

FIRST FLOOR DEMOLITION PLAN
1/4"=1'-0"

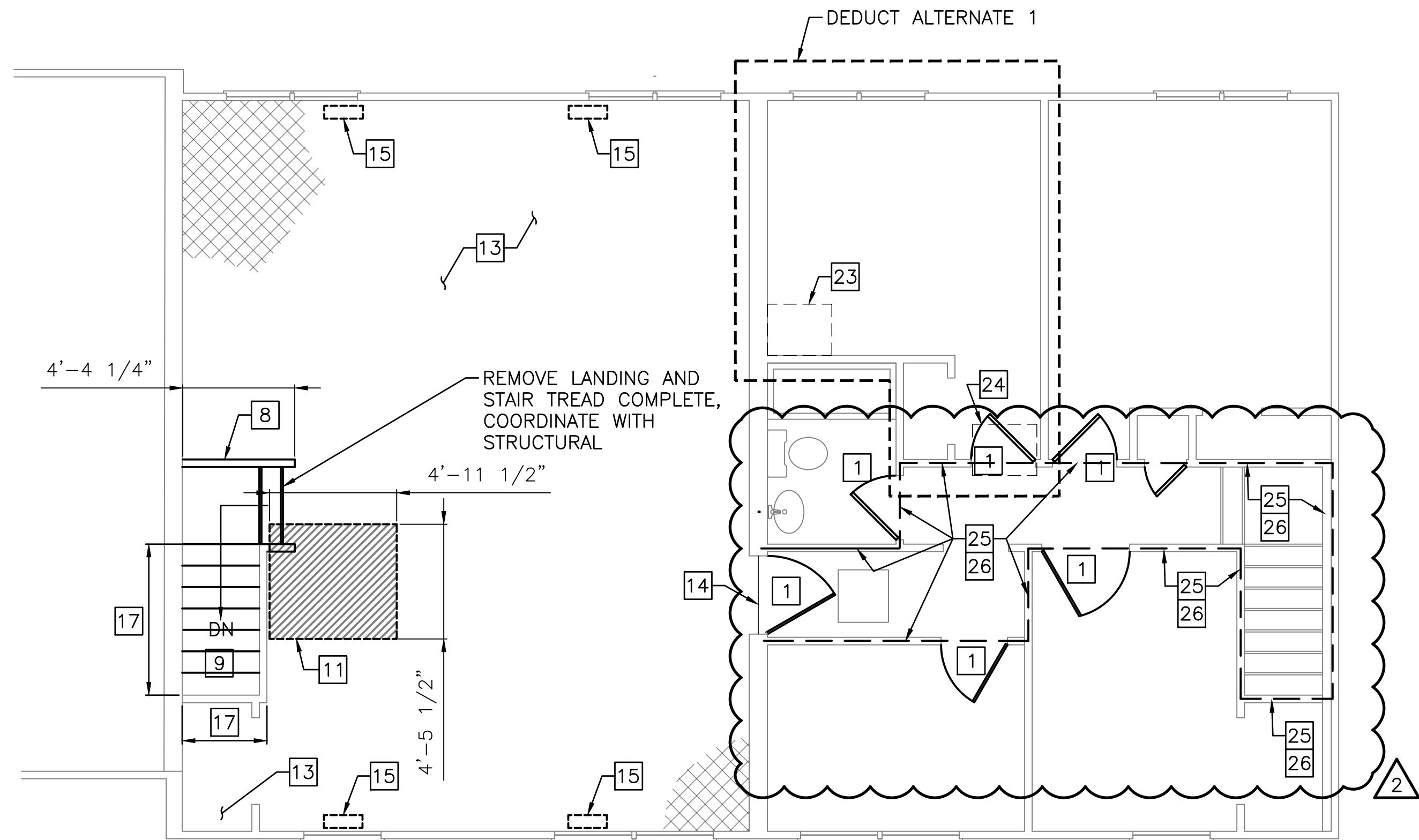
LEGEND:
 - - - - - = ITEMS TO BE REMOVED.
 [Hatched Box] = ASBESTOS CONTAINING FLOOR MATERIALS.

- NOTES:**
- SEE LS-101 FOR LIFE SAFETY PLAN.
 - SEE SHEET A-001 FOR GENERAL NOTES, LEGEND AND ABBREVIATIONS.
 - SEE DRAWING A-002 FOR TYPICAL ACCESSIBLE CLEARANCES.
 - SEE A-501 FOR WALL TYPES, FINISH SCHEDULE AND DOOR SCHEDULE.
 - CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING NEW WORK.
 - COORDINATE WITH MECHANICAL, ELECTRICAL AND STRUCTURAL DRAWINGS.
 - CONTRACTOR WILL BE RESPONSIBLE FOR REMOVAL OF EXISTING FINISH FLOORING AS WELL AS ASBESTOS CONTAMINATED TILE AND MASTIC WITHIN THE EXISTING, ABANDONED FLOORING SYSTEM(S). ASBESTOS CONTAMINATED MATERIALS TO BE REMOVED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
 - ALL EXISTING WALL OR CEILING MOUNTED ITEMS WITHIN THE AFFECTED AREA OF WORK ARE TO BE REMOVED AND RETURNED TO OWNER FOR REINSTALL. THESE ITEMS INCLUDE, BUT ARE NOT LIMITED TO, DRY ERASE BOARDS, PICTURES, CLOCKS, MIRRORS, ETC. ALL APPLICABLE ITEMS TO BE VERIFIED AT PRE-BID WALKTHROUGH.

DEMOLITION KEYED NOTES:

- REMOVE EXISTING INTERIOR DOOR, FRAME, AND ASSOCIATED HARDWARE. RETURN TO OWNER.
- REMOVE EXISTING STUDS, DRYWALL AND ASSOCIATED INSULATION (IF PRESENT).
- REMOVE PORTION OF EXISTING WALL AS REQUIRED FOR INSTALLATION OF NEW DOOR.
- REMOVE EXISTING UPPER CABINETS COMPLETE.
- REMOVE BASE CABINETS AND COUNTERTOP COMPLETE.
- REMOVE STOVE AND RETURN TO OWNER.
- REMOVE EXISTING INTERIOR FRAMED OPENING AND TRIM COMPLETE.
- REMOVE HALF HEIGHT WALL COMPLETE.
- REMOVE EXISTING COMBUSTIBLE STAIR TREADS, RISERS AND HANDRAILS COMPLETE. LEAVE STRINGERS INTACT. PREPARE EXISTING STAIR STRINGERS AND SUPPORTS FOR NEW, NON-COMBUSTIBLE TREAD AND RISER CONSTRUCTION.
- REMOVE FLOORING AND SUBFLOORING AS REQUIRED TO REACH CONCRETE SLAB FOR LIFT PREPARATION. SEE STRUCTURAL FOR ADDITIONAL INFORMATION. COORDINATE FLOORING REMOVALS WITH ABATEMENT WORK.
- REMOVE CARPET FLOOR FINISH AND SUBFLOOR AS REQUIRED FOR INSTALLATION OF LIFT. SEE STRUCTURAL FOR ADDITIONAL INFORMATION.
- ABATE EXISTING TILE, MASTIC AND ANY SUBFLOORING AND ADHESIVE TO CONCRETE SLAB COMPLETE.
- ABATE EXISTING CARPET AND UNDERLYING TILE, MASTIC AND ADHESIVE TO FLOOR DECKING COMPLETE.
- LIMIT OF FLOORING REMOVAL.
- REMOVE EXISTING FLOOR LOUVERS COMPLETE.
- REMOVE EXISTING TOILET, SALVAGE AND CLEAN FOR REINSTALLATION.
- REMOVE FINISH FACES, BOTH SIDES, TO STUDS FOR PREPARATION OF NEW RATED WALL TYPE. SEE A-101 AND A-501.
- REMOVE AREA OF EXTERIOR GRADE IN PREPARATION FOR NEW RAMPS, SEE STRUCTURAL.
- REMOVE EXISTING PANIC HARDWARE FROM DOOR.
- REMOVE PORTION OF FLOOR STRUCTURE TO ACCOMMODATE TOILET. SEE S-101.
- REMOVE EXISTING AREA OF DRYWALL TO ACCOMMODATE INSTALLATION OF STRUCTURE. SEE S-101.
- REMOVE EXISTING VERTICAL CHASE AND ASSOCIATED VERTICAL PIPING. SEE MECHANICAL.
- REMOVE PORTION OF CEILING IN PREPARATION FOR NEW DRYER VENT CHASE. COORDINATE WITH MECHANICAL AND ELECTRICAL.
- PROVIDE UNDERCUT AT EXISTING DOOR IN PREPARATION FOR NEW SMOKE SWEEPER. CONTRACTOR TO FIELD VERIFY DIMENSIONS.
- REMOVE DRYWALL FINISH, BOTH SIDES OF WALL.
- REMOVE AND SALVAGE EXISTING WALL MOUNTED MECHANICAL, ELECTRICAL AND FIRE PROTECTION EQUIPMENT FOR REINSTALLATION. SEE MECHANICAL, ELECTRICAL DRAWINGS.

