

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

PERMIT

Permit Number: 041286

PERMIT ISSUED

SEP 14 2004

This is to certify that

has permission to Burge John Iii & /Leddy Ho Assoc

AT interior demo and rebuild af fire

176 McKinley Ct

0835 B092001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is loaded or closed-in. HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____
Department Name

James Burke 9/13/04
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1266	Issue Date:	CBL: 083E B092001
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Location of Construction: 176 Mckinley Ct <i>unit 9B</i>	Owner Name: Burge John Iii &	Owner Address: 176 Mckinley Ct # 9b	Phone:
Business Name:	Contractor Name: Leddy Houser Assoc	Contractor Address: 429 Preble St Portland	Phone: 2077670903
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: <i>IR-1</i>

Past Use: residential <i>Single Family</i>	Proposed Use: residential interior demo and rebuild after fire <i>Single Family</i>	Permit Fee: \$1,221.00	Cost of Work: \$125,000.00	CEO District: 1
Proposed Project Description: interior demo and rebuild after fire <i>Per: permit # 970085</i>		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied INSPECTION: Use Group: <i>R3</i> Type: <i>SB</i> <i>BOCA 1999</i> Signature: <i>JMB 9/13/04</i>		
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____				

Permit Taken By: dmm	Date Applied For: 08/27/2004	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>JMB 9/13/04</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input checked="" type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>9/13/04</i>
	<i>Approved TO remain SF Home</i>		

fee D.A. for structural work

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1266	Date Applied For: 08/27/2004	CBL: 083E B092001
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Location of Construction: 176 Mckinley Ct	Owner Name: Burge John Iii &	Owner Address: 176 Mckinley Ct # 9b	Phone:
Business Name:	Contractor Name: Ledy Houser Assoc	Contractor Address: 429 Preble St Portland	Phone (207) 767-0903
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: residential interior demo and rebuild after fire	Proposed Project Description: interior demo and rebuild after fire
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Dept: Zoning **Status:** Approved **Reviewer:** Jeanine Bourke **Approval Date:** 09/13/2004
Note: **Ok to Issue:**
 1) This permit approves structural work, historic approval is required for exterior finishes.
 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

Dept: Building **Status:** Approved **Reviewer:** Jeanine Bourke **Approval Date:** 09/13/2004
Note: 9/9/04 left vm w/Ledy-Houser for structural stamped plans, clearer and historic review, left vm w/Deb A. **Ok to Issue:**
 9/13 Received new stamped plans, they would like to start the structural work to shore up the brick gables
 1) Separate permits are required for any electrical, plumbing, or heating.

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	083E B092001
Location	176 MCKINLEY CT
Land Use	SINGLE FAMILY
Owner Address	BURGE JOHN III & HANNAH BURG JTS 176 MCKINLEY CT # 9B GREAT DIAMOND ISLAND ME 04109
Book/Page	17810/043
Legal	83E-B-92 UNIT 9B PLAN OF DIAMOND COVE MCKINLEY CT 176 GREAT DIAMOND ISLAND

Valuation Information

Land	Building	Total
\$31,500	\$145,530	\$177,030

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
1850	Colonial	2	2316	0.042	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
5	3	1	10	Unfin	Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
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Sales Information

Date	Type	Price	Book/Page
07/01/2002	LAND + BLDING	\$410,000	17810-43
02/29/1996	LAND + BLDING	\$68,625	12423-208

Picture and Sketch

[Picture](#) [Sketch](#)

[Click here](#) to view Tax Roll Information.

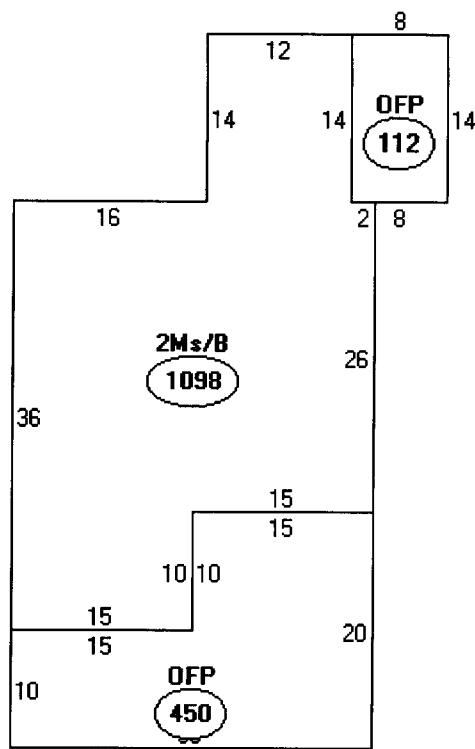
Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

New Search!



<http://www.portlandassessor.com/images/pictures/01006701.jpg>

09/09/2004



Descriptor/Area

A: 2Ms/B
1098 sqft

B: OFF
112 sqft

C: OFF
450 sqft

Burge

27

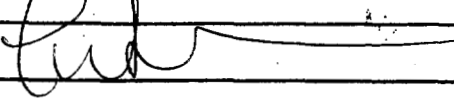
All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>176 McKinley</u>		
Total Square Footage of Proposed Structure <u>1750</u>	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# <u>83</u> Block# <u>EB</u> Lot# <u>092</u>	Owner: <u>John & Hannah Burge</u>	Telephone: <u>212-453-3528</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Leddy Houser Assoc. 767-0903 429 Preble St SP</u>	Cost Of Work: <u>\$125,000</u> Fee: <u>\$ 1146</u>
Current use: Summer home <u>Summer home</u>		
If the location is currently vacant, what was prior use: <u>Same</u>		
Approximately how long has it been vacant: <u>6mo</u>		
Proposed use: <u>Same</u>		
Project description: <u>Fire Damage clean up and rebuild</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>Leddy Houser Associates</u>		
Mailing address: <u>429 Preble St So Pld Me 04104</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE:		

