

Form # P 04

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING DEPARTMENT PERMIT

SEP 14 2004
Permit Number: 040497
CITY OF PORTLAND

This is to certify that Portland Retirement Residence Colson & Co. General Contractor
has permission to Build new 72330 sq. Ft. 80 unassisted living facilities and 2 duplex cottages & 2 Car Garage 43'6" x 27'
AT 217 Canco Rd 149 B001001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is started or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. FIRE APPROVAL ON 8/4/04
Health Dept. _____
Appeal Board _____
Other _____

Department Name

[Signature]
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0497	Issue Date:	CBL: 149 B001001
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Location of Construction: 217 Canco Rd	Owner Name: Portland Retirement Residence	Owner Address: 2250 Mcgilchrist St Ste 200	Phone:
Business Name: n/a	Contractor Name: Colson & Colson General Contracto	Contractor Address: PO Box 1411 Salem	Phone 5033991090
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Multi Family	Zone: R-5a

Past Use: Vacant	Proposed Use: Build new 72,330 sq. Ft. 80 unit assisted living facility. <i>2 Duplex Cottages</i>	Permit Fee: \$42,396.00	Cost of Work: \$4,700,000.00	CEO District: 4	<i>Ros</i>
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>I-1</i> Type: <i>SA</i>		

Proposed Project Description: Build new 72330 sq. Ft. 80 unit assisted living facility. <i>2 Duplex Cottages</i> <i>PHASE 2 Cottages</i>	Signature: <i>[Signature]</i>	Signature: <i>9/14/04</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature: _____ Date: _____		

Permit Taken By: gg	Date Applied For: 04/28/2004	Zoning Approval
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland <i>NA</i></p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone <i>Phase 2 Zone</i></p> <p><input checked="" type="checkbox"/> Subdivision <i>yes</i></p> <p><input checked="" type="checkbox"/> Site Plan <i>#2003 - 0196</i></p> <p>Maj <input checked="" type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p><i>ok with conditions</i></p> <p>Date: <i>8/14/04</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>[Signature]</i></p>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0497	Date Applied For: 04/28/2004	CBL: 149 B001001
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Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Multi Family	

Proposed Use: Build new 72,330 sq. Ft. 80 unit assisted living facility and 2 duplex cottages & 2-car Garage	Proposed Project Description: Build new 72330 sq. Ft. 80 unit assisted living facility and 2 duplex cottages & 2 Car Garage
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 08/04/2004

Note: 4/29/04 Gave back to Karen - this has not been approved by the planning bd yet **Ok to Issue:**
 7/16/04 received revised plans showing that frontage is along Murray Stree (50') - however front setback is only showing 20' - needs 25'
 7/19/04 Called Owens - recieved revised approved plans on 8/2/04

- 1) Separate permits shall be required for any new signage.
- 2) This permit is being approved on the basis of revised plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Mike Nugent **Approval Date:** 09/14/2004

Note: **Ok to Issue:**
 1) Clothes dryer vent chases must be continuous to the underside of the roof sheathing.
 The wood frame structure must be part of the Special Inspection Process, Engineer has agreed.
 The Attic is fully sprinklered , negating the need for fire/draft stopping.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Lt. MacDougal **Approval Date:** 08/04/2004

Note: **Ok to Issue:**
 1) the fire alarm system and sprinkler system shall be tested to the appropriate standard and the results submitted to the Portland Fire Department
 2) the fire alarm system shall have a masterbox disconnect switch
 3) the fire alarm system shall be connected to the City of Portland masterbox system. Contact Ben Diaz 874-8489 for details
 4) the fire alarm system shall be installed in accordance with NFPA 72 standards
 5) Application requires State Fire Marshal approval.

Dept: Engineering **Status:** Approved with Conditions **Reviewer:** Tony **Approval Date:** 03/10/2004

Note: PUBLIC WORKS ENGINEERING REVIEW...10/02/03 **Ok to Issue:**

I have reviewed the conceptual plans and application 9/18/03 and offer the following general comments:

1. Public Works will require information regarding sanitary sewer flows for the added development.
2. We will also have concerns regarding stormwater management and downstream impact, as it relates to this development.

PUBLIC WORKS ENGINEERING REVIEW...3/10/04

I have reviewed the plans and submittal dated 3/5/04 and offer the following comments:

1. Sheet 7 of 12...The sanitary sewer connection into the manhole in Murray Street must specify the structure

Location of Construction: 217 Canco Rd	Owner Name: Portland Retirement Residence	Owner Address: 2250 Mcgilchrist St Se Ste 200	Phone:
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Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Multi Family	

will be "core drilled" to create the proposed invert in.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Lt. MacDougal **Approval Date:** 09/30/2003
Note: **Ok to Issue:**

- 1) Applicant must show hydrant within 500' path of travel.
- 2) Application requires State Fire Marshal approval.

