

327-B-4

1844 Forest Ave.

Parking lot

Gabriel Zappia

2012-534

add to Spreadsheet

City of Portland
 Development Review Application
 Planning Division Transmittal form

Application Number: 2012-534 Application Date: 7/2/2012 12:00:00 AM

CBL: 327 B004

Project Name: 1844 Forest Ave.; 42 Space Paved Parking Lot

Address:

Project

Description:

Zoning:

Other Reviews

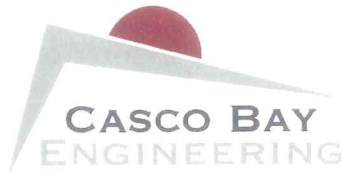
Required:

Review Type:

Distribution List:

<input checked="" type="checkbox"/> Planner	<i>Shukria Wiar</i>	<input type="checkbox"/> Parking	John Peverada
<input type="checkbox"/> Zoning	Marge Schmuckal	<input type="checkbox"/> Design Review	Alex Jaegerman
<input type="checkbox"/> Traffic Engineer	Tom Errico	<input type="checkbox"/> Corporation Counsel	Danielle West-Chuhta
<input type="checkbox"/> Civil Engineer	David Senus	<input type="checkbox"/> Sanitary Sewer	John Emerson
<input type="checkbox"/> Fire Department	Chris Pirone	<input type="checkbox"/> Inspections	Tammy Munson
<input type="checkbox"/> City Arborist	Jeff Tarling	<input type="checkbox"/> Historic Preservation	Deb Andrews
<input type="checkbox"/> Engineering	David Margolis-Pineo	<input type="checkbox"/> DRC Coordinator	Phil DiPierro
		<input type="checkbox"/> Outside Agency	

Comments needed by (7 days later): Wednesday - 7/25/2012



CIVIL & STRUCTURAL ENGINEERING
www.cascobayengineering.com

424 Fore St., Portland, ME 04101 Phone 207.842.2800 Fax 207.842.2828

June 26, 2012

Ms Shukria Wiar
Planning and Urban Development Department
City of Portland, Maine
389 Congress Street
Portland, ME 04101

**Re: 1844 Forest Avenue
Level II Site Alteration Application**

Dear Shukria,

Casco Bay Engineering has reviewed the property located at 1844 Forest Avenue for a Level II site alteration approval. The existing property was previously used as a Grange Hall with an associated gravel parking area. The proposed use is an entertainment club with associated parking.

The existing property has a 36 ft. by 70 ft. wood framed building with a compacted gravel parking area that slopes to the rear of the property towards Wellesley Estates. The existing impervious area including the building and parking area is 22,715 sq. ft. The applicant is planning to reduce the existing impervious surface area to 19,645 sq. ft. The existing gravel lot is treated as an impervious surface for stormwater study. The stormwater drainage impact in the proposed condition will decrease from the existing condition based on the reduction of impervious surface area. The applicant is proposing to install a small retention swale at the rear of the existing building in order to minimize the flow of stormwater onto the existing property and to help the stormwater quality. The proposed stormwater will continue to drain to the existing drainage pipe at the Wellesley estates entrance drive.

Proposed access to the property is being relocated due to the recent construction to Forest Avenue by the Maine Department of Transportation (MDOT). The applicant is proposing to utilize only one of the two entrances from Forest Avenue provided via the MDOT construction plan. We met with Mr. Pirone from the Fire Department to address the existing Fire access easement to Wellesley Estates per the original agreement for the Wellesley Estates approved application. The applicant will provide an 18 ft. gravel access path to the Wellesley Estates parking area and they will also provide a metal gate with a Knox lock box for access.

Site utilities such as Electrical, Water and Sewer area all provided from Forest Avenue via underground service as noted on the plan set. The existing building will have a new sprinkler system installed for the proposed use per code. New water lines were

added as part of Phase One for the property. The sewer line is an existing line that will remain in place for the proposed use.

The applicant is proposing to provide four street trees for a street landscaping buffer. We are also proposing to provide a cedar stockade fence at the top of the rear drainage swale for a buffer to the adjacent residential property.

Please find enclosed the following as requested:

- | | | |
|------------------------------|------|--------------------------|
| 1. Site plan drawing package | C0 | Cover Sheet |
| | C100 | Existing Conditions Plan |
| | C101 | Proposed Site Plan |
| | C200 | Site Details |
| | C300 | Erosion Control Details |
2. Level II Site Plan Alteration Application
 3. Right, Title and Interest for property
 4. Boundary Survey of Existing Property

Please contact us if you have any other questions or concerns with this project. We look forward to presenting this project at the next available planning workshop. Thank you for your help in the review of this project.

Sincerely,



Eric Dube, P.E.
Casco Bay Engineering, Inc.

**General Submittal Requirements – Preliminary Plan (Optional)
Level II Site Plan
Preliminary Plan Phase Check list (if elected by applicant)**

Applicant Checklist	Planner Checklist	Number of Copies	Written Submittal Requirements
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Completed application form
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Application fees
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Written description of project
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Evidence of right, title and interest.
<input type="checkbox"/>	<input type="checkbox"/>	1	Copies of required State and/or Federal permits.
<input type="checkbox"/>	<input type="checkbox"/>	1	Written assessment of proposed project's compliance with applicable zoning requirements.
<input type="checkbox"/>	<input type="checkbox"/>	1	Written description of existing and proposed easements or other burdens.
<input type="checkbox"/>	<input type="checkbox"/>	1	Written requests for waivers from individual site plan and/or technical standards, where applicable.
<input type="checkbox"/>	<input type="checkbox"/>	1	Traffic analysis (may be preliminary, in nature, during the preliminary plan phase).
<input type="checkbox"/>	<input type="checkbox"/>	1	Written summary of significant natural features located on the site.
<input type="checkbox"/>	<input type="checkbox"/>	1	Written summary of project's consistency with related city master plans.
Applicant Checklist	Planner Checklist	Number of Copies	Site Plan Submittal Requirements
<input checked="" type="checkbox"/>	<input type="checkbox"/>		Boundary Survey meeting the requirements of Section 13 of the City of Portland Technical Manual.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Preliminary Site Plan including the following: (*information provided may be preliminary in nature during preliminary plan phase):
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed structures with distance from property line (including location of proposed piers, docks or wharves if in Shoreland Zone).
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Location of adjacent streets and intersections and approximate location of structures on abutting properties.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Proposed site access and circulation.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Proposed grading and contours.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Location and dimension of existing and proposed paved areas including all parking areas and vehicle, bicycle and pedestrian access ways.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Preliminary landscape plan including existing vegetation to be preserved, proposed site landscaping and street trees.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed utilities (preliminary layout).
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Preliminary infrastructure improvements (e.g. - curb and sidewalk improvements, roadway intersection modifications, utility connections, transit infrastructure, roadway improvements).
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Preliminary stormwater management and erosion control plan.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Existing significant natural features located on the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important natural features listed in Section 14-526 (b) 1. of the Land Use Code).
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Proposed alterations to and protection measures for significant natural features located on the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important

<input type="checkbox"/>	<input type="checkbox"/>	natural features listed in Section 14-526 (b)1. of the Land Use Code).
		▪ Existing and proposed easements or public or private rights of way.

General Submittal Requirements – Final Plan (Required)
Level II Site Plan
Final Plan Phase Check list (including items listed above in General Requirements for Preliminary Plan, if applicant did not elect to submit for a preliminary plan review)

Applicant Checklist	Planner Checklist	Number of Copies	Written Submittal Requirement
<input type="checkbox"/>	<input type="checkbox"/>	1	Evidence of financial and technical capacity.
<input type="checkbox"/>	<input type="checkbox"/>	1	Evidence of utilities' capacity to serve the development.
<input type="checkbox"/>	<input type="checkbox"/>	1	Written summary of fire safety (referencing NFPA fire code and Section 3 of the City of Portland Technical Manual).
<input type="checkbox"/>	<input type="checkbox"/>	1	Construction management plan.
<input type="checkbox"/>	<input type="checkbox"/>	1	Traffic Plan (if development will (1) generate 100 or more PCE or (2) generate 25 or more PCE and is located on an arterial, within 1/2 mile of a high crash location, and/or within ¼ mile of an intersection identified in a previous traffic study as a failing intersection).
<input type="checkbox"/>	<input type="checkbox"/>	1	Stormwater management plan.
<input type="checkbox"/>	<input type="checkbox"/>	1	Written summary of solid waste generation and proposed management of solid waste.
<input type="checkbox"/>	<input type="checkbox"/>	1	Written assessment of conformity with applicable design standards.
<input type="checkbox"/>	<input type="checkbox"/>	1	Manufacturer's verification that HVAC and manufacturing equipment meets applicable state and federal emissions requirements.

Final Plan Phase			
<input type="checkbox"/>	<input type="checkbox"/>	1	Final Site Plan Including the following
<input type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed structures on the site with distance from property line (including location of proposed piers, docks or wharves if in Shoreland Zone).
<input type="checkbox"/>	<input type="checkbox"/>		▪ Location of adjacent streets and intersections and approximate location of structures on abutting properties.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed site access and circulation.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed grading and contours.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Location and dimension of existing and proposed paved areas including all parking areas and vehicle, bicycle and pedestrian access ways. Proposed curb lines must be shown.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed loading and servicing areas, including applicable turning templates for delivery vehicles
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed snow storage areas or snow removal plan.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed trash and recycling facilities.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Landscape plan including existing vegetation to be preserved, proposed site landscaping and street trees.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed utilities.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Location and details of proposed infrastructure improvements (e.g. - curb and sidewalk improvements, roadway intersection modifications, utility connections, public transit infrastructure, roadway improvements).
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed septic system, if not connecting to municipal sewer. (Portland Waste Water Application included in this application)
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed finish floor elevation (FFE).

<input type="checkbox"/>	<input type="checkbox"/>	▪ Exterior building elevation(s) (showing all 4 sides).
<input type="checkbox"/>	<input type="checkbox"/>	▪ Proposed stormwater management and erosion controls.
<input type="checkbox"/>	<input type="checkbox"/>	▪ Exterior lighting plan, including street lighting improvements..
<input type="checkbox"/>	<input type="checkbox"/>	▪ Proposed signage.
<input type="checkbox"/>	<input type="checkbox"/>	▪ Identification of existing significant natural features located on the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important natural features listed in Section 14-526 (b)1. of the Land Use Code). Wetlands must be delineated.
<input type="checkbox"/>	<input type="checkbox"/>	▪ Proposed alterations to and protection measures for of existing significant natural features located on the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important natural features listed in Section 14-526 (b)1. of the Land Use Code).
<input type="checkbox"/>	<input type="checkbox"/>	▪ Total area and limits of proposed land disturbance.
<input type="checkbox"/>	<input type="checkbox"/>	▪ Soil type and location of test pits and borings.
<input type="checkbox"/>	<input type="checkbox"/>	▪ Details of proposed pier rehabilitation (Shoreland areas only).
<input type="checkbox"/>	<input type="checkbox"/>	▪ Existing and proposed easements or public or private rights of way.



PORTLAND FIRE DEPARTMENT
SITE REVIEW
FIRE DEPARTMENT CHECKLIST



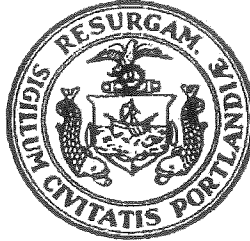
A separate drawing[s] shall be provided to the Portland Fire Department for all site plan reviews.

1. Name, address, telephone number of applicant.
2. Name address, telephone number of architect
3. Proposed uses of any structures [NFPA and IBC classification]
4. Square footage of all structures [total and per story]
5. Elevation of all structures
6. Proposed fire protection of all structures
 - **As of September 16, 2010 all new construction of one and two family homes are required to be sprinkled in compliance with NFPA 13D. This is required by City Code. (NFPA 101 2009 ed.)**
7. Hydrant locations
8. Water main[s] size and location
9. Access to all structures [min. 2 sides]
10. A code summary shall be included referencing NFPA 1 and all fire department. Technical standards.

Some structures may require Fire flows using annex H of NFPA 1

CITY OF PORTLAND WASTEWATER CAPACITY APPLICATION

Department of Public Services,
55 Portland Street,
Portland, Maine 04101-2991



Mr. Frank J. Brancely,
Senior Engineering Technician,
Phone #: (207) 874-8832,
Fax #: (207) 874-8852,
E-mail: fjb@portlandmaine.gov

Date: _____

1. Please, Submit Utility, Site, and Locus Plans.

Site Address: _____
(Regarding addressing, please contact Leslie Kaynor, either at 756-8346, or at LMK@portlandmaine.gov)

Proposed Use: _____

Previous Use: _____

Existing Sanitary Flows: _____ GPD

Existing Process Flows: _____ GPD

Description and location of City sewer, at proposed building sewer lateral connection: _____

Chart Block Lot Number: _____

Site Category	Commercial	_____
	Industrial <i>(complete part 4 below)</i>	_____
	Governmental	_____
	Residential	_____
	Other <i>(specify)</i>	_____

Clearly, indicate the proposed connection, on the submitted plans.

2. Please, Submit Domestic Wastewater Design Flow Calculations.

Estimated Domestic Wastewater Flow Generated: _____ GPD

Peaking Factor/ Peak Times: _____

Specify the source of design guidelines: *(i.e., "Handbook of Subsurface Wastewater Disposal in Maine," "Plumbers and Pipe Fitters Calculation Manual," __ Portland Water District Records, __ Other (specify)*

Note: Please submit calculations showing the derivation of your design flows, either on the following page, in the space provided, or attached, as a separate sheet.

3. Please, Submit Contact Information.

Owner/Developer Name: _____

Owner/Developer Address: _____

Phone: _____ Fax: _____ E-mail: _____

Engineering Consultant Name: _____

Engineering Consultant Address: _____

Phone: _____ Fax: _____ E-mail: _____

City Planner's Name: _____ Phone: _____

Note: Consultants and Developers should allow +/- 15 days, for capacity status, prior to Planning Board Review.

4. Please, Submit Industrial Process Wastewater Flow Calculations

Estimated Industrial Process Wastewater Flows Generated: _____ GPD

Do you currently hold Federal or State discharge permits? Yes _____ No _____

Is the process wastewater termed categorical under CFR 40? Yes _____ No _____

OSHA Standard Industrial Code (SIC): _____ (<http://www.osha.gov/oshstats/sicser.html>)

Peaking Factor/Peak Process Times: _____

Note: On the submitted plans, please show the locations, where the building's sanitary, and process water sewer laterals, exit the facility, where they enter the city's sewer, the location of any control manholes, wet wells, or other access points, and the locations of any filters, strainers, or grease traps.