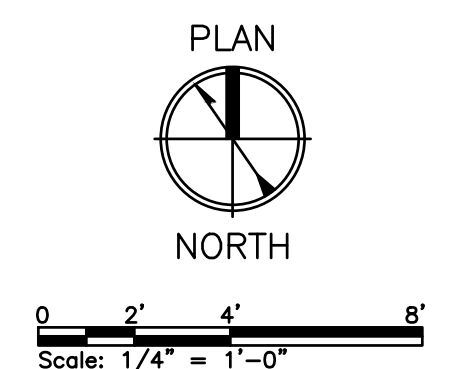
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 7/20/2018



SECOND FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

25 REMOVE DRYWALL FINISH, BOTH SIDES OF WALL.

26 REMOVE AND SALVAGE EXISTING WALL MOUNTED MECHANICAL, ELECTRICAL AND FIRE PROTECTION EQUIPMENT FOR REINSTALLATION. SEE MECHANICAL, ELECTRICAL DRAWINGS.



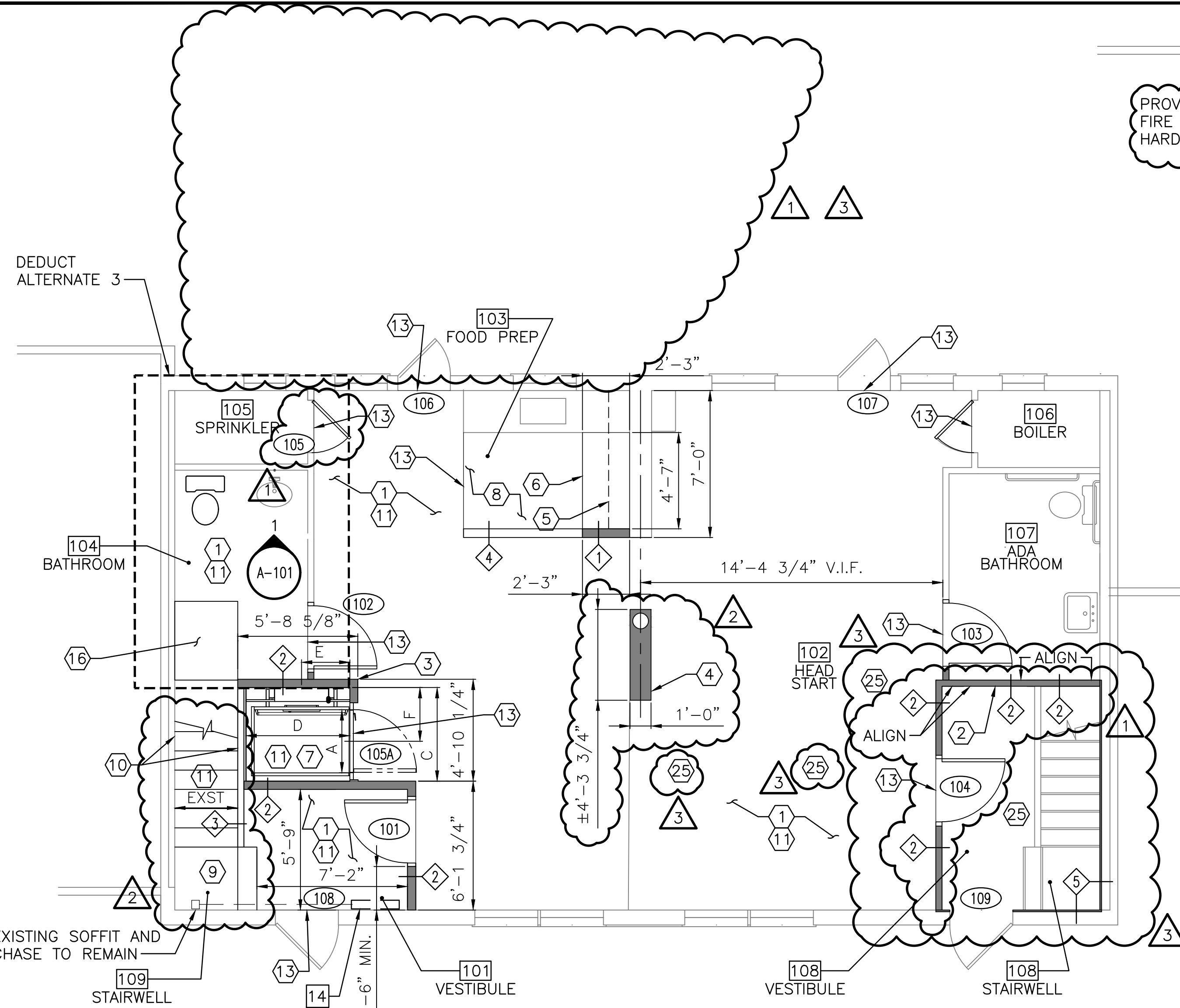
				PORTLAND HOUSING AUTHORITY PORTLAND, MAINE	
				PHA RIVERTON HEAD START BUILDING 14, UNITS 102 AND 104	
				ARCHITECTURAL DEMOLITION PLANS	
REV	DESCRIPTION	DWN	APP	DATE	
2	ISSUED FOR CONSTRUCTION	GJN	DMD	07/06/18	
1	ISSUED FOR PERMITTING ONLY	GJN	DMD	06/25/18	
0	ISSUED FOR BID	GJN	DMD	05/10/17	

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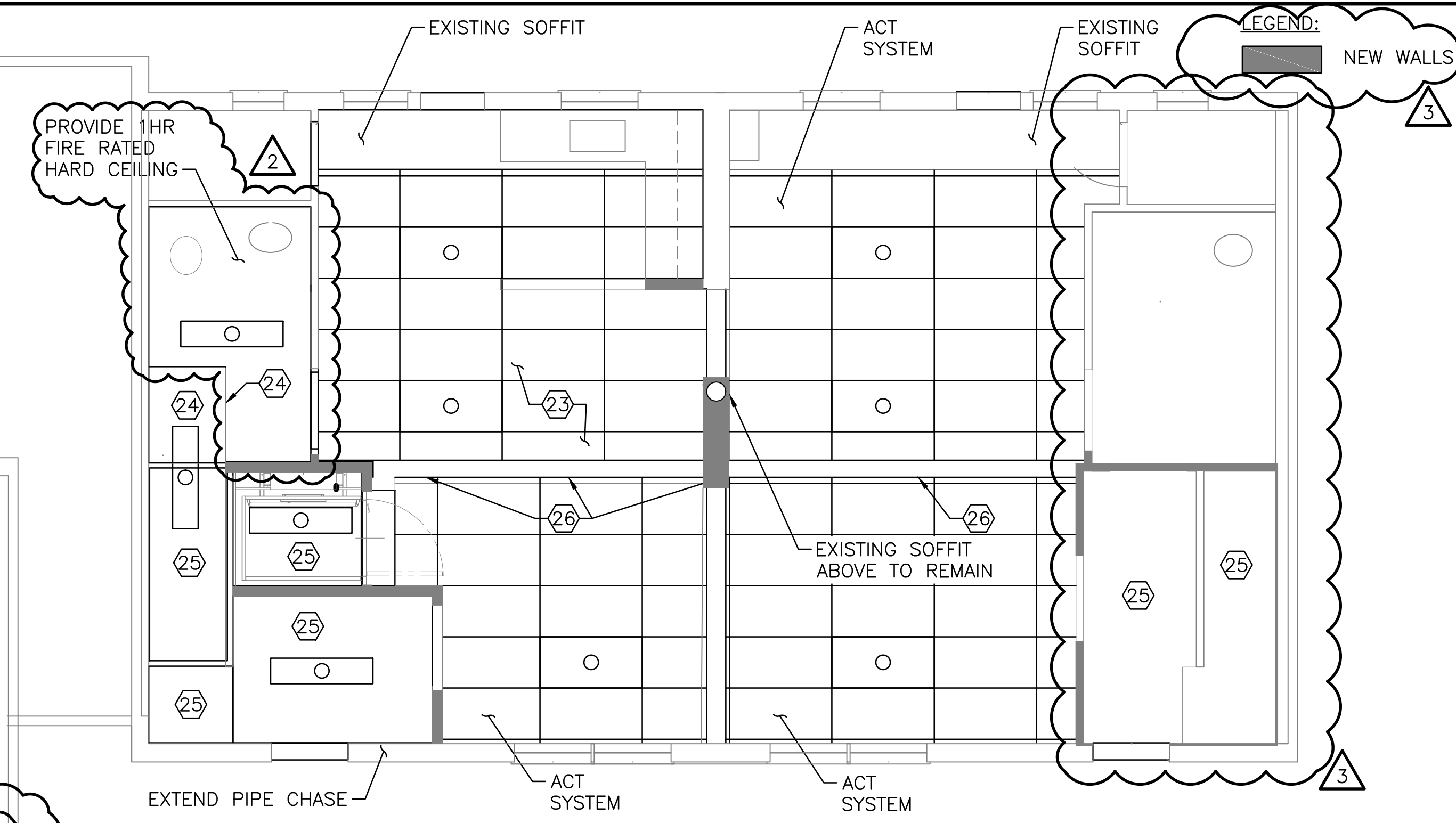
Colby Company
engineering

47A York Street
Portland, Maine 04101
207.533.7753
colbycoengineering.com

SIZE: ANSI D	PROJECT NO. 218.021.001	DRAWING NO. AD-101
DATE: 06/25/2018	SHEET 09 OF 16	
DES BY: GJN		
DWN BY: GJN		
CKD BY: BLB		



PROPOSED FIRST FLOOR PLAN
1/4"=1'-0"

