



Administrative Authorization Application

Portland, Maine

Planning and Urban Development Department, Planning Division

PROJECT NAME: RIVERTON PARK HOUSING 2013-095
 PROJECT ADDRESS: 2 RIVERTON DRIVE CHART/BLOCK/LOT: 3 27 B012
 APPLICATION FEE: 50 (\$50.00)
 PROJECT DESCRIPTION: (Please Attach Sketch/Plan of the Proposal/Development)
12' X 12' SALT SHED

CONTACT INFORMATION:

OWNER/APPLICANT PORTLAND HOUSING AUTHORITY
 Name: HOUSING AUTHORITY
 Address: 14 BAXTER BOULEVARD
PORTLAND, ME 04101
 Work #: 207.773.4753
 Cell #: -
 Fax #: -
 Home #: -
 E-mail: -

CONSULTANT/AGENT STEPHEN M THOMAS
 Name: GTA2 ARCHITECTS
 Address: 44 OAK ST
PORTLAND, ME 04101
 Work #: 207.771.5461
 Cell #: -
 Fax #: -
 Home #: -
 E-mail: STEPHEN@GTA2.COM

Criteria for an Administrative Authorization:
 (see section 14-523(4) on pg .2 of this appl.)

Applicant's Assessment
 Y(yes), N(no), N/A

- | | |
|---|------------|
| a) Is the proposal within existing structures? | <u>N</u> |
| b) Are there any new buildings, additions, or demolitions? | <u>Y</u> |
| c) Is the footprint increase less than 500 sq. ft.? | <u>Y</u> |
| d) Are there any new curb cuts, driveways or parking areas? | <u>N</u> |
| e) Are the curbs and sidewalks in sound condition? | <u>N/A</u> |
| f) Do the curbs and sidewalks comply with ADA? | <u>N/A</u> |
| g) Is there any additional parking? | <u>N</u> |
| h) Is there an increase in traffic? | <u>N</u> |
| i) Are there any known stormwater problems? | <u>N</u> |
| j) Does sufficient property screening exist? | <u>Y</u> |
| k) Are there adequate utilities? | <u>N/A</u> |
| l) Are there any zoning violations? | <u>N</u> |
| m) Is an emergency generator located to minimize noise? | <u>N/A</u> |
| n) Are there any noise, vibration, glare, fumes or other impacts? | <u>N</u> |

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Signature of Applicant: S. THOMAS Date: 4.17.13

IMPORTANT NOTICE TO APPLICANT: The granting of an Administrative Authorization to exempt a development from site plan review does not exempt this proposal from other required approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (207)874-8703, to determine what other City permits, such as a building permit, will be required.

Administrative Authorization Decision

Application #: 2013-095
Name: Riverton Park Salt Shed
Address: RIVERTON DR
Description: 12' x 12' Salt Shed

<u>Criteria for an Administrative Authorization:</u> <u>(See Section 14-523 (4) on page 2 of this application)</u>	<u>Applicant's Assessment</u> <u>Yes, No, N/A</u>		<u>Planning Division</u> <u>Use Only</u>
a) Is the proposal within existing structures?	No	No	
b) Are there any new buildings, additions, or demolitions?	Yes	Yes	
c) Is the footprint increase less than 500 sq. ft.?	Yes	Yes	
d) Are there any new curb cuts, driveways or parking areas?	No	No	
e) Are the curbs and sidewalks in sound condition?	N/A	N/A	
f) Do the curbs and sidewalks comply with ADA?	N/A	N/A	
g) Is there any additional parking?	No	No	
h) Is there an increase in traffic?	No	No	
i) Are there any known stormwater problems?	No	No- Public Services has provided review and information regarding the watershed	
j) Does sufficient property screening exist?	Yes	Yes	
k) Are there adequate utilities?	N/A	N/A	
l) Are there any zoning violations?	No	No	
m) Is an emergency generator located to minimize noise?	N/A	N/A	
n) Are there any noise, vibration, glare, fumes or other impacts?	No	No	

The Administrative Authorization for the Riverton Park Salt Shed was approved by Barbara Barhydt, Development Review Services Manager on with the following condition of approval listed below:

- 1) The Department of Public Services has the following comments in reference to the Sagamore Village & Riverton Park Salt/Sand Sheds.
 1. Place salt storage sheds on a paved pad. The storage pad should be pitch slightly forward the street to prevent any collection of water inside the shed. Care should be taken to avoid drainage from the surrounding area from entering the storage sheds.
 2. Salt shed should be covered and the cover should be maintained to prevent leaks.