Notes, Comments, or Calculations:





Level II – Preliminary and Final Site Plans Development Review Application Portland, Maine

Planning and Urban Development Department
Planning Division

Portland's Planning and Urban Development Department coordinates the development review process for site plan, subdivision and other applications under the City's Land Use Code. Attached is the application form for a Level II: Preliminary or Final Site Plan. Please note that Portland has delegated review from the State of Maine for reviews under the Site Location of Development Act, Chapter 500 Stormwater Permits, and Traffic Movement Permits. General information pertaining to the thresholds of review, public noticing procedures and the fee structure is contained in the Notice to Developer's Packet.

Level II: Site Plan Development includes:

- New structures with a total floor area of less than 10,000 sf except in Industrial Zones.
- New structures with a total floor area of less than 20,000 sf in Industrial Zones.
- Any new temporary or permanent parking area, paving of an unpaved surface parking area, or creation of other impervious surface area greater than 7,500 sf.
- Building addition(s) with a total floor area of less than 10,000 sf (cumulatively within a 3 year period) except in Industrial Zones.
- Building addition(s) with a total floor area of less than 20,000 sf in Industrial Zones.
- Park improvements: New structures or buildings with a total floor area of less than 10,000 sf, facilities encompassing an area of greater than 7,500 sf and less than 20,000 sf (excludes rehabilitation or replacement of existing facilities).
- New piers, docks, wharves, bridges, retaining walls, and other structures within the Shoreland Zone.
- Land disturbance between 1 and 3 acres (includes stripping, grading, grubbing, filling or excavation).
- A change in the use of a total floor area between 10,000 and 20,000 sf in any existing building (cumulatively within a 3 year period).
- Construction of a lodging house, bed and breakfast facility, emergency shelter or special needs independent living unit.
- Signage subject to approval pursuant to Section 14-526 (d) 8.a. (IV) of the Land Use Code.
- Any new major or minor auto service station with less than 10,000 sf of building area that is outside the B-2 or B-5 zones.
- The creation of day care or home babysitting facilities to serve more than 12 children in a residential zone (not permitted as a home occupation under section 14-410) in any principal structure that has not been used as a residence within the 5 years preceding the application.

The Land Use Code (including Article V), the Technical Manual, and the Design Manual are available on the City's web site at <http://www.portlandmaine.gov/planning/default.asp> or copies may be purchased at the Planning Division Office.

Planning Division
Fourth Floor, City Hall
389 Congress Street
(207) 874-8721 or 874-8719

Office Hours
Monday thru Friday
8:00 a.m. – 4:30 p.m.

PROJECT NAME: 1844 Forest Avenue Renovation

PROPOSED DEVELOPMENT ADDRESS:
1844 Forest Avenue

PROJECT DESCRIPTION:
New 42 space paved parking lot to serve newly renovated building.

CHART/BLOCK/LOT: 327-B-5 **PRELIMINARY PLAN** 6-26-12 (date)
FINAL PLAN _____ (date)

CONTACT INFORMATION:	Applicant's Contact for electronic plans Name: e-mail: work #:
Applicant – must be owner, Lessee or Buyer Name: Gabriel Zappia Business Name, if applicable: Address: 18 Cottage Lane City/State : Cape Elizabeth ME Zip Code: 04107	Applicant Contact Information Work # Home# Cell # e-mail:
Owner – (if different from Applicant) Name: Address: City/State : Zip Code:	Owner Contact Information Work # Home# Cell # e-mail:
Agent/ Representative Name: Address: City/State : Zip Code:	Agent/Representative Contact information Work # Cell # e-mail:
Billing Information Name: Address: City/State : Zip Code:	Billing Information Work # Cell # Fax# e-mail:

RECEIVED
JUN 29 2012
City of Portland
Planning Division

Engineer Name: Casco Bay Engineering, Inc. Eric Dube, P.E. Address: 424 Fore Street City/State : Portland, ME Zip Code: 04101	Engineer Contact Information Work # 207-842-2800 Cell # 207-712-7022 Fax# 207-842-2828 e-mail: ericd@cascobayengineering.com
Surveyor Northeast Civil Solutions Name: Jim Fisher Address: 153 US Route 1 City/State : Scarborough, ME Zip Code: 04074	Surveyor Contact Information Work # 207-883-1000 Cell # Fax# 207-883-1001 e-mail: jim.fisher@northeastcivilsolutions.com
Architect CAD-D-TECH Name: John Ossie Address: Presnell Street City/State : Portland, ME Zip Code: 04103	Architect Contact Information Work # Cell # Fax# e-mail:
Attorney Name: Address: City/State : Zip Code:	Attorney Contact Information Work # Cell # Fax# e-mail:

APPLICATION FEES:

Check all reviews that apply. (Payment may be made by Cash or Check payable to the City of Portland.)

Level II Development (check applicable reviews) <input checked="" type="checkbox"/> Less than 10,000 sq. ft. (\$400.00) <input type="checkbox"/> After-the-fact Review (\$1,000.00 plus applicable application fee)	Fees Paid (office use) _____ _____	Other Reviews (check applicable reviews) ____ Traffic Movement (\$1,000) ____ Stormwater Quality (\$250) ____ Section 14-403 Review (\$400 + \$25/lot) # of Lots ____ x \$25/lot = _____ ____ Other _____ ____ Change of Use ____ Flood Plain ____ Shoreland ____ Design Review ____ Housing Replacement ____ Historic Preservation	Fees Paid (office use) _____ _____
The City invoices separately for the following: <ul style="list-style-type: none"> • Notices (\$.75 each) • Legal Ad (% of total Ad) • Planning Review (\$40.00 hour) • Legal Review (\$75.00 hour) Third party review is assessed separately.			
Plan Amendments (check applicable reviews) ____ Planning Staff Review (\$250) ____ Planning Board Review (\$500)	Fees Paid (office use) _____ _____		

APPLICATION SUBMISSION

All site plans and written application materials must be uploaded to a website for review. At the time of application, instructions for uploading the plans will be provided to the applicant. One paper set of the plans, written materials and application fee must be submitted to the Planning Division Office to start the review process.

Application submissions shall include one (1) paper packet with folded plans containing the following materials:

Numbers below changed- can't seem to highlight

1. One (1) full size site plans that must be **folded.**

One (1) set of all written materials or as follows, unless otherwise noted:

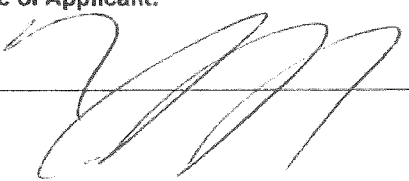
- a. Application form that is completed and signed.
 - b. Cover letter stating the nature of the project.
 - c. All Written Submittals (Sec. 14-525 2. (c), including evidence of right, title and interest.
2. A stamped standard boundary survey prepared by a registered land surveyor at a scale not less than one inch to 50 feet.
 3. Plans and maps based upon the boundary survey and containing the information found in the attached sample plan checklist.
 4. Copy of the checklist completed for the proposal listing the material contained in the submitted application.
 5. One (1) set of plans reduced to 11 x 17.

Refer to the application checklist for a detailed list of submittal requirements.

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521). Portland's Land Use Code is on the City's web site: www.portlandmaine.gov Copies of the ordinances may be purchased through the Planning Division.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This application is for a Level II Site Plan review. It is not a permit to begin construction. An approved site plan, a Performance Guarantee, Inspection Fee, Building Permit, and associated fees will be required prior to construction. Other Federal, State or local permits may be required prior to construction, which are the responsibility of the applicant to obtain.

Signature of Applicant: 	Date: 5-15-2012
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PROJECT DATA

The following information is required where applicable, in order complete the application

Total Site Area	32,108 sq. ft.
Proposed Total Disturbed Area of the Site	26,930 sq. ft.
(If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) with DEP and a Stormwater Management Permit, Chapter 500, with the City of Portland)	
IMPERVIOUS SURFACE AREA	
• Proposed Total Paved Area	17,045 sq. ft.
• Existing Total Impervious Area	22,715 sq. ft.
• Proposed Total Impervious Area	19,645 sq. ft.
• Proposed Impervious Net Change	(-) 3,070 sq. ft.
BUILDING AREA	
• Proposed Building Footprint	2,600 sq. ft.
• Proposed Building Footprint Net change	0 sq. ft.
• Existing Total Building Floor Area	5,200 sq. ft.
• Proposed Total Building Floor Area	5,200 sq. ft.
• Proposed Building Floor Area Net Change	0 sq. ft.
• New Building	NO (yes or no)
ZONING	
• Existing	B-2
• Proposed, if applicable	
LAND USE	
• Existing	Vacant Building
• Proposed	Dance Hall
RESIDENTIAL, IF APPLICABLE	
• Proposed Number of Affordable Housing Units	
• Proposed Number of Residential Units to be Demolished	
• Existing Number of Residential Units	
• Proposed Number of Residential Units	
• Subdivision, Proposed Number of Lots	
PARKING SPACES	
• Existing Number of Parking Spaces	17
• Proposed Number of Parking Spaces	40
• Number of Handicapped Parking Spaces	2
• Proposed Total Parking Spaces	42
BICYCLE PARKING SPACES	
• Existing Number of Bicycle Parking Spaces	N/A
• Existing Number of Bicycle Parking Spaces	
• Proposed Number of Bicycle Parking Spaces	
• Total Bicycle Parking Spaces	
ESTIMATED COST OF PROJECT	\$85,000

Quit Claim Deed with Covenant

KNOW ALL MEN BY THESE PRESENTS,

That MAINE STATE GRANGE PATRONS OF HUSBANDRY, a non-profit corporation organized and existing under the laws of the State of Maine with a place of business at 146 State Street, Augusta, County of Kennebec, State of Maine, releases and quit claims with covenant to GABRIEL J. ZAPPIA of 18 Cottage Lane, Cape Elizabeth, Maine 04107, the land and buildings in City of Portland, Cumberland County, State of Maine described as follows:

MAINE REAL ESTATE TAX PAID

First Parcel: Beginning at a point on the Southwesterly side of the road leading from Pride's Bridge to Morrill's Corner (now called Forest Avenue) at a post on said side of said road at corner of land formerly of one Bailey; thence running southwesterly adjoining land now or formerly of one Bailey one hundred fifty-five and five-tenths (155.5) feet, more or less, to a granite monument and angle in said Bailey line; thence Northwesterly adjoining said Bailey land one hundred (100) feet to a pipe driven in the ground; thence Northeasterly parallel with the first course above described one hundred sixty-one and five-tenths (161.5) feet, more or less, to a pipe driven in the southwesterly side of said road; thence Southeasterly by said road one hundred (100) feet to the post and point of beginning.

Being same premises conveyed to Presumpscot Grange No. 15 P. of H. by deed dated October 19, 1921 recorded Book 1088, Page 163 Cumberland County Registry of Deeds.

Second Parcel: Beginning at a point on the southwesterly side of Forest Avenue leading from Pride's Bridge to Morrill's Corner at an iron pipe driven in the ground at the northerly corner of land conveyed by Arthur S. Jones to the Presumpscot Grange No. 15, P. of H. by deed dated October 19, 1921 and recorded in Cumberland County Registry of Deeds, Book 1088, Page 163; thence from said point of beginning running southwesterly adjoining land now or formerly of Presumpscot Grange No. 15, P. of H. one hundred sixty-one and five tenths (161.5) feet, more or less, to the westerly corner of said land now or formerly of Presumpscot Grange No. 15, P. of H. and a pipe driven in the ground at land now or formerly of one Bailey; thence northwesterly adjoining said land now or formerly of one Bailey one hundred (100) feet to a point; thence northeasterly parallel to said land now or formerly of Presumpscot Grange No. 15, P. of H. one hundred sixty-one and five tenths (161.5) feet, more or less, to Forest Avenue; thence southeasterly by said Forest Avenue one hundred (100) feet to the point of beginning.

Being same premises conveyed to Presumpscot Grange No. 15 P. of H. by deed dated August 21, 1947 recorded Book 1871, Page 406 Cumberland County Registry of Deeds.

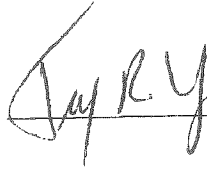
Excepting and reserving from the above described parcel of land a lot of land described in deed from Presumpscot Grange No. 15 P. of H. to Wellesley Estates Limited Partnership by deed dated March 21, 2003 recorded Book 19078, Page 059 Cumberland County Registry of Deeds.

Also excepting a utility easement granted to Central Maine Power Company recorded Book 03216, Page 379 Cumberland County Registry of Deeds.

Being same premises conveyed to grantor by deed dated October 2, 2007 recorded Book 25530, Page 18 Cumberland County Registry of Deeds.

IN WITNESS WHEREOF, Maine State Grange Patrons of Husbandry, by James A. Owens, its President duly authorized signs and seals this deed on June 23, 2010.

Maine State Grange Patrons of Husbandry

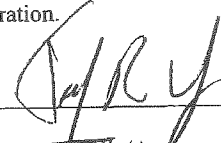


By: 
James A. Owens, President

State of Maine
Cumberland, ss

June 23, 2010

Personally appeared the above named, James A. Owens, President of Maine State Grange Patrons of Husbandry, and acknowledged the foregoing instrument to be his free act and deed and the free act and deed of said corporation.



Notary Public/Attorney at Law
Jeffrey R. Vigue

Received
Recorded Register of Deeds
Jun 23, 2010 12:29:37P
Cumberland County
Pamela E. Lovley

PURCHASE & SALES AGREEMENT

This Agreement is made this 10th Day of April, 2012 by and between Wellesley Estates Limited Partnership, with a mailing address of PO BOX 15236, Portland, ME 04112 (207) 774-8013 (hereinafter called "Seller") and Gabriel Zappia, with a mailing address of 18 Cottage Lane, Cape Elizabeth, ME 04107 (hereinafter referred to as "Buyer").

1. **PREMISES:** This agreement affects land owned by Seller located at Wellesley Estates, off of Forest Avenue in Portland, Maine, including any improvements thereon. This is a strip of land running from Forest Ave to Wellesley Estates, is approximately 16 feet wide and was formerly owned by the Presumpscot Grange No. 15 P. of H. The land subject to this Agreement is the same as that conveyed by a warranty deed dated March 21, 2003, and recorded in the Cumberland County Registry of Deeds in Book 19078, Page 59, and is further described in Exhibit A, attached hereto and made a part hereof. The Seller hereby agrees to sell said premises to the Buyer, and the Buyer agrees to buy the premises from the Seller, all on the terms and conditions set forth in this Agreement.

2. **PURCHASE PRICE:** The Buyer shall Purchase the land for a total purchase price of **\$2,500** upon the following terms and conditions:

- a. A \$500.00 deposit upon the execution of this agreement. This deposit is refundable and does apply to the purchase price.
- b. A final payment of \$2,000 adjusted for any other costs described in section 6 will be due and payable at closing, subject also to adjustment as set forth in paragraph 4B below.