Dept: DRC **Status:** Approved with Conditions **Reviewer:** Sebago Technic **Approval Date:** 04/27/2004
Note: **Ok to Issue:**

- 1) see planning conditions

Dept: Planning **Status:** Approved with Conditions **Reviewer:** Kandi Talbot **Approval Date:** 04/27/2004
Note: **Ok to Issue:**

- 1) 7. Prior to issuance of a building permit, the Zoning Administrator will be provided the subdivision plan for review with compliance with zoning provisions of ordinance relative to the lots.
- 2) 6. that the applicant shall provide satisfactory evidence of it's legal right to install a sewer line within Dudley Street and Lee Street as shown on the plan and, if no such right is shown, applicant will provide an alternative design and location to the Planning Authority for review and approval prior to the issuance of a Certificate of Occupancy.
- 3) 5. that the applicant submit easement deed or deeds between owners of Parcel A and Parcel B for review and approval by Corporation Counsel.
- 4) 4. that the applicant submit the Tier 1 Wetlands Alteration Permit approval from the Maine Department of Environmental Protection prior to issuance of a building permit.
- 5) 3. that the applicant revise the plans in accordance with the Public Works' comments dated March 10, 2004 regarding the sewer connection.
- 6) 2. that the applicant provide a subdivision recording plat for the development, as required by the subdivision ordinance, which shall include all easements between Parcel A and Parcel B.
- 7) 1. that the project engineer address the Development Review Coordinator's comments raised in the April 21, 2004 memo, and the final plans shall require approval by the Development Review Coordinator after such consultation.

Comments:

- 4/28/2004-gg: Balance due \$9,066. /gg
4/29/2004-kwd: 2nd set of pland to MJN. Kwd

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Comments:

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4/29/2004-kwd: 2nd set of pland to MJN. Kwd

Applicant: Holiday Retirement

Date: 7/16/04

Address: 219 Canco Rd - Phase II C-B-L: 149-B-001

CHECK-LIST AGAINST ZONING ORDINANCE

Date - Phase I existing

Zone Location - RSA & ROS

80 Suite Assisted Living facility and 2 Duplex Cottages

Interior or corner lot -

Proposed Use/Work - Phase II of retirement / Intermediate care facility

Sewage Disposal - City

considered front

see revised plans

Lot Street Frontage - 50' req - 51' shown along Murray

Front Yard - 25' req - 25' shown

Rear Yard - 25' req - 60' shown

Side Yard - 16' req - 25' AT closest

Projections -

Width of Lot - ~~60'~~ 100'+ shown

Height - NO height

Lot Area -

442,415# - phase II
471,989# - phase I

Lot Coverage/Impervious Surface -

30% MAX - ^{whatever close with} ROS zone

Area per Family -

Off-street Parking - originally the entire project parking was approved by Planning Board over 50,000#

Loading Bays -

Site Plan - # 2003-0196

Shoreland Zoning/Stream Protection - N/A

Flood Plains - Panel 7 Zone X

7/19/04 - called Owens McCullough about 1A-403 frontage requirements



Curry Brandaw Architects

PARTNERSHIP

Fax

Date: 8/12/04

To: Mike Nugent
Portland, City of
389 Congress St.
Portland, ME 04101
Phone: 207-874-8700
Fax: 207-874-8716

From: Ron Jackson
Curry Brandaw Architects
2601 25th St. S.E. Suite 300
Salem, OR 97302
Phone: 503-399-1944 ext.237
Fax: 503-399-0565

Pages: 13

Re: Portland Assisted Living

Mike,

Please find attached copies of the forms that we discussed earlier. If you happen to find something missing, please feel free to call me. When it is convenient for you, I am in the office at 4:30am my time so please do not hesitate. It is my understanding that the site work is further along than I anticipated earlier when we spoke on the phone. I appreciate your help expediting this foundation permit for us. Please if you have any question or concern please feel free to call me any time.

2601 - 25th St. SE, Suite 300 ■ Salem, Oregon 97302 ■ Phone 503.399-1090 ■ Fax 503.399-0565



Curry Brandaw Architects

PARTNERSHIP

May 21, 2004

Michael Nugent
City of Portland
Inspection Services Manager
Planning and Development Department
City Hall Room 315
389 Congress St
Portland, ME 04101

RE: Portland Assisted Living Facility
217 Canco Road

Dear Mr. Nugent

Thank you for meeting with me last week to discuss this project. Per your request I am enclosing: The Accessibility Certificate, Boca Certificates and Special Inspection Schedules and a Statement of Special Inspections.

