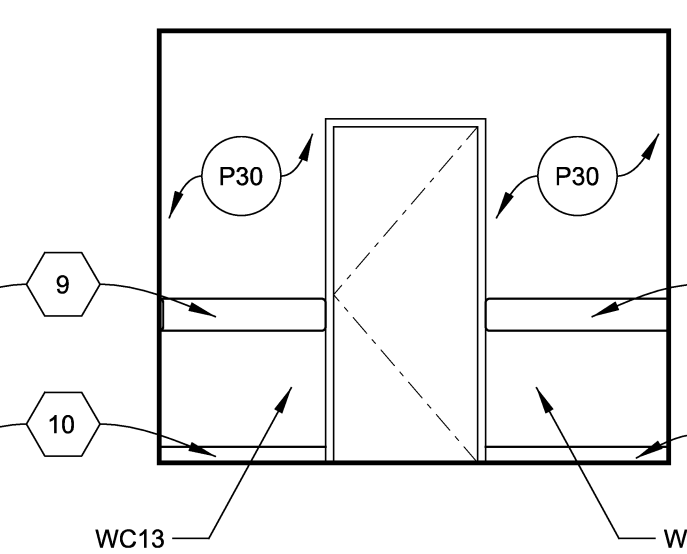
V CASH ROOM
1/2" = 1'-0"



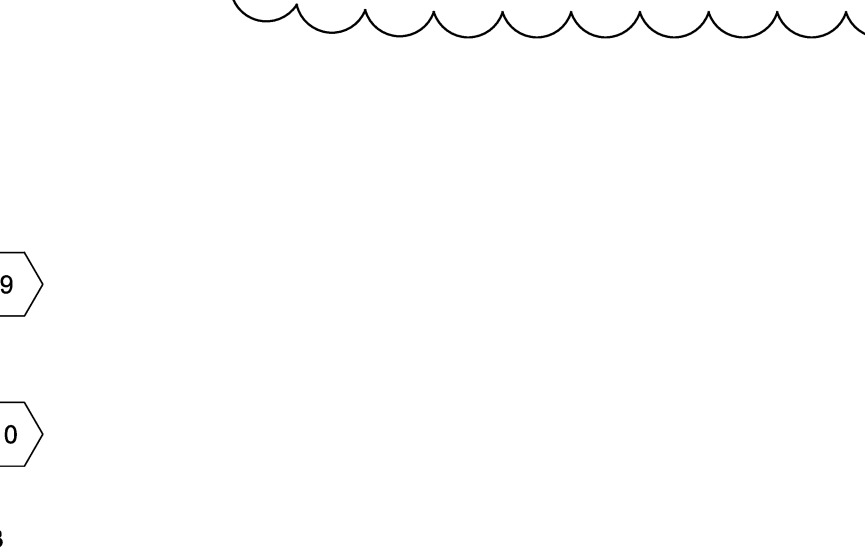
W CASH ROOM
1/2" = 1'-0"



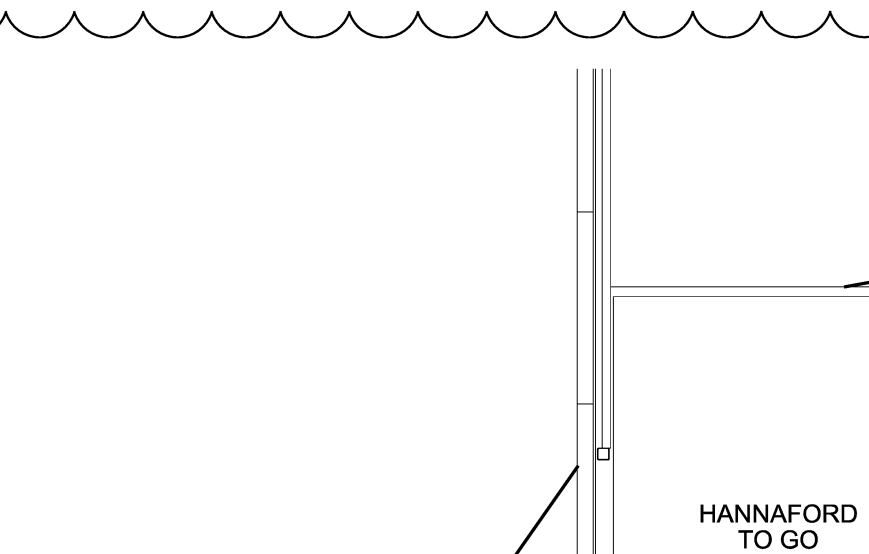
Y VESTIBULE
1/2" = 1'-0"



