

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

Form # P 04

CITY OF PORTLAND

BUILDING CONSTRUCTION

PERMIT

Permit Number: 040233
PERMIT ISSUED
SEP 14 2014

This is to certify that Potter Scott/va

has permission to Replacement of 12'6" x 16' roof deck and additional 20' x deck.

AT 35 Melbourne St 015 C022001

provided that the person or persons, firm or corporation accepting this permit shall comply with the provisions of the Statutes of the City of Portland and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file with this department.

Apply to Public Works for street line and grade if nature of work requires such information.

OTHER REQUIRED APPROVALS

Fire Dept. *[Signature]*

Health Dept.

Appeal Board

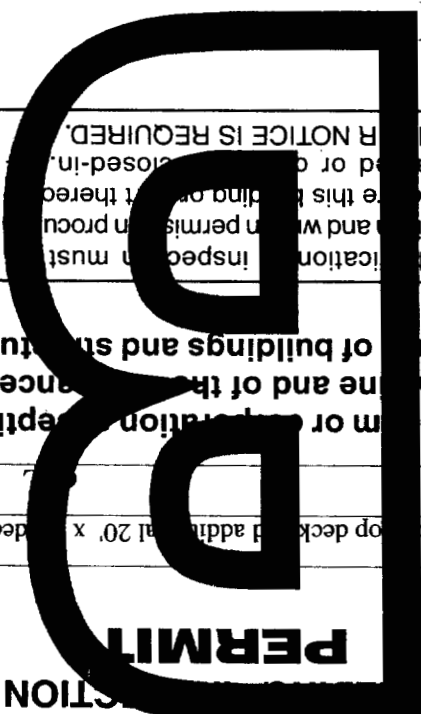
Other

Department Name

PENALTY FOR REMOVING THIS CARD

Director - Building & Inspection Services

[Signature]



Permit No: 04-0232	Issue Date: 1/20/04	CBL: 015 C022001
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Location of Construction: 35 Melbourne St Owner Name: Potter Scott 7751966	Owner Address: 35 Melbourne St #1 Phone: 207-797-8661	Business Name: n/a Contractor Name: n/a Contractor Address: n/a Portland Phone: n/a	Lessee/Buyer's Name: n/a Phone: n/a
Proposed Use: Condominium / Replacement of 12'6" x 16' rooftop deck and additional 20' x 15' deck. Legal Use: 4 Family Condos	Proposed Project Description: Replacement of 12'6" x 16' rooftop deck and additional 20' x 15' deck.	Permit Fee: \$25,000.00 Cost of Work: \$25,000.00 CEO District: 1	Alterations - Multi Family Permit Type: R6 Zone: R6

Past Use: Condominium Proposed Use: 12'6" x 16' rooftop deck and additional 20' x 15' deck. FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied INSPECTION: R2 Type: SB Signature: [Signature] Date: 2/14/04 Signature: [Signature] Date: [Signature]	PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: [Signature] Date: [Signature]
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Permit Taken By: [Signature]	Date Applied For: 03/10/2004
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Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: 3/10/04 [Signature]	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: [Signature]
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE	

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0232	Date Applied For: 03/10/2004	CBL: 015 C022001
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Location of Construction: 35 Melbourne St	Owner Name: Potter Scott	Owner Address: 35 Melbourne St #1	Phone: 207-797-8661
Business Name: n/a	Contractor Name: n/a	Contractor Address: n/a Portland	Phone: n/a
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Alterations - Multi Family	

Proposed Use: Condominium / Replacement of 12'6" x 16' rooftop deck and additional 20' x 15' deck.	Proposed Project Description: Replacement of 12'6" x 16' rooftop deck and additional 20' x 15' deck.
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Dept: Zoning Status: Approved with Conditions Reviewer: Marge Schmuckal Approval Date: 03/25/2004
 Note: 3/24/04 question on height and open outside, exterior stairs - left message with David Leasure 3/25/04 He will fax me a letter - the height is 45' to top of structural beam and the open, exterior stair exists - it is being rebuilt up to current codes. - He will apply for a site plan exemption

1) It is understood that the new building height is 45 feet from average grade to the highest point of the structural flat roof beam. YOU WILL BE REQUIRED TO VERIFY THIS HEIGHT TO THE CODE ENFORCEMENT OFFICE IN THE FIELD AT THE TIME OF CONSTRUCTION.

2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.

3) This property shall remain a four (4) family dwelling condominiums. Any change of use shall require a separate permit application for review and approval.