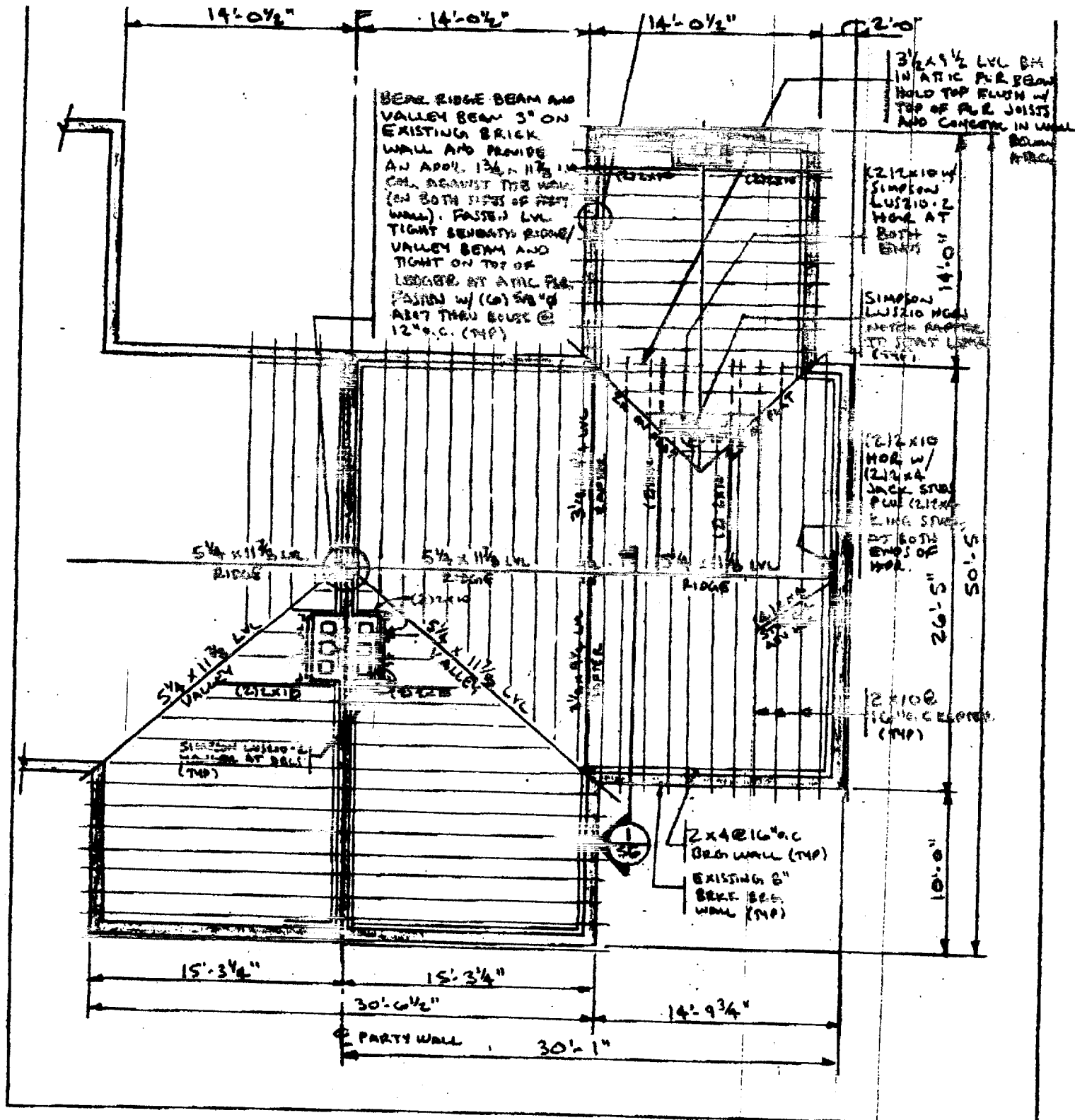
IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <u>9/27/04</u>
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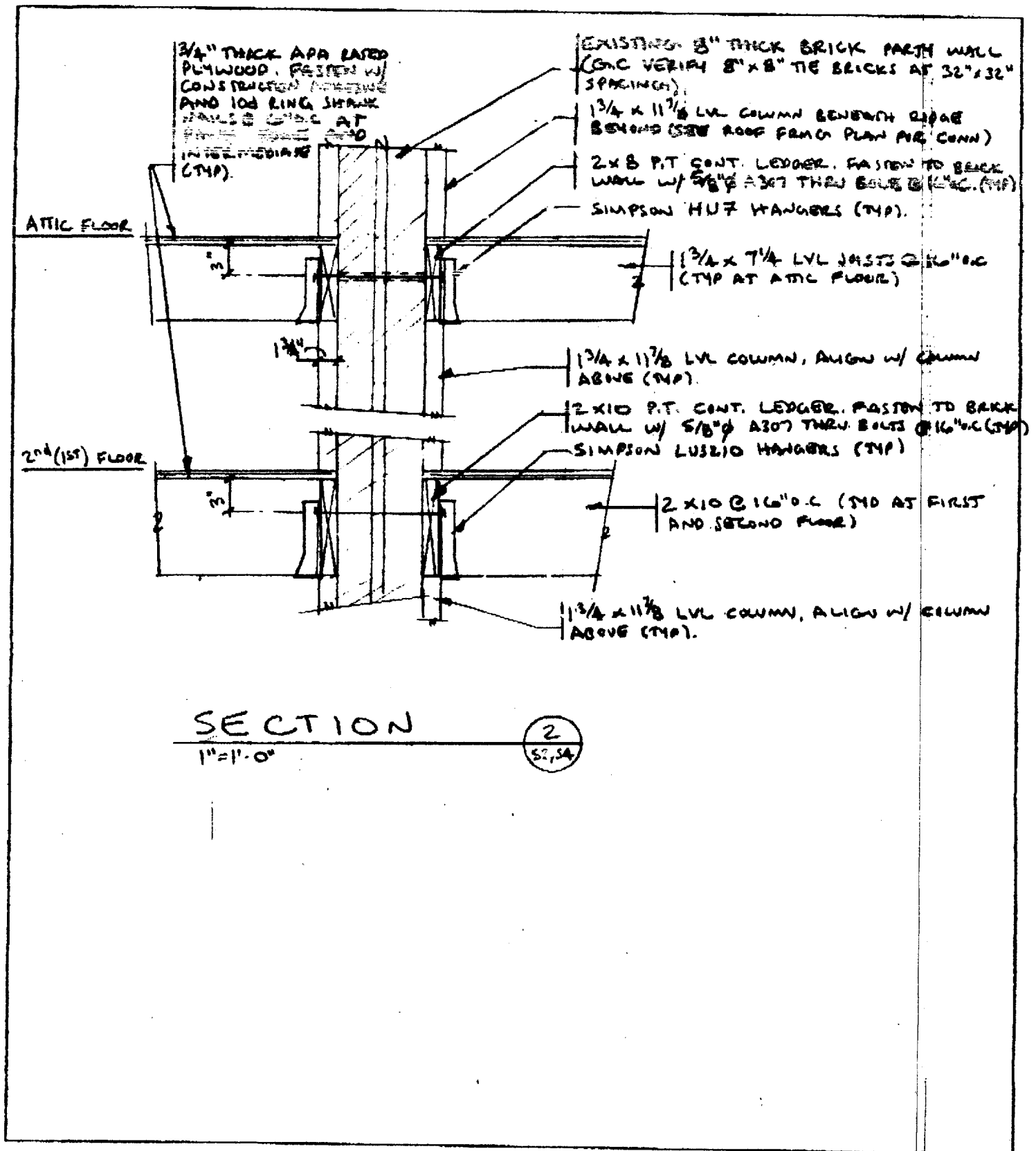
This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