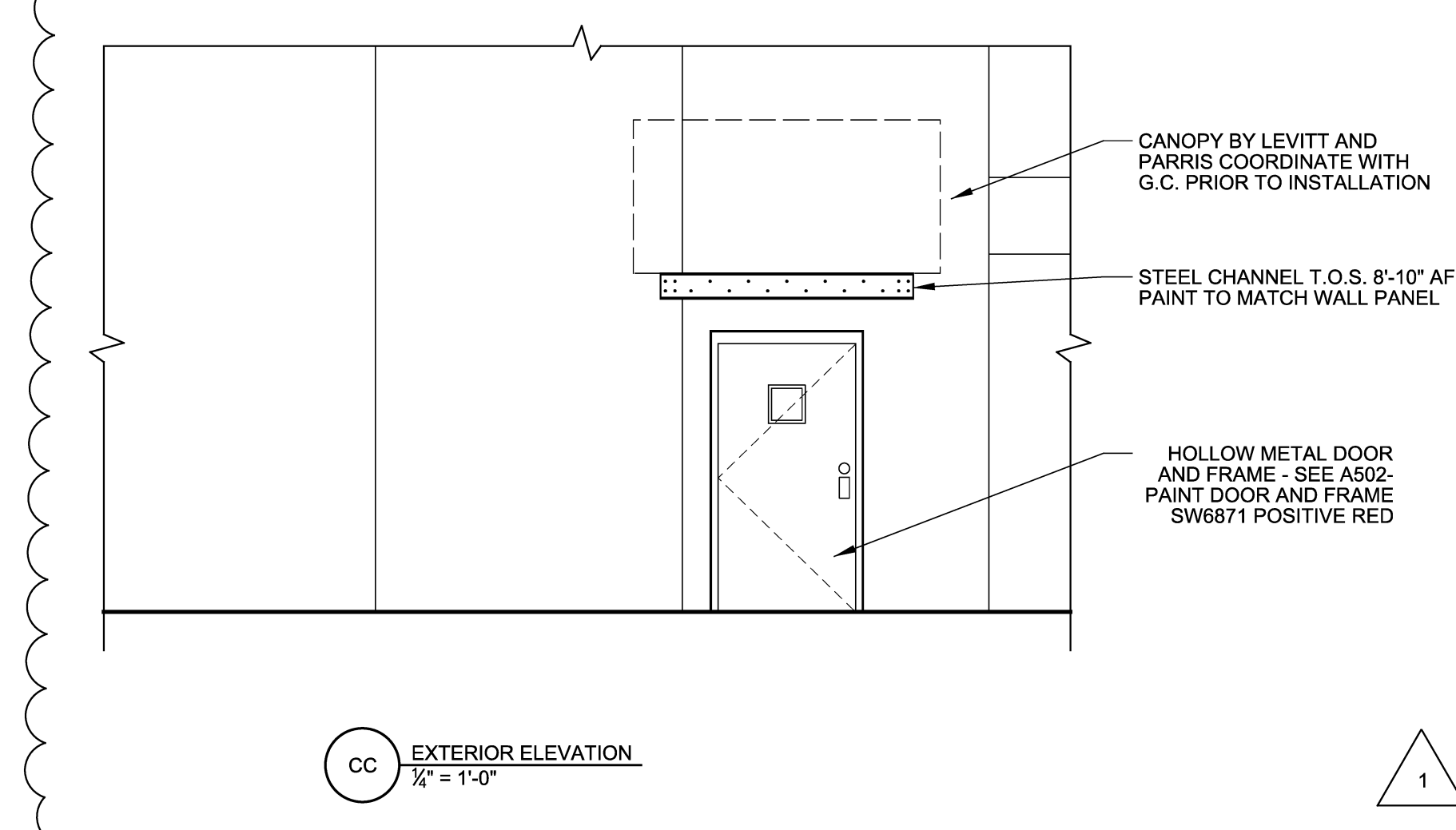
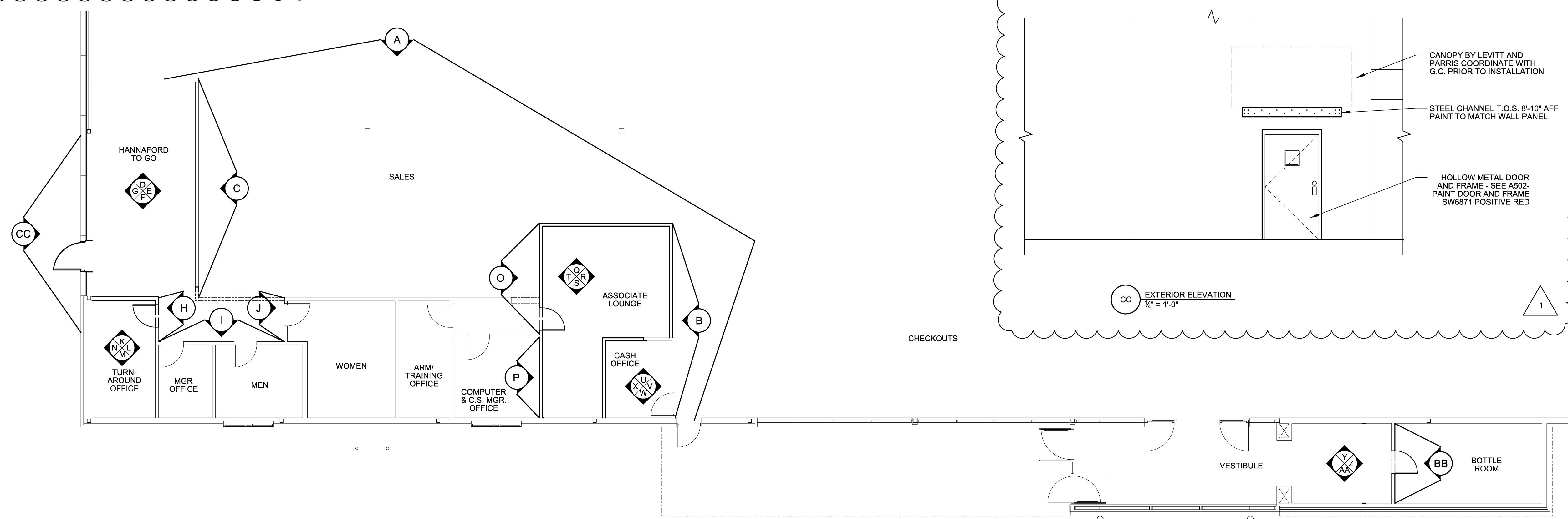
Z VESTIBULE
1/2" = 1'-0"



AA VESTIBULE
1/2" = 1'-0"



BB BOTTLE ROOM
1/2" = 1'-0"



CC EXTERIOR ELEVATION
1/2" = 1'-0"

NO.	REVISIONS	DATE	BY
0	ISSUED FOR WORK REVIEW	02-26-18	NUM
0	ISSUED FOR CONSTRUCTION	03-02-18	NUM
1	ISSUED PER CDDOT	03-21-18	NUM

Sheet Title: INTERIOR ELEVATIONS AND FINISH SCHEDULE
Scale: 1/4" = 1'-0" Design: 03-02-18 Drawn: RJB
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