The staff shall be trained to follow the Best Management procedures below:

1. Salt shed should not be overfilled so as to expose salt to the elements and where possible the entrance should be protected by doors, flaps or other means to keep out the elements
2. Care should be taken when transferring, loading or otherwise handling salt/sand to avoid spills. All spilled material should be cleaned up immediately and returned to the storage shed using dry methods (i.e.: Sweeping, shoveling, etc.). Do not overfill sanding/salting equipment.
3. Loading, handling and access areas should be kept clean and free of salt/sand and visually

Barbara Barhydt
 Development Review Services Manager
 Approval Date: May 3, 2013

Administrative Authorization Decision

inspected regularly during active operational period. These areas should be included in street sweeping routine.

4. Spring Cleaning: Never hose down or power wash spilled salt/sand from handling or access areas; Clean up materials using dry methods and/or a street sweeper.

We have no further comments.

- 2) The administrative authorizaiton is approved subject to the applicant obtaining all required building permits from Portland's Inspection Division.

A handwritten signature in cursive script that reads "Barbara Barhydt".

Barbara Barhydt
Development Review Services Manager
Approval Date: May 3, 2013

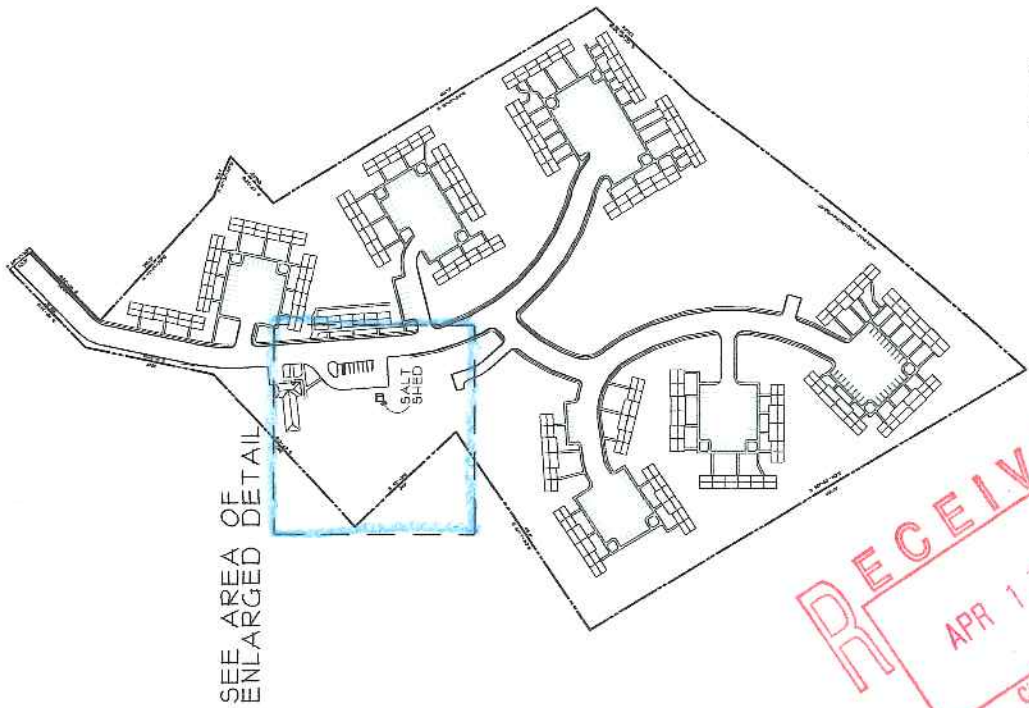
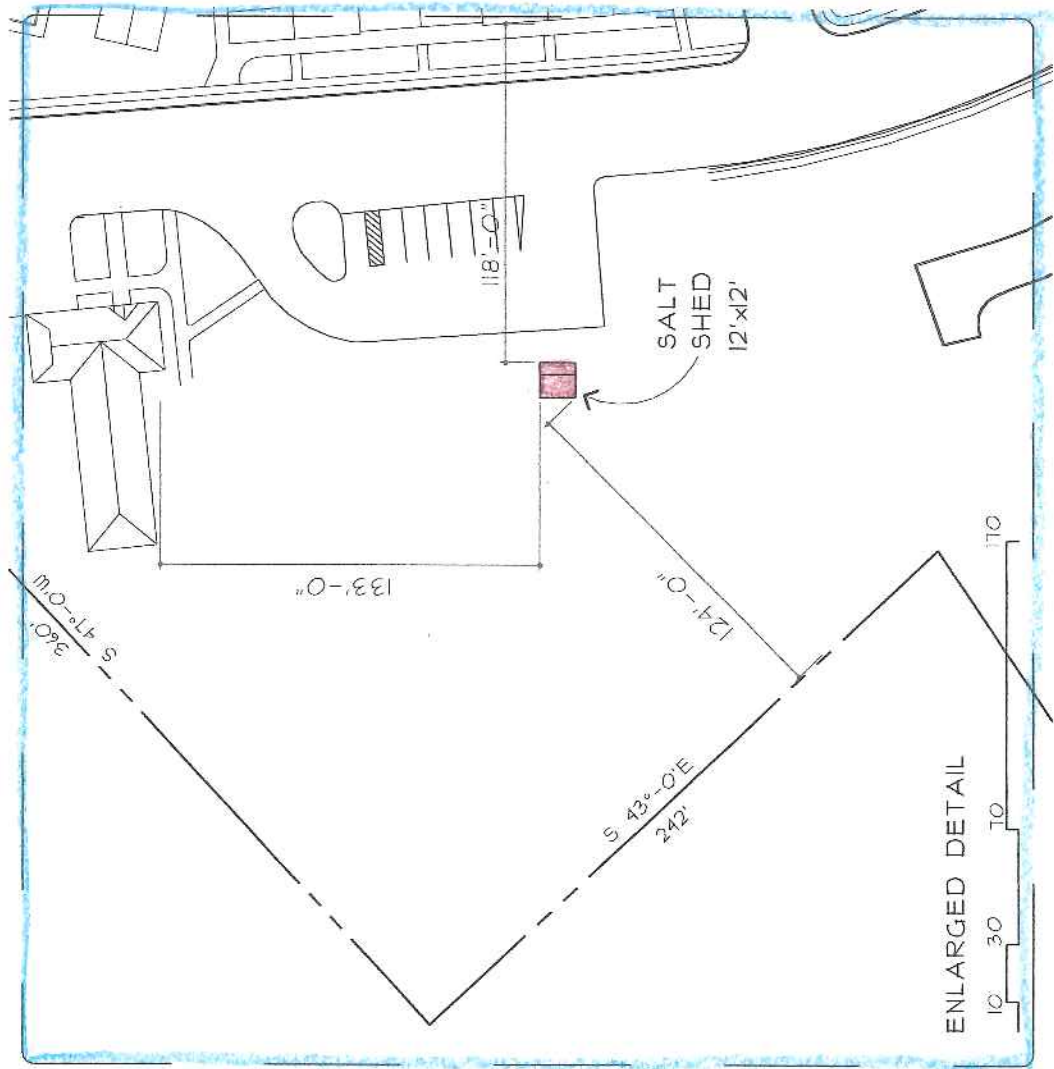
City of Portland
Development Review Application
Planning Division Transmittal Form