CHK# 6461

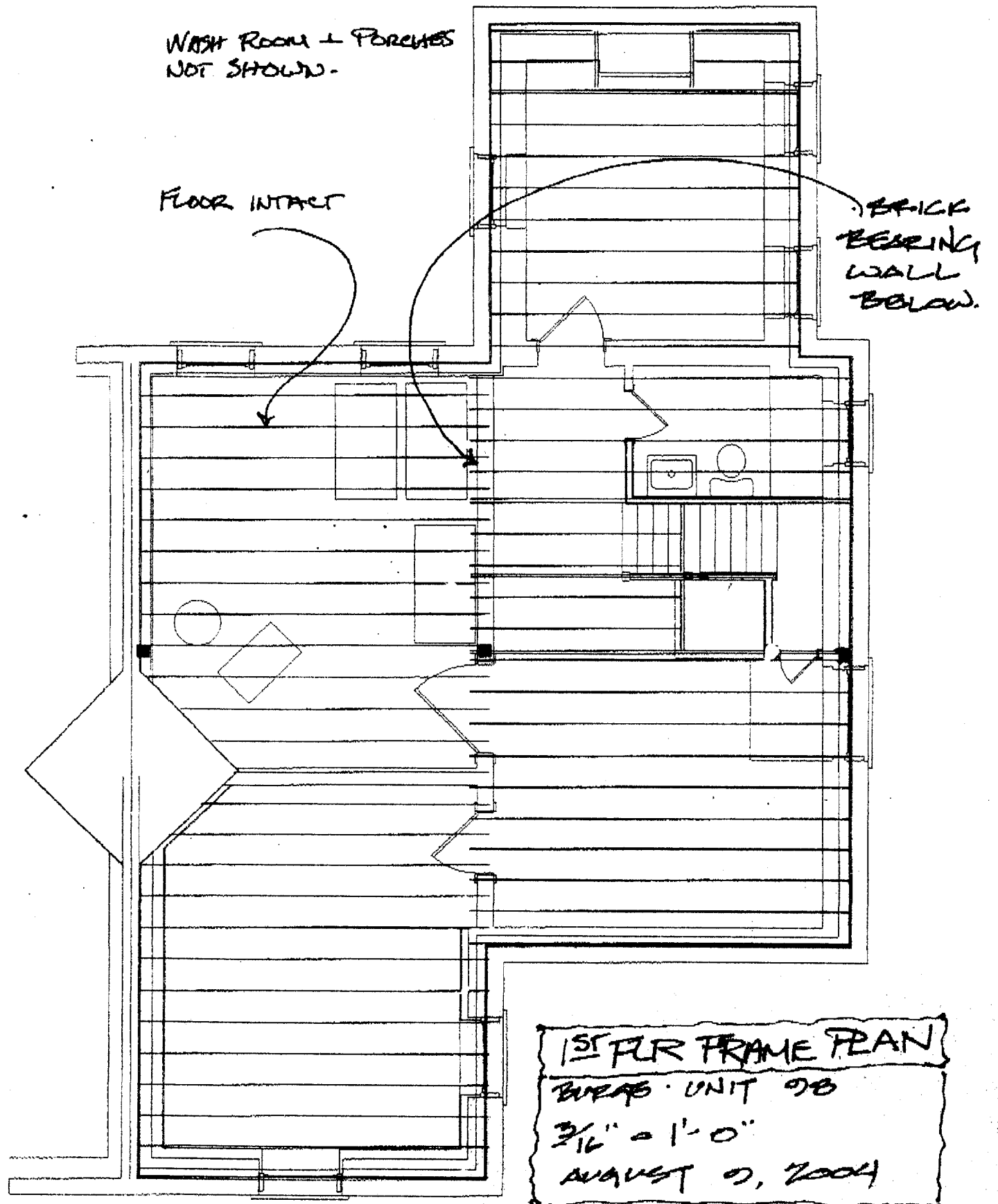


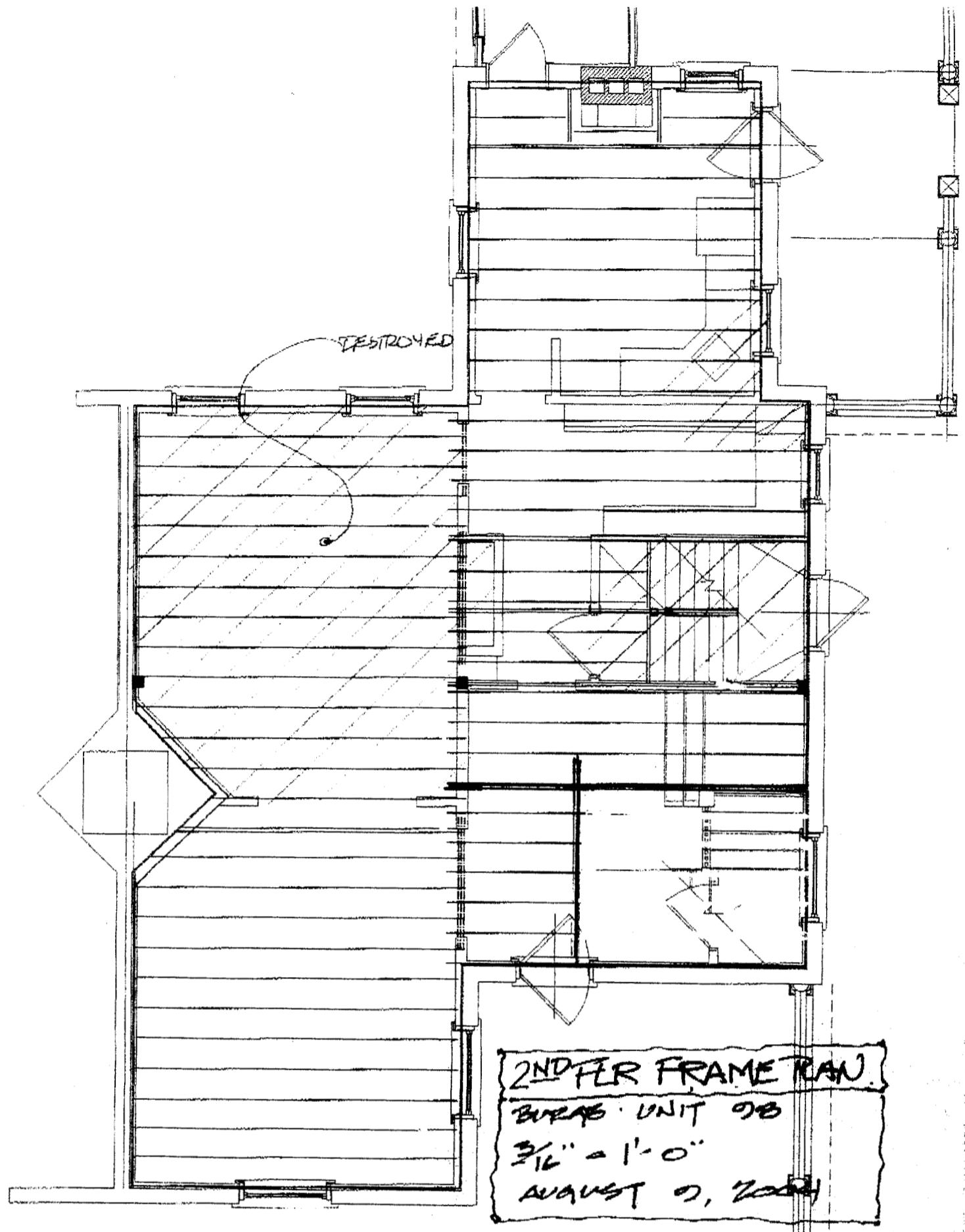
designed by:	JHL	BOESE RESIDENCE (SMITH SIM)	L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX O STREET SOUTH PORTLAND, MAINE 04106 PHONE: (207) 757-4880 FAX: (207) 798-8432 EMAIL: LLE@LLOL.COM
drawn by:	JHL	UNIT #98 (9A SIM)	
checked by:	MFL	GREAT DIAMOND ISLAND	
scale:	NOTED	PORTLAND, MAINE	
date:	8/12/04	ROOF FRAMING PLAN.	