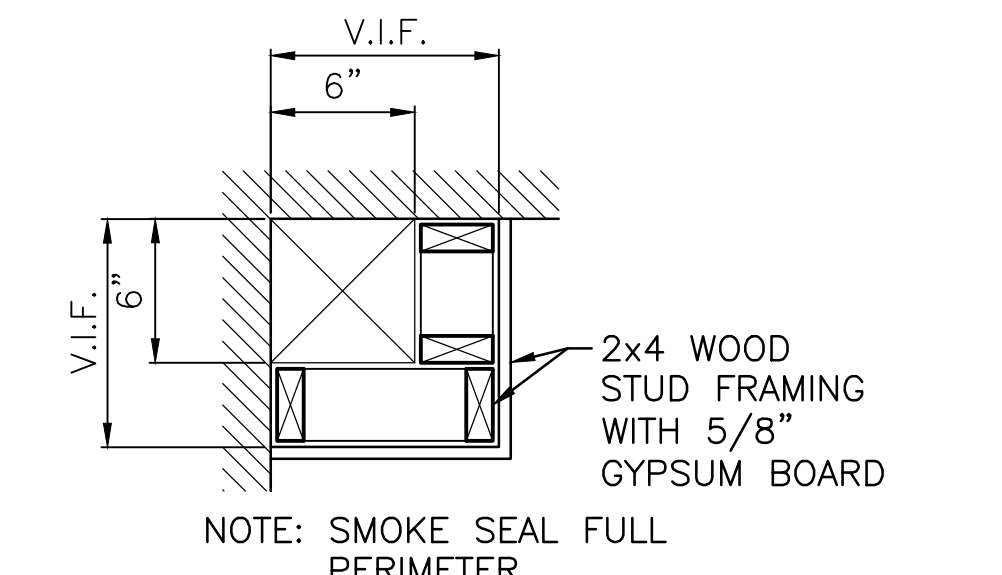


PROPOSED FIRST FLOOR REFLECTED CEILING PLAN
1/4"=1'-0"

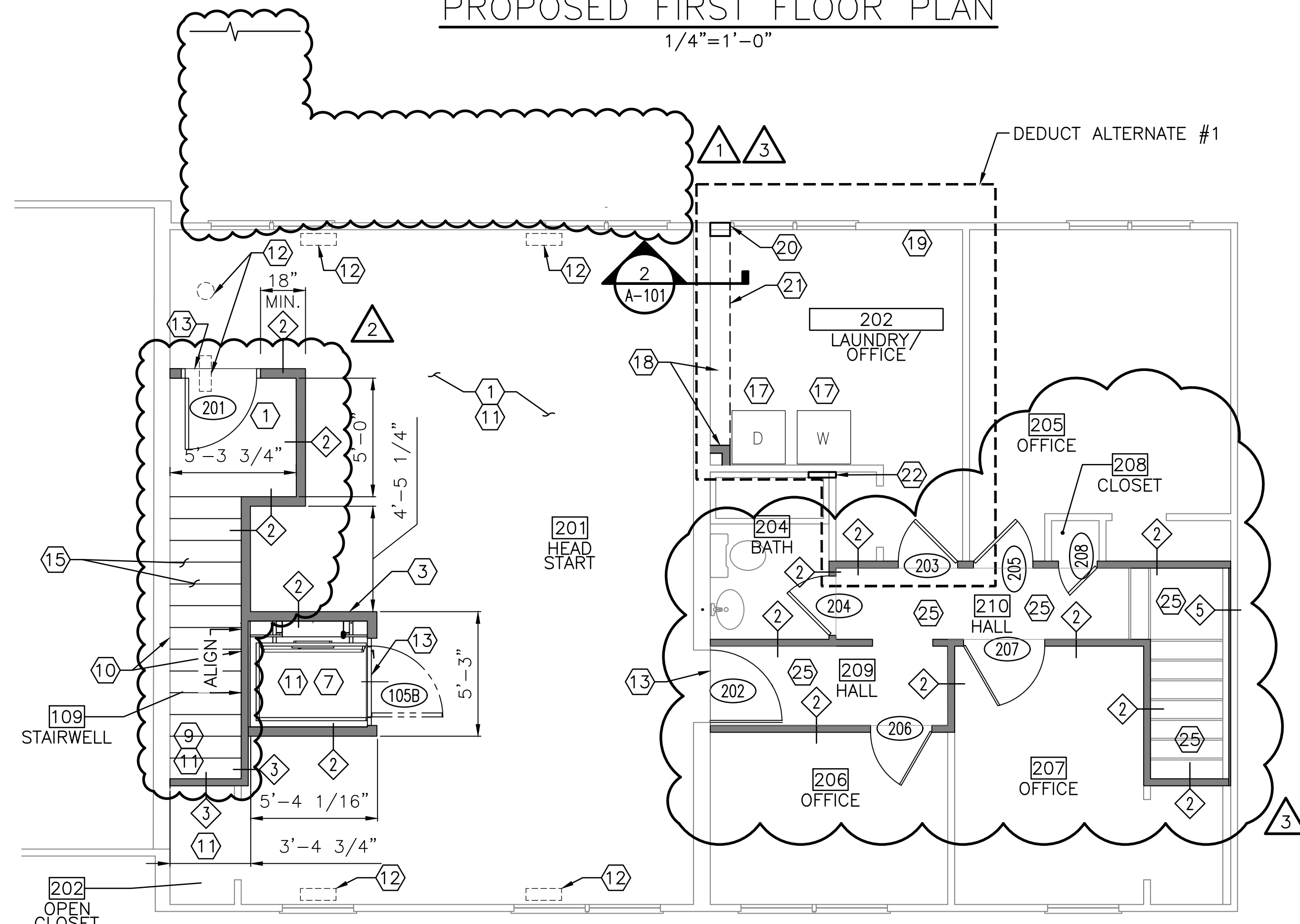
- GENERAL RCP NOTES:
- COORDINATE ALL FIXTURES AND DEVICES WITH ELECTRICAL.
 - NEW ACT SYSTEM TO MATCH EXISTING ACT SYSTEM.
 - PATCH AND FINISH EXISTING CEILINGS AS REQUIRED TO MATCH NEW CONSTRUCTION.

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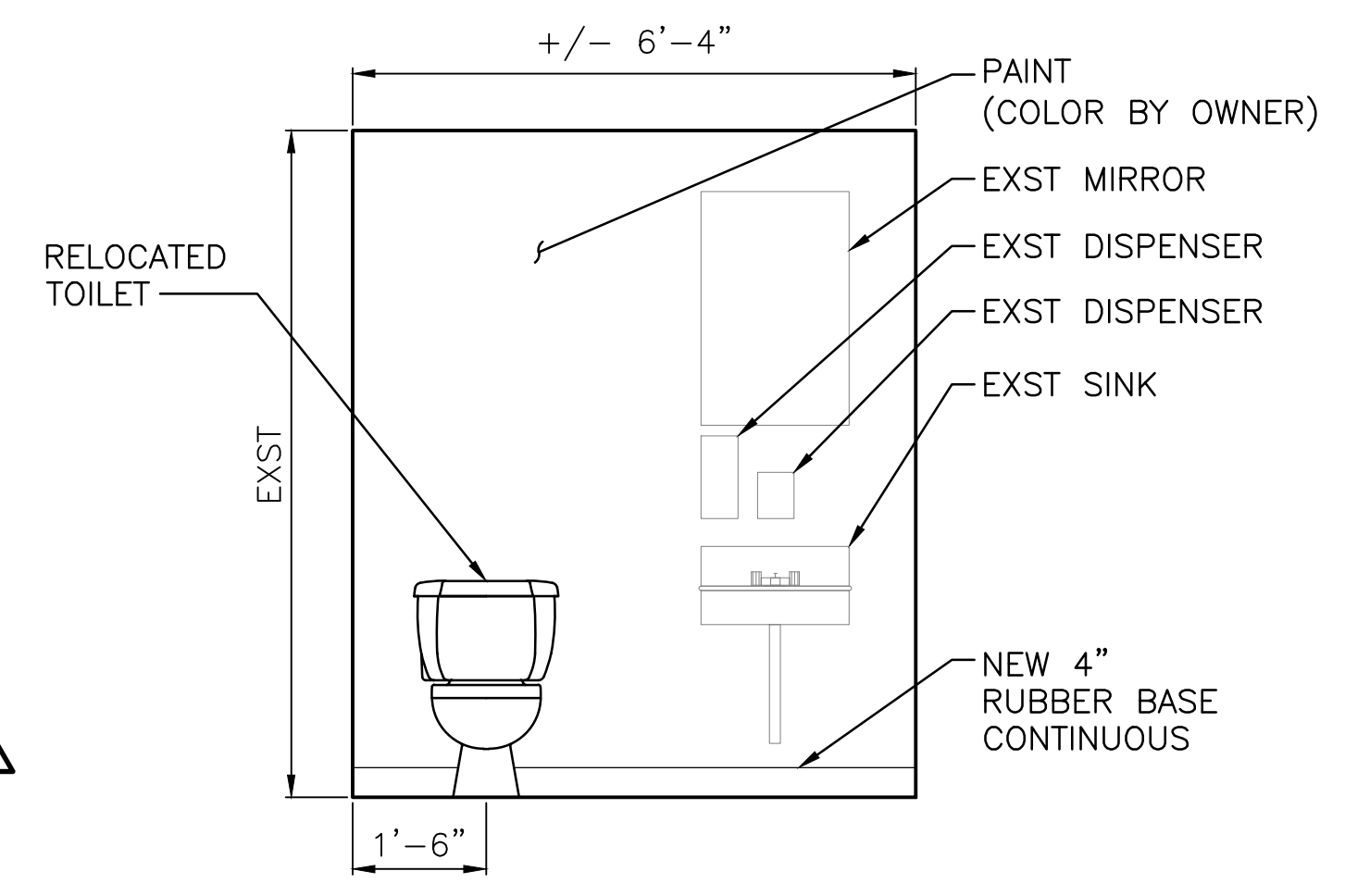
- 16 PROVIDE AND INSTALL 5/8" TYPE "X" GYPSUM TO SLOPED UNDERSIDE OF STAIR.
- 17 INSTALL WASHER AND DRYER PROVIDED BY OWNER.
- 18 PROVIDE AND INSTALL 6"x6" CLEAR SOFFIT/CHASE.
- 19 FIRE SMOKE SEAL ALL PENETRATIONS TO MATCH EXISTING AND NEW PARTITION TYPES.
- 20 CUT PORTION OF WALL ASSEMBLY TO ACCOMMODATE DRYER VENT.
- 21 OVERHEAD SOFFIT FULL LENGTH OF WALL AND FLOOR TO CEILING TO SUPPORT INSTALLATION. SEE M-101, AND E-101.
- 22 CUT AND REMOVE PORTION OF WALL AND FLOOR TO ACCOMMODATE WASHING MACHINE INSTALLATION, COORDINATE WITH MECHANICAL.
- 23 PROVIDE AND INSTALL 2X4 ACT SYSTEM. ALIGN WITH EXISTING CEILING HEIGHT.
- 24 PROVIDE AND INSTALL 5/8" TYPE X GYPSUM TO UNDERSIDE OF STAIR FRAMING IN ORDER TO PROVIDE A 1HR FIRE-RATED ASSEMBLY AND FIRE-SEALED PERIMETER AROUND STAIRWELL.