The scheduled date to start construction of this Facility is July 1, 2004. I understand your department is very busy and hope that you feel free to call or e-mail me, davidh@currybrandaw.com, if you have any questions or need additional information to facilitate your review.

Sincerely,

David Holton
Curry Brandaw Architects



CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Room 315
Portland, Maine 04101

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM DESIGNER: Dan Green Engineering

DATE: May 18, 2004

Job Name: Portland Assisted Living Facility

Address of Construction: Canco Road, Portland, Maine

THE BOCA NATIONAL BUILDING CODE / 1999 (FOURTEENTH EDITION)

Construction project was designed according to the building code criteria listed below:

Building Code and Year 1999 BOCA Use Group Classification(s) _____

Type of Construction 2 story ALF

Structural Systems

Roof Snow Load

50 psf Ground Snow Load (Pg)

N/A If Pg > 10 psf, Flat Roof snow load, Pf

1.0 If Pg > 10 psf, snow exposure factor, Ce

1.0 If Pg > 10 psf, roof thermal factor

1.0 If Pg > 10 psf, snow load importance factor, I

30 psf Sloped Roof Snowload Ps

Earthquake Loads

0.10 Peak velocity-related acceleration, Av

0.10 Peak acceleration, Aa

I Seismic hazard exposure group

C Seismic performance category

S1 Soil profile type

see note Basic structural system / seismic-resisting system
loadbearing wall/wood structural panels

6.5, 4.0 Response modification factor, R, and deflection

amplification factor, Cd,

Yes The documents must account for Drift snow load, unbalanced snow load and Sliding snow loads as required.

Wind Loads

90 mph Basic Wind Speed

see lateral

0.25 Internal Pressure Coefficient

B Wind Exposure Category design Wind Design Pressure 1.0 Wind Importance Factor

section



CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Room 315
Portland, Maine 04101

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: Curry Brandaw Architects

RE: Certificate of Design

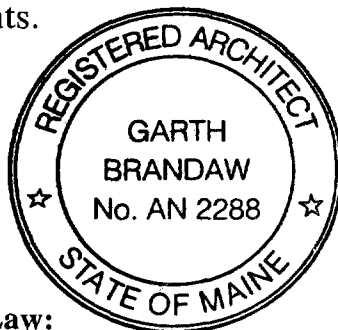
DATE: May 18, 2004

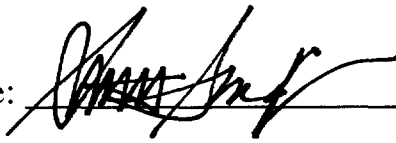
These plans and / or specifications covering construction work on:

84 - Suite, Portland Assisted Living Facility

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the BOCA National Building Code / 1999 (Fourteenth Edition) and local amendments.

(SEAL)



Signature: 

Title: Managing Partner

Firm: Curry Brandaw Architects

Address: 2601 25th Street S.E., Suite 300
Salem, Oregon 97302

As per Maine State Law:

\$50,000.00 or more in new construction, repair expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.



CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Room 315
Portland, Maine 04101

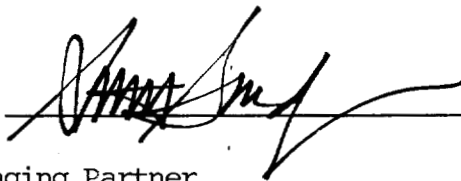
ACCESSIBILITY CERTIFICATE

Designer: Curry Brandaw Architects

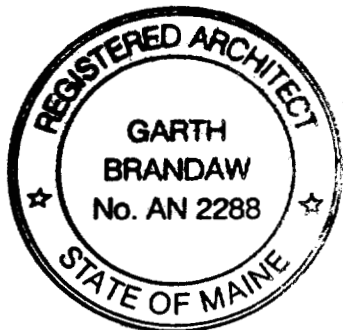
Address of Project: Canco Road, Portland, Maine

Nature of Project: 84 - Suite, Portland Assisted Living Facility

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.

Signature: 
Title: Managing Partner

(SEAL)



Firm: Curry Brandaw Architects

Address: 2601 25th Street S.E., Suite 300
Salem, Oregon 97302

Phone: (503) 399-1090



Curry Brandaw Architects

PARTNERSHIP

STATEMENT OF SPECIAL INSPECTIONS

Project: Portland Assisted Living LLC

Location: 217 Canco Road

Permit Applicant: Colson & Colson Construction Co.

