

**SCHEMATIC SITE PLAN**  
1" = 5'-0"

MELBOURNE STREET

**SITE DATA**

1. RECORD OWNER OF PROPERTY: (MCD) LOCKE/COX/ANGLIS/SCOTT POTTER
2. TAX MAP REFERENCE: MAP 15, LOT # 22
3. PARCEL ZONING: R-61 RESIDENTIAL ZONE
4. AREA OF PARCEL = APPROX. 4,700 S.F. = 0.11 ACRES
5. PERMETER MEASUREMENTS: (AS SHOWN FROM CITY TAX MAPS AND FIELD MEASUREMENTS TO IRON RODS) FOUND
7. SPACE & BULK REQUIREMENTS: (COMMERCIAL/RETAIL ZONE - 54)

ORDINANCE REQUIREMENT	PROPOSED
• MIN. LOT SIZE = 4,500 S.F.	• CURRENT LOT SIZE = 7,800 S.F.
• MIN. LOT AREA (REAR YARD) = 1,000 S.F.	• AREA = 1,000 S.F.
• MIN. STREET FRONTAGE = 40 FT.	• DIRECT STREET FRONTAGE = 59 FT.
• MIN. FRONT YARD = 10 FT.	• EXIST. FRONT YARD = 9'-6" FT.
• SETBACK - REAR YARD - REAR YARD	• MIN. SIDE YARD (EAST) = 10 FT.
• MIN. SIDE YARD (EAST) = 10 FT.	• MIN. SIDE YARD (WEST) = 2'-0"
• MIN. SIDE YARD (WEST) = 10 FT.	• MIN. SIDE YARD (WEST) = 19'-9"
• MIN. REAR YARD = 20 FT.	• MIN. REAR YARD = 3'-6"
• BUILDING HEIGHT = 45 FT.	• BUILDING HEIGHT = 33'-8"
• MAX. LOT COVERAGE = 70%	• EXISTING LOT COVERAGE = 42%

4700 AC

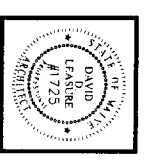
RELEASED FOR CONSTRUCTION - APRIL 1, 2003  
REVISED: MARCH 2, 2004

ROOF DECK PROJECT FOR  
MR. SCOTT POTTER  
35 MELBOURNE STREET  
PORTLAND, MAINE

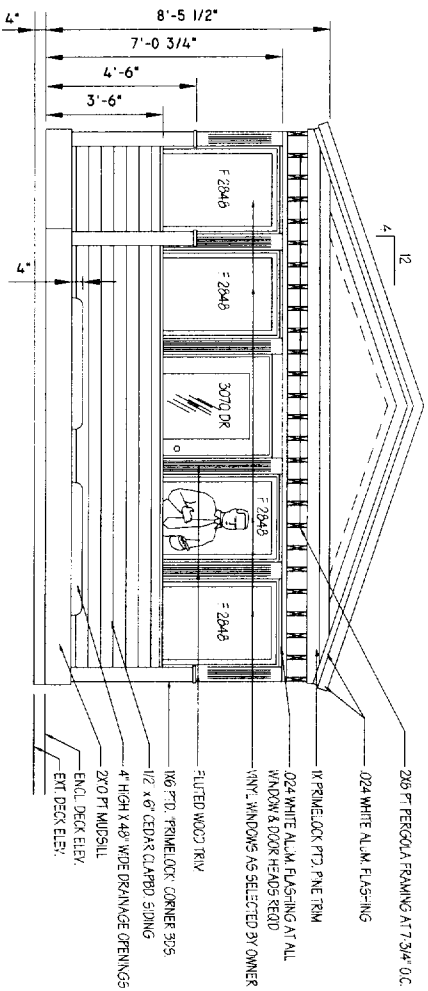
**C-200**

**DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.**  
1344 WASHINGTON AVENUE PORTLAND, MAINE PH. (207) 797-8661 FAX (207) 797-8533  
PROJECT NO: 01316 PROJECT TITLE: GOVERNING CODE REVIEW FOR 4 UNIT APT. BUILDING  
SCALE: 1" = 5'-0" SHEET TITLE: SCHEMATIC SITE PLAN