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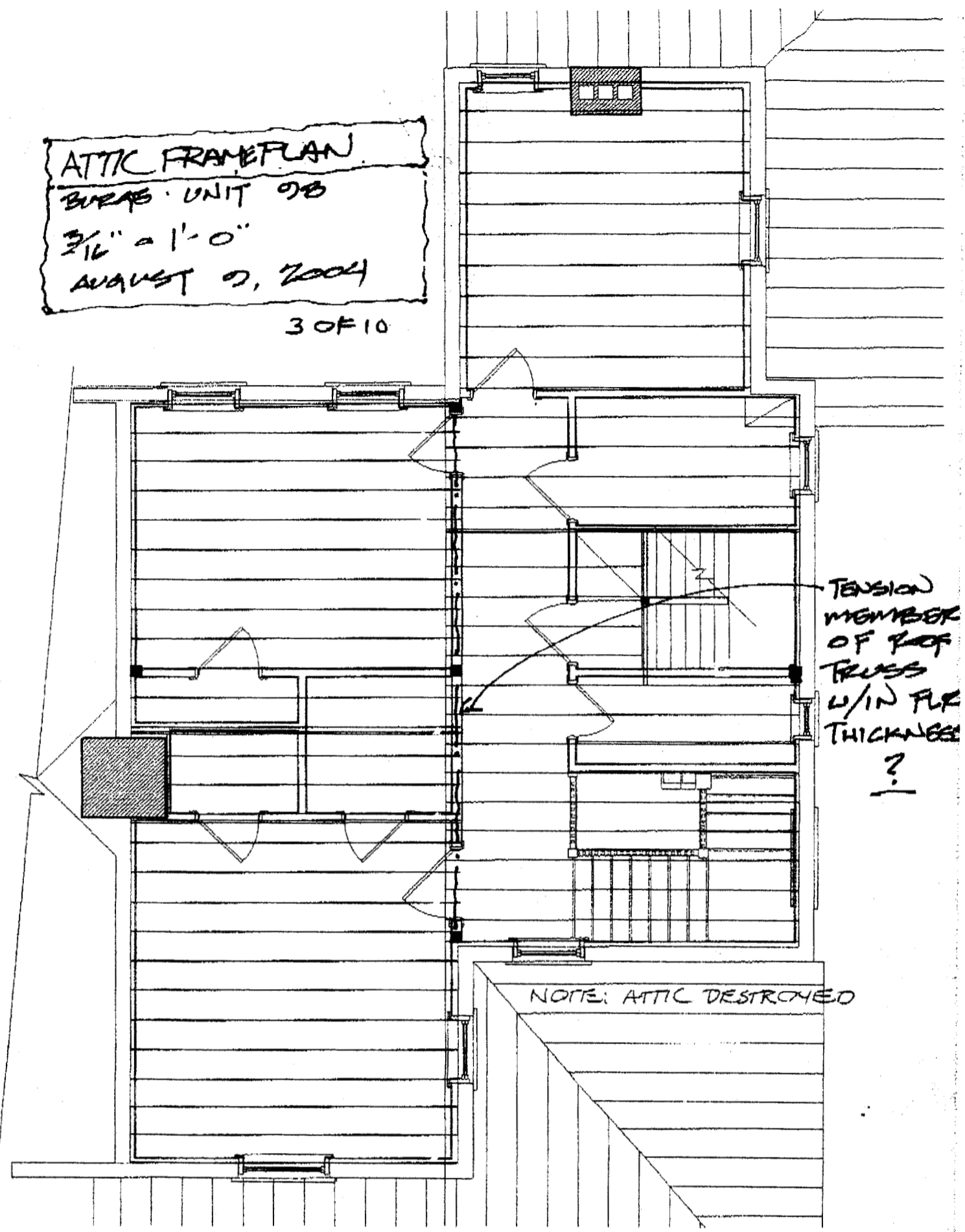
designed by:	JHL	BURGE RESIDENCE (SMITH SIM) UNIT #98 (9A:W) GREAT DIAMOND ISLAND PORTLAND, MAINE SECTIONS & DETAILS	L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX O STREET SOUTH PORTLAND, MAINE 04106 PHONE: (207) 787-4830 FAX: (207) 788-9432 EMAIL: LLENG@L&L.COM
drawn by:	JHL		
checked by:	MFL		
scale:	NOTED		
date:	8/12/04		





ATTIC FRAME PLAN
 BURAS UNIT 08
 3/16" = 1'-0"
 AUGUST 9, 2004

3 OF 10

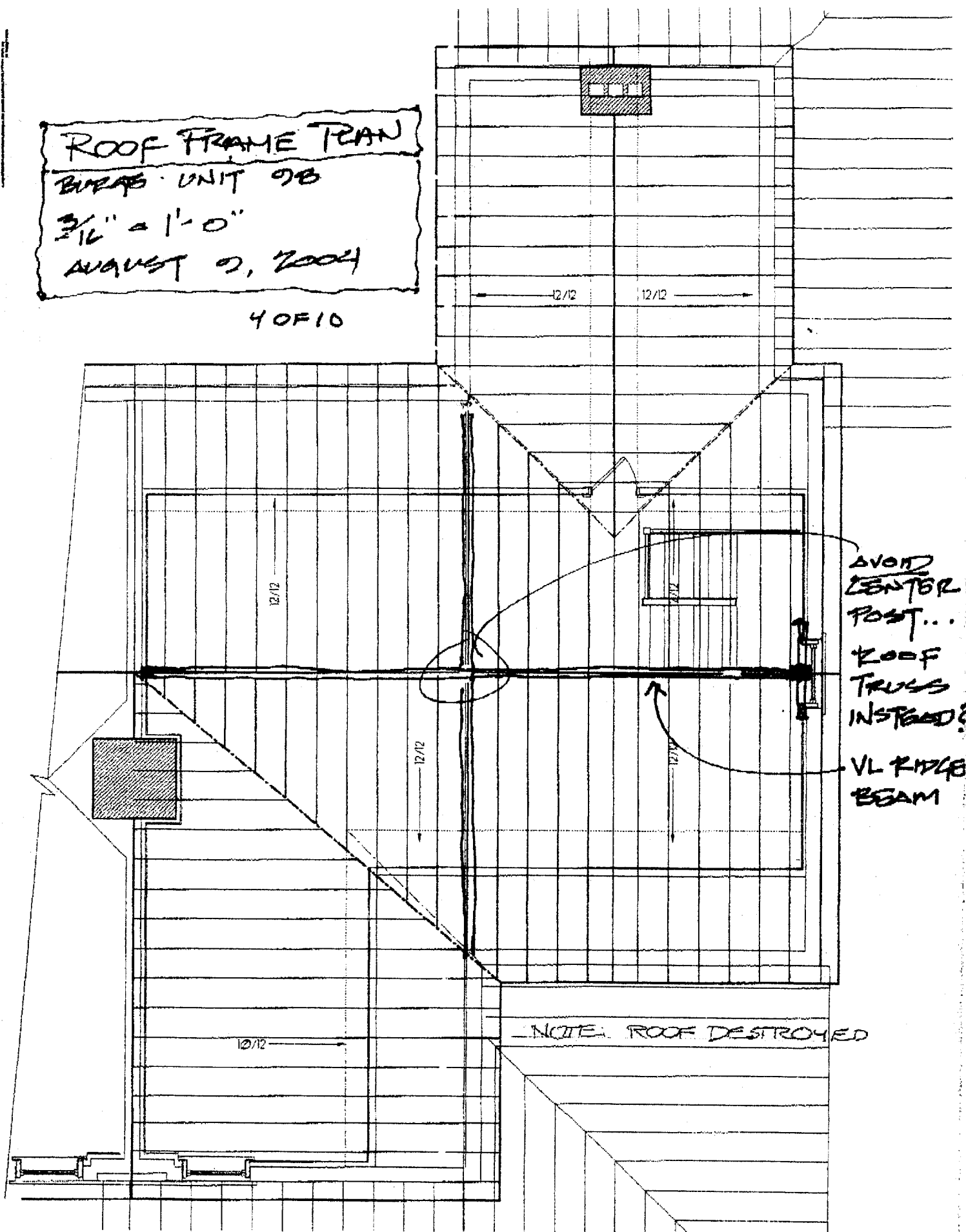


TENSION
 MEMBER
 OF ROOF
 TRUSS
 W/IN FLE
 THICKNESS
 ?
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NOTE: ATTIC DESTROYED