2 SOFFIT SECTION DETAIL
SCALE: 1 1/2"=1'-0"



PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



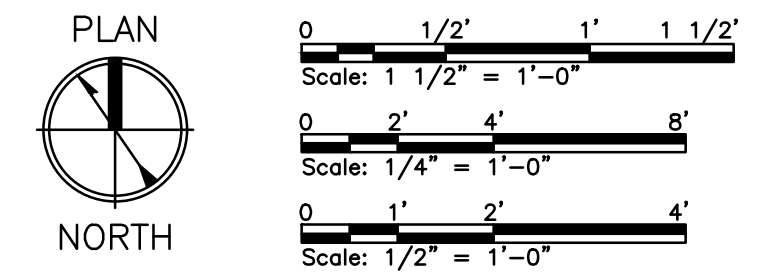
1 BATHROOM ELEVATION
SCALE: 1/2"=1'-0"

- NOTES:
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 - SEE SHEET A-001 FOR GENERAL NOTES, LEGEND AND ABBREVIATIONS.
 - SEE DRAWING A-002 FOR TYPICAL ACCESSIBLE CLEARANCES.
 - SEE A-501 FOR WALL TYPES, FINISH SCHEDULE AND DOOR SCHEDULE.
 - CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING NEW WORK.
 - COORDINATE WITH MECHANICAL, ELECTRICAL AND STRUCTURAL DRAWINGS.
 - ALIGN ALL NEW WALLS WITH EXISTING WALL FACES WHERE APPLICABLE.
 - PATCH AND REPAIR ALL EXISTING WALLS AS NECESSARY TO MAKE SMOOTH FOR NEW PAINT.
 - CONTRACTOR TO PROVIDE FIRE RATED BLOCKING FOR ALL PROPOSED INSTALLATION ITEMS.

- KEYED NOTES:
- 1 INSTALL VCT PROVIDED BY OWNER.
 - 2 FILL EXISTING DOOR AND FRAME OPENING WITH WALL TYPE 2 AND PAINT WALL TO MATCH EXISTING.
 - 3 PROVIDE NECESSARY BLOCKING WITHIN EXISTING WALL PER LIFT MANUFACTURER'S REQUIREMENTS. USE FIRE RATED MATERIALS AS REQUIRED FOR ASSEMBLY RATINGS. PATCH AND PAINT WALL AS REQUIRED. SEE STRUCTURAL.
 - 4 STRUCTURAL COLUMN AND EXST SANITARY RISER TO BE FURRED OUT SEE S-101.
 - 5 PROVIDE AND INSTALL NEW "HUD SEVERE DUTY USE" OVERHEAD CABINETS. COLOR BY OWNER.
 - 6 INSTALL NEW OWNER APPROVED COUNTERTOP AND "HUD SEVERE DUTY USE" BASE CABINETS. COLORS AND FINISHES BY OWNER.
 - 7 INSTALL VERTICAL WHEELCHAIR LIFT. BASIS OF DESIGN MODEL SHOWN IS SAVARIA V1504 VERTICAL PLATFORM LIFT, TYPE-1L, WITH (1) HOISTWAY ENTRANCE. DESIGN CLEARANCES FOR BASIS OF DESIGN MODEL ARE AS FOLLOWS:

- A: 36" CLEAR INSIDE CAB WIDTH
- B: 54" CLEAR INSIDE CAB LENGTH
- C: 53-1/2" FINISHED RUNWAY WIDTH
- D: 59-5/16" FINISHED RUNWAY LENGTH
- E: 27-9/16" TOWER CENTERLINE
- F: 30-3/4" DOOR CENTERLINE

- 8 INSTALL OWNER PROVIDED VCT TILE FOR KITCHEN AREA. SEE A-501.
- 9 PROVIDE AND INSTALL NEW TREAD AND RISER ASSEMBLY WHILE MAINTAINING EXISTING RISE / RUN OF STAIRWELL. SEE A-501 FOR DETAILS. COORDINATE WITH STRUCTURAL DRAWINGS.
- 10 PROVIDE AND INSTALL HANDRAIL AT 34" ABOVE STAIR SLOPE TO MEET CODE.
- 11 PROVIDE AND INSTALL PRIMER AND PAINT TO WALLS THROUGHOUT, COLOR BY OWNER.
- 12 PATCH AND FILL PENETRATION TO BE FLUSH WITH FINISH SUBFLOOR / WOOD DECKING LAYER. PROVIDE BLOCKING, PLYWOOD AND SEALANT.
- 13 PROVIDE TRANSITION STRIP AT INTERIOR CONDITIONS AND A THRESHOLD FOR EXTERIOR CONDITIONS.
- 14 PROVIDE AND INSTALL GYPSUM SOFFIT IN LIKE KIND AND DIMENSION TO MATCH AND ALIGN WITH EXISTING SOFFIT. EXTEND SOFFIT TO ABUT NEW WALL TO ENCLOSE PIPING. SEE MECHANICAL.
- 15 PROVIDE AND INSTALL STAIR AT AT 7" RISE AND 11" RUN WITH FIRE RESISTANT FINISHES. SEE A-501.



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PORTLAND HOUSING AUTHORITY
PORTLAND, MAINE
PHA RIVERTON HEAD START
BUILDING 14, UNITS 102 AND 104
ARCHITECTURAL FLOOR PLANS

SIZE: ANSI D
DATE: 06/25/2018
DES BY: DES
DWN BY: DWN
CKD BY: CKD

PROJECT NO: 218.021.001
DRAWING NO: A-101
SHEET 10 OF 16

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DOOR SCHEDULE

ID	LOCATION	HEIGHT	WIDTH	THICKNESS	DOOR MATERIAL	DOOR FINISH	DOOR TYPE	GLAZING	FRAME MATERIAL	FRAME FINISH	FRAME TYPE	HEAD DTL	JAMB DTL	HARDWARE SET	FIRE LABEL	NOTES
101	HEAD START 102 TO VESTIBULE 101	6'-8"	3'-0"	0'-1 3/4"	HM	PAINT	B	YES	HM	PAINT	1	3/A-501	4/A-501	#3	45 MIN	GLAZING TO BE FIRE-RESISTIVE MEETING ASTM E-119
102	BATHROOM 104 TO HEAD START 102	6'-8"	3'-0"	0'-1 3/4"	WOOD	PAINT	C	-	HM	PAINT	1	-	4/A-501	#2A	-	DUTCH DOOR
103	HEAD START 102 TO ADA BATHROOM 107	6'-8"	3'-0"	0'-1 3/4"	WOOD	PAINT	A	-	HM	PAINT	1	3/A-501	4/A-501	#2B	-	
104	HEAD START 102 TO VESTIBULE 108	6'-8"	3'-0"	0'-1 3/4"	HM	PAINT	B	YES	HM	PAINT	1	3/A-501	4/A-501	#3	45 MIN	GLAZING TO BE FIRE-RESISTIVE MEETING ASTM E-119
105	HEAD START 102 TO SPRINKLER 105	6'-8"	3'-0"	0'-1 3/4"	HM	PAINT	A	-	HM	PAINT	1	3/A-501	4/A-501	#6	20 MIN	VIF FRAMED DOOR OPENING
105A	ADA LIFT DOOR - FIRST LANDING	-	-	-	-	-	-	-	-	-	-	-	-	-	45 MIN	INCLUDED AS PART OF ADA LIFT ASSEMBLY, SEE A-101 KEYED NOTE 7
105B	ADA LIFT DOOR - UPPER LANDING	-	-	-	-	-	-	-	-	-	-	-	-	-	45 MIN	INCLUDED AS PART OF ADA LIFT ASSEMBLY, SEE A-101 KEYED NOTE 7
106	FOOD PREP 103 TO EXTERIOR							EXISTING							#4	MODIFICATIONS TO EXISTING HARDWARE COORDINATE WITH ELECTRICAL
107	HEAD START 102 TO EXTERIOR							EXISTING							#4	MODIFICATIONS TO EXISTING HARDWARE COORDINATE WITH ELECTRICAL
108	VESTIBULE 101 TO EXTERIOR							EXISTING							#5	MODIFICATIONS TO EXISTING HARDWARE
109	VESTIBULE 108 TO EXTERIOR							EXISTING							#5	MODIFICATIONS TO EXISTING HARDWARE
201	HEAD START 201 TO STAIRWELL 109	6'-8"	3'-0"	0'-1 3/4"	HM	PAINT	A	-	HM	PAINT	1	3/A-501	4/A-501	#3	-	
202	HEAD START 201 TO ADJACENT CORRIDOR	6'-8"	EXST	0'-1 3/4"	HM	PAINT	A	-	HM	PAINT	1	3/A-501	4/A-501	#1	45 MIN	VIF EXISTING FRAMED OPENING
203	ADJACENT CORRIDOR TO LAUNDRY / OFFICE	6'-8"	VIF	0'-1 3/4"	WOOD	PAINT	A	-	HM	PAINT	1	3/A-501	4/A-501	#3	45 MIN	VIF EXISTING FRAMED OPENING
204	BATHROOM TO CORRIDOR	6'-8"	VIF	0'-1 3/4"	WOOD	PAINT	A	-	HM	PAINT	1	3/A-501	4/A-501	#3	45 MIN	VIF EXISTING FRAMED OPENING
205	CORRIDOR TO OFFICE	6'-8"	VIF	0'-1 3/4"	WOOD	PAINT	A	-	HM	PAINT	1	3/A-501	4/A-501	#3	45 MIN	VIF EXISTING FRAMED OPENING
206	CORRIDOR TO OFFICE	6'-8"	VIF	0'-1 3/4"	WOOD	PAINT	A	-	HM	PAINT	1	3/A-501	4/A-501	#3	45 MIN	VIF EXISTING FRAMED OPENING
207	CORRIDOR TO OFFICE	6'-8"	VIF	0'-1 3/4"	WOOD	PAINT	A	-	HM	PAINT	1	3/A-501	4/A-501	#3	45 MIN	VIF EXISTING FRAMED OPENING
208	CLOSET TO CORRIDOR	6'-8"	VIF	0'-1 3/4"	WOOD	PAINT	A	-	HM	PAINT	1	3/A-501	4/A-501	#3	45 MIN	VIF EXISTING FRAMED OPENING

