

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND PERMIT ISSUED

BU **PERMIT** IATION

Please Read Application And Notes, If Any, Attached

Permit Number **MAR 3 - 2010**

City of Portland

City of Portland

PERMIT ISSUED

This is to certify that PORTLAND HOUSING AUTHORITY / N Label Builder
has permission to replace kitchen cabinets in community ctr model bldg to make it A compliant
AT 17 RIVERTON DR CE 327 B012001

provided that the person or persons, firm or corporation accounting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is done-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. [Signature]
Health Dept. [Signature]
Appeal Board _____
Other _____
Department Name _____

[Signature] 3/3/10
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

SCANNED

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0132	Issue Date:	CBL: 327 B012001
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Location of Construction: 17 RIVERTON DR	Owner Name: PORTLAND HOUSING AUTHOR	Owner Address: 14 BAXTER BLVD	Phone:
Business Name:	Contractor Name: Mark R. Lebel Builders	Contractor Address: 6 Eastern Ave Falmouth	Phone: 2076504020
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: R-5

Past Use: Multi-unit and Community Ctr	Proposed Use: Multi-unit and Community Ctr - replace kitchen cabinets in community ctr remodel Bath to make ADA compliant	Permit Fee: \$100.00	Cost of Work: \$8,000.00	CEO District: 5
Proposed Project Description: replace kitchen cabinets in community ctr remodel bath to make ADA compliant		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied 2/22/2010 Signature: <i>[Signature]</i>	INSPECTION: Use Group: A-3 Type: 5B IBC-2003 Signature: <i>[Signature]</i> 3/3/10	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: Idobson	Date Applied For: 02/16/2010	Zoning Approval		
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input checked="" type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Wetland	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
Date: <i>2/17/10</i>	Date: _____	Date: _____

PERMIT ISSUED

MAR 3 - 2010

City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0132	Date Applied For: 02/16/2010	CBL: 327 B012001
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Location of Construction: 17 RIVERTON DR	Owner Name: PORTLAND HOUSING AUTHOR	Owner Address: 14 BAXTER BLVD	Phone:
Business Name:	Contractor Name: Mark R. Lebel Builders	Contractor Address: 6 Eastern Ave Falmouth	Phone (207) 650-4020
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Multi-unit and Community Ctr - replace kitchen cabinets in community ctr remodel Bath to make ADA compliant	Proposed Project Description: replace kitchen cabinets in community ctr remodel bath to make ADA compliant
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Dept: Zoning	Status: Approved	Reviewer: Marge Schmuckal	Approval Date: 02/17/2010
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
Dept: Building	Status: Approved with Conditions	Reviewer: Jeanine Bourke	Approval Date: 03/03/2010
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
1) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.			
2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.			
Dept: Fire	Status: Approved	Reviewer: Ben Wallace Jr.	Approval Date: 02/22/2010
Note:	Ok to Issue: <input checked="" type="checkbox"/>		

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a “Stop Work Order” and subsequent release to continue with construction.**

 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

 X **Final inspection required at completion of work.**

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



General Building Permit Application

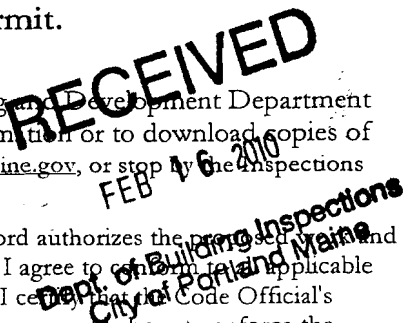
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

17 Riverton Drive

Location/Address of Construction: <u>102 + 104 RIVERTON PARK</u>			Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# <u>327</u> Block# <u>B</u> Lot# <u>12</u>		Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>MARK RIEBEL</u> Address <u>6 EASTERN AVE.</u> City, State & Zip <u>FALMOUTH ME. 04105</u>		Telephone: <u>650-4020</u>	
Lessee/DBA (If Applicable)		Owner (if different from Applicant) Name <u>PORTLAND HOUSING AUTHORITY</u> Address City, State & Zip		Cost Of Work: \$ <u>8000.00</u> C of O Fee: \$ Total Fee: \$ <u>100</u>	
Current legal use (i.e. single family) <u>Community Center</u> Number of Residential Units <u>0</u>			If vacant, what was the previous use? _____		
Proposed Specific use: _____			Is property part of a subdivision? _____ If yes, please name _____		
Project description: <u>REPLACE KITCHEN CABINETS -</u> <u>REMODEL 1 BATH TO ADA REG.</u>			Contractor's name: <u>MARK RIEBEL BUILDERS</u>		
Address: <u>6 EASTERN AVE</u>			City, State & Zip <u>FALMOUTH ME. 04105</u> Telephone: <u>650-4020</u>		
Who should we contact when the permit is ready: <u>MARK</u>			Telephone: <u>650-4020</u>		
Mailing address: <u>6 EASTERN AVE FALMOUTH ME. 04105</u>					