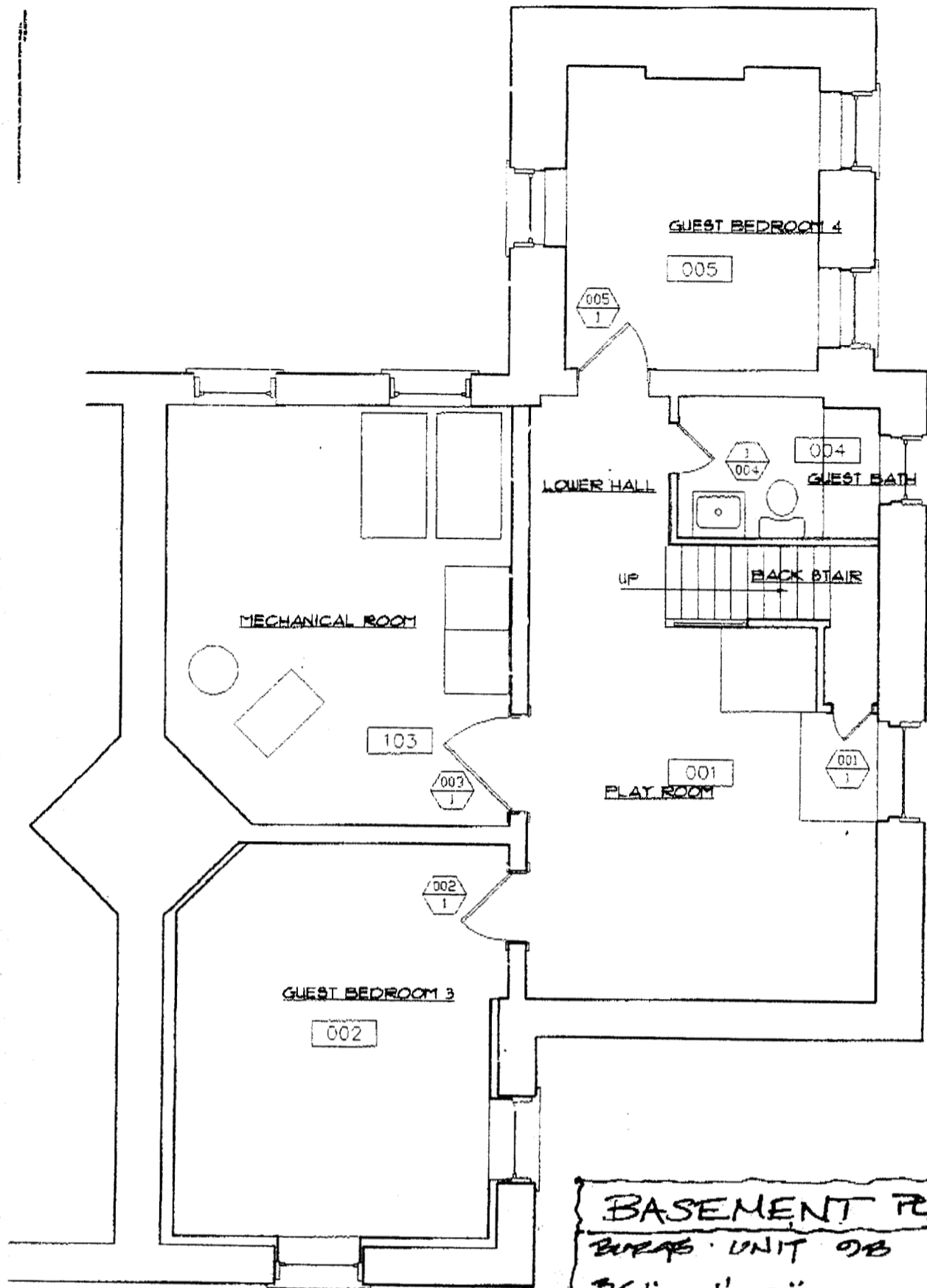
ROOF FRAME PLAN
 BUREAU UNIT 9B
 3/16" = 1'-0"
 AUGUST 9, 2004