4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building Status: Approved with Conditions Reviewer: Mike Nugent Approval Date: 09/14/2004
 Note: Ok to Issue:

1) The structural alterations as prescribed by Helen Watts P.E. Must be verified prior to the commencement of framing of the project. VERY IMPORTANT! Mjfn

Dept: Fire Status: Approved Reviewer: Lt. MacDougal Approval Date: 04/06/2004
 Note: Ok to Issue:

Comments: 4/13/2004-mjfn: Left a message with the designer, this is an additional floor and in 5B construction this will require additional fire protection work.
 9/14/2004-mjfn: Deemed to comply with Mezzanine requirements (section 505) not considered and additional floor.
 Spiral Stair not part of this permit.

October 8, 2003

Mr. Scott Potter
35 Melbourn Street
Portland, Maine 04101

**Re: Structural Design - Rooftop Deck
35 Melbourn Street, Portland, Maine
CME Project No. 03-068**

Dear Mr. Potter:

At your request, I reviewed the roof structure of the building at 35 Melbourn Street in Portland, Maine. I visited the building on October 7, 2003. The building is a 3-story, multi-unit apartment building. The building is approximately 90 years old, and was renovated various times.

The roof is a multi-level flat roof and gable with asphalt/fiberglass and rubber membrane roofing. A roof deck has been designed by David Leasure of David Leasure Architects for part of this roof. George Austin of Austin and Sons Roofing was at the building today due to a roof leak. The roof is being removed from the area of the roof deck. Dave, George, and I looked at the condition of the roof and looked at the roof framing to determine the best way to support the roof deck loads, so that the roof leak can be addressed while preparing the roof for the installation of the designed deck structure. The deck structure can then be built without disturbing the roofing next spring.

The attached sketch shows the framing sizing. I am forwarding this letter to Dave so he can update his drawings as needed, and have called George with the beam sizing so that the roofing can be installed speedily over the added support framing.

We also discussed roof ventilation of the existing deck. Mildew was visible on some of the framing that was exposed when the sheathing was removed. The roof framing generally appears to be in good condition where probed, but the high-moisture conditions causing mildew will eventually cause rot to deteriorate the strength of the wood framing. This deck should be ventilated to prevent a buildup of moisture in the framing. George plans to install 2-inch diameter round vents by sawing through the side framing. This will improve the ventilation of the deck. We also discussed adding two mushroom-cap-type ventilators near the peak of the gabled roof where the original gable end vent was removed. The front gable end vent remains as it was.

October 8, 2003
Page 2

I thank you for giving us the opportunity to be of service to you again.