FINISH NOTES:

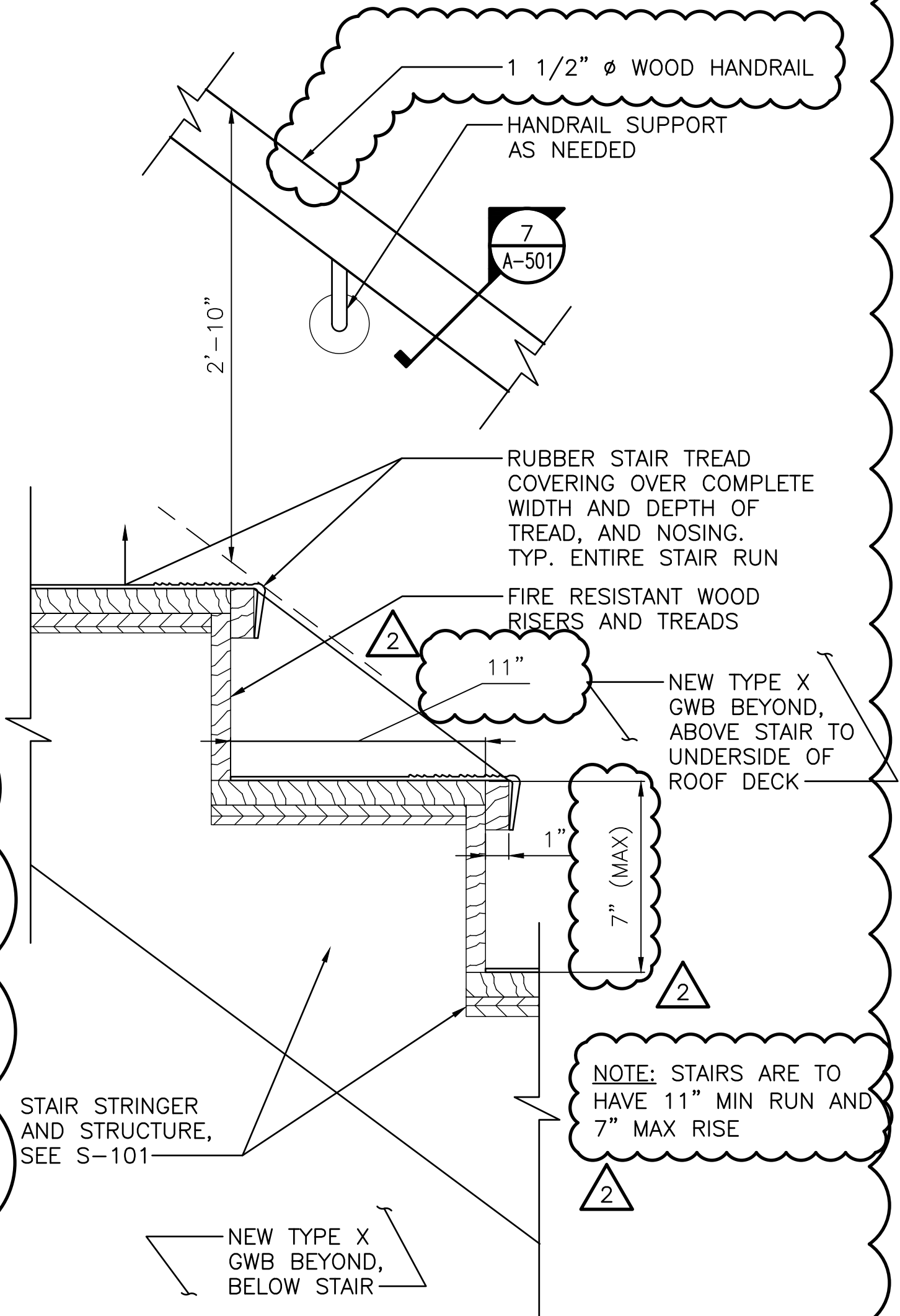
- ALL SUB-SURFACES TO BE ROUGHED & SANDED TO PROVIDE AN EVEN SURFACE AS NEEDED, CLEANED AND PROPERLY PREPARED TO RECEIVE SPECIFIED FINISHES IN ACCORDANCE WITH MFR. INSTRUCTIONS.
- ALL FLOORING MATERIALS TO COVER ENTIRE FLOOR AREA WALL TO WALL WITHIN ROOM. SEE A-101 FOR FLOOR FINISH LIMITS.
- CONTRACTOR TO PROVIDE TRANSITION STRIPS AS REQUIRED AT FLOOR AND DOOR TRANSITIONS. INSTALL PER MANUFACTURERS DETAILED INSTRUCTIONS.
- UNLESS STATED OTHERWISE, ALL FINISHES ARE TO REQUIRE SAMPLES THAT ARE TO BE APPROVED BY PHA AND/OR HEAD START.
- ALL VCT AND PAINT TO BE PROVIDED BY OWNER.
- CONTRACTOR TO FIELD VERIFY ALL DOOR HEIGHTS PRIOR TO COMMENCING WORK.

FINISH LEGEND:

- VCT-1 VINYL COMPOSITION TILE 01 (EXISTING HEAD START AREA)
- VCT-2 VINYL COMPOSITION TILE 02 (EXISTING KITCHEN AREA)
- RB-1 4" RUBBER BASE (ROPPE 700 SERIES, COLOR BY OWNER)
- WD-1 +/- 5 1/2" WOOD BASE (MATCH EXISTING)
- PT-1 PAINT, COLOR 1 (COLOR BY OWNER)
- PT-2 PAINT, COLOR 2 (BY OWNER)
- PT-3 PAINT, COLOR 3 (BY OWNER)
- ACT-1 ACOUSTIC CEILING TILE (MATCH EXISTING)