4 OF 10



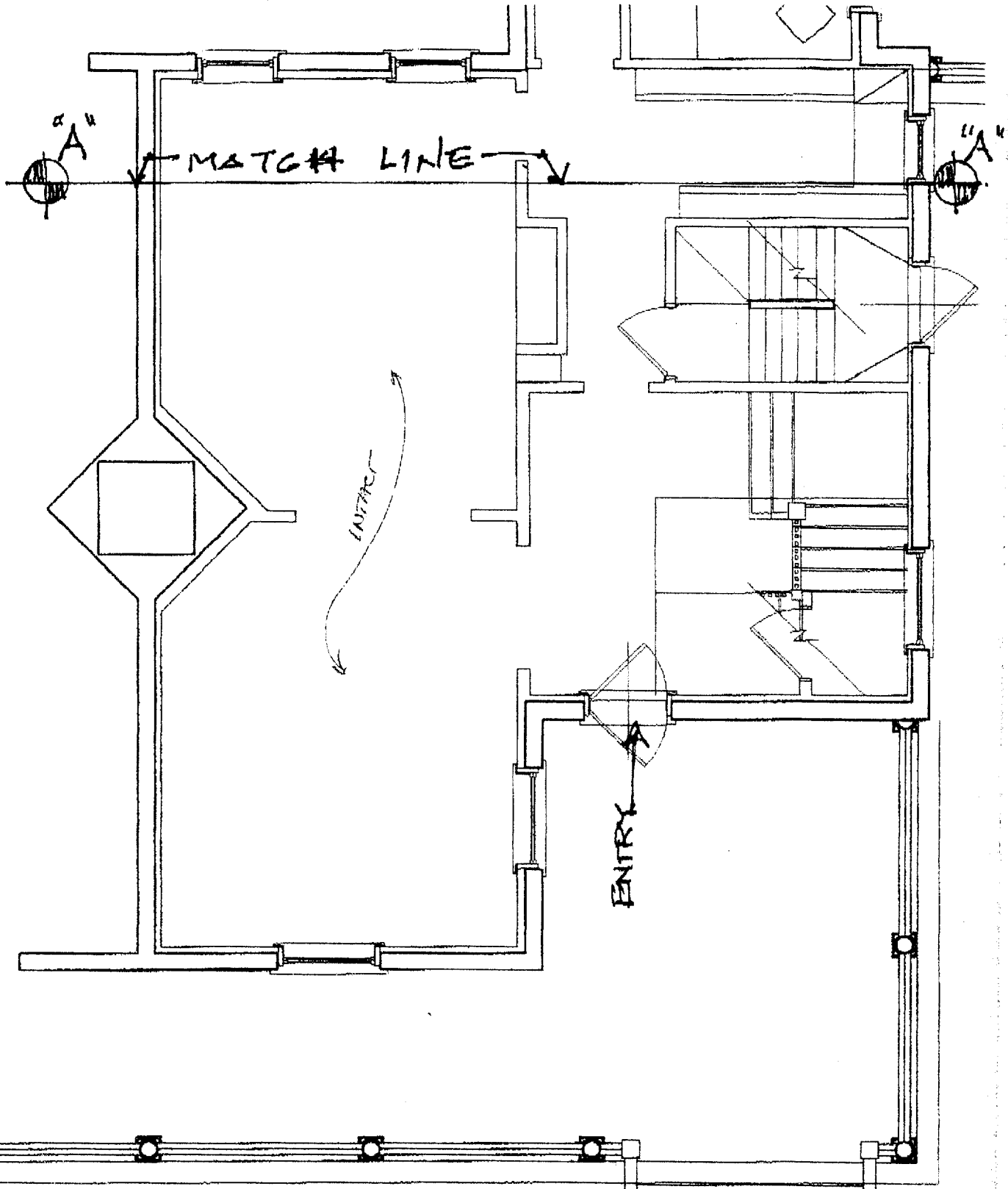
AVOID
 CENTER
 POST...
 ROOF
 TRUSS
 INSTEAD?
 VL RIDGE
 BEAM

NOTE: ROOF DESTROYED

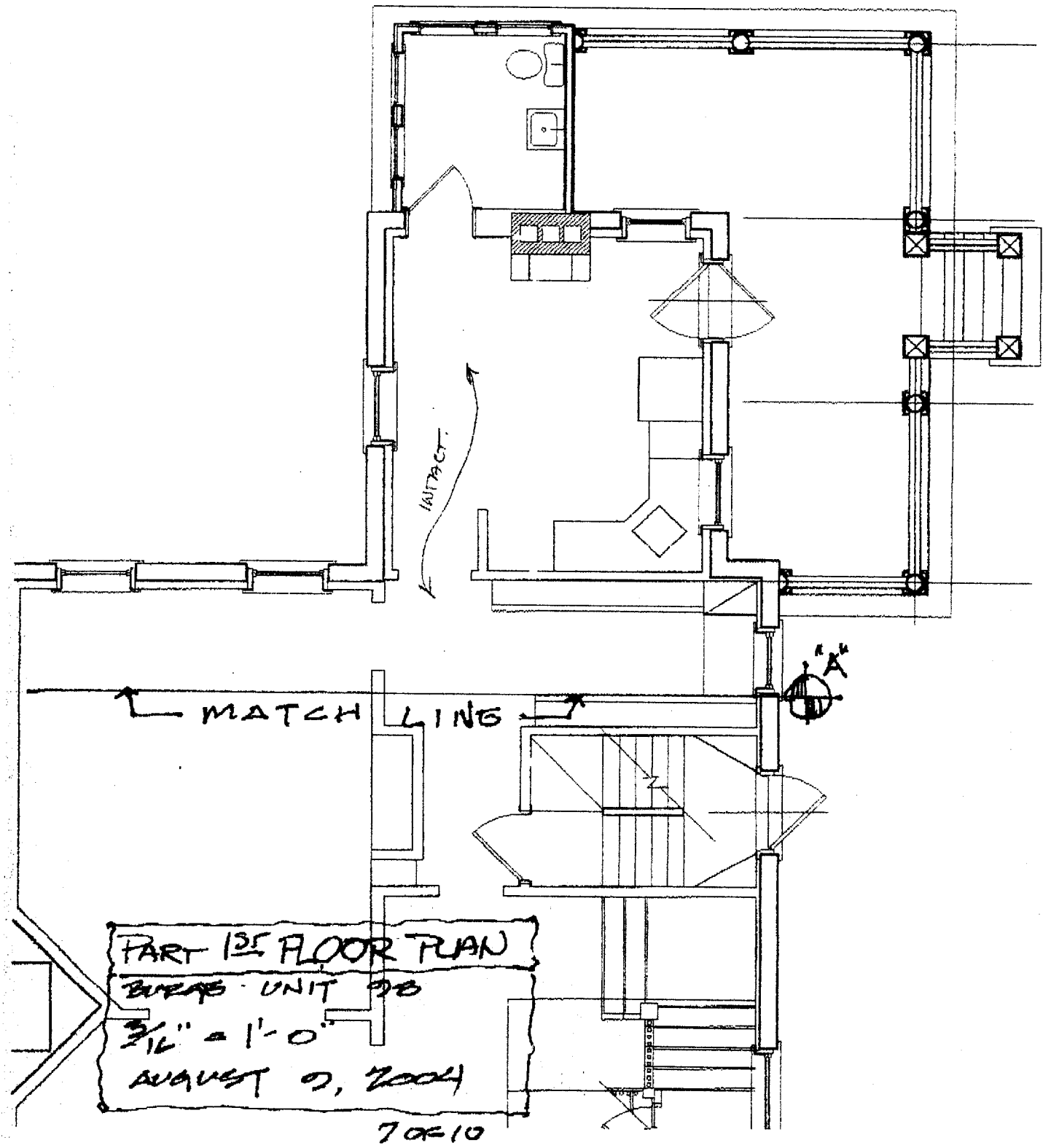


BASEMENT PLAN
 BURAS UNIT 08
 3/16" = 1'-0"
 AUGUST 9, 2004

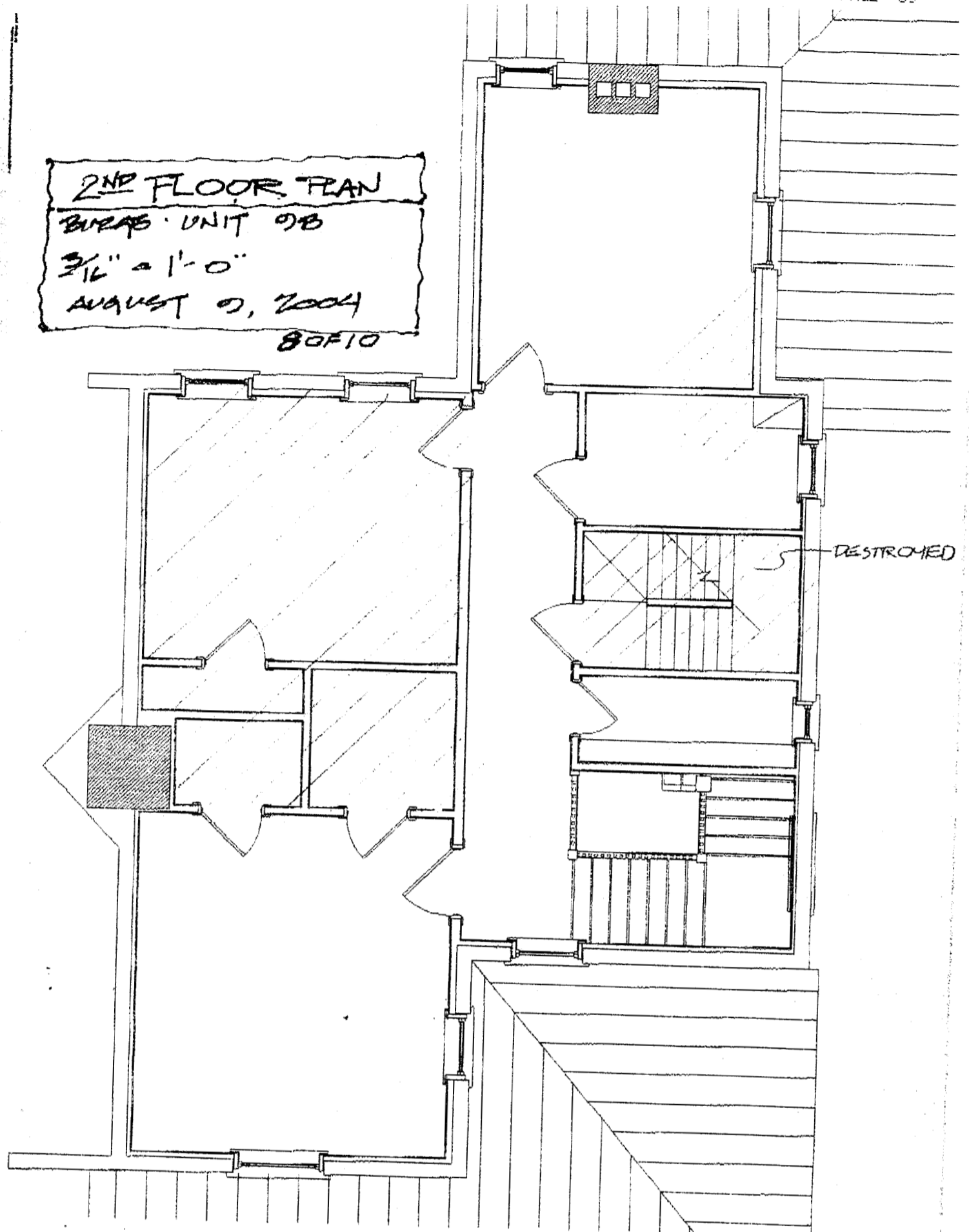
5 OF 10

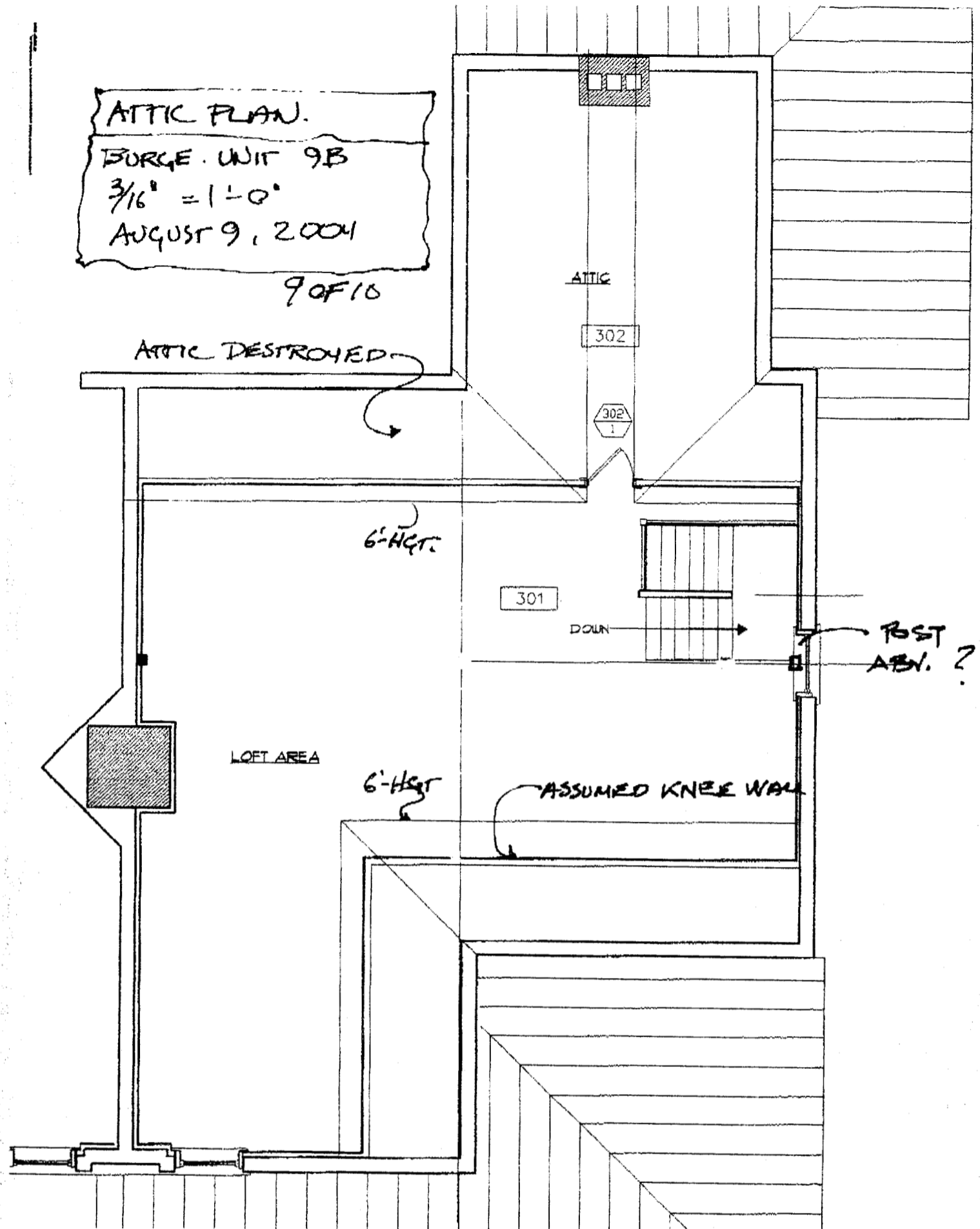


PART 1ST FLOOR PLAN
 BURAS UNIT 9B
 3/16" = 1'-0"
 AUGUST 9, 2004
 60810



2ND FLOOR PLAN
 BURAS UNIT 08
 3/4" = 1'-0"
 AUGUST 9, 2004
 80F10







L & L STRUCTURAL
ENGINEERING SERVICES, INC.
Six Q Street
South Portland, ME 04106
Phone: (207) 767-4830
Fax: (207) 799-5432

BURGE RESIDENCE

UNIT #9B GREAT DIAMOND ISLAND
PORTLAND, MAINE

BUILDING REPAIR

SEP 13

Prepared for: Bernhard & Priestley Architecture, LLC
23 Central Street
P.O. Box 424
Rockport, Maine 04856

Submission Date: September 10, 2004 (FOR PERMIT ONLY)
Drawings Submitted: S1, S2, S5 thru S7



GENERAL NOTES:

1. The notes on the drawings are not intended to replace specifications. See specifications for requirements in addition to general notes.
2. Structural drawings shall be used in conjunction with job specifications and architectural, mechanical, electrical, plumbing, and site drawings. Consult these drawings for locations and dimensions of openings, chases, inserts, reglets, sleeves, depressions, and other details not shown on structural drawings.