3. **RIGHT OF ENTRY:** Buyer, or his agents, shall have the right to enter the Premises before the closing in order to survey, take soil samples and otherwise test and conduct its due diligence investigations. Buyer shall also indemnify and hold Seller harmless for any damage, injury or liens occasioned by such entry. Buyer shall at Buyer's expense return the property to substantially the same condition it was in prior to such activities. This paragraph shall survive the closing.

4. **CLOSING:** A. The closing shall take place within 15 days of Seller obtaining a partial release of the mortgages on the property, or 15 days after Buyer in its discretion either waives or postpones the requirement of a partial release (but Buyer shall not be required to waive or postpone this requirement in any circumstances), at the Law Office of Keiter & Associates, P.A., 1 William Street, Portland, Maine 04103, or at such earlier time or other place as the parties may find mutually convenient.

Seller agrees to request all partial releases of all mortgages and liens encumbering the premises within 5 business days after the full execution of this Agreement, and thereafter to take all necessary actions to pursue such requests diligently to completion. Seller agrees to notify Buyer within 2 business days after such partial releases have been obtained, or have been agreed to pending only completion of the sale contemplated in this Agreement.

B. In the event that Seller is unable to obtain a partial release of the mortgage(s) on the premises so that the same are available at the time of the closing, the Buyer shall have the right to postpone the obtaining of such partial releases and proceed to closing, and in such event only \$750 of the balance of the purchase price shall be payable at closing, with the thereafter remaining balance of \$1250.00 payable when the original partial releases are either provided to the Buyer or when the same are recorded in the Cumberland County registry of Deeds. Seller agrees to continue to use reasonable efforts to obtain such partial releases after the closing, in such event.

5. **SELLER'S WARRANTIES AND REPRESENTATIONS:** Seller hereby represents and warrants that as of the date hereof, and as of the date of the closing hereunder, all of which representations and warranties will survive the closing:

a. Seller has no knowledge of the existence of any violations of laws and regulations affecting the Property. Seller has not received any notice or inquiry from any federal, state or local government authority or representative thereof claiming or inquiring into the existence of any such violations.

b. Seller has no knowledge of any pending or threatened actions or proceedings regarding condemnation of or encumbrances on the ownership, use or possession of the Premises or any party thereof.

c. Seller represents that the Premises shall be free from any mechanic or material men liens.

d. There are no underground storage tanks or other environmental contamination on the Premises.

6. **ADJUSTMENTS, PRORATIONS AND CLOSING COSTS:**

a. All current real estate taxes, on this land only, shall be the responsibility of Buyer. Seller shall receive no credit if property taxes have been paid current on the property.

b. The Maine Real Estate Transfer Tax shall be paid

for by Seller and Buyer according to Maine statutory law.

c. The preparation of the Deed, legal description, and transfer tax form shall be paid for by the Seller.

d. The Buyer shall pay for any additional inspections, the title search, recording the deed, and other closing services.

7. **POSSESSION & EASEMENT**: Seller shall deliver possession of Property to Buyer at transfer of title free and clear of all leases, tenancies or occupancies by any person.

Seller shall retain an easement over the property for emergency access to Wellesley Estates from Forest Avenue. This emergency easement shall be in the case of fire, medical emergency, or other emergency use. This land shall not become a secondary access to Wellesley Estates for normal use.

Buyer shall keep a chain, or other gate or easily openable barrier at the end of the emergency access lane approximately where it borders Wellesley Estates. Buyer may move the existing chain, so long as Seller, and the Portland, Maine fire department have a key, and approve of the locking system for the new chain or barrier.

Buyer may, with approval from the City of Portland, Maine, move the emergency access easement, so long as the emergency access continues to connect Forrest Ave, to Wellesley Estates, at the current location of the access lane at Wellesley Estates.

Buyer agrees to keep and maintain the easement in clear and passable condition in perpetuity, including having the easement plowed in the winter.

8. **INDEMNITY**: Buyer and Seller agree to indemnify and hold each other harmless from and against any and all damages, claims, losses, obligations, liabilities and expenses, including reasonable attorney's fees, incurred as a result of the breach of any representation contained in this Contract. The warranties of this Contract shall survive the closing hereunder.

9. **RISK OF LOSS**: The risk of loss to the property by a taking of all or any part of the property by eminent domain, prior to the closing, shall be on Seller. In the event that, prior to the closing, the property or any portion is taken by eminent domain, Buyer shall have the option of either (i) terminating this Agreement and receiving back the deposit, or (ii) accepting the insurance proceeds payable be reason of such damage, or the condemnation award payable by reason of such

taking, and closing the transaction contemplated by this Agreement notwithstanding the same, and without reduction in the purchase price.

10. **REMEDIES FOR BREACH:**

a. If Buyer defaults in his performance under this contract, the Seller shall retain the as his sole liquidated damages for such default. If Buyer fails to return the property to substantially the same condition it was in prior to having work done, a lien was placed on the property from work Buyer had done, or Buyer does not keep the emergency access lane clean and open, Seller may employ all legal and equitable remedies. Attorney fees shall be awarded to the prevailing party. If Seller defaults in its obligations hereunder, the Buyer shall have the right of specific performance of this Agreement, including reasonably attorney fees incurred in enforcing this Agreement, it being agreed that the premises are unique and that monetary damages would not adequately compensate Buyer for a breach hereof by Seller.

11. **TITLE:** Seller shall convey the Premises to Buyer at the closing by Warranty Deed in fee simple with good and marketable title, free and clear of all encumbrances. If counsel for the Buyer shall be of the opinion, given in good faith, that the title to the property is defective or is otherwise not free and clear of all encumbrances, or is not marketable, the closing shall be postponed for a reasonable period of time during which Seller shall diligently pursue the removal of such defect or encumbrance at his own expense, to the reasonable satisfaction of counsel for Buyer. If the title proves defective and if Seller shall fail to remove such defect or encumbrance within thirty (30) days after notice from Buyer of the nature of the defect or encumbrance, Buyer may, at its election, either: (i) close this transaction notwithstanding the existence of any such defect or encumbrance and without a deduction in the purchase price; or (ii) terminate this Agreement, in which event Seller shall return the deposits to Buyer, and the parties hereto shall thereafter have no further rights or obligations hereunder, or (iii) Buyer may grant additional time to the Seller to cure the title defects.

12. **NOTICE:** All notices, demands and other communications hereunder shall be in writing and shall be deemed to have been given on the date of service if delivered personally to the party to whom notice is to be given, or on the date of mailing. If mailed, all notices are to be sent by First Class Mail postage prepaid, certified with return receipt requested, addressed as provided above.

13. **BROKERAGE:** Seller and Buyer represent to one another

that neither has dealt or had contact with any broker in connection with this transaction and each agrees to indemnify and hold harmless the other from any and all costs, expenses or damages resulting from any claims for brokerage fees or other similar forms of compensation made by any real estate broker or any other person or entity because of the sale of the Premises hereunder, where such broker's claim arose out of the actions or contacts of the indemnifying party.

14. **WITHHOLDING**: The Seller is aware that Maine law requires Buyer to withhold two and one-half percent (2.5%) of the sale proceeds unless the Seller certifies he is a resident of Maine at the time of closing or is otherwise exempt from the provisions of 36 M.R.S.A. Section 5250-A.

15. **MORTGAGE AND INSURANCE**: Seller is responsible for all mortgage and insurance payments on the premises, if any, until the closing.

16. **SHARING OF REPORTS**: Seller agrees to provide all reports he has about the premises to the Buyer at no additional cost to the Buyer, within 5 business days after the full execution of this Agreement. If a report has not been completed it is not required to be done for this closing. These reports may include but shall not be limited to: title work, surveys, Forestry Plans, wetland delineation, engineering studies, and soil tests.

17. **SELLER NOT A FOREIGN PERSON**: The Seller warrants and represents to the Buyer that the Seller is not a "foreign person" as that term is defined in Section 1445 of the Internal Revenue Code of 1986, as amended.

18. **AS IS WHERE IS**: Buyer is buying the property in AS IS WHERE IS CONDITION.

19. **GENERAL PROVISIONS**: This agreement constitutes the entire agreement between Seller and Buyer, and there are no other agreements, understandings, warranties or representations. This agreement will inure to the benefit of and bind the respective heirs, successors and assigns of Seller and Buyer. This agreement may be simultaneously executed in any number of counterparts, or with counterpart signature pages, each of which, when so executed and delivered shall be deemed an original. This agreement shall be governed by and construed in accordance with the laws of the State of Maine. Signatures appearing hereon transmitted by facsimile or by other electronic means, such as email, shall be fully as binding as original signatures hereon.

Dated as above

SELLER

WELLESLEY ESTATES LIMITED
PARTNERSHIP (Seller)

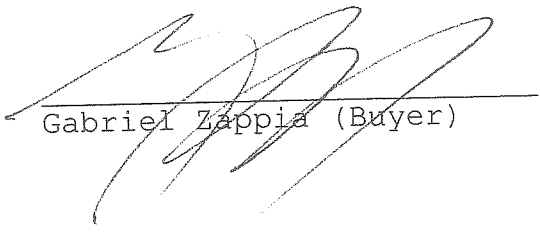
By: Wellesley Estates, LLC,
Its General Partner

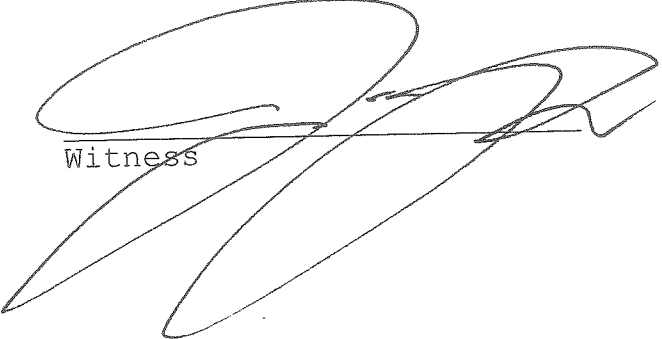
By: 

Adam Mack
Its Manager


Witness

BUYER


Gabriel Zappia (Buyer)


Witness



Level II – Preliminary and Final Site Plans Development Review Application Portland, Maine

Planning and Urban Development Department
Planning Division

Portland's Planning and Urban Development Department coordinates the development review process for site plan, subdivision and other applications under the City's Land Use Code. Attached is the application form for a Level II: Preliminary or Final Site Plan. Please note that Portland has delegated review from the State of Maine for reviews under the Site Location of Development Act, Chapter 500 Stormwater Permits, and Traffic Movement Permits. General information pertaining to the thresholds of review, public noticing procedures and the fee structure is contained in the Notice to Developer's Packet.

Level II: Site Plan Development includes:

- New structures with a total floor area of less than 10,000 sf except in Industrial Zones.
- New structures with a total floor area of less than 20,000 sf in Industrial Zones.
- Any new temporary or permanent parking area, paving of an unpaved surface parking area, or creation of other impervious surface area greater than 7,500 sf.
- Building addition(s) with a total floor area of less than 10,000 sf (cumulatively within a 3 year period) except in Industrial Zones.
- Building addition(s) with a total floor area of less than 20,000 sf in Industrial Zones.
- Park improvements: New structures or buildings with a total floor area of less than 10,000 sf, facilities encompassing an area of greater than 7,500 sf and less than 20,000 sf (excludes rehabilitation or replacement of existing facilities).
- New piers, docks, wharves, bridges, retaining walls, and other structures within the Shoreland Zone.
- Land disturbance between 1 and 3 acres (includes stripping, grading, grubbing, filling or excavation).
- A change in the use of a total floor area between 10,000 and 20,000 sf in any existing building (cumulatively within a 3 year period).
- Construction of a lodging house, bed and breakfast facility, emergency shelter or special needs independent living unit.
- Signage subject to approval pursuant to Section 14-526 (d) 8.a. (IV) of the Land Use Code.
- Any new major or minor auto service station with less than 10,000 sf of building area that is outside the B-2 or B-5 zones.
- The creation of day care or home babysitting facilities to serve more than 12 children in a residential zone (not permitted as a home occupation under section 14-410) in any principal structure that has not been used as a residence within the 5 years preceding the application.

The Land Use Code (including Article V), the Technical Manual, and the Design Manual are available on the City's web site at <http://www.portlandmaine.gov/planning/default.asp> or copies may be purchased at the Planning Division Office.

Planning Division
Fourth Floor, City Hall
389 Congress Street
(207) 874-8721 or 874-8719

Office Hours
Monday thru Friday
8:00 a.m. – 4:30 p.m.

Engineer Name: Casco Bay Engineering, Inc. Eric Dube, P.E. Address: 424 Fore Street City/State : Portland, ME Zip Code: 04101	Engineer Contact Information Work # 207-842-2800 Cell # 207-712-7022 Fax# 207-842-2828 e-mail: ericd@cascobayengineering.com
Surveyor Northeast Civil Solutions Name: Jim Fisher Address: 153 US Route 1 City/State : Scarborough, ME Zip Code: 04074	Surveyor Contact Information Work # 207-883-1000 Cell # Fax# 207-883-1001 e-mail: jim.fisher@northeastcivilsolutions.com
Architect CAD-D-TECH Name: John Ossie Address: Presnell Street City/State : Portland, ME Zip Code: 04103	Architect Contact Information Work # Cell # Fax# e-mail:
Attorney Name: Address: City/State : Zip Code:	Attorney Contact Information Work # Cell # Fax# e-mail:

APPLICATION FEES:

Check all reviews that apply. (Payment may be made by Cash or Check payable to the City of Portland.)

Level II Development (check applicable reviews) <input checked="" type="checkbox"/> Less than 10,000 sq. ft. (\$400.00) <input type="checkbox"/> After-the-fact Review (\$1,000.00 plus applicable application fee)	Fees Paid (office use) 	Other Reviews (check applicable reviews) <input type="checkbox"/> Traffic Movement (\$1,000) <input type="checkbox"/> Stormwater Quality (\$250) <input type="checkbox"/> Section 14-403 Review (\$400 + \$25/lot) # of Lots ___ x \$25/lot = _____ <input type="checkbox"/> Other _____ <input type="checkbox"/> Change of Use <input type="checkbox"/> Flood Plain <input type="checkbox"/> Shoreland <input type="checkbox"/> Design Review <input type="checkbox"/> Housing Replacement <input type="checkbox"/> Historic Preservation	Fees Paid (office use)
The City invoices separately for the following: <ul style="list-style-type: none"> • Notices (\$.75 each) • Legal Ad (% of total Ad) • Planning Review (\$40.00 hour) • Legal Review (\$75.00 hour) Third party review is assessed separately.			
Plan Amendments (check applicable reviews) <input type="checkbox"/> Planning Staff Review (\$250) <input type="checkbox"/> Planning Board Review (\$500)	Fees Paid (office use) 		

APPLICATION SUBMISSION

All site plans and written application materials must be uploaded to a website for review. At the time of application, instructions for uploading the plans will be provided to the applicant. One paper set of the plans, written materials and application fee must be submitted to the Planning Division Office to start the review process.