Yours truly,

Helen C. Watts, P.E.
Project Engineer

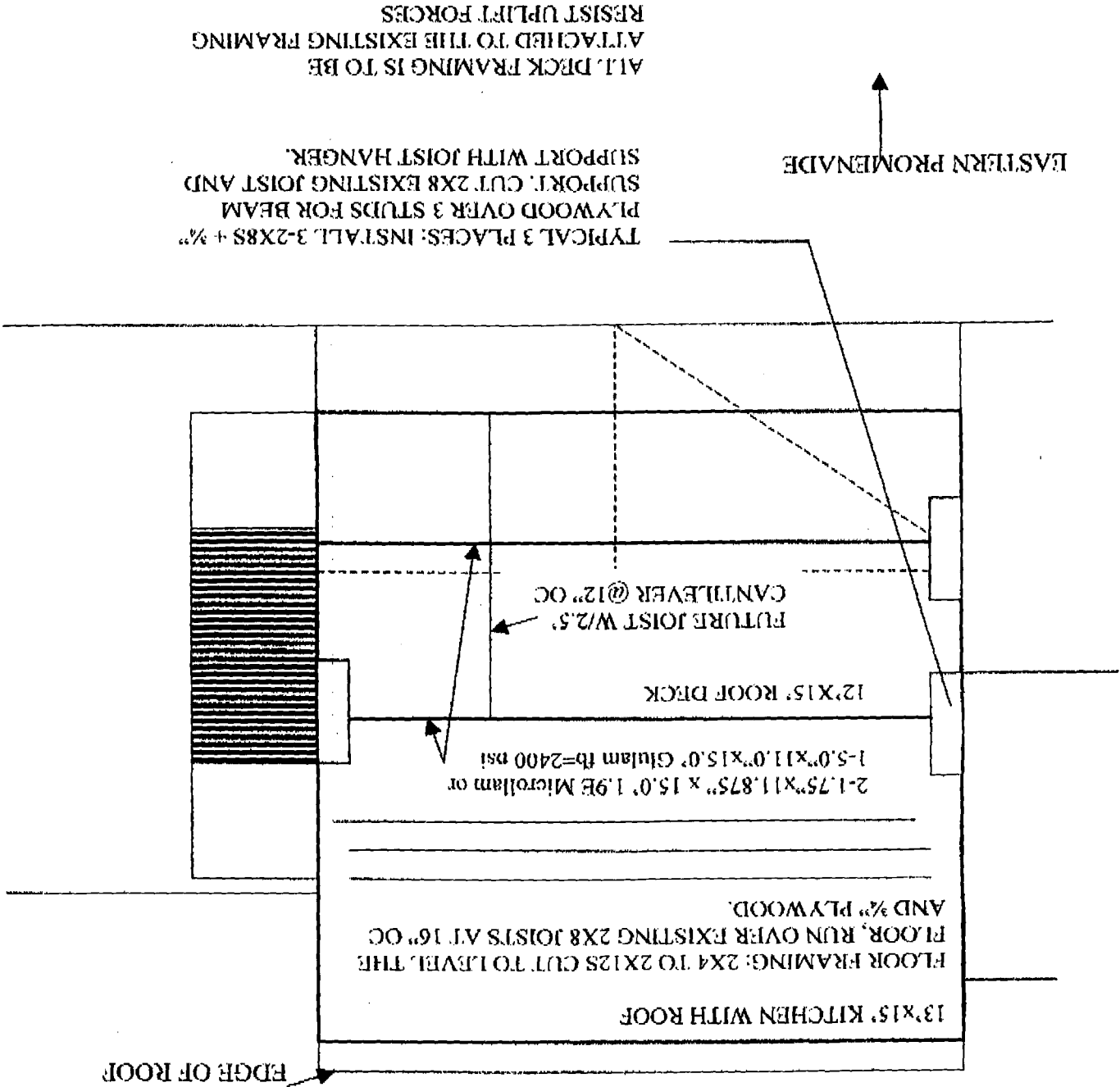
HCW/

Fax to: George Austin, Austin and Sons Roofing, 693-5078
E-mail to: David Leasure, Architect

J:\DATA\Projects\Proj03\Potter03-068 Itt.doc

October 8, 2003
Page 3

POTTER DECK
CME P/N 03-068
HELLEN C. WATTS, P.E.
NOT TO SCALE



TELEFAX
TRANSMITTAL

DAVID D. LEASURE
ARCHITECTURAL ASSOCIATES, INC.

DATE: August 11, 2004

NO. OF PAGES
INCL. COVER SHEET 1

FAX: (207) 874-8716

Mr. Mike Nugent - Code Enforcement Officer
City of Portland, Maine
389 Congress Street
Portland, Maine 04101

TO:

SUBJECT: 35 Melbourne Street (Map 15, Lot 22): BOCA Code Interpretation

MEMORANDUM:

Dear Mike:

Per our discussion today regarding the above referenced 3 story condominium complex and the roof top deck replacement and enclosure, it is our interpretation that the 208 s.f. enclosed area to be constructed on the existing roof meets the definition of a mezzanine per BOCA-1999; Section 505 and therefore would be permitted to be constructed of Type 5, unprotected wood framed construction as detailed on the drawings dated April 1, 2003 and revised March 2, 2004. The rooftop addition, per BOCA-1999, Section 505 will not contribute to the building height or area limitation and will therefore not require a fire protection (sprinkler) system. Furthermore, the mezzanine area is not required to be open to the floor below since the maximum occupancy load is by BOCA-1999 code equal to 2.63 persons but in no way may exceed 10 persons.

Likewise, the occupant load of the enclosed deck area at 318 s.f. supports an provides for an occupancy load of 526 s.f./200 gross s.f. per person = 2.63 persons per BOCA-1999 but the entire rooftop area would be limited to a maximum occupancy load of 10 or fewer persons to per permitted to be constructed with a single exit.

Please consider this interpretation and contact me if you would like to discuss it further.

Best Regards,

David D. Leasure
DDL/ML

cc: Scott Potter
File

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COMMERCIAL • RESIDENTIAL • PLANNING • CONSULTING
1344 WASHINGTON AVENUE PORTLAND, MAINE 04103 (207) 797-8661 FAX (207) 797-8533

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 35 MARBOULE STREET, PORTLAND, ME 04103

Total Square Footage of Proposed Structure: 206 SF EXCISED
 Square Footage of Lot: 7900 S.F.