3. All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work.
4. Do not scale plans.
5. Sections and details shown on any structural drawings shall be considered typical for similar conditions.
6. All proprietary products shall be installed in accordance with the manufacturers written instructions.
7. The structure is designed to be self supporting and stable after the Building is complete. It is the contractor's sole responsibility to determine erection procedures and sequencing to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, sheeting temporary bracing, guys or tie downs. Such material shall remain the property of the contractor after completion of the project.
8. All applicable federal, state, and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

DESIGN LOADS:

1. Building code: BOCA Basic Building Code (1999)
2. Design Live Loads: (Ground snow load = 60 PSF)
Roof.....42 PSF + Drift
Floor..... 40 PSF



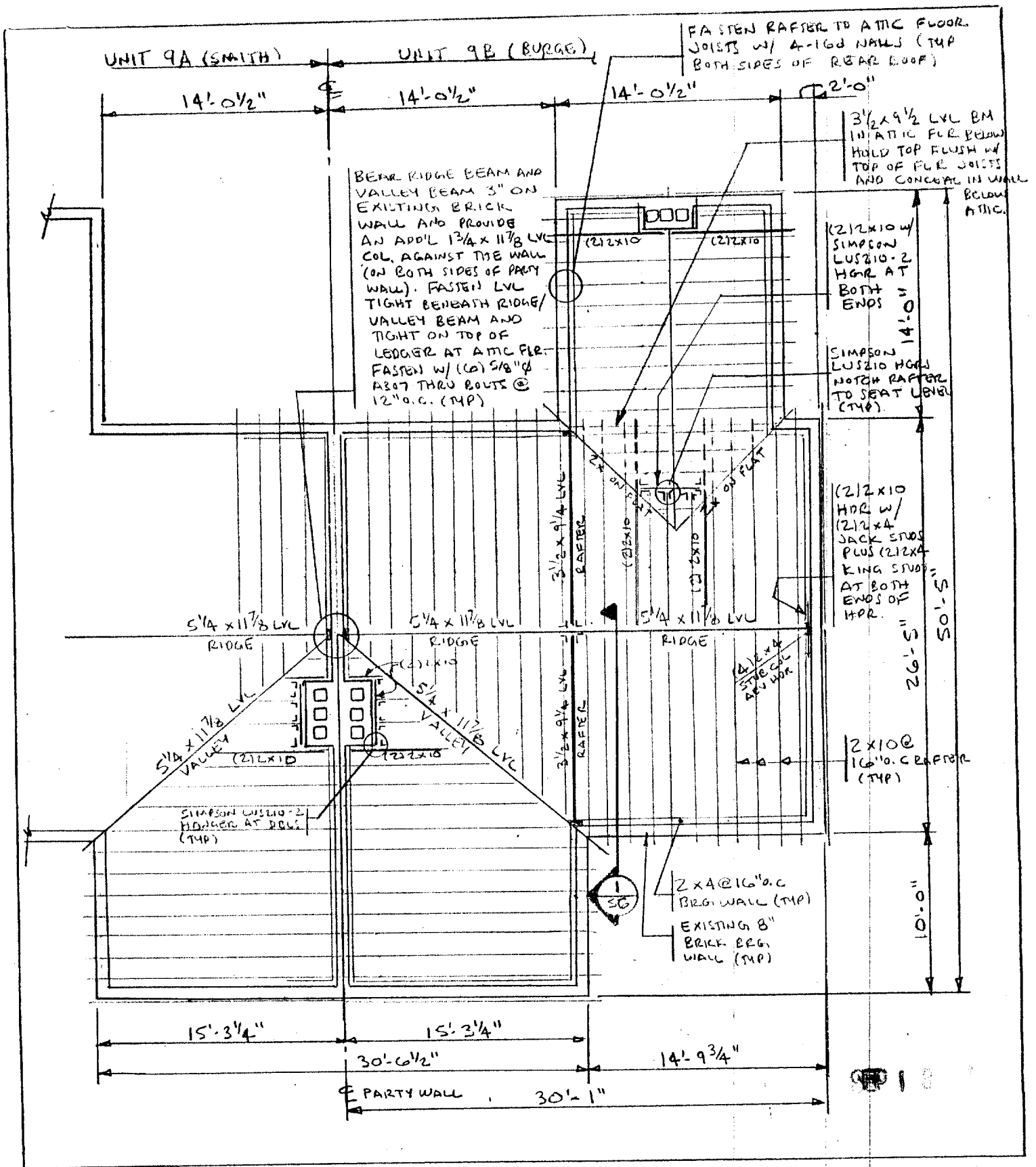
designed by: JHL	BURGE RESIDENCE UNIT #9B GREAT DIAMOND ISLAND PORTLAND, MAINE	L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX Q STREET SOUTH PORTLAND, MAINE 04106 PHONE: (207) 767-4830 FAX: (207) 799-5432 EMAIL: LLENG@AOL.COM	S1
drawn by: JHL			
checked by: MFL			
scale: NOTED			
date: 8/12/04			
GENERAL NOTES			

