

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING INSPECTION PERMIT

Permit Number: 100319

This is to certify that Portland Housing Authority/n/a

has permission to Change of Use; from one apartment to a library, attached to permit # 100246.

AT 17 Riverton Dr CBL 327 B012001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CAPT. [Signature]

Health Dept. _____

Appeal Board _____

Other _____

PERMIT ISSUED

APR 13 2007

CITY OF PORTLAND

Department Name

[Signature]

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0319	Issue Date:	CBL: 327 B012001
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Location of Construction: 17 Riverton Dr <i>called 61 Riverton</i>	Owner Name: Portland Housing Authority	Owner Address: 14 Baxter Blvd	Phone: 207-773-4753
Business Name:	Contractor Name: n/a	Contractor Address: Portland	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: Change of Use - Commercial	Zone: <i>R-5</i>

Past Use: Multi Units / Social Service Building for Riverton Park	Proposed Use: Change of Use; from one apartment to a library, attached to permit # 100246. <i>called #61 Riverton</i>	Permit Fee: \$105.00	Cost of Work: \$30.00	CEO District: 5
Proposed Project Description: Change of Use; from one apartment to a library, attached to permit # 100246.		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>*See Conditions</i>	INSPECTION: Use Group: <i>A</i> Type: <i>SB</i> <i>IBC 2003</i>	
		Signature: <i>(KCo)</i>	Signature: <i>[Signature]</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature:			Date:	

Permit Taken By: gg	Date Applied For: 04/02/2010	Zoning Approval		
<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>4/2/10</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0319	Date Applied For: 04/02/2010	CBL: 327 B012001
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Location of Construction: 61 Riverton Dr	Owner Name: Portland Housing Authority	Owner Address: 14 Baxter Blvd	Phone: 207-773-4753
Business Name:	Contractor Name: n/a	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	

Proposed Use: Change of Use; from one apartment (#61) to a library, attached to permit # 100246.	Proposed Project Description: Change of Use; from one apartment to a library, attached to permit # 100246.
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Marge Schmuckal	Approval Date: 04/02/2010
Note:	Ok to Issue: ✓		
1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work			
Dept: Building	Status: Approved with Conditions	Reviewer: Tammy Munson	Approval Date: 04/14/2010
Note:	Ok to Issue: ✓		
1) This permit must comply with the plan of action agreement with the Fire Department.			
2) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.			
Dept: Fire	Status: Approved with Conditions	Reviewer: Capt Keith Gautreau	Approval Date: 04/02/2010
Note:	Ok to Issue: ✓		
1) Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit.			
2) Vertical opening must be protected according to plans. (self-closing door and sprinklers in stairwell)			
3) All construction shall comply with NFPA 1 and 101			
4) All smoke detectors and smoke alarms shall be photoelectric. Carbon Monoxide detectors are required in the dwelling units by State law			

Comments:
4/2/2010-mes: Called Mark and asked him to send a site plan to me showing which building we are talking about.

PERMIT ISSUED

APR 14 2010

City of Portland

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)
or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.
- Permits expire in 6 months, if the project is not started or ceases for 6 months.
- If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.

 X Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.
NOTE: There is a \$75.00 fee per inspection at this point.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

PERMIT ISSUED

APR 14 2010

City of Portland

10 0319



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>61 Riverton Drive</u>		
Total Square Footage of Proposed Structure/Area <u>1,085</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>327</u> <u>B</u> <u>012</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>Portland Housing Authority</u> Address <u>14 Baxter Blvd.</u> <u>Portland, ME</u> City, State & Zip <u>04101</u>	Telephone: <u>207-773-4753</u>
<p style="color: red; font-size: 2em; text-align: center;">RECEIVED</p> <p style="text-align: center;">APR - 2 2010</p> <p style="color: red; font-size: 1.2em;">Dept. of Building Inspections City of Portland, Maine</p>	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ _____ C of O Fee: \$ <u>105.00</u> Total Fee: \$ _____
	Current legal use (i.e. single family) <u>Residential / apartment multi units</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Library</u> Is property part of a subdivision? _____ If yes, please name _____ <u>Change of use</u> Project description: _____	
Contractor's name: <u>N.A. (3rd previous building permit)</u>		
Address: _____		
City, State & Zip _____		Telephone: _____
Who should we contact when the permit is ready: _____		Telephone: _____
Mailing address: _____		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Mano Bhabha Date: 4/2/10

This is not a permit; you may not commence ANY work until the permit is issue



Strengthening a Remarkable City, Building a Community for Life www.portlandmaine.gov

Planning & Urban Development Department
Penny St. Louis Littell, Director

March 23, 2010

Mark Adelson, Executive Director
Portland Housing Authority
14 Baxter Boulevard
Portland, Maine 04101

Re: CBL 327 B 012001/61 Riverton Drive

Dear Mark:

Please consider this correspondence a **Condition of Approval** issued in conjunction with Building Permit # 100246. That permit seeks to undertake internal demolition of several walls within the above unit. In reviewing the permit, however, it has come to the attention of the City that the referenced unit must be brought into compliance with current land use requirements and Life Safety Codes. In working with you, the City is prepared to allow the requested internal demolition while you undertake the following:

1. Apply for a Change of Use Permit in connection with converting the unit from residential to the accessory use, that being a library for residents of Portland Housing Authority. The application must be submitted no later than **April 7, 2010**.
2. A Plan of Action will be submitted to the Portland Fire Department documenting how the unit will be brought into compliance with the applicable Life Safety Codes. For Life Safety purposes the unit is considered "general assembly." As a result, the second floor will either need a second means of egress by a stairway at the rear of the unit, or the second floor will need to be sprinkled. The proposed Plan of Action will need to be filed with the City **no later than April 7, 2010**. The Plan of Action will need to be implemented **no later than 30 days following its approval**.