Tax Assessor's Chart, Block & Lot: Chart# 15, Block# C, Lot# 2203
 Owner: SCOTT POTTER
 Telephone: 797-8661

Lessee/Buyer's Name (if Applicable): N/A
 Applicant name, address & telephone: DAVID LEASURE-ARCHER, 1344 WASHINGTON AVE, PORTLAND, ME 04103
 Cost of Work: \$ 25,000
 Fee: \$ 175

Current use: CONDO (RESIDENTIAL)
 If the location is currently vacant, what was prior use: N/A
 Approximately how long has it been vacant: N/A
 Proposed use: ROOF TOP REPLACEMENT
 Project description: PROJECT INCLUDES REPLACEMENT OF EXIST. ROOF DECK W/ EXCISED STRUCTURE W/ ADDITIONAL OPEN DECK AREA. 30 X 15

Contractor's name, address & telephone: N/A UNKNOWN AT THIS TIME
 Who should we contact when the permit is ready: DAVID LEASURE - 797-8661
 Mailing address: 1344 WASHINGTON AVENUE, PORTLAND, ME 04103
 We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE:

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction, in addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature]
 Date: 3/10/04

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

3/23/04



TELEFAX
TRANSMITTAL

DAVID D. LEASURE
ARCHITECTURAL ASSOCIATES, INC.

DATE: March 26, 2004

NO. OF PAGES

INCL. COVER SHEET 1

FAX: (207) 874-8716

TO:

Ms. Marge Schmuckel - Director of Planning

City of Portland, Maine

389 Congress Street

Portland, Maine 04101

SUBJECT: 35 Melbourn Street (Map 15, Lot 22): Project Clarifications

MEMORANDUM:

Dear Marge:

Thank you for contacting me yesterday regarding the above referenced project. Below please find the clarifications in regards to the above mentioned project as discussed in our phone conversation yesterday, March 26, 2004. They are as follows:

1. An existing roof deck currently exists which will be removed and replaced with the new roof deck enclosure as set forth on the drawings prepared by my office and dated March 2, 2004

2. The new exterior wood stair to the roof enclosure will be a replacement stair. A existing wood framed stair is currently in place and will be replaced to meet current code requirements.

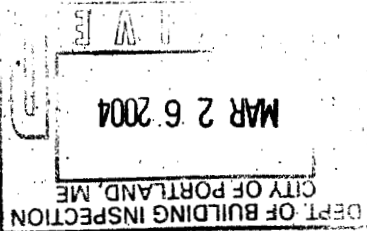
3. The project requires application for site plan review and or an exemption if the area of the structure is less than 500 s.f.

Please contact me if you need any additional information.

Best Regards,

David D. Leasure
DD/L

cc: Scott Potter
File



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COMMERCIAL • RESIDENTIAL • PLANNING • CONSULTING

1344 WASHINGTON AVENUE PORTLAND, MAINE 04103 (207) 797-8661 FAX (207) 797-8533

TRANSMITTAL
COVER SHEET

DATE: March 10, 2004

DAVID D. LEASURE
ARCHITECTURAL ASSOCIATES, INC.

TO: City of Portland - Code Enforcement Dept.

389 Congress Street
Portland, Maine 04101

Project: Roof Deck Project for
Mr. Scott Potter
35 Melbourne Street
Portland, Maine 04101

TRANSMITTAL:

Copies	Date	Description	Action Code
1 Set	3/2/04	Revised Roof Deck Construction Drawings (C-200, A-200, E-A-400, A-500)	E
1 Set	3/2/04	Construction drawing reductions (11x17)	E

- Action
- A. Action indicated on transmitted item.
 - B. No Action Required.
 - C. For Signature & return to this office.
 - D. For Signature & forwarding as noted below
 - E. See Remarks below.

SUBJECT: Roof Deck Project: Building Permit Submission

MEMORANDUM:

Dear Sir/Madam:

Enclosed please find submission materials to obtain a building permit for the above referenced project. Please contact me if you require additional information.

Best Regards,

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
1344 WASHINGTON AVENUE PORTLAND, MAINE
(207) 797-8661