Applicant's Address: P.O. Box 1411 Salem, OR 97309 - 5026

Architect of Record: Curry Brandaw Architects

Structural Engineer of Record: Dan Green Engineering

This statement of special inspection is submitted as a condition for permit issuance in accordance with Section 1705.0 of the 1999 BOCA National Building Code. It includes a Schedule of Special Inspections applicable to this project as well as the name of the Special Inspector, and the identity of other testing laboratories or agencies intended to be retained for conducting these inspections.

The Special Inspector shall keep records of all inspections, and shall furnish inspection reports to the code official and to the structural engineer or architect of record. All discrepancies shall be brought to the immediate attention of the contractor for correction. If the discrepancies are not corrected, the discrepancies shall be brought to the attention of the code official and the structural engineer or architect of record. Interim reports shall be submitted to the code official and to the structural engineer or architect of record monthly, unless more frequent submissions are requested by the code official.

Job site safety is solely the responsibility of the contractor. Materials and activities to be inspected are not to include the contractor's equipment and methods used to erect or install the materials listed.

Prepared By:

David Holton

Type or Print name

Signature

5.21.04

Date

Applicant's Authorization

Signature

Date



SCHEDULE OF SPECIAL INSPECTION SERVICES

(See Commentary For Guidance in Completing This Form)

MATERIAL/ACTIVITY	SERVICE	APPLICABLE TO THIS PROJECT			
		Y/N	EXTENT	AGENT*	COMPLETED
STEEL CONSTRUCTION Verify fabrication/quality control procedures Structural steel Weld filler material Installation of high strength bolts Welding Details	In-plant review (Code Section 1705.3.1)	Y			
	Review material identification markings and certified test reports (1705.3.2)	Y			
	Review certificate of compliance (1705.3.2)	Y			
	Field review (1705.3.3.1)	Y			
	Shop and field review (1705.3.3.2)	Y			
	Field review and steel frame (1705.3.3.3)	N			
CONCRETE CONSTRUCTION Concrete materials Installation of reinforcing steel Installation of prestressing Formwork Concreting Operations: a. Evaluation of concrete strength b. Proper mix proportions and mix techniques c. Concrete placement d. Concrete curing Prestressing	Review certificates of compliance (1705.4.1)	N			
	Field review (1705.4.2)	N			
	In-plant or field review (1705.4.2)	N			
	Review submittals and field review (1705.4.3)	N			
	Review submittal and field testing (1705.4.4)	N			
	Review submittal and field review (1705.4.4)	N			
	Field review (1705.4.4)	N			
	Field review (1705.4.4)	N			
	In-plant or field review (1705.4.5)	N			

SCHEDULE OF SPECIAL INSPECTION SERVICES (Continued)

MATERIAL/ACTIVITY	SERVICE	APPLICABLE TO THIS PROJECT			
		Y/N	EXTENT	AGENT*	COMPLETED
EARTHWORK (Building Area Only)					
Materials	Review of submittals and field testing	Y			
Subgrade verifications	Field verification of footing subgrades and proofrolling operations	Y			
Earthwork operations	Field review; density tests for fills and backfills	Y			
Surcharge	Field review of placement, evaluation of results	Y			
METAL DECK					
Materials	Review of submittals	N			
Welding	Field review	N			
Details	Field Review	N			
METAL STUDS (Exterior curtain wall only)					
Materials	Review of submittals and calculations	N			
Welding	Field review	N			
Details	Field review	N			

SCHEDULE OF SPECIAL INSPECTION SERVICES (Continued)

MATERIAL/ACTIVITY	SERVICE	APPLICABLE TO THIS PROJECT			
		Y/N	EXTENT	AGENT*	COMPLETED
Precast concrete manufacturer	In-plant review (1705.4.6)	N			
Erection of precast concrete	Field review (1705.4.7)	N			
MASONRY Masonry materials	Review submittals (1705.5)	N			
Masonry strength testing	Review submittal and field testing (1705.5)	N			
Construction operations	Field review (1705.5)	N			
WOOD CONSTRUCTION Verify fabrication/quality control procedures	In-plant review (1705.6)	N			
PILE FOUNDATIONS Installation	Field review (1705.8)	N			
OTHER (Attach 8 1/2 x 11 if needed)		N			
* INSPECTION AGENTS		FIRM			TELEPHONE NO.
1. Special Inspector:		ADDRESS			
2. Testing Laboratory:		SAPAGO TECHNIKS ONE CHABOT ST. WEARPOOK 207.856.0277			
3. Testing Laboratory:					
4. Other:					
<p>Note: The Qualifications Of the Special Inspector And Testing Laboratories May Be Subject To The Approval Of The Code Official.</p>					