Application submissions shall include one (1) paper packet with folded plans containing the following materials:

Numbers below changed- can't seem to highlight

1. One (1) full size site plans that must be folded.

One (1) set of all written materials or as follows, unless otherwise noted:

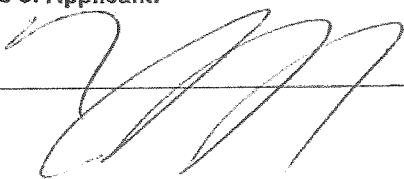
- a. Application form that is completed and signed.
 - b. Cover letter stating the nature of the project.
 - c. All Written Submittals (Sec. 14-525 2. (c), including evidence of right, title and interest.
2. A stamped standard boundary survey prepared by a registered land surveyor at a scale not less than one inch to 50 feet.
 3. Plans and maps based upon the boundary survey and containing the information found in the attached sample plan checklist.
 4. Copy of the checklist completed for the proposal listing the material contained in the submitted application.
 5. One (1) set of plans reduced to 11 x 17.

Refer to the application checklist for a detailed list of submittal requirements.

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521). Portland's Land Use Code is on the City's web site: www.portlandmaine.gov Copies of the ordinances may be purchased through the Planning Division.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This application is for a Level II Site Plan review. It is not a permit to begin construction. An approved site plan, a Performance Guarantee, Inspection Fee, Building Permit, and associated fees will be required prior to construction. Other Federal, State or local permits may be required prior to construction, which are the responsibility of the applicant to obtain.

Signature of Applicant: 	Date: 5-15-2012
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PROJECT DATA

The following information is required where applicable, in order complete the application

Total Site Area	32,108 sq. ft.
Proposed Total Disturbed Area of the Site	26,930 sq. ft.
(If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) with DEP and a Stormwater Management Permit, Chapter 500, with the City of Portland)	
IMPERVIOUS SURFACE AREA	
• Proposed Total Paved Area	17,045 sq. ft.
• Existing Total Impervious Area	22,715 sq. ft.
• Proposed Total Impervious Area	19,645 sq. ft.
• Proposed Impervious Net Change	(-) 3,070 sq. ft.
BUILDING AREA	
• Proposed Building Footprint	2,600 sq. ft.
• Proposed Building Footprint Net change	0 sq. ft.
• Existing Total Building Floor Area	5,200 sq. ft.
• Proposed Total Building Floor Area	5,200 sq. ft.
• Proposed Building Floor Area Net Change	0 sq. ft.
• New Building	NO (yes or no)
ZONING	
• Existing	B-2
• Proposed, if applicable	
LAND USE	
• Existing	Vacant Building
• Proposed	Dance Hall
RESIDENTIAL, IF APPLICABLE	
• Proposed Number of Affordable Housing Units	
• Proposed Number of Residential Units to be Demolished	
• Existing Number of Residential Units	
• Proposed Number of Residential Units	
• Subdivision, Proposed Number of Lots	
PARKING SPACES	
• Existing Number of Parking Spaces	17
• Proposed Number of Parking Spaces	40
• Number of Handicapped Parking Spaces	2
• Proposed Total Parking Spaces	42
BICYCLE PARKING SPACES	
• Existing Number of Bicycle Parking Spaces	N/A
• Existing Number of Bicycle Parking Spaces	
• Proposed Number of Bicycle Parking Spaces	
• Total Bicycle Parking Spaces	
ESTIMATED COST OF PROJECT	\$85,000

**General Submittal Requirements – Preliminary Plan (Optional)
Level II Site Plan**

Preliminary Plan Phase Check list (if elected by applicant)

Applicant Checklist	Planner Checklist	Number of Copies	Written Submittal Requirements
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Completed application form
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Application fees
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Written description of project
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Evidence of right, title and interest.
<input type="checkbox"/>	<input type="checkbox"/>	1	Copies of required State and/or Federal permits.
<input type="checkbox"/>	<input type="checkbox"/>	1	Written assessment of proposed project's compliance with applicable zoning requirements.
<input type="checkbox"/>	<input type="checkbox"/>	1	Written description of existing and proposed easements or other burdens.
<input type="checkbox"/>	<input type="checkbox"/>	1	Written requests for waivers from individual site plan and/or technical standards, where applicable.
<input type="checkbox"/>	<input type="checkbox"/>	1	Traffic analysis (may be preliminary, in nature, during the preliminary plan phase).
<input type="checkbox"/>	<input type="checkbox"/>	1	Written summary of significant natural features located on the site.
<input type="checkbox"/>	<input type="checkbox"/>	1	Written summary of project's consistency with related city master plans.
Applicant Checklist	Planner Checklist	Number of Copies	Site Plan Submittal Requirements
<input checked="" type="checkbox"/>	<input type="checkbox"/>		Boundary Survey meeting the requirements of Section 13 of the City of Portland Technical Manual.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Preliminary Site Plan including the following: (*Information provided may be preliminary in nature during preliminary plan phase):
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed structures with distance from property line (including location of proposed piers, docks or wharves if in Shoreland Zone).
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Location of adjacent streets and intersections and approximate location of structures on abutting properties.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Proposed site access and circulation.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Proposed grading and contours.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Location and dimension of existing and proposed paved areas including all parking areas and vehicle, bicycle and pedestrian access ways.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Preliminary landscape plan including existing vegetation to be preserved, proposed site landscaping and street trees.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed utilities (preliminary layout).
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Preliminary infrastructure improvements (e.g. - curb and sidewalk improvements, roadway intersection modifications, utility connections, transit infrastructure, roadway improvements).
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Preliminary stormwater management and erosion control plan.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Existing significant natural features located on the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important natural features listed in Section 14-526 (b) 1. of the Land Use Code).
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Proposed alterations to and protection measures for significant natural features located on the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important

natural features listed in Section 14-526 (b)1. of the Land Use Code).

- Existing and proposed easements or public or private rights of way.

**General Submittal Requirements – Final Plan (Required)
Level II Site Plan**

Final Plan Phase Check list (including items listed above in General Requirements for Preliminary Plan, if applicant did not elect to submit for a preliminary plan review)

Applicant Checklist	Planner Checklist	Number of Copies	Written Submittal Requirement
<input type="checkbox"/>	<input type="checkbox"/>	1	Evidence of financial and technical capacity.
<input type="checkbox"/>	<input type="checkbox"/>	1	Evidence of utilities' capacity to serve the development.
<input type="checkbox"/>	<input type="checkbox"/>	1	Written summary of fire safety (referencing NFPA fire code and Section 3 of the City of Portland Technical Manual).
<input type="checkbox"/>	<input type="checkbox"/>	1	Construction management plan.
<input type="checkbox"/>	<input type="checkbox"/>	1	Traffic Plan (if development will (1) generate 100 or more PCE or (2) generate 25 or more PCE and is located on an arterial, within 1/2 mile of a high crash location, and/or within ¼ mile of an intersection identified in a previous traffic study as a failing intersection).
<input type="checkbox"/>	<input type="checkbox"/>	1	Stormwater management plan.
<input type="checkbox"/>	<input type="checkbox"/>	1	Written summary of solid waste generation and proposed management of solid waste.
<input type="checkbox"/>	<input type="checkbox"/>	1	Written assessment of conformity with applicable design standards.
<input type="checkbox"/>	<input type="checkbox"/>	1	Manufacturer's verification that HVAC and manufacturing equipment meets applicable state and federal emissions requirements.

Final Plan Phase			
<input type="checkbox"/>	<input type="checkbox"/>	1	Final Site Plan including the following
<input type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed structures on the site with distance from property line (including location of proposed piers, docks or wharves if in Shoreland Zone).
<input type="checkbox"/>	<input type="checkbox"/>		▪ Location of adjacent streets and intersections and approximate location of structures on abutting properties.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed site access and circulation.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed grading and contours.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Location and dimension of existing and proposed paved areas including all parking areas and vehicle, bicycle and pedestrian access ways. Proposed curb lines must be shown.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed loading and servicing areas, including applicable turning templates for delivery vehicles
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed snow storage areas or snow removal plan.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed trash and recycling facilities.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Landscape plan including existing vegetation to be preserved, proposed site landscaping and street trees.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed utilities.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Location and details of proposed infrastructure improvements (e.g. - curb and sidewalk improvements, roadway intersection modifications, utility connections, public transit infrastructure, roadway improvements).
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed septic system, if not connecting to municipal sewer. (Portland Waste Water Application included in this application)
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed finish floor elevation (FFE).

<input type="checkbox"/>	<input type="checkbox"/>	▪ Exterior building elevation(s) (showing all 4 sides).
<input type="checkbox"/>	<input type="checkbox"/>	▪ Proposed stormwater management and erosion controls.
<input type="checkbox"/>	<input type="checkbox"/>	▪ Exterior lighting plan, including street lighting improvements..
<input type="checkbox"/>	<input type="checkbox"/>	▪ Proposed signage.
<input type="checkbox"/>	<input type="checkbox"/>	▪ Identification of existing significant natural features located on the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important natural features listed in Section 14-526 (b)1. of the Land Use Code). Wetlands must be delineated.
<input type="checkbox"/>	<input type="checkbox"/>	▪ Proposed alterations to and protection measures for of existing significant natural features located on the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important natural features listed in Section 14-526 (b)1. of the Land Use Code).
<input type="checkbox"/>	<input type="checkbox"/>	▪ Total area and limits of proposed land disturbance.
<input type="checkbox"/>	<input type="checkbox"/>	▪ Soil type and location of test pits and borings.
<input type="checkbox"/>	<input type="checkbox"/>	▪ Details of proposed pier rehabilitation (Shoreland areas only).
<input type="checkbox"/>	<input type="checkbox"/>	▪ Existing and proposed easements or public or private rights of way.



PORTLAND FIRE DEPARTMENT
SITE REVIEW
FIRE DEPARTMENT CHECKLIST



A separate drawing[s] shall be provided to the Portland Fire Department for all site plan reviews.

1. Name, address, telephone number of applicant.
2. Name address, telephone number of architect
3. Proposed uses of any structures [NFPA and IBC classification]
4. Square footage of all structures [total and per story]
5. Elevation of all structures
6. Proposed fire protection of all structures
 - *As of September 16, 2010 all new construction of one and two family homes are required to be sprinkled in compliance with NFPA 13D. This is required by City Code. (NFPA 101 2009 ed.)*
7. Hydrant locations
8. Water main[s] size and location
9. Access to all structures [min. 2 sides]
10. A code summary shall be included referencing NFPA 1 and all fire department. Technical standards.

Some structures may require Fire flows using annex H of NFPA 1

CITY OF PORTLAND WASTEWATER CAPACITY APPLICATION

Department of Public Services,
55 Portland Street,
Portland, Maine 04101-2991



Mr. Frank J. Brancely,
Senior Engineering Technician,
Phone #: (207) 874-8832,
Fax #: (207) 874-8852,
E-mail: fjb@portlandmaine.gov

Date: 7-11-12

1. Please, Submit Utility, Site, and Locus Plans.

Site Address: 1844 FOREST AVENUE
(Regarding addressing, please contact Leslie Kaynor, either at 756-8346, or at LMK@portlandmaine.gov) Chart Block Lot Number: _____

Proposed Use: ENTERTAINMENT CLUB

Previous Use: GRANGE HALL

Existing Sanitary Flows: N/A GPD

Existing Process Flows: NONE GPD

Description and location of City sewer, at proposed building sewer lateral connection: _____

	Site Category	Commercial	<input checked="" type="checkbox"/>
		Industrial (complete part 4 below)	<input type="checkbox"/>
		Governmental	<input type="checkbox"/>
		Residential	<input type="checkbox"/>
		Other (specify)	<input type="checkbox"/>

Clearly, indicate the proposed connection, on the submitted plans.

2. Please, Submit Domestic Wastewater Design Flow Calculations.

Estimated Domestic Wastewater Flow Generated: NIGHTCLUB 10 GAL/PERSON/DAY x 400 PERSONS = 4000 GPD

Peaking Factor/ Peak Times: 5:00 PM - 11:30 PM

Specify the source of design guidelines: (i.e. "Handbook of Subsurface Wastewater Disposal in Maine," "Plumbers and Pipe Fitters Calculation Manual," Portland Water District Records, Other (specify))

Note: Please submit calculations showing the derivation of your design flows, either on the following page, in the space provided, or attached, as a separate sheet.

3. Please, Submit Contact Information.

Owner/Developer Name: GABRIEL ZAPPIA

Owner/Developer Address: 18 COTTAGE LANE CAPE ELIZABETH, ME 04107

Phone: 207-774-5282 Fax: _____ E-mail: _____

Engineering Consultant Name: CASCO BAY ENGINEERING

Engineering Consultant Address: 424 FORE STREET PORTLAND, ME 04101

Phone: 207-712-7022 Fax: 207-842-2828 E-mail: ericd@cascobayengineering.com

City Planner's Name: SHUKRIA WIAR Phone: 207-842-2800

Note: Consultants and Developers should allow +/- 15 days, for capacity status, prior to Planning Board Review.