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

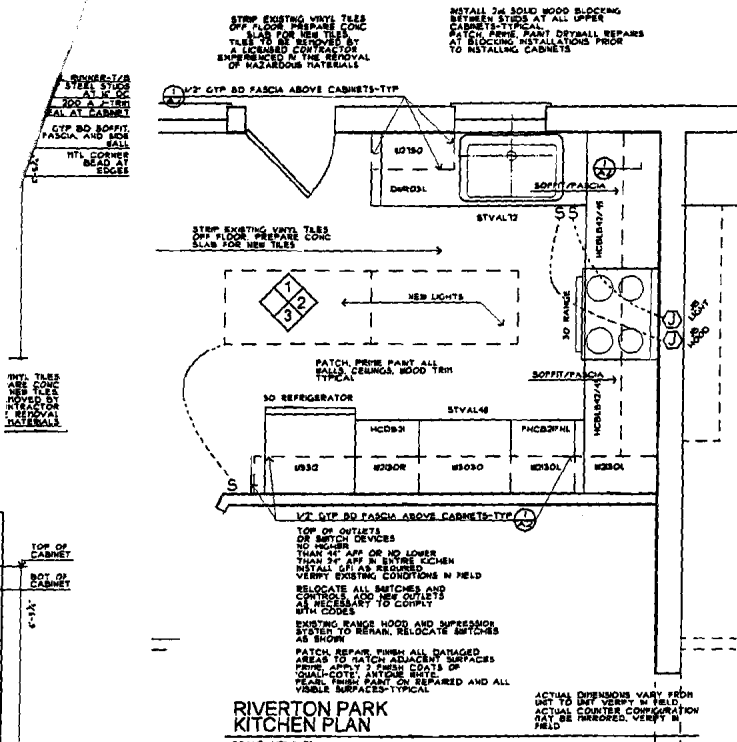


I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed project and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to comply with all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Mark Riebel Date: 2/16/10

This is not a permit; you may not commence ANY work until the permit is issued

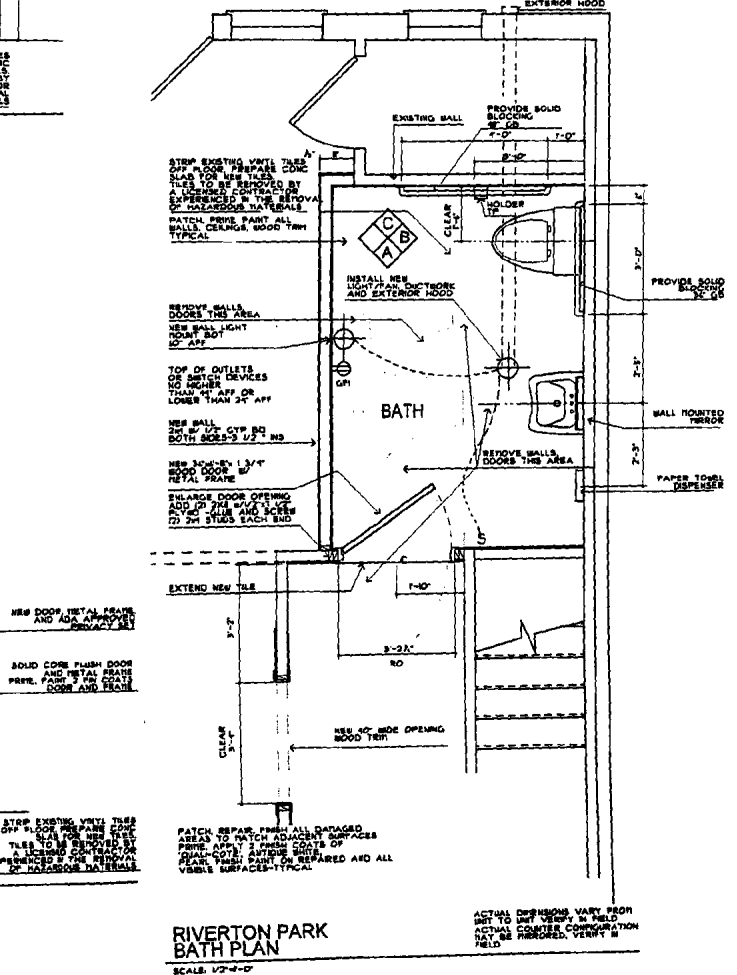




PROJECT NO.