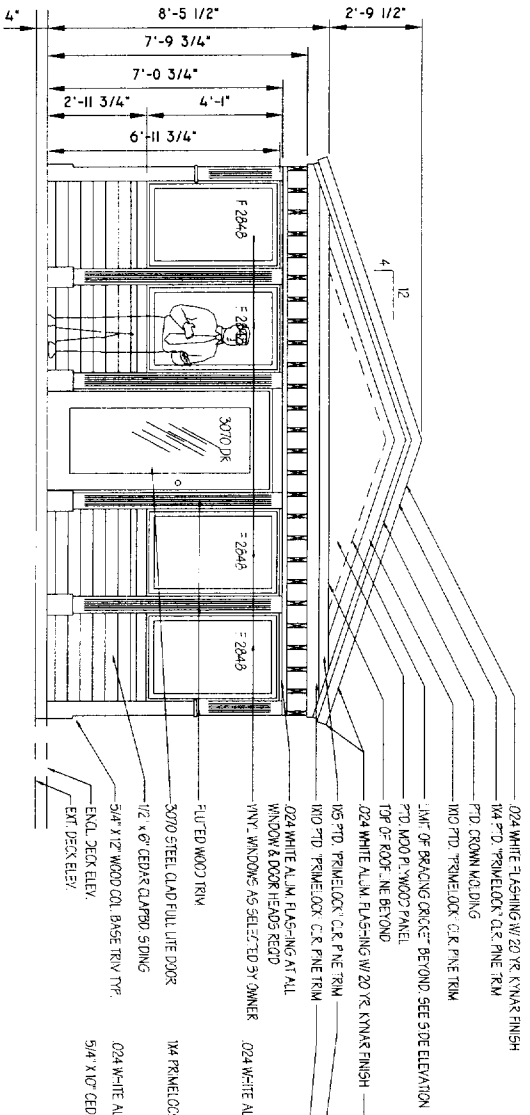
01	RELEASED FOR ZONING EVALUATION	MAY 29, 2002
02	PREL. FOR CITY COMMENTS	JAN 31, 2003
03	PREL. FOR SUBMIT DESIGN	MARCH 11, 2003
04	PREL. FOR CONSTRUCTION	APRIL 9, 2003
05	REV. ENLARGED DECK AND PERGOLA SPIRAL STAIR & PEDIMENT	



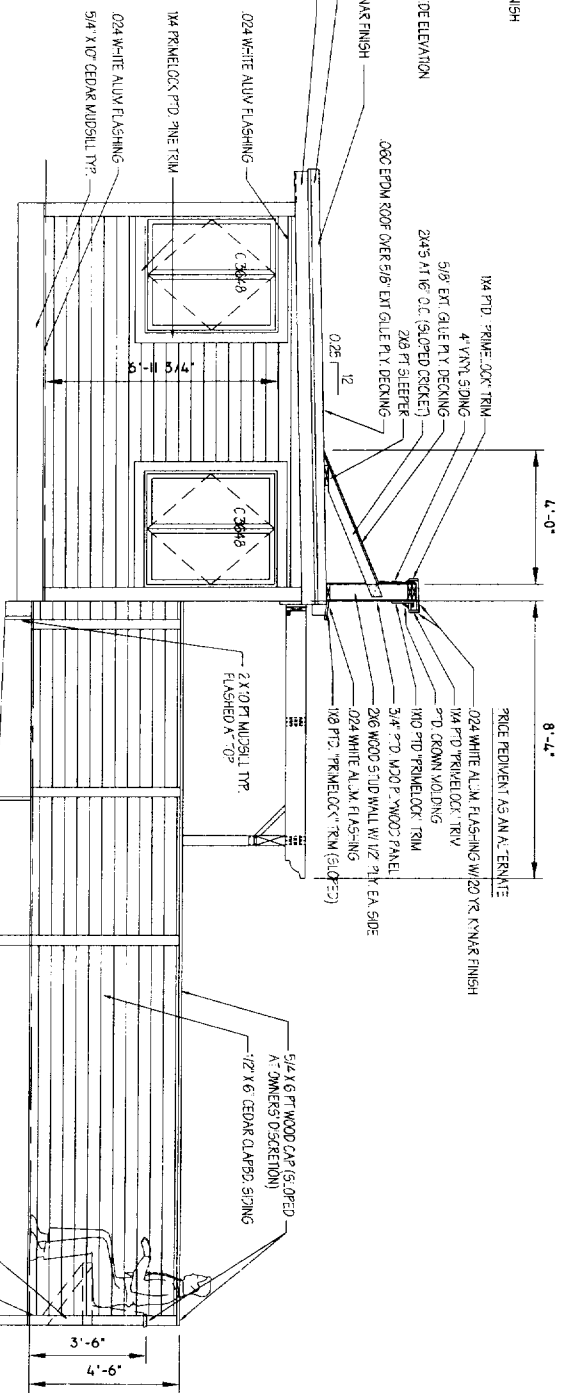
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NORTHEAST ELEVATION  
1/2" = 1'-0"



NORTHEAST DECK ENCLOSURE ELEVATION  
1/2" = 1'-0"



SOUTHEAST ELEVATION  
(OPPOSITE SIDE SIMILAR)  
1/2" = 1'-0"