4. Please, Submit Industrial Process Wastewater Flow Calculations

Estimated Industrial Process Wastewater Flows Generated: N/A GPD

Do you currently hold Federal or State discharge permits? Yes No

Is the process wastewater termed categorical under CFR 40? Yes No

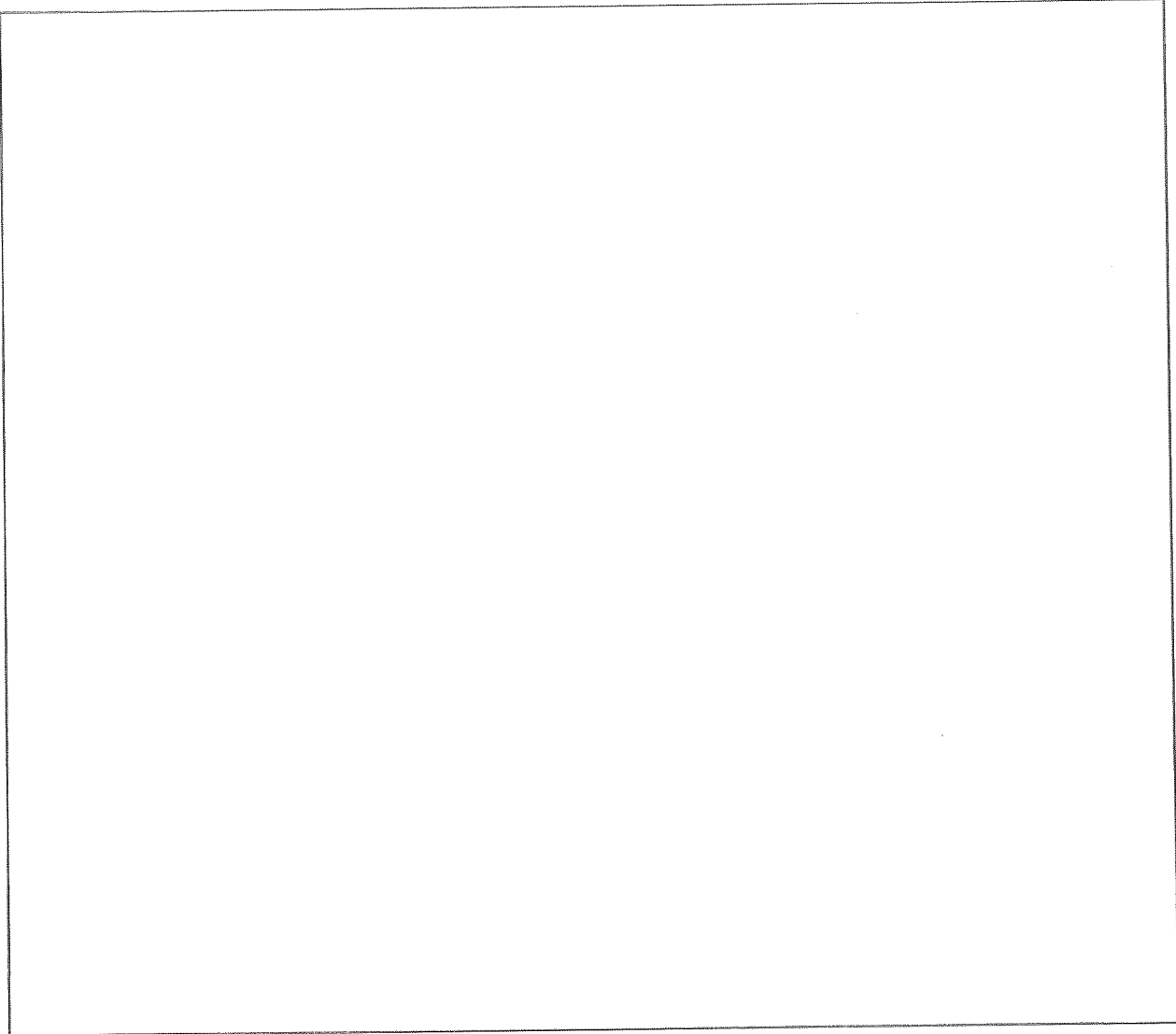
OSHA Standard Industrial Code (SIC): _____

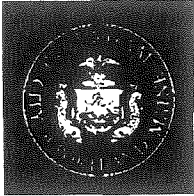
Peaking Factor/Peak Process Times: _____

(<http://www.osha.gov/oshstats/sicser.html>)

Note: On the submitted plans, please show the locations, where the building's sanitary, and process water sewer laterals, exit the facility, where they enter the city's sewer, the location of any control manholes, wet wells, or other access points, and the locations of any filters, strainers, or grease traps.

Notes, Comments, or Calculations:

A large, empty rectangular box with a thin black border, intended for providing notes, comments, or calculations related to the submitted plans.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2012-02-3249-SIGN

Located At: 1844 FOREST AVE

CBL: 327- B-004-001

Conditions of Approval:

Zoning

1. With the issuance of permit #2011-06-1396 and the certificate of occupancy, this property shall remain as a karate Studio in the basement and first floor and the second floor vacant. Any change of use shall require a separate permit application for review and approval.
2. The sign must be located a minimum of five feet from any property line.

Building

1. Signage and Awning Installation to comply with Chapters 16 (Structural Loads), 31 (Materials) & 32 (ROW Height & Encroachments) of the IBC 2009 building code.

GABRIEL ZAPPIA - Karate Pylon
 Scale: 1" = 50" Square Footage: 64

See sign plan received 2/16/12



Classic Shotokan
Karate Dojo
 www.classicshotokan.com
 (207) 774-KATA (5282)
 • First Month Free • No Fees to Test
 • No Contract • Train Every Day
 Kids Mon-Fri @ 5:30
 Beginners Sun-Th @ 6:30
 Advanced Sun-Th @ 7:30
Tenant 2
Tenant 3

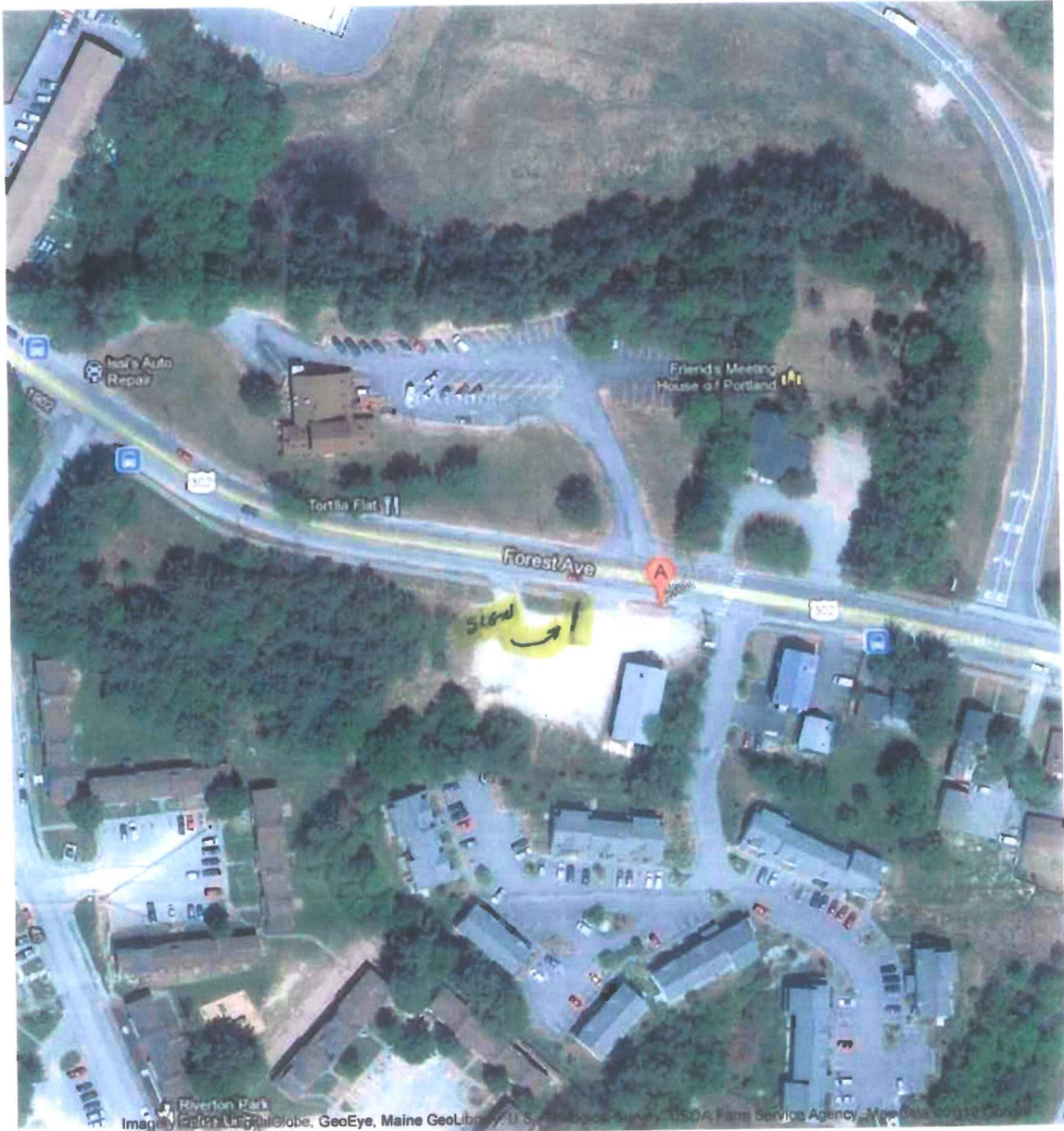


CLIENT	ISSUANCE NAME	DATE
	PROJECT	2/27/12
ADDRESS	SIGN PERSON	DESIGNER
100 Commercial Street, Portland, ME 04101	Project Lead	Kristi
CONTACT: Gabriella Zappia 603-883-8888	CLIENT SIGNATURE & APPROVAL DATE	

REVISION HISTORY	DATE

THIS DOCUMENT IS THE PROPERTY OF BURR SIGNS. IT IS TO BE USED ONLY FOR THE PROJECT AND CLIENT SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR DISTRIBUTED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF BURR SIGNS. © Copyright Burr Signs 2012

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To see all the details that are visible on the screen, use the "Print" link next to the map.



Barbara Barhydt - RE: 1844 Forest Avenue Renovation

From: "Eric Dube" <ericd@cascoengineering.com>
To: "Barbara Barhydt" <BAB@portlandmaine.gov>
Date: Monday, July 16, 2012 5:28 PM
Subject: RE: 1844 Forest Avenue Renovation
CC: "Marge Schmuckal" <MES@portlandmaine.gov>
Attachments: 33113 Boundary.pdf; City of Portland - level 2 alteration Final.pdf

Hi Barbara,

Please find enclosed the updated Boundary Survey you requested and the revised Level II Alteration application with the updated Wastewater capacity application.

Gabriel's current plans are to run the karate dojo Sun-Thurs and switch over to Venue mode for Friday and Saturday. However, plans are fluid. Should karate not be very popular (preliminary data from the sign makes that likely) he will probably shift the use to 100% venue. In that case the building will probably be closed most of the time and only open for special events, including almost every Friday and Saturday. It is possible to have the building open as a Dance Hall 7 days, but this is not his request at this time. The client sees this as a **concert and dance venue that has a bar**, not a bar that has music. Most events will begin at 7-9 PM and end around midnight-1 AM. Rare events, like weddings, may happen at odd hours. Gabriel would also like to run a yoga class at rush hour, starting at 5:30. This would be coordinated with the Karate dojo activities.

The expected numbers and venue capacity is 400 persons.

Gabriel is still working on the clear title to the fire lane. The final step is to obtain the bank release on the fire lane which is in process. He hopes to have it soon.

Please let me know if you have any other questions or comments. Thank you again for your help with this project.

Eric Dube, P.E.

Casco Bay Engineering, Inc.
424 Fore Street
Portland, ME 04101
C 207.712.7022
T 207.842.2800
F 207.842.2828
www.cascobayengineering.com

From: Barbara Barhydt [mailto:BAB@portlandmaine.gov]
Sent: Tuesday, July 10, 2012 8:12 AM
To: Eric Dube
Cc: Marge Schmuckal
Subject: 1844 Forest Avenue Renovation

Hi Eric:

Marge and I looked at the application yesterday for completeness. We would like some clarification about the proposal, before I distribute it for review. I am sending this to you as the application includes your contact information.

1. The proposed use is listed as entertainment center in the project description and elsewhere as Dance Hall. Could you provide more detail upon the proposed use of the building, the hours of operation and the expected numbers or capacity of the facility? Marge noted that Mr. Zappia had received approval for a martial arts studio and is this use going to continue as well?
2. The waste water portion of the application was not completed, so that needs to be filled out.
3. The boundary survey is dated February, 2012 and the land transfer was in April of 2012. The plan does not show an easement or right-of-way for the emergency access. Can you clarify this, as the plan must show easements or encumbrances. Marge also noted that the survey states the zone is R-5, but the area was rezoned to B-2 in 2009.

Please let me know when you can update the application. I will distribute it for review once these items are addressed.

Thank you.

Barbara

Barbara Barhydt
Development Review Services Manager
Planning Division
389 Congress Street 4th Floor
Portland, ME 04101
(207) 874-8699
Fax: (207) 756-8256
bab@portlandmaine.gov

Effective August 18, 2010



Level II – Preliminary and Final Site Plans Development Review Application Portland, Maine

Planning and Urban Development Department
Planning Division

Portland's Planning and Urban Development Department coordinates the development review process for site plan, subdivision and other applications under the City's Land Use Code. Attached is the application form for a Level II: Preliminary or Final Site Plan. Please note that Portland has delegated review from the State of Maine for reviews under the Site Location of Development Act, Chapter 500 Stormwater Permits, and Traffic Movement Permits. General information pertaining to the thresholds of review, public noticing procedures and the fee structure is contained in the Notice to Developer's Packet.

Level II: Site Plan Development includes:

- New structures with a total floor area of less than 10,000 sf except in Industrial Zones.
- New structures with a total floor area of less than 20,000 sf in Industrial Zones.
- Any new temporary or permanent parking area, paving of an unpaved surface parking area, or creation of other impervious surface area greater than 7,500 sf.
- Building addition(s) with a total floor area of less than 10,000 sf (cumulatively within a 3 year period) except in Industrial Zones.
- Building addition(s) with a total floor area of less than 20,000 sf in Industrial Zones.
- Park improvements: New structures or buildings with a total floor area of less than 10,000 sf, facilities encompassing an area of greater than 7,500 sf and less than 20,000 sf (excludes rehabilitation or replacement of existing facilities).
- New piers, docks, wharves, bridges, retaining walls, and other structures within the Shoreland Zone.
- Land disturbance between 1 and 3 acres (includes stripping, grading, grubbing, filling or excavation).
- A change in the use of a total floor area between 10,000 and 20,000 sf in any existing building (cumulatively within a 3 year period).
- Construction of a lodging house, bed and breakfast facility, emergency shelter or special needs independent living unit.
- Signage subject to approval pursuant to Section 14-526 (d) 8.a. (IV) of the Land Use Code.
- Any new major or minor auto service station with less than 10,000 sf of building area that is outside the B-2 or B-5 zones.
- The creation of day care or home babysitting facilities to serve more than 12 children in a residential zone (not permitted as a home occupation under section 14-410) in any principal structure that has not been used as a residence within the 5 years preceding the application.

The Land Use Code (including Article V), the Technical Manual, and the Design Manual are available on the City's web site at <http://www.portlandmaine.gov/planning/default.asp> or copies may be purchased at the Planning Division Office.

Planning Division
Fourth Floor, City Hall
389 Congress Street
(207) 874-8721 or 874-8719

Office Hours
Monday thru Friday
8:00 a.m. – 4:30 p.m.

RECEIVED
JUL 18 2012

City of Portland
Planning Division

PROJECT NAME: 1844 Forest Avenue Renovation

PROPOSED DEVELOPMENT ADDRESS:
1844 Forest Avenue

PROJECT DESCRIPTION:
New 42 space paved parking lot to serve newly renovated building.