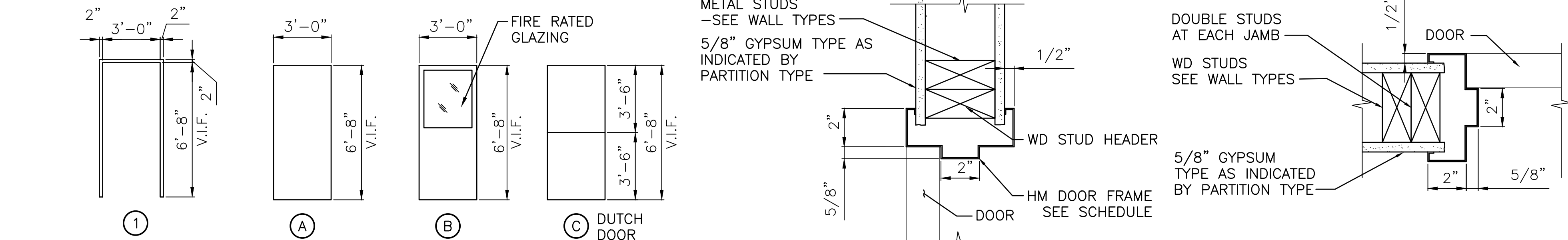
ROOM FINISH SCHEDULE

ROOM NUMBER	ROOM NAME	FLOOR MATERIAL	BASE	HEIGHT	NORTH WALL	FINISH	EAST WALL	FINISH	SOUTH WALL	FINISH	WEST WALL	FINISH	CEILING MATERIAL	CEILING HEIGHT	FINISH	REMARKS
101	VESTIBULE	VCT-1	WD-1	4"	GYP	PT-1	GYP	PT-1	EXST	PT-1	GYP	PT-1	GYP	8'-0"	PT-1	ENLARGED VESTIBULE WILL REQUIRE EXPANDED HARD CEILING PLANE TO FINISH FACES OF 1-HR RATED WALL
102	HEAD START	VCT-1	WD-1	4"	EXST	PT-1	GYP	PT-1	GYP	PT-1	EXST	PT-1	ACT-1	9'-0"	-	COORDINATE WITH ELECTRICAL. MATCH EXISTING ACT.
103	FOOD PREP	VCT-2	RB-1	4"	EXST	PT-2	EXST	PT-2	GYP	PT-2	EXST	PT-2	ACT-1	7'-6"	-	COORDINATE WITH ELECTRICAL. MATCH EXISTING ACT.
104	BATHROOM	VCT-2	RB-1	4"	EXST	PT-3	EXST/GYP	PT-3	GYP	PT-3	EXST	PT-3	EXST/GYP	7'-6"	PT-1	
109	STAIRWELL	RUBBER TREADS VCT-1 @ LANDINGS	RB-1	4"	GYP	PT-1	EXST/GYP	PT-1	EXST	PT-1	EXST	PT-1	GYP	VARIABLES	PT-1	
201	HEAD START	VCT-1	WD-1	4"	EXST	PT-1	EXST	PT-1	EXST	PT-1	EXST/GYP	PT-1	EXST	EXST	PT-2	FIRE SEAL ALL PENETRATIONS INTO ADJACENT HALL WITH FIRE SEALANT.
202	LAUNDRY/OFFICE	EXST	EXST	EXST	EXST	PT-1	EXST	PT-1	EXST/GYP	PT-1	GYP	PT-1	EXST/GYP	EXST	PT-3	FIRE SEAL ALL PENETRATIONS INTO ADJACENT HALL WITH FIRE SEALANT.
204	BATH	EXST	RB-1	4"	EXST	PT-1	GYP	PT-1	EXST	PT-1	EXST	PT-1	EXST	EXST	PT-1	FIRE SEAL ALL PENETRATIONS INTO ADJACENT HALL WITH FIRE SEALANT.
205	OFFICE	EXST	RB-1	4"	EXST	PT-1	EXST	PT-1	GYP/EXST	PT-1	EXST	PT-1	EXST	EXST	PT-1	FIRE SEAL ALL PENETRATIONS INTO ADJACENT HALL WITH FIRE SEALANT.
206	OFFICE	EXST	RB-1	4"	GYP	PT-1	EXST	PT-1	EXST	PT-1	EXST	PT-1	EXST	EXST	PT-1	FIRE SEAL ALL PENETRATIONS INTO ADJACENT HALL WITH FIRE SEALANT.
207	OFFICE	EXST	RB-1	4"	GYP	PT-1	GYP/EXST	PT-1	EXST	PT-1	EXST	PT-1	EXST	EXST	PT-1	FIRE SEAL ALL PENETRATIONS INTO ADJACENT HALL WITH FIRE SEALANT.
208	CLOSET	EXST	RB-1	4"	EXST	PT-1	EXST	PT-1	GYP	PT-1	EXST	PT-1	EXST	EXST	PT-1	FIRE SEAL ALL PENETRATIONS INTO ADJACENT HALL WITH FIRE SEALANT.
209	HALL	EXST	RB-1	4"	GYP	PT-1	GYP	PT-1	GYP	PT-1	GYP	PT-1	GYP	VIF	PT-1	NEW 1 HOUR FIRE RATED HALL. FIRE SEAL FULL PERIMETER AND ALL PENETRATIONS.
210	HALL	EXST	RB-1	4"	GYP	PT-1	GYP	PT-1	GYP	PT-1	GYP	PT-1	GYP	VIF	PT-1	NEW 1 HOUR FIRE RATED HALL. FIRE SEAL FULL PERIMETER AND ALL PENETRATIONS.



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DETAIL - TYP STAIR
TREAD AND RISER
SCALE: 3" = 1'-0"



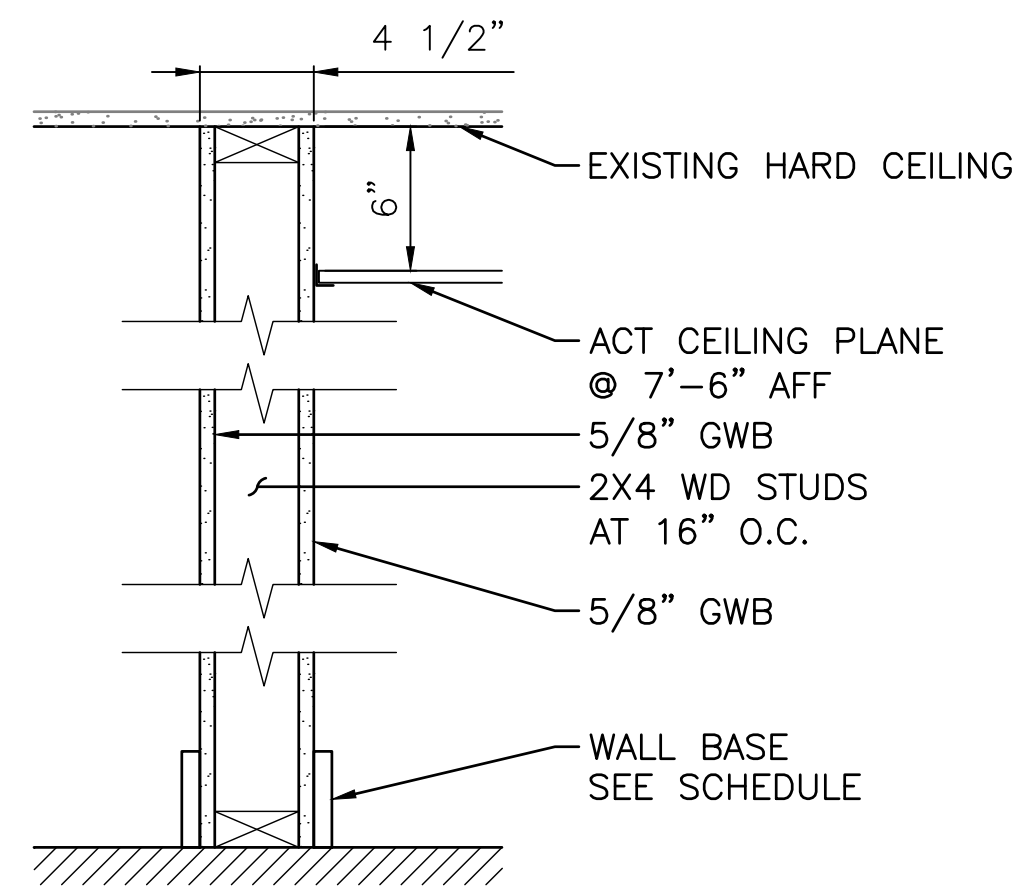
1 FRAME TYPES SCALE: 1/4" = 1'-0" 2 DOOR TYPES SCALE: 1/4" = 1'-0" 3 DETAIL - DOOR HEAD SCALE: 3" = 1'-0" 4 DETAIL - DOOR JAMB SCALE: 3" = 1'-0"