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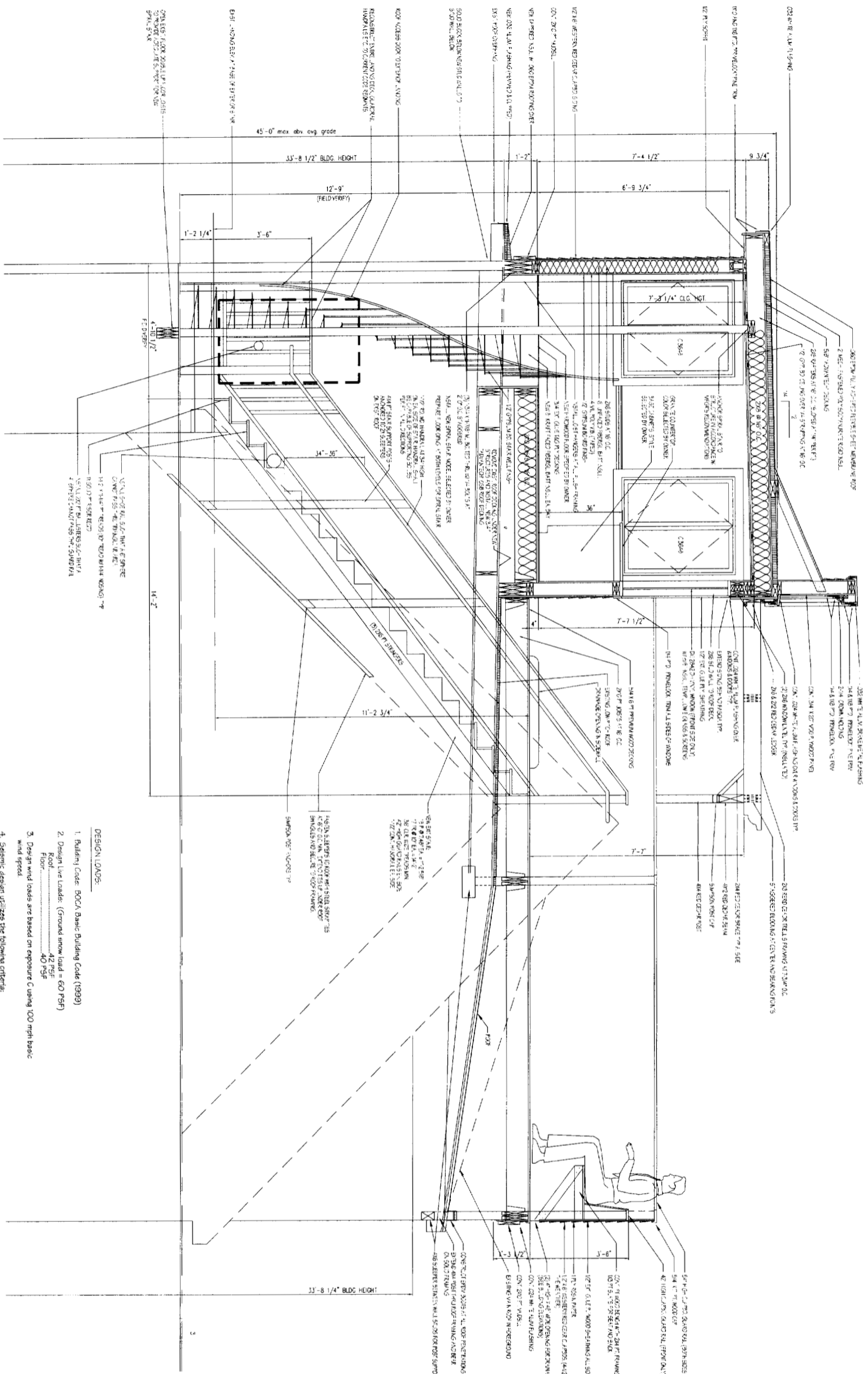
PROJECT NO: 01316 PROJECT TITLE: GOVERNING CODE REVIEW FOR 4 UNIT APT. BUILDING  
SCALE: 1/2" = 1'-0" SHEET TITLE: EXTERIOR ELEVATIONS

RELEASED FOR CONSTRUCTION - APRIL 1, 2003  
REVISED: MARCH 2, 2004

ROOF DECK PROJECT FOR  
MR. SCOTT POTTER  
35 MELBOURNE STREET  
PORTLAND, MAINE

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**COMPOSITE SECTION**  
3/4" = 1'-0"

- DESIGN LOADS:**
1. Building Code: BOCA Basic Building Code (1999)
  2. Design Live Loads: (Ground snow load = 60 PSF)  
Roof Floor..... 40 PSF
  3. Design wind loads are based on exposure C using 100 mph basic wind speed.
  4. Seismic design utilizes the following criteria:
    - a. Building Framing System: Load bearing walls w/ plywood shear walls resisting lateral loads.
    - b. Analysis procedure: Equivalent Lateral Force Procedure.
    - c. Seismic hazard exposure group: "I"
    - d. Seismic performance category: "C"
    - e. Soil profile type: "S4"
    - f. Peak velocity-related acceleration (A<sub>v</sub>): "0.10"
    - g. Peak acceleration (A<sub>d</sub>): "0.10"
    - h. Response modification factor (R): "7"
    - i. Deflection modification factor (Cd): "4"

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SCALE: 3/4" = 1'-0" SHEET TITLE: COMPOSITE SECTION

REVISED FOR ZONING EVALUATION	MAY 29, 2007
REVISED FOR CITY COMMENTS	JUN 11, 2007
REVISED FOR STRUCCY DESIGN	MARCH 14, 2004
REVISED FOR CONSTRUCTION	APRIL 1, 2003
REVISED FOR CONSTRUCTION	APRIL 1, 2003
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**A-500**