CHART/BLOCK/LOT: 327-B-5 **PRELIMINARY PLAN** 6-26-12 (date)
FINAL PLAN _____ (date)

CONTACT INFORMATION:	Applicant's Contact for electronic plans Name: e-mail: work #:
Applicant – must be owner, Lessee or Buyer Name: Gabriel Zappia Business Name, if applicable: Address: 18 Cottage Lane City/State : Cape Elizabeth ME Zip Code: 04107	Applicant Contact Information Work # Home# Cell # Fax# e-mail:
Owner – (if different from Applicant) Name: Address: City/State : Zip Code:	Owner Contact Information Work # Home# Cell # Fax# e-mail:
Agent/ Representative Name: Address: City/State : Zip Code:	Agent/Representative Contact information Work # Cell # e-mail:
Billing Information Name: Address: City/State : Zip Code:	Billing Information Work # Cell # Fax# e-mail:

Engineer Name: Casco Bay Engineering, Inc. Eric Dube, P.E. Address: 424 Fore Street City/State : Portland, ME Zip Code: 04101	Engineer Contact Information Work # 207-842-2800 Cell # 207-712-7022 Fax# 207-842-2828 e-mail: ericd@cascobayengineering.com
Surveyor Northeast Civil Solutions Name: Jim Fisher Address: 153 US Route 1 City/State : Scarborough, ME Zip Code: 04074	Surveyor Contact Information Work # 207-883-1000 Cell # Fax# 207-883-1001 e-mail: jim.fisher@northeastcivilsolutions.com
Architect CAD-D-TECH Name: John Ossie Address: Presnell Street City/State : Portland, ME Zip Code: 04103	Architect Contact Information Work # Cell # Fax# e-mail:
Attorney Name: Address: City/State : Zip Code:	Attorney Contact Information Work # Cell # Fax# e-mail:

APPLICATION FEES:

Check all reviews that apply. (Payment may be made by Cash or Check payable to the City of Portland.)

Level II Development (check applicable reviews)	Fees Paid (office use)	Other Reviews (check applicable reviews)	Fees Paid (office use)
<input checked="" type="checkbox"/> Less than 10,000 sq. ft. (\$400.00) <input type="checkbox"/> After-the-fact Review (\$1,000.00 plus applicable application fee)	 	<input type="checkbox"/> Traffic Movement (\$1,000) <input type="checkbox"/> Stormwater Quality (\$250) <input type="checkbox"/> Section 14-403 Review (\$400 + \$25/lot) # of Lots ___ x \$25/lot = ___ <input type="checkbox"/> Other _____ <input type="checkbox"/> Change of Use <input type="checkbox"/> Flood Plain <input type="checkbox"/> Shoreland <input type="checkbox"/> Design Review <input type="checkbox"/> Housing Replacement <input type="checkbox"/> Historic Preservation	
The City invoices separately for the following: <ul style="list-style-type: none"> • Notices (\$.75 each) • Legal Ad (% of total Ad) • Planning Review (\$40.00 hour) • Legal Review (\$75.00 hour) Third party review is assessed separately.			
Plan Amendments (check applicable reviews) <input type="checkbox"/> Planning Staff Review (\$250) <input type="checkbox"/> Planning Board Review (\$500)	 		

APPLICATION SUBMISSION

All site plans and written application materials must be uploaded to a website for review. At the time of application, instructions for uploading the plans will be provided to the applicant. One paper set of the plans, written materials and application fee must be submitted to the Planning Division Office to start the review process.

Application submissions shall include one (1) paper packet with folded plans containing the following materials:

Numbers below changed- can't seem to highlight

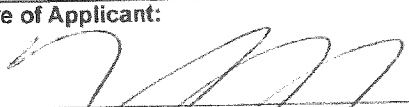
1. **One (1) full size site plans** that must be **folded**.
One (1) set of all written materials or as follows, unless otherwise noted:
 - a. Application form that is completed and signed.
 - b. Cover letter stating the nature of the project.
 - c. All Written Submittals (Sec. 14-525 2. (c), including evidence of right, title and interest.
2. A stamped standard boundary survey prepared by a registered land surveyor at a scale not less than one inch to 50 feet.
3. Plans and maps based upon the boundary survey and containing the information found in the attached sample plan checklist.
4. Copy of the checklist completed for the proposal listing the material contained in the submitted application.
5. One (1) set of plans reduced to 11 x 17.

Refer to the application checklist for a detailed list of submittal requirements.

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521). Portland's Land Use Code is on the City's web site: www.portlandmaine.gov Copies of the ordinances may be purchased through the Planning Division.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This application is for a Level II Site Plan review. It is not a permit to begin construction. An approved site plan, a Performance Guarantee, Inspection Fee, Building Permit, and associated fees will be required prior to construction. Other Federal, State or local permits may be required prior to construction, which are the responsibility of the applicant to obtain.

Signature of Applicant: 	Date: 5-15-2012
--	--------------------

PROJECT DATA

The following information is required where applicable, in order complete the application

Total Site Area	32,108 sq. ft.
Proposed Total Disturbed Area of the Site	26,930 sq. ft.
(If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) with DEP and a Stormwater Management Permit, Chapter 500, with the City of Portland)	
IMPERVIOUS SURFACE AREA	
• Proposed Total Paved Area	17,045 sq. ft.
• Existing Total Impervious Area	22,715 sq. ft.
• Proposed Total Impervious Area	19,645 sq. ft.
• Proposed Impervious Net Change	(-) 3,070 sq. ft.
BUILDING AREA	
• Proposed Building Footprint	2,600 sq. ft.
• Proposed Building Footprint Net change	0 sq. ft.
• Existing Total Building Floor Area	5,200 sq. ft.
• Proposed Total Building Floor Area	5,200 sq. ft.
• Proposed Building Floor Area Net Change	0 sq. ft.
• New Building	NO (yes or no)
ZONING	
• Existing	B-2
• Proposed, if applicable	
LAND USE	
• Existing	Vacant Building
• Proposed	Dance Hall
RESIDENTIAL, IF APPLICABLE	
• Proposed Number of Affordable Housing Units	
• Proposed Number of Residential Units to be Demolished	
• Existing Number of Residential Units	
• Proposed Number of Residential Units	
• Subdivision, Proposed Number of Lots	
PARKING SPACES	
• Existing Number of Parking Spaces	17
• Proposed Number of Parking Spaces	40
• Number of Handicapped Parking Spaces	2
• Proposed Total Parking Spaces	42
BICYCLE PARKING SPACES	
• Existing Number of Bicycle Parking Spaces	N/A
• Existing Number of Bicycle Parking Spaces	
• Proposed Number of Bicycle Parking Spaces	
• Total Bicycle Parking Spaces	
ESTIMATED COST OF PROJECT	\$85,000

General Submittal Requirements – Preliminary Plan (Optional)

Level II Site Plan

Preliminary Plan Phase Check list (if elected by applicant)

Applicant Checklist	Planner Checklist	Number of Copies	Written Submittal Requirements
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Completed application form
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Application fees
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Written description of project
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Evidence of right, title and interest.
<input type="checkbox"/>	<input type="checkbox"/>	1	Copies of required State and/or Federal permits.
<input type="checkbox"/>	<input type="checkbox"/>	1	Written assessment of proposed project's compliance with applicable zoning requirements.
<input type="checkbox"/>	<input type="checkbox"/>	1	Written description of existing and proposed easements or other burdens.
<input type="checkbox"/>	<input type="checkbox"/>	1	Written requests for waivers from individual site plan and/or technical standards, where applicable.
<input type="checkbox"/>	<input type="checkbox"/>	1	Traffic analysis (may be preliminary, in nature, during the preliminary plan phase).
<input type="checkbox"/>	<input type="checkbox"/>	1	Written summary of significant natural features located on the site.
<input type="checkbox"/>	<input type="checkbox"/>	1	Written summary of project's consistency with related city master plans.
Applicant Checklist	Planner Checklist	Number of Copies	Site Plan Submittal Requirements
<input checked="" type="checkbox"/>	<input type="checkbox"/>		Boundary Survey meeting the requirements of Section 13 of the City of Portland Technical Manual.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Preliminary Site Plan Including the following: (*Information provided may be preliminary in nature during preliminary plan phase):
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed structures with distance from property line (including location of proposed piers, docks or wharves if in Shoreland Zone).
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Location of adjacent streets and intersections and approximate location of structures on abutting properties.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Proposed site access and circulation.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Proposed grading and contours.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Location and dimension of existing and proposed paved areas including all parking areas and vehicle, bicycle and pedestrian access ways.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Preliminary landscape plan including existing vegetation to be preserved, proposed site landscaping and street trees.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed utilities (preliminary layout).
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Preliminary infrastructure improvements (e.g. - curb and sidewalk improvements, roadway intersection modifications, utility connections, transit infrastructure, roadway improvements).
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Preliminary stormwater management and erosion control plan.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Existing significant natural features located on the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important natural features listed in Section 14-526 (b) 1. of the Land Use Code).
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Proposed alterations to and protection measures for significant natural features located on the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important

natural features listed in Section 14-526 (b)1. of the Land Use Code).

- Existing and proposed easements or public or private rights of way.

**General Submittal Requirements – Final Plan (Required)
Level II Site Plan**

Final Plan Phase Check list (including items listed above in General Requirements for Preliminary Plan, if applicant did not elect to submit for a preliminary plan review)

Applicant Checklist	Planner Checklist	Number of Copies	Written Submittal Requirement
<input type="checkbox"/>	<input type="checkbox"/>	1	Evidence of financial and technical capacity.
<input type="checkbox"/>	<input type="checkbox"/>	1	Evidence of utilities' capacity to serve the development.
<input type="checkbox"/>	<input type="checkbox"/>	1	Written summary of fire safety (referencing NFPA fire code and Section 3 of the City of Portland Technical Manual).
<input type="checkbox"/>	<input type="checkbox"/>	1	Construction management plan.
<input type="checkbox"/>	<input type="checkbox"/>	1	Traffic Plan (if development will (1) generate 100 or more PCE or (2) generate 25 or more PCE and is located on an arterial, within 1/2 mile of a high crash location, and/or within ¼ mile of an intersection identified in a previous traffic study as a failing intersection).
<input type="checkbox"/>	<input type="checkbox"/>	1	Stormwater management plan.
<input type="checkbox"/>	<input type="checkbox"/>	1	Written summary of solid waste generation and proposed management of solid waste.
<input type="checkbox"/>	<input type="checkbox"/>	1	Written assessment of conformity with applicable design standards.
<input type="checkbox"/>	<input type="checkbox"/>	1	Manufacturer's verification that HVAC and manufacturing equipment meets applicable state and federal emissions requirements.

Final Plan Phase			
<input type="checkbox"/>	<input type="checkbox"/>	1	Final Site Plan including the following
<input type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed structures on the site with distance from property line (including location of proposed piers, docks or wharves if in Shoreland Zone).
<input type="checkbox"/>	<input type="checkbox"/>		▪ Location of adjacent streets and intersections and approximate location of structures on abutting properties.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed site access and circulation.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed grading and contours.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Location and dimension of existing and proposed paved areas including all parking areas and vehicle, bicycle and pedestrian access ways. Proposed curb lines must be shown.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed loading and servicing areas, including applicable turning templates for delivery vehicles
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed snow storage areas or snow removal plan.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed trash and recycling facilities.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Landscape plan including existing vegetation to be preserved, proposed site landscaping and street trees.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed utilities.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Location and details of proposed infrastructure improvements (e.g. - curb and sidewalk improvements, roadway intersection modifications, utility connections, public transit infrastructure, roadway improvements).
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed septic system, if not connecting to municipal sewer. (Portland Waste Water Application included in this application)
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed finish floor elevation (FFE).

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<input type="checkbox"/>	<ul style="list-style-type: none"> ▪ Exterior building elevation(s) (showing all 4 sides).
<input type="checkbox"/>	<ul style="list-style-type: none"> ▪ Proposed stormwater management and erosion controls.
<input type="checkbox"/>	<ul style="list-style-type: none"> ▪ Exterior lighting plan, including street lighting improvements..
<input type="checkbox"/>	<ul style="list-style-type: none"> ▪ Proposed signage.
<input type="checkbox"/>	<ul style="list-style-type: none"> ▪ Identification of existing significant natural features located on the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important natural features listed in Section 14-526 (b)1. of the Land Use Code). Wetlands must be delineated.
<input type="checkbox"/>	<ul style="list-style-type: none"> ▪ Proposed alterations to and protection measures for of existing significant natural features located on the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important natural features listed in Section 14-526 (b)1. of the Land Use Code).
<input type="checkbox"/>	<ul style="list-style-type: none"> ▪ Total area and limits of proposed land disturbance.
<input type="checkbox"/>	<ul style="list-style-type: none"> ▪ Soil type and location of test pits and borings.
<input type="checkbox"/>	<ul style="list-style-type: none"> ▪ Details of proposed pier rehabilitation (Shoreland areas only).
<input type="checkbox"/>	<ul style="list-style-type: none"> ▪ Existing and proposed easements or public or private rights of way.



PORTLAND FIRE DEPARTMENT
SITE REVIEW
FIRE DEPARTMENT CHECKLIST



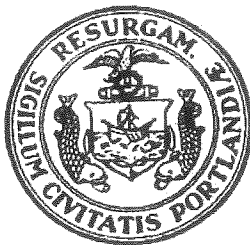
A separate drawing[s] shall be provided to the Portland Fire Department for all site plan reviews.

1. Name, address, telephone number of applicant.
2. Name address, telephone number of architect
3. Proposed uses of any structures [NFPA and IBC classification]
4. Square footage of all structures [total and per story]
5. Elevation of all structures
6. Proposed fire protection of all structures
 - **As of September 16, 2010 all new construction of one and two family homes are required to be sprinkled in compliance with NFPA 13D. This is required by City Code. (NFPA 101 2009 ed.)**
7. Hydrant locations
8. Water main[s] size and location
9. Access to all structures [min. 2 sides]
10. A code summary shall be included referencing NFPA 1 and all fire department. Technical standards.

Some structures may require Fire flows using annex H of NFPA 1

CITY OF PORTLAND WASTEWATER CAPACITY APPLICATION

Department of Public Services,
55 Portland Street,
Portland, Maine 04101-2991



Mr. Frank J. Brancely,
Senior Engineering Technician,
Phone #: (207) 874-8832,
Fax #: (207) 874-8852,
E-mail: fjb@portlandmaine.gov

Date: 7-11-12

1. Please, Submit Utility, Site, and Locus Plans.

Site Address: 1844 FOREST AVENUE Chart Block Lot Number: _____
(Regarding addressing, please contact Leslie Kaynor, either at 756-8346, or at LMK@portlandmaine.gov)

Proposed Use: ENTERTAINMENT CLUB

Previous Use: GRANGE HALL

Existing Sanitary Flows: N/A GPD

Existing Process Flows: NONE GPD

Description and location of City sewer, at proposed building sewer lateral connection: _____

Site Category	Commercial	<input checked="" type="checkbox"/>
	Industrial (complete part 4 below)	<input type="checkbox"/>
	Governmental	<input type="checkbox"/>
	Residential	<input type="checkbox"/>
	Other (specify)	<input type="checkbox"/>

Clearly, indicate the proposed connection, on the submitted plans.