COMMUNITY ROOM KITCHEN and BATH RENOVATION

PORTLAND HOUSING AUTHORITY
14 BAXTER BOULEVARD
PORTLAND, MAINE



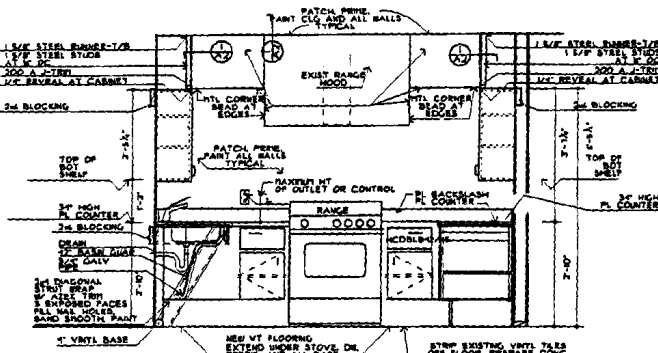
GTA2 architect

44 oak street

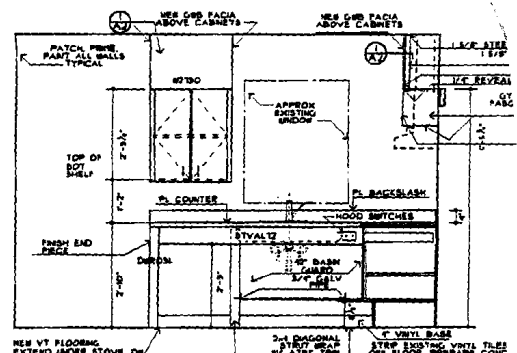
portland, maine 04101

207-771-5461 fax 774-0846

revisions
date
JANUARY, 2010
sheet title
FLOOR PLANS INTERIOR ELEVATION
RIVERTON PARK
scale
AS NOTED
drawn by
SMT
project number
0809
sheet number
A 2



ELEVATION 2
SCALE: 1/2"=1'-0"



ELEVATION 1
SCALE: 1/2"=1'-0"

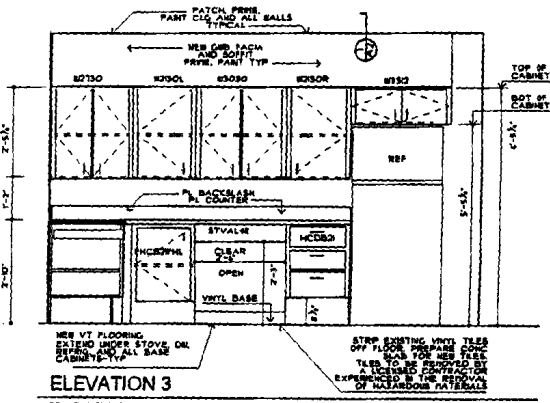
ITEM	LOCATION	MANUFACTURER	MODEL NO.	NOTES
KITCHEN CABINETS				
KITCHEN CABINETS	KITCHEN	ARMSTRONG	UNIVERSAL ACCESS	CABINETS ARE TO BE SUPPLIED BY OWNER. CONTRACTOR TO REMOVE AND DISPOSE OF ALL EXISTING CABINETS, WALLS, BLOCCING AND INSTALLATION OF CABINETS, WALLS AND COUNTERTOPS.

ITEM	LOCATION	MANUFACTURER	PRODUCT	MODEL #	NOTES
FLOOR					
FLOORS	KITCHEN	ARMSTRONG	VINYL TILE	ARMSTRONG 36X36 VCT 0207/F	CONTRACTOR TO REMOVE AND DISPOSE OF ALL EXISTING TILE AND PREPARE CONCRETE SLAB FOR INSTALLATION OF NEW TILE SURFACE.
FLOORS	BATH	ARMSTRONG	VINYL TILE	ARMSTRONG 36X36 VCT 0207/F	CONTRACTOR TO REMOVE AND DISPOSE OF ALL EXISTING TILE AND PREPARE CONCRETE SLAB FOR INSTALLATION OF NEW TILE SURFACE.

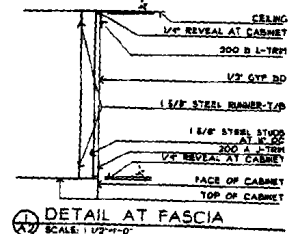
ITEM	LOCATION	MANUFACTURER	PRODUCT	NOTES
FINISHES				
ALL WALLS, CEILING	KITCHEN	SHERWIN-Williams	QUAL-COTE, ANTIQUE WHITE, PEARL FINISH	PAIN TO BE SUPPLIED BY THE HOUSING AUTHORITY. CONTRACTOR RESPONSIBLE FOR PREPARING ALL SURFACES INCLUDING PATCHING, PRIME COAT AND 3 FINISH COATS NECESSARY TO OBTAIN A DURABLE SURFACE FOR THE APPLICATION OF FRESH PAINT.
ALL WALLS, CEILING	BATH	SHERWIN-Williams	QUAL-COTE, ANTIQUE WHITE, PEARL FINISH	PAIN TO BE SUPPLIED BY THE HOUSING AUTHORITY. CONTRACTOR RESPONSIBLE FOR PREPARING ALL SURFACES INCLUDING PATCHING, PRIME COAT AND 3 FINISH COATS NECESSARY TO OBTAIN A DURABLE SURFACE FOR THE APPLICATION OF FRESH PAINT.