In - E-Plan

Application Number: 2013-095 **Application Date:** 04/17/2013
CBL: 327 B012001 **Application Type:** Administrative Authorization
Project Name: Riverton Park Salt Shed
Address: 17- RIVERTON DR
Project Description: 12' x 12' Salt Shed

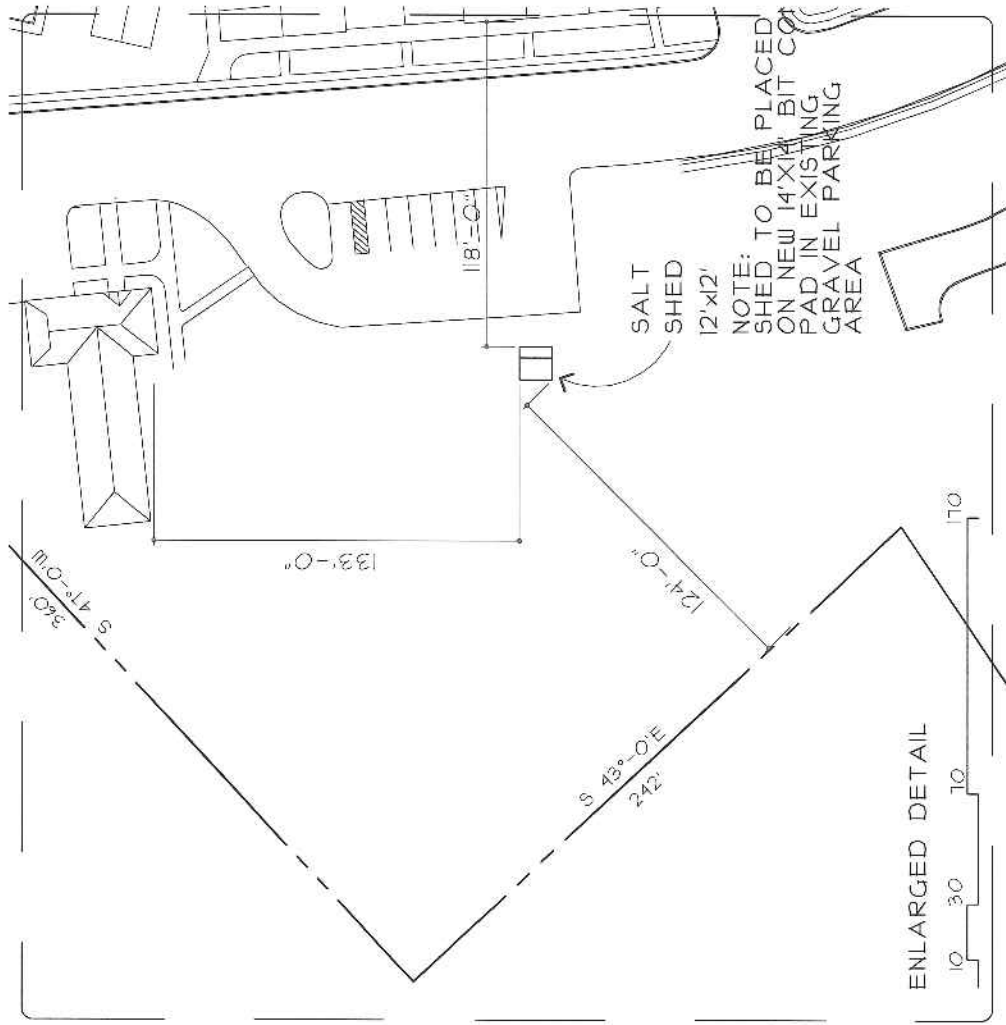
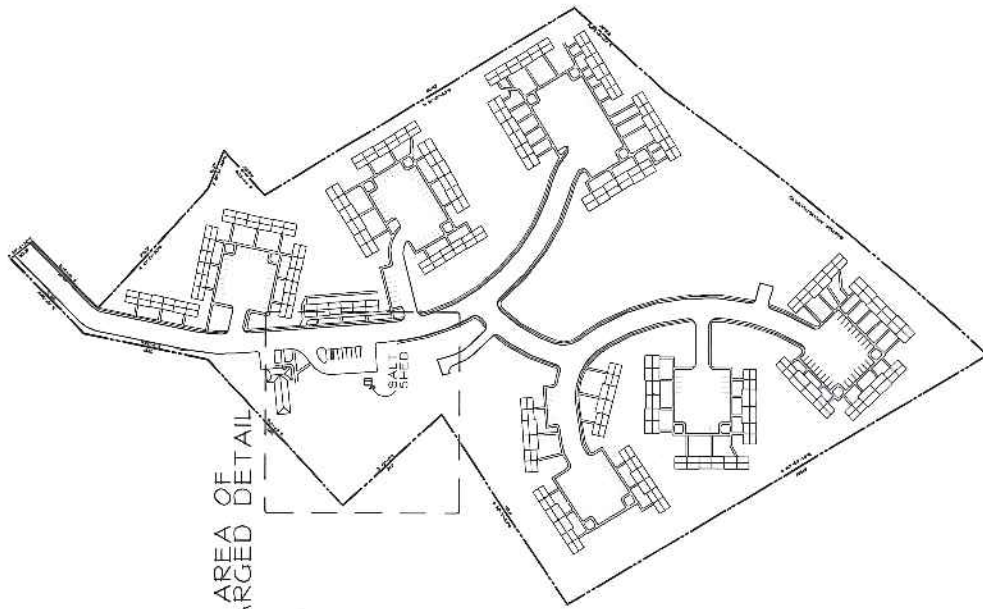
Distribution List:

Planner		Parking	John Peverada
Zoning	Marge Schmuckal	Design Review	Alex Jaegerman
Traffic Engineer	Tom Errico	Corporation Counsel	Danielle West-Chuhta
Civil Engineer	David Sensus	Sanitary Sewer	John Emerson
Fire Department	Chris Pirone	Inspections	Tammy Munson
City Arborist	Jeff Tarling	Historic Preservation	Deb Andrews
Engineering	David Margolis-Pinco	DRC Coordinator	Phil DiPierro
		Outside Agency	



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RIVERTON PARK HOUSING
 SALT SHED LOCATION
 PORTLAND HOUSING AUTHORITY



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