2. Please, Submit Domestic Wastewater Design Flow Calculations.

Estimated Domestic Wastewater Flow Generated: NIGHTCLUB 10 GAL/PERSON/DAY x 400 PERSONS = 4000 GPD

Peaking Factor/ Peak Times: 5:00 PM - 11:30 PM

Specify the source of design guidelines: (i.e. "Handbook of Subsurface Wastewater Disposal in Maine,"
"Plumbers and Pipe Fitters Calculation Manual," Portland Water District Records, Other (specify)

Note: Please submit calculations showing the derivation of your design flows, either on the following page, in the space provided, or attached, as a separate sheet.

3. Please, Submit Contact Information.

Owner/Developer Name: GABRIEL ZAPPIA

Owner/Developer Address: 18 COTTAGE LANE CAPE ELIZABETH, ME 04107

Phone: 207-774-5282 Fax: _____ E-mail: _____

Engineering Consultant Name: CASCO BAY ENGINEERING

Engineering Consultant Address: 424 FORE STREET PORTLAND, ME 04101

Phone: 207-712-7022 Fax: 207-842-2828 E-mail: ericd@cascobayengineering.com

City Planner's Name: SHUKRIA WIAR Phone: 207-842-2800

Note: Consultants and Developers should allow +/- 15 days, for capacity status, prior to Planning Board Review.

4. Please, Submit Industrial Process Wastewater Flow Calculations

Estimated Industrial Process Wastewater Flows Generated: N/A GPD

Do you currently hold Federal or State discharge permits? Yes No

Is the process wastewater termed categorical under CFR 40? Yes No

OSHA Standard Industrial Code (SIC): _____

Peaking Factor/Peak Process Times: _____

(<http://www.osha.gov/oshstats/sicser.html>)

Note: On the submitted plans, please show the locations, where the building's sanitary, and process water sewer laterals, exit the facility, where they enter the city's sewer, the location of any control manholes, wet wells, or other access points, and the locations of any filters, strainers, or grease traps.

Notes, Comments, or Calculations:



Shukria Wiar - Re: 1844 Forest Ave

From: Danielle West-Chuhta (Danielle West-Chuhta)
To: Shukria Wiar
Date: 8/7/2012 12:52 PM
Subject: Re: 1844 Forest Ave
CC: Barhydt, Barbara

Shukria:

I would think that if they want to move the access that they would then have to comply with this requirement and need to get planning authority approval for the change. I also think that this would be the case under the subdivision portion of Chapter 14 too - as section 14-496(c) discusses alterations to an approved plat and it looks like this alteration would fall within the review of the planning authority. They will need to get the subdivision/their neighbor to be a co-applicant on the change with them - or at least get their sign off through some letter/authorization.

Danielle

>>> Shukria Wiar 8/7/2012 12:06 PM >>>
Hello Danielle:

Attached is the subdivision plan that the survey for the above project was referencing to. General Note #16 states:

THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATIONS TO OR DEVIATIONS FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION, TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS SIZE, LOCATION AND SURFACING OF PARKING AREAS, AND LOCATION AND SIZE OF BUILDINGS.

So it seems like shifting the location of the emergency access road would need an approval from either the Planning Board or Authority. How do we handle this?

Thanks.

Shukria

18 Cottage Lane
Gabe Zappia
Cape Elizabeth, ME 04107 (207) 774-5282

Thursday, December 20, 2012

Ann Machado, Zoning Specialist
Portland City Hall, Rm 308
Portland, ME 04101

Re: 1844 Forest Ave (aka 1854 Forest)

Ann,

I am hoping you will extend our existing occupancy permits to include some additional uses which have developed recently. They are:

1. Dance Class - West Coast Swing

- Meeting weekly
- Monday nights, 6:30 PM - 11 PM
- Expected attendance: about 50
- No tables
- Chairs placed around the perimeter of the dance floor, will be omitted if that's a problem.
- No alcohol (swing dancers don't drink even when there is a bar)

2. Swing Dance - (DJ, no live bands)

- Meeting twice per month
- Saturday nights, 8 PM - 12 midnight
- Expected attendance: about 50, maybe more but never exceeding 98
- No tables
- Chairs placed around the perimeter of the dance floor, will be omitted if that's a problem.
- No alcohol

In all cases attendance will be limited to the maximum allowed occupancy of 98 people.

Full venue application is in progress and will not be affected by these activities, current status is: engineer is preparing answers to Planning Dept. questions, answers should be submitted in January.

Cordially,


Gabe Zappia

August 9, 2012

TO: Shukria Wiar
Barbara Barhydt
FROM: David Margolis-Pineo
Dept. of Public Services
RE: Preliminary Review Comments: 1844 Forest Ave

This Department has the following preliminary comments. Final comments may differ from the comments listed here.

1. Applicant is request to show and install required number of bicycle parking racks.
2. Wellesley Estates has a four inch sewer force main crossing the property. An easement will need to established and shown on the plat plan.
3. The Existing plan shows underground electric entering the building from two locations but one does not show the origin. Please complete.
4. Since the proposed site plan does not show the existing overhead electric it is assumed that the overhead power is being removed. Please confirm.
5. Clarification is needed on the "small retention swale." With an 8" pipe proposed with an invert elevation on 78.5', it does not appear any detention will occur. Also as proposed the flow has or will become channelized. Please explain.
6. New sign is shown partly within the road right of way. If allowed, believe a license with the City would be required to place a sign in this proposed location.
7. An easement will be required for the emergency vehicle access across the applicant's property. It also appears that since the alignment will change that the access easement with Wellesley Estates will change. Please submit new and modified easement agreements.
8. As a result of changing the emergency vehicle access through the parking lot, there is now a 42' (end of tipdown to end of tipdown) curb cut on Forest Ave that will not be used. Since Forest Ave is under a five year moratorium, the applicant is request to fill the curb cut with bituminous curbing and re-grade, pave the bituminous sidewalk and esplanade as required.

Public Services have no further preliminary comments at this time.

Shukria Wiar - 1844 Forest Avenue Project

From: Jeff Tarling
To: Shukria Wiar
Date: 8/8/2012 1:01 PM
Subject: 1844 Forest Avenue Project

Hi Shukria -

The project at 1844 Forest Avenue should have a landscape plan that shows the parking lot tree / shrub standard, buffering the nearby residential area that would include solid 6' fencing along the rear property line.

Jeff

Shukria Wiar - 1884 Forest Avenue - Preliminary Traffic Comments

From: Tom Errico <thomas.errico@tylin.com>
To: Shukria Wiar <SHUKRIAW@portlandmaine.gov>
Date: 8/10/2012 10:19 AM
Subject: 1884 Forest Avenue - Preliminary Traffic Comments
CC: David Margolis-Pineo <DMP@portlandmaine.gov>, Katherine Earley <KAS@port...>

Shukria – The following presents the preliminary traffic comments for the project.

- The applicant should provide details on expected traffic generation to and from the site. This information will be used to determine the need for a traffic impact study and a Traffic Movement Permit.
- The applicant should provide information that supports the proposed parking lot supply.
- The applicant should provide an evaluation of the need for a left-turn lane on Forest Avenue.
- A sidewalk connection between the building and the sidewalk along Forest Avenue should be provided.
- The applicant should provide analysis that supports the proposed location of the driveway given existing driveways and lane configurations on Forest Avenue.
- I would prefer greater separation between the driveway throat and the two handicapped parking spaces.
- It should be noted that a monetary contribution (for the Forest Avenue/Riverside Street intersection) was required for the abutting development and a determination on a similar requirement will be made following a review of traffic generation information.

If you have any questions, please contact me.

Best regards,

Thomas A. Errico, PE
Senior Associate
Traffic Engineering Director
TYLIN INTERNATIONAL
12 Northbrook Drive
Falmouth, ME 04105
207.347.4354 direct
207.400.0719 mobile
207.781.4753 fax
thomas.errico@tylin.com
Visit us online at www.tylin.com

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Shukria Wiar - 1844 Forest Ave - site plan review

From: Marge Schmuckal
To: Shukria Wiar
Date: 8/9/2012 3:49 PM
Subject: 1844 Forest Ave - site plan review

One Solution is not available for comments at this time - so e-mail it is.

1844 Forest Avenue - 327-B-4 & 5
2012-534 B-2 Zone
8/8/2012

The last approved use for this property was approved under permit application #2011-06-1396 when the applicant changed the use of the property from a grange hall to a karate center for the basement and 1st floor. The other floor(s) remain vacant without an approved use. Apparently the applicant now wants to change the use from the karate center to an entertainment center. I am uncertain as to what is meant by an entertainment center. I will need more information concerning this proposed use before I can determine that it meets the B-2 uses. Is the use implying amusement devices, such as pinball, or a venue with a stage and seating? I will need scaleable floor plans showing the floor layouts for each floor. The floor plans should show what uses are on what floor. Are there associated offices? I can not determine parking requirements until I am confident on how to classify the proposed use. I see no bicycle spaces shown. Is any light for the parking lot proposed?

This is only a preliminary zoning review at this time. I await more information.

Marge Schmuckal
Zoning Administrator

Traffic Survey Summary
The Loft Venue - 865 Forest Avenue
(Saturday, January 12, 2013)


<u>Time period</u>	<u>Entering Trips</u>	<u>Exiting Trips</u>	<u>Total Trips</u>
7:00 – 7:15 PM	5	8	13
7:15 – 7:30	8	11	19
7:30 – 7:45	16	17	33
7:45 – 8:00	11	16	27
8:00 – 8:15	13	16	29
8:15 – 8:30	14	14	28
8:30 – 8:45	17	19	36
8:45 – 9:00	11	10	21
Peak Hour (7:45-8:45)	55	65	120

NOTES:

1. The Loft is an 8,000 sf. entertainment venue; capacity is 175 seated and 300 standing, per conversation with owner. A 2,000 sf. Thai Restaurant, with seating capacity of 60, adjoins the Loft building.
2. **Vehicle Trip Generation:** Based upon the assumption that all trips entering/exiting are generated by The Loft Venue, the facility generates 15 trips per 1,000 square feet of building area.

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Presumpscot Grange

Events Description Location Pics


Portland ME, United States

No upcoming events (2 past events) [Flag for review](#)

We don't have a description for this venue yet, care to help?



Upload a photo for this venue

97% OF WEBSITES FAIL AT UX  ARE YOU A UX STATISTIC? Let's find out!

Contact information

Address **Portland ME**
United States
[Show on Map](#)

Past Events

[Add event](#)

Saturday 7 April 2007



2nd Sweet
 Sparks the Rescue, Radiation Year,
 The Symmetry, chasehill

Presumpscot Grange
 Portland ME,
 United States

3 went
[Add shout](#)

Thursday 8 February 2007



Zofof The Rock & Roll Destroyer
 The Loved Ones

Presumpscot Grange
 Portland ME,
 United States

3 went
[Add shout](#)

Nearby Venues

WCYY Patio
 Portland

The White Heart
 Portland

St. Lawrence Arts Church
 Portland



Monument Square
 Portland



The Big Easy
 55 Market St. 04101 Portland

Gateway Mastering Stage
 04101

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- Discovery of the Week: Little Green Cars

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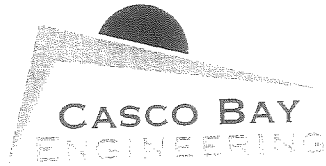
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1844 Forest Avenue
Preliminary Traffic Assessment

- 1844 Forest Avenue Presumpscot Grange Building is 5,040 square feet in total area (two floors).
- Proposed project requests seating capacity of 400 persons.
- Presumpscot Grange building held two dance events on Thursday, February 8, 2007 and Saturday, April 2007.
- Proposed project is exempt from MaineDOT Traffic Movement Permit process as a result of 2007 events.
- Proposed project can be expected to generate approximately 76 vehicle trips.(15 x 5.040 = 76 trips)
- Discuss traffic study requirements:
 1. MaineDOT (TMP) requirements
 2. Trip Generation Verification requirements
 3. Duration and time of day requirements for traffic surveys
 4. Capacity Analysis requirements
 5. TDM requirements



CIVIL & STRUCTURAL ENGINEERING
300 VEA DRIVE PORTLAND, ME 04101

424 Fore St., Portland, ME 04101 Phone 207.842.2800 Fax 207.842.2828

TRANSMITTAL

To: Marge Schmuckal
City of Portland
Zoning Administrator

RECEIVED

From: Eric Dube, P.E.
Casco Bay Engineering

MAY 16 2013

Dept. of Building Inspections
City of Portland Maine

Date: May 16, 2013

RE: 1844 Forest Avenue – Portland, Maine

Enclosed: Event History of the former Presumpscot Grange Hall

Marge,

Please find attached a sample of events at the former Presumpscot Grange Hall. We are submitting these to you based on the requirements set forth in the traffic study portion of our planning approval for this project. Mr. Tom Errico has performed a preliminary review of our project application but he needs a determination from you regarding the prior traffic demands for the Grange Hall. Your review regarding the estimated number of persons at the prior events will help determine if we need to provide the City with a full traffic movement permit. Can you please review the attached information and contact me to discuss. I look forward to speaking with you soon.

Thank you for your help with this matter,

A handwritten signature in black ink, appearing to read "Eric Dube".

Eric Dube, P.E.
Casco Bay Engineering
207.712.7022
ericd@cascobayengineering.com

This is Google's cache of http://www.portcityswing.com/?_escaped_fragment_=aboutus/c2414. It is a snapshot of the page as it appeared on Mar 5, 2013 08:33:11 GMT. The [current page](#) could have changed in the meantime.

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These search terms are highlighted: **presumpscot grange**

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Outbreak Spring/Summer Tour with Wake Up Call...

The tour kickoffs on a nice note. Maine Stylee.

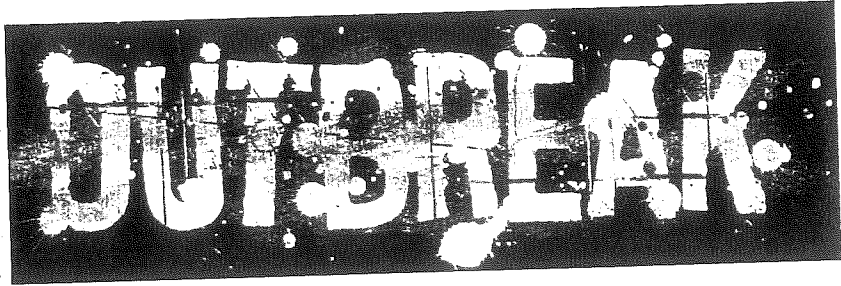
May 11, 2007

Outbreak / Wake Up Call TOUR KICKOFF

@ Presumpscot Grange Hall - 1844 Forest Ave - Portland, Maine

w/ The Leftovers, The Doldrums, Reunion

\$8 / Doors at 6pm



Click [_____](#) for more details ...

The tour kickoffs on a nice note. Maine Stylee.