LOCATION	SIZE	THICKNESS	MATERIAL	HARDWARE	FINISH	MANUFACTURER	MODEL NO.	FINISH	NOTES
KITCHEN	3'-0" x 7'-0"	1 3/4"	SOLID CORE FLUSH	DOOR LOCKSET	BRUSHED CHROME	SCHLAGE	D-SERIES RHODES	1/2" PINE 1/2" 1/2" STANLEY BRUSHED CHROME	UNDERCUT DOOR FLOOR KIT DOOR STOP 1/2" x 1/2" x 1/2" FRANKLIN TOWERS
KITCHEN	3'-0" x 7'-0"	1 3/4"	SOLID CORE FLUSH	DOOR LOCKSET	BRUSHED CHROME	SCHLAGE	D-SERIES RHODES	1/2" PINE 1/2" 1/2" STANLEY BRUSHED CHROME	UNDERCUT DOOR FLOOR KIT DOOR STOP 1/2" x 1/2" x 1/2" FRANKLIN TOWERS
BATH DOOR	3'-0" x 7'-0"	1 3/4"	SOLID CORE FLUSH	DOOR LOCKSET	BRUSHED CHROME	SCHLAGE	D-SERIES RHODES	1/2" PINE 1/2" 1/2" STANLEY BRUSHED CHROME	UNDERCUT DOOR FLOOR KIT DOOR STOP 1/2" x 1/2" x 1/2" FRANKLIN TOWERS

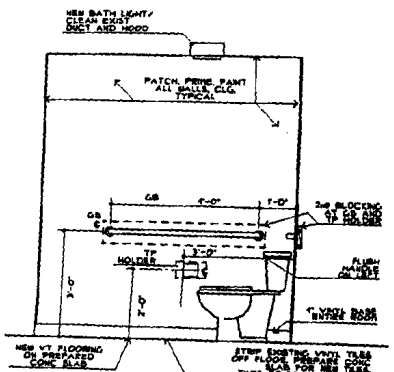
- A. CONTRACTOR MUST FIELD MEASURE FOR ALL DOORS
- B. CONTRACTOR TO PROVIDE 30 X GAGE PERFORATED STEEL FRAME AND 35 STRIKER PLATE AS REQUIRED FOR DOOR HARDWARE
- C. CONTRACTOR TO PROVIDE AND INSTALL ALL REQUIRED DOORS, METAL FRAMES, AND DOOR HARDWARE AT THE FOLLOWING LOCATIONS: HARBOR TERRACE KITCHEN, FRANKLIN TOWERS KITCHEN, BRIGHTON GARDENS BATH, BRIGHTON BATH
- D. CONTRACTOR TO PRIME AND TWO (2) FINISH COAT ALL DOORS AND FRAMES



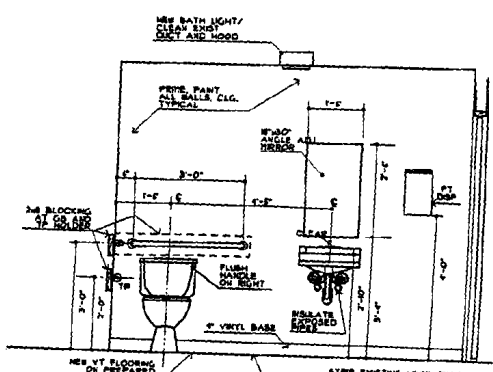
ELEVATION 3
SCALE: 1/2"=1'-0"



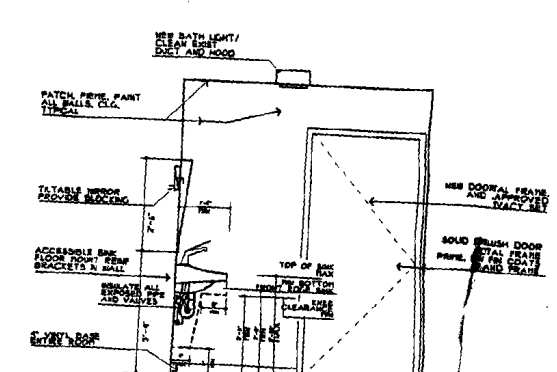
DETAIL AT FASCIA
SCALE: 1/2"=1'-0"



ELEVATION C
SCALE: 1/2"=1'-0"



ELEVATION B
SCALE: 1/2"=1'-0"



ELEVATION A
SCALE: 1/2"=1'-0"