Thank you for your attention to this matter. Please let me know if you have any questions in this regard

Sincerely,

Penny St. Louis Littell
Director of Planning and Urban Development

Cc: Frederick J. Lamontagne
Keith Gautreau
Marge Schmuckal
Tim Reardon
Keeley Construction
Bill Hopkins



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 61 Riverton Drive		
Total Square Footage of Proposed Structure/Area 1,085 Sq. Ft.	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# 327 Block# B Lot# 012	Applicant * <u>must</u> be owner, Lessee or Buyer* Name Portland Housing Authority Address 14 Baxter Blvd. City, State & Zip Portland, ME 04101	Telephone: (207) 773-4753
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ 15,000 C of O Fee: \$ Total Fee: \$ 170.00
Current legal use (i.e. single family) <u>Assembly</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Assembly</u> Is property part of a subdivision? <u>Yes</u> If yes, please name <u>Riverton Park</u> Project description: Removal of some interior partitions and existing kitchen. Repair/replace flooring, painting and building of new bookshelves and storage area.		
Contractor's name: <u>Keeley Construction</u> Address: <u>PO Box 1074</u> <u>Portland, ME 04104</u> City, State & Zip _____ Telephone: <u>(207) 773-8499</u> Who should we contact when the permit is ready: <u>Jim Keeley</u> Telephone: <u>(207) 773-8499</u> Mailing address: <u>PO Box 1074, Portland, ME 04104</u>		

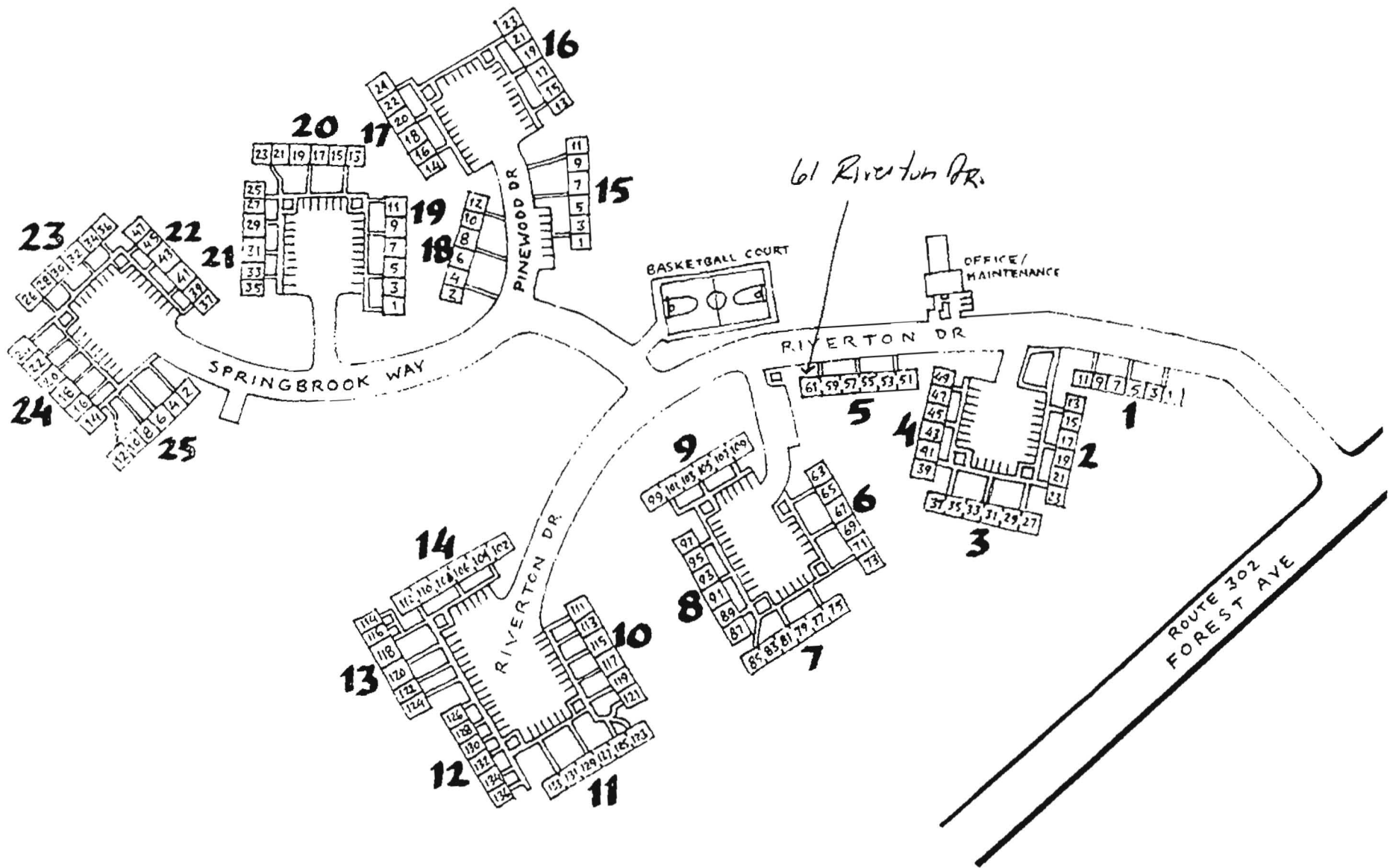
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Signature: Mark Bluelich Date: 3/16/10

This is not a permit; you may not commence ANY work until the permit is issue



RIVERTON PARK ME 3-8

SIDEWALK AREA = 21,600
 PARKING AREA = 53,800 sq ft