PORTLAND HOUSING AUTHORITY PORTLAND, MAINE			
PHA RIVERTON HEAD START BUILDING 14, UNITS 102 AND 104			
ARCHITECTURAL DETAILS			
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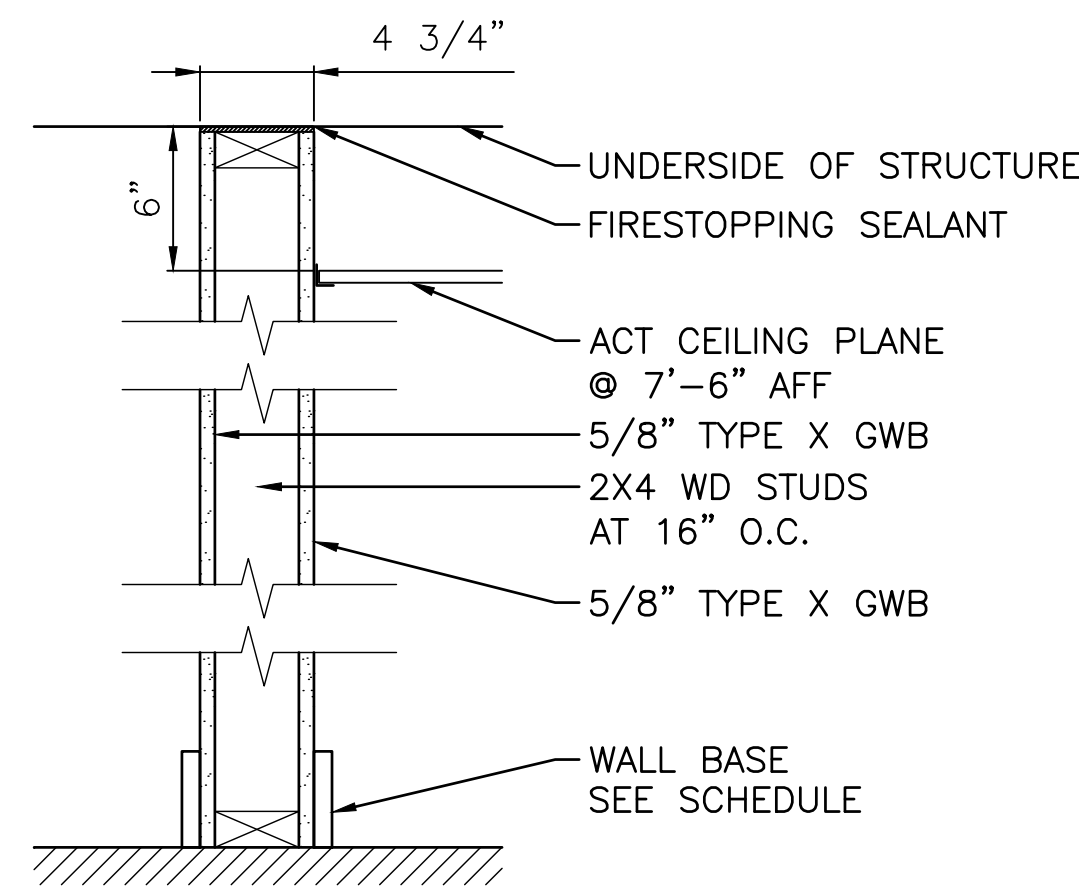
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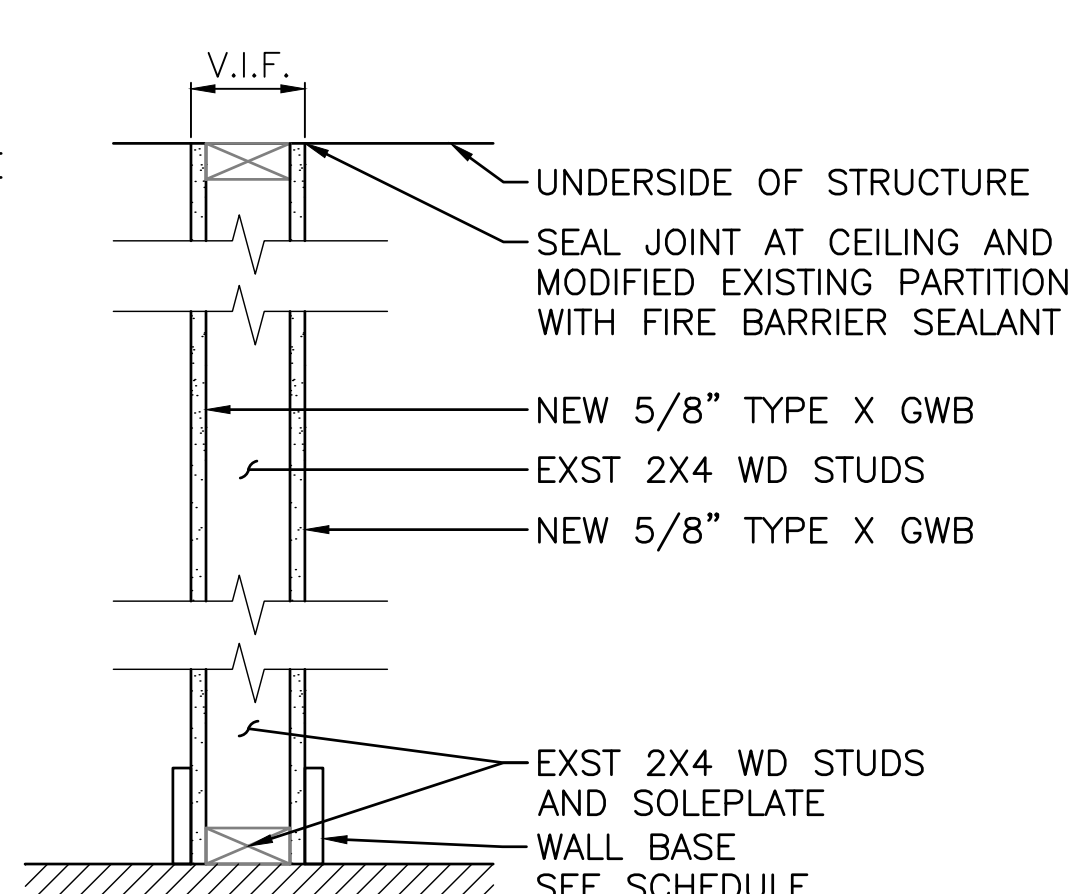
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engineering



WALL TYPE 1
1 1/2"=1'-0"

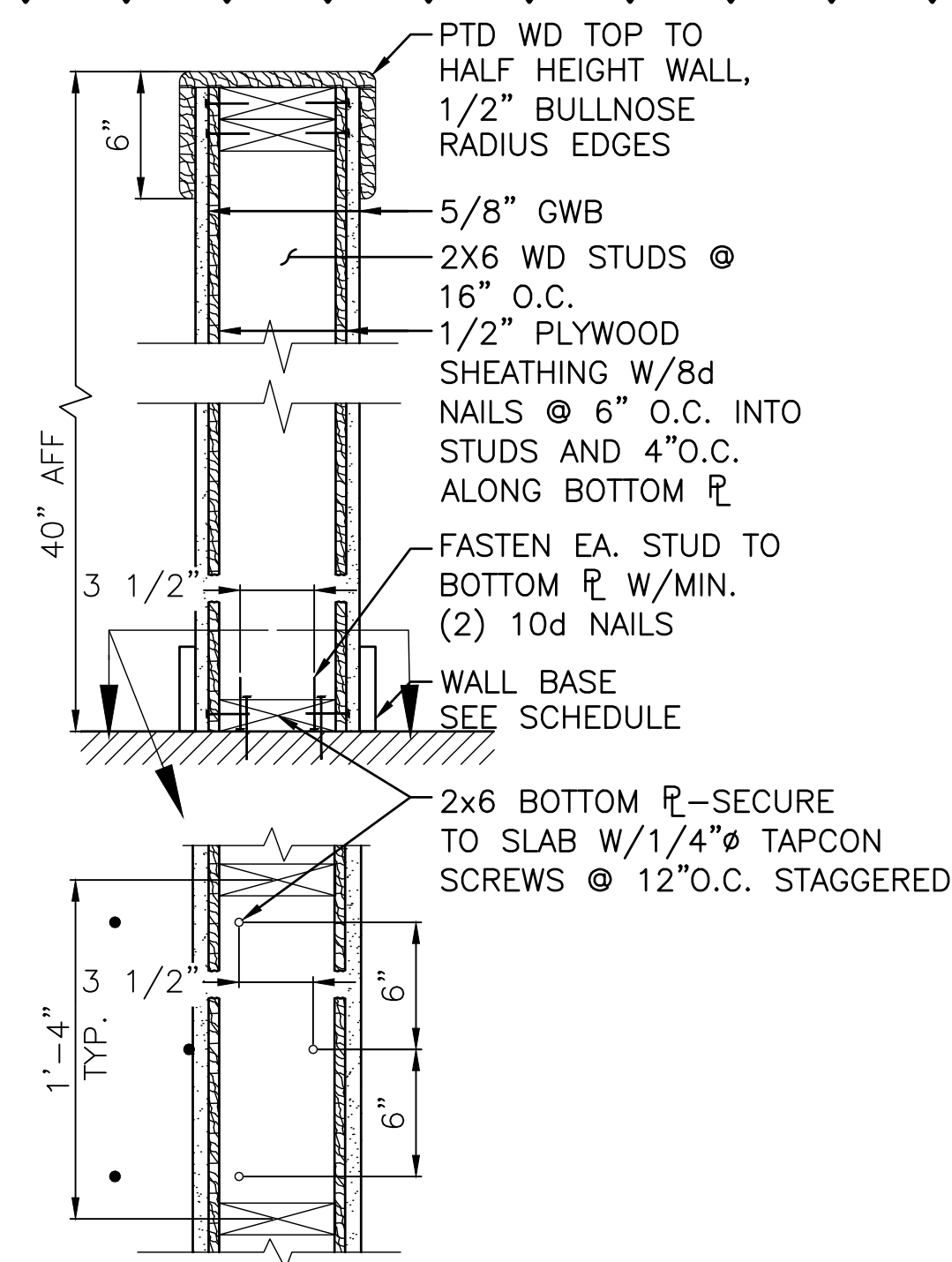


WALL TYPE 2
(1HR RATED, UL U305)
1 1/2"=1'-0"