cc: File

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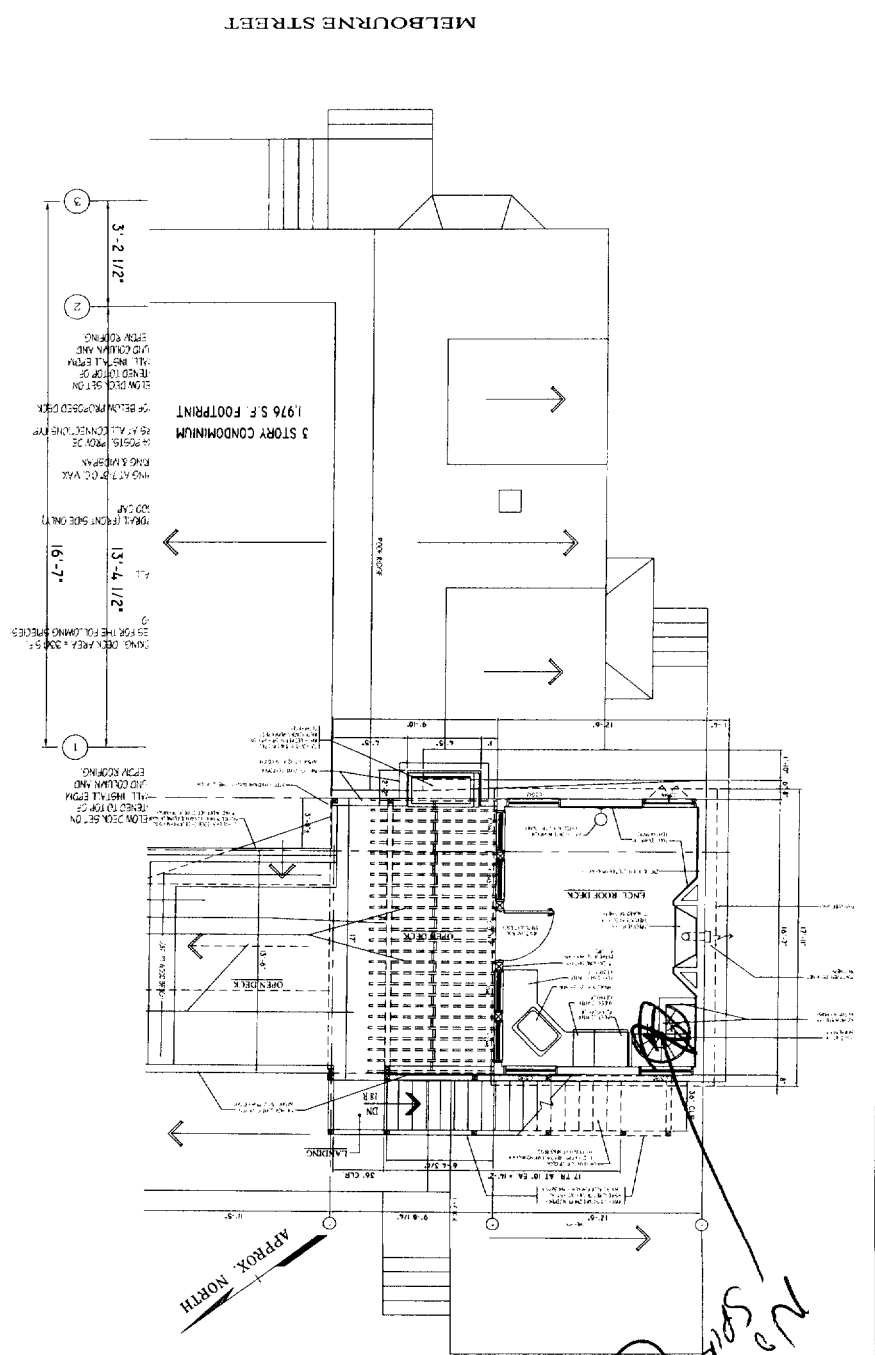
A-200

PRIL 1, 2003



DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
 1344 WASHINGTON AVENUE PORTLAND, MAINE PH. (207) 797-8661 FAX (207) 797-8533
 PROJECT NO. 01316 PROJECT TITLE: GOVERNING CODE REVIEW FOR 4 UNIT APT. BUILDING
 SCALE: AS NOTED SHEET TITLE: ROOF DECK PLAN

ROOF DECK P1



01	PREPARED FOR ZONING EVALUATION	MAY 28, 2002
02	REVISION FOR ZONING EVALUATION	MAY 28, 2002
03	REVISION FOR ZONING EVALUATION	MAY 28, 2002
04	REVISION FOR ZONING EVALUATION	MAY 28, 2002
05	REVISION FOR ZONING EVALUATION	MAY 28, 2002
06	REVISION FOR ZONING EVALUATION	MAY 28, 2002
07	REVISION FOR ZONING EVALUATION	MAY 28, 2002
08	REVISION FOR ZONING EVALUATION	MAY 28, 2002
09	REVISION FOR ZONING EVALUATION	MAY 28, 2002
10	REVISION FOR ZONING EVALUATION	MAY 28, 2002