TIMBER FRAMING:

1. All timber framing shall be in accordance with the AITC Timber Construction Manual or the National Design Specification (NDS) -Latest editions.
2. Individual timber framing members shall be visually graded, minimum grade #2 Spruce-Pine-Fir (SPF), kiln dried 19% maximum moisture content.
3. Pressure treated lumber shall be used where wood is in contact with ground or concrete. Timber shall be southern yellow pine treated with CCA to 0.4 #/CF in accordance with AWPA C-18.
4. Provide solid 2x lumber blocking/bridging, double nailed at each end, at 8 feet maximum spacing for all dimensional lumber floor framing.
5. Standard metal connectors shall be used at all timber to timber connections or as noted on the design drawings.
6. Provide Simpson H2.5 Hurricane anchors at each end of timber trusses and rafters.
7. Nailing not specified shall conform with BOCA appendix C.
8. Provide 19/32" thick APA rated sheathing on roof framing.
9. Provide 15/32" thick APA rated sheathing on exterior wall framing.
10. Provide 23/32" thick APA rated T&G plywood sheathing or Advantech on floor framing.

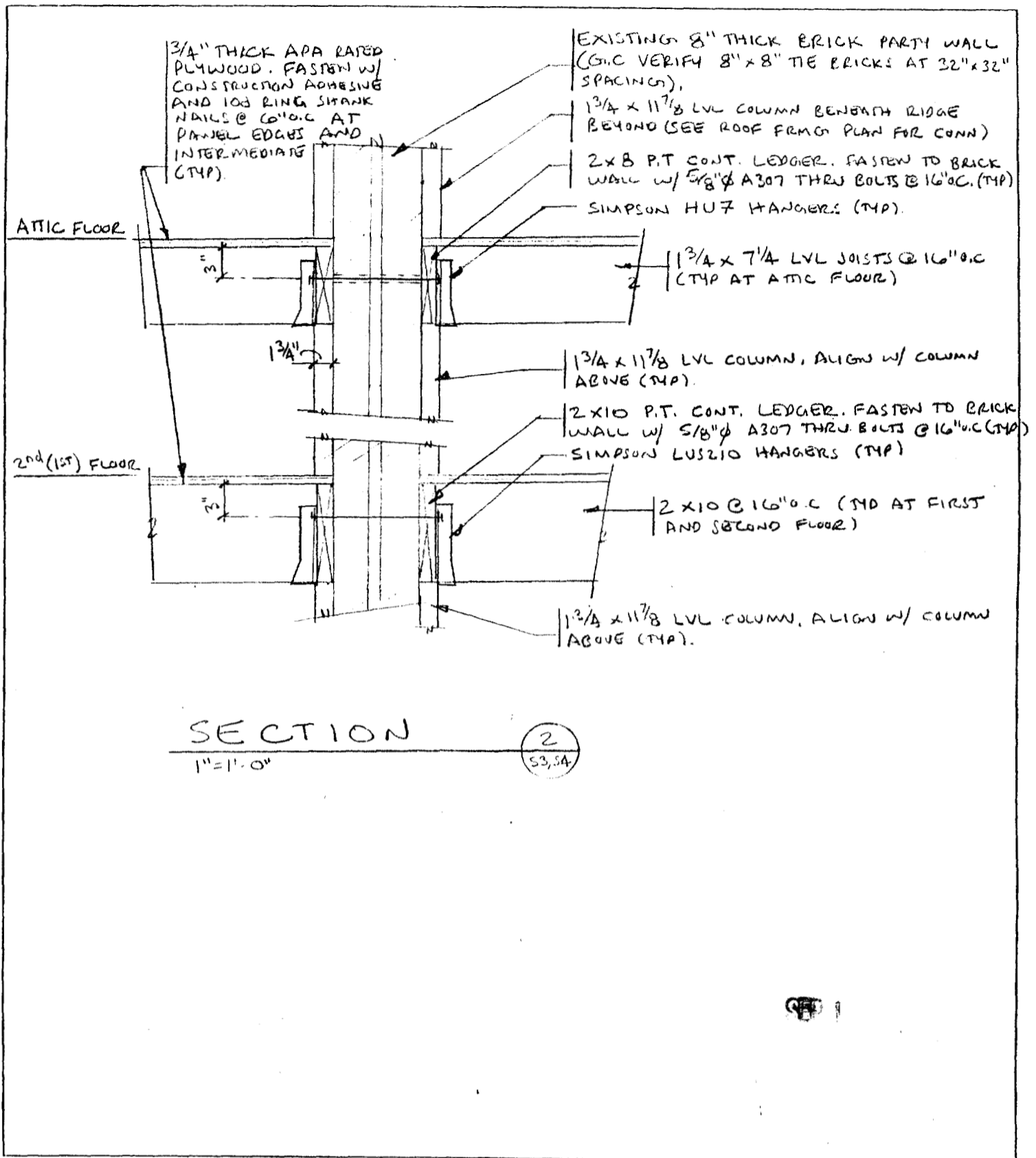
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designed by: JHL	BURGE RESIDENCE UNIT #9B GREAT DIAMOND ISLAND PORTLAND, MAINE	L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX Q STREET SOUTH PORTLAND, MAINE 04106 PHONE: (207) 767-4830 FAX: (207) 799-5432 EMAIL: LLENG@AOL.COM	S2
drawn by: JHL			
checked by: MFL			
scale: NOTED			
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GENERAL NOTES			



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ROOF FRAMING PLAN		SS	

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FAX: (207) 700-5432
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		SECTIONS & DETAILS	PHONE: (207) 787-4830 FAX: (207) 788-5432 EMAIL: LLENG@AOL.COM
			57