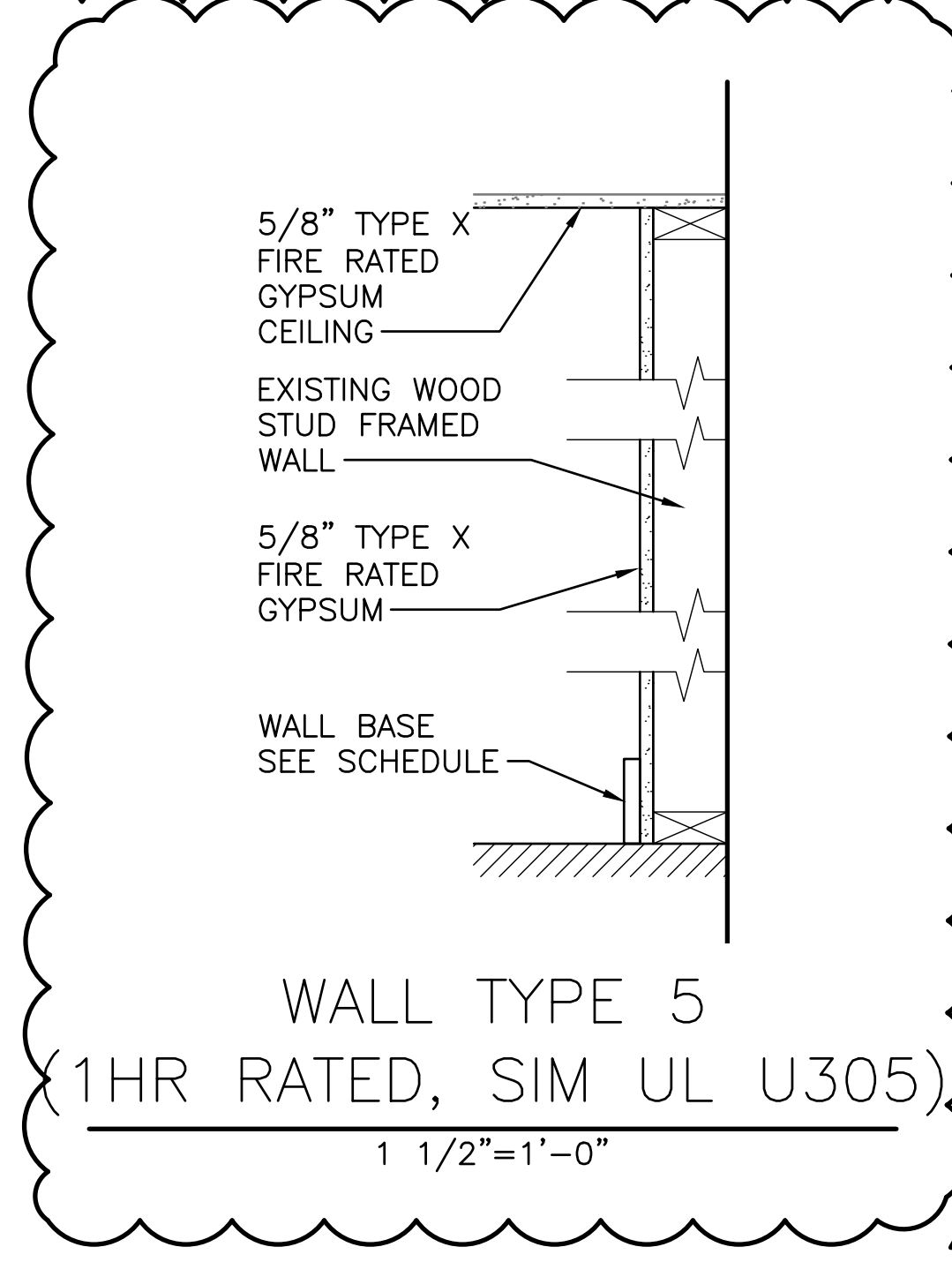


WALL TYPE 3
(1HR RATED, UL U305)
1 1/2"=1'-0"

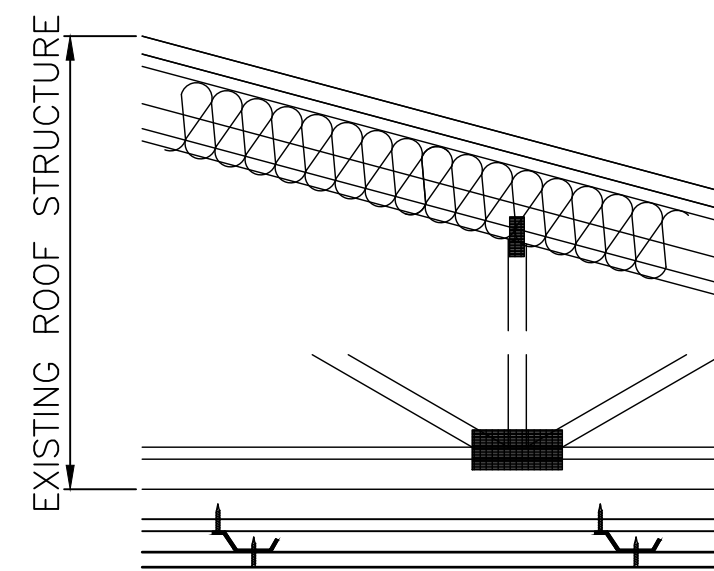
EXISTING WALL TO BE STRIPPED TO STUDS AND REFINISHED BOTH SIDES WITH 5/8" TYPE X GYPSUM PANELS. WALL TYPE WITH PORTION OF 1-HR RATED ENCLOSURE AROUND STAIRWELL 109.



WALL TYPE 4
1 1/2"=1'-0"



WALL TYPE 5
(1HR RATED, SIM UL U305)
1 1/2"=1'-0"

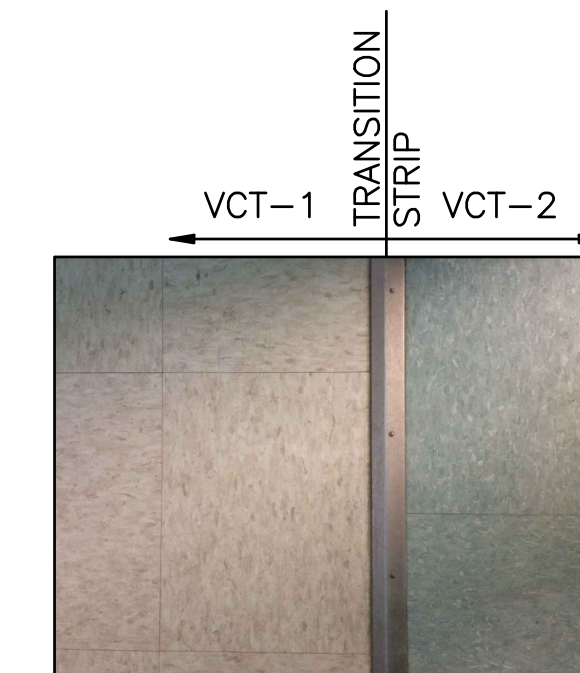


1-HOUR FIRE RATED ROOF CEILING ASSEMBLY (UL DESIGN NO. P531):

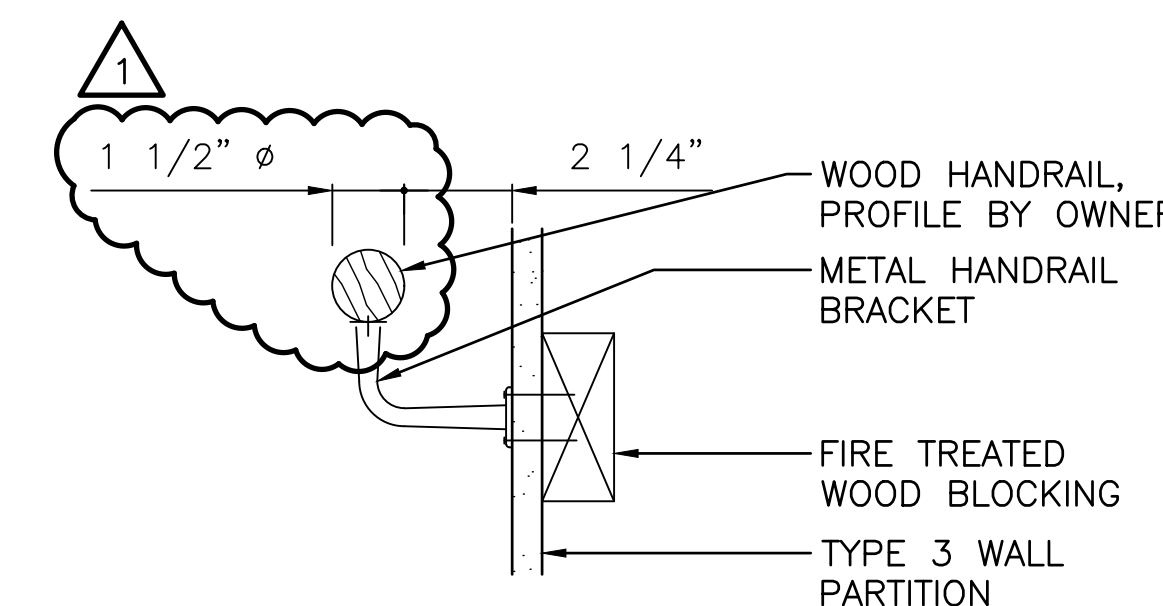
1. ROOF SYSTEM OVER 15/32" PLYWOOD SHEATHING
2. GLASS FIBER INSULATION BATTS AND BLANKETS OR LOOSE FILL MATERIALS
3. PITCH OR PARALLEL CHORD WOOD TRUSS AT 24" O.C. MAX
4. USG DGL DRYWALL SUSPENSION SYSTEM
5. 5/8" SHEETROCK BRAND FIRECODE C CORE GYPSUM PANELS

ROOF CEILING TYPE 1
(1HR RATED UL DESIGN NO. P531)
NOT TO SCALE

ISSUED FOR REVIEW
NOT FOR CONSTRUCTION
7/20/2018



5 PHOTO - EXISTING VCT
SCALE: NTS
EXAMPLE PHOTO IS OF EXISTING CONDITION AT HEAD START / FOOD PREP VCT TRANSITION. NEW VCT TRANSITION AT LOCATION SHOWN ON A-101 IS TO BE SIMILAR TO EXISTING.



7 DETAIL - HANDRAIL
SCALE: 3" = 1'-0"

				PORTLAND HOUSING AUTHORITY PORTLAND, MAINE	
				PHA RIVERTON HEAD START BUILDING 14, UNITS 102 AND 104	
				ARCHITECTURAL DETAILS	
REV	DESCRIPTION	DWN	APP	DATE	
2	ISSUED FOR CONSTRUCTION	GJN	DMD	07/06/18	
1	ISSUED FOR PERMITTING ONLY	GJN	DMD	06/25/18	
0	ISSUED FOR BID	GJN	DMD	05/10/17	
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