May 11, 2007

The tour kickoffs on a nice note. Maine Stylee.

Outbreak / Wake Up Call TOUR KICKOFF

@ Presumpscot Grange Hall - 1844 Forest Ave - Portland, Maine

w/ The Leftovers, The Doldrums, Reunion

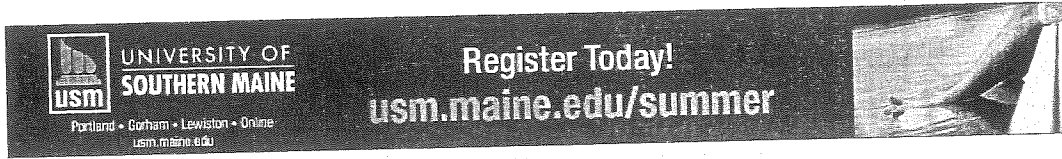
\$8 / Doors at 6pm



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Presumpscot Grange

Events Description Location Pics

Portland ME, United States

No upcoming events (2 past events) [Flag for review](#)

We don't have a description for this venue yet, care to help?

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


Apache/2.2.14 (Ubuntu) Server at ad.bnmla.com Port 80

Upload a photo for this venue

Contact Information

Address Portland ME
United States
[Show on Map](#)

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Portland
-  St. Lawrence Arts Church
Portland
-  Monument Square
Portland
-  The Big Easy
55 Market St, 04101 Portland
-  Gateway Mastering Stage
04101

Past Events

[Add event](#)

Saturday 7 April 2007



2nd Sweet
Sparks the Rescue, Radiation
Year, The Symmetry, chasehill

Presumpscot Grange
Portland ME,
United States

3 went
[Add shout](#)

Thursday 8 February 2007



Zolof The Rock & Roll
Destroyer
The Loved Ones

Presumpscot Grange
Portland ME,
United States

3 went
[Add shout](#)

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One Mesquite's first show - 2/3/07 @ Presumpscot Grange

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Topic List

RUNNING OVER PRODUCTIONS FALL SHOW

Posted By: neilwoof Sat Aug 25, 2007 8:59 pm | Options

After three years of performing plays at the Presumpscot Grange Hall we have just recently learned that the Grange Hall is no longer operating as a rental facility.

The arrival of this news effectively leaves the fall production of DRILLER KILLER homeless. At this point we could scramble to find ourselves an alternative venue for both rehearsals and performances, and hope that that space would lend itself to the type of show we want to perform.

Or, we could take this time to regroup, and find ourselves a space that can match and hopefully exceed the kind of atmosphere and freedom to do what we want-ness that the Grange Hall provided. This is what we have decided to do.

Although this means the fall show will not be happening this year, Running Over is by no means closing up shop. We will be back in 2008 with the best show you've never seen, bitches!

Thank you for your support and interest over the first 3 years of our existence. We will keep you all informed of any new developments and we are looking forward to seeing you either behind the curtain or in the audience in 2008!

Will Stewart & Josh Douglas
Running Over Productions
runningoverzombies.com
myspace.com/runningoverproductions

< Prev Topic | Next Topic >

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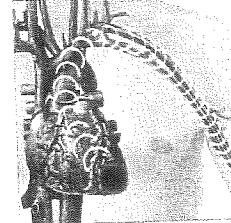
Author Sort by Date

RUNNING OVER PRODUCTIONS FALL SHOW
After three years of performing plays at the Presumpscot Grange Hall we have just recently learned that the Grange Hall is no longer operating as a rental...

Will Stewart Aug 25, 2007
neilwoof 10:16 pm

< Prev Topic | Next Topic >

Weird Food Kills Blood Pressure



Pain radiating down left arm might signal a heart attack

Shocking video reveals why America's top doctors claim this weird ingredient may stop Heart Disease dead in it's tracks [video]

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Strange Maine

Founded 2005: Freaks. Weirdos. Unmapped roads. Whispering rocks. Deadening fog. Ghost pirates. Lonely Islands. THINGS in the WOODS. Home of Stephen King & Glenn Chadbourne. A place where the 4 seasons really know how to live. Maine: the way life should be! This site is a nexus for conversation about Maine's unique strangeness, people who love it, people who have experienced it, & people who are intrigued by it. History, mysteries, legends, current events, cryptozoology, & more.

Tuesday, July 18, 2006

EVENT: Bucket of Blood!!!

The other night I was hanging around and decided it was high time to watch "A Bucket of Blood," a fine Roger Corman cult cinema masterpiece from 1959 that is an ode to the deadly dangers of dabbling in MODERN ART. Little did I know I was going to get a chance to see it performed live, so soon afterwards!!! The play "Bucket of Blood" is being produced by none other than **Running Over Productions**, nigh famous for their schlock shockers and zombie/mad scientist stage wonders that have quietly but insidiously been making their way into Portlanders hearts over the last few years.

Anyone who has been to their shows knows that they are well worth the quick drive out to the Presumpscot Grange Hall on outer Forest Avenue. This show should be no exception (especially since Ricky Boy Floyd is going all out to find a good and proper dead cat prop, as last minute calls to our house have shown).

So the poet speaks, and so the artist shall mold.

What is not creation is graham crackers.
Let it all crumble to feed the creator.
Who are John Joe Jim Jake Jerk?
Dead. Dead. Dead.

Swim on you maudlin muddling
maddening fools!
Ring rubber bells! Beat cotton gongs!
Strike silken cymbals! Play leaden flutes!

Walter Paisley is born!

More memorable words were never spoken.

To sum up: "Walter is a busboy at The Yellow Door, a beatnik dive where the artist is everything, and to be "aware" is everything. Walter, basically a trodden upon nobody, longs to be a somebody, like the egocentric house poet Maxwell (see lovely verse quoted above). His desires, mixed with misfortune, take him down a winding road of murder and madness, where nothing is what it seems! Is anyone safe at The Yellow Door as Walter tries his hand at modern art?"

WHAT: the play "A Bucket of Blood"

Contributors

- ◆ Chris
- ◆ Michelle
- ◆ Chris Jart
- ◆ speculator

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Easy e-mail updates from Strange Maine!

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E-mail Michelle Souliere

Best of Portland



Thank you everyone! We won Best Blog two years in a row, thanks to all of you. Yippee!

Strange Maine Gazette

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- ◆ Coffee By Design, Portland
- ◆ Boat House Beverage, Long

Haunted Maine Spirits

- ◆ Bangor Ghost Hunters
- ◆ Central ME Paranormal (CMPI)
- ◆ Central ME R&I of the Paranormal (CMRIP)
- ◆ Kennebec Paranormal (KCPS)
- ◆ Maine Ghost Hunters
- ◆ Maine Ghost Hunters Society
- ◆ Red Cloak Haunted History Tours
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- ◆ Touring Maine History
- ◆ Loren Coleman
- ◆ Alex Irvine
- ◆ Mark LaFlamme
- ◆ La Vie Graphite
- ◆ Radio Drama Revival
- ◆ Postmortem Productions

Clues: Spooky Type

- ◆ The Fine Art of Immolation
- ◆ Maine Turnpike Toolbooth Antics
- ◆ JAWS!!! Shark excitement in Mass.
- ◆ Nudists in Maine
- ◆ A Beastly Exhibition in Portland
- ◆ Maine Occult Soap Opera
- ◆ Car Runs Amuck at Sailfest, CT
- ◆ Squeaky Lobster
- ◆ July Musings
- ◆ Fire on the Turnpike!



Zolof The Rock & Roll Destroyer at Presumpscot Grange

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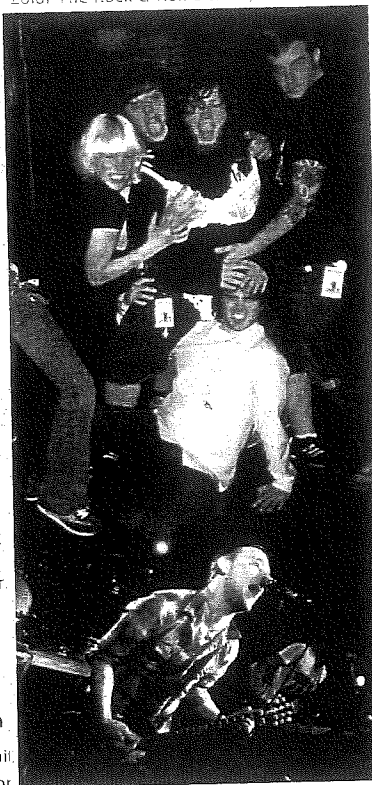
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Presumpscot Grange
Thursday 8 February 2007

Did you go?

I went I was interested

3 went:

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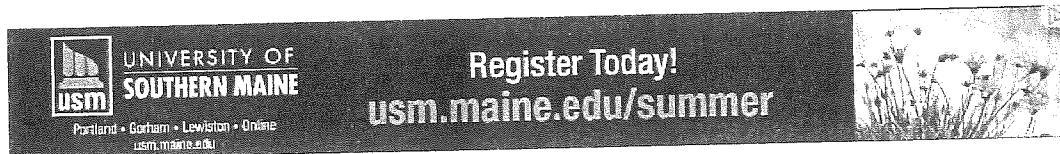
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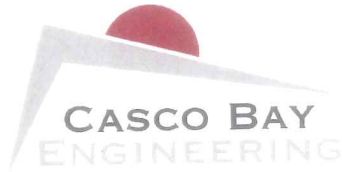
No one's reviewed this event yet.

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Shoutbox

Leave a comment. Log in to Last.fm or sign up.





CIVIL & STRUCTURAL ENGINEERING
www.casco-bay-engineering.com

424 Fore St., Portland, ME 04101 Phone 207.842.2800 Fax 207.842.2828

May 13, 2014

Ms Shukria Wiar
Planning and Urban Development Department
City of Portland, Maine
389 Congress Street
Portland, ME 04101

**Re: 1844 Forest Avenue
Level II Site Alteration Application – Letter response**

Dear Shukria,

Casco Bay Engineering has been working to address the questions listed in your 'Staff Review Comments for Level II Final Site Plan' letter dated March 30, 2014 regarding the proposed project. The following comments address your questions as follows:

1. Zoning

- The proposed use is meeting the B-2 Zone requirements.
- The owner will be meeting the maximum noise requirements as listed.
- The owner will meet the kitchen requirements as listed.

2. Transportation

- The owner understands the moratorium on Forest Avenue.
- Please see the attached 'Valet Parking Procedures' for a full outline description of the valet program as requested. There is also an existing crosswalk in front of Wellesley estates across Forest Avenue.
- The owner is prepared to monitor the existing traffic conditions during larger events and coordinate the monitoring effort with City Staff as requested.

3. Environmental Quality Standards

- a. Landscape Plan – No comments at this time but please note that the City installed two street trees at the property during the Forest Avenue reconstruction during the summer of 2013.
- b. Water Quality, Storm Water Management and Erosion Control
 - 1) Storm Water Management Plan
 - a. Basic Standards – Standard met, no comment required
 - b. General Standards – Standard met, no comment required
 - c. Flooding Standard – Standard met, no comment required

- 2) Stormwater Quality – No additional requirements needed. The owner will consider providing a landscape design that promotes flow attenuation as requested.
 - 3) We have adjusted the curb label on drawing C-101 to reflect granite curbing to match the existing curbing as requested.
 - 4) We have added a bit. sidewalk detail as requested on drawing C-200.
4. Public Infrastructure and Community Safety Standards
- a. Public Infrastructure:
 - 1) We understand that Forest Avenue is under a street moratorium that expires on July 10, 2017.
 - 2) The overhead utility referred to has been removed.
 - 3) The owner will replace the temporary bituminous curbing with granite curbing after the street moratorium expires as listed above.
 - 4) We have adjusted the number of bicycle racks as requested.
 - 5) The four inch sewer force main easement is shown on the plat plan.
 - b. Public Safety and Fire Protection
 1. Hydrants – There is an existing hydrant located 175 feet to the Northwest side of the property.
 2. Fire Vehicle Access – A 25 ft. Emergency vehicle access adjacent to the building will be maintained. A 13 ft. 6 in. vertical clearance will be maintained adjacent to the building.
 3. Exit Discharge – A life safety plan has been submitted with the building permit as requested.
5. Site Design Standards
 No comment required – all items have been addressed.

We hope that we have addressed all of your concerns noted in your review letter. Please find enclosed the following updated drawings for the project:

1. Site plan drawing package

C0	Cover Sheet
C100	Existing Conditions Plan
C101	Proposed Site Plan
C102	Landscape Plan
C200	Site Details
C300	Erosion Control Details
	Boundary Survey
2. Valet Parking Procedures by William F. Bray, P.E.

Please contact us if you have any other questions regarding this project. We look forward to the next step in the review process. Thank you for your help in the review of this project.

Sincerely,

 Eric Dube, P.E.
 Casco Bay Engineering, Inc.

May 4, 2014

1844 Forest Avenue – Entertainment Center

Proposed

Valet Parking Procedures

Introduction

1844 Forest Avenue provides a total of 39 striped parking spaces on-site and an additional 31 leased spaces in the Portland Friends Meeting House property located at 1837 Forest Avenue for a total of 70 self parking spaces. Valet parking will be employed during “peak” attendance events increasing the availability of off-street parking to a total of approximately 95 spaces. Operation of the valet parking program will, in most instances, be done with in-house staff, although the potential exists that this function could be subcontracted to a licensed parking specialist. It is anticipated that valet parking will be required and utilized on the average of once per month. The following procedures represent the management protocols that will be followed during each event where valet parking is used:

System Procedures

- 1844 Forest Avenue Owner or their designee will meet with City Public Services staff annually to verify the painting schedule of the crosswalk crossing Forest Avenue just east of the 1844 Forest Avenue site. At a minimum, the crosswalk will be re-striped annually by either party.
- Property Manager will meet with all in-house staff personnel or subcontractors, if used, one-hour prior to the scheduled event to review all operational and safety procedures.
- All Staff must wear, at all times, a reflectorized vest that fully complies with the latest ANSI and OSHA regulations.
- A “Yield to Pedestrian in Crosswalk” sign (doubled faced) with high density reflectorized material will be affixed to a traffic cone meeting the latest MUTCD standards for color and material reflectorization and placed in the existing crosswalk at the centerline of Forest Avenue.
- All Staff employees, including subcontractors and entertainment personnel, will park their vehicles in tandem fashion in the leased parking spaces at 1837 Forest Avenue.
- Event attendees will not be allowed, without exception, to self-park their vehicle in the leased spaces located in the Portland Friends Meeting House parking lot.
- All event attendees will enter the on-site parking lot at which time the car and keys will be surrendered to the parking attendants. A perforated three part ticket displaying the drivers name and phone number will be completed with one copy placed under windshield, a copy to the vehicle owner, and a copy with keys placed on the secured valet parking program key board.
- Parking attendant will question the driver on their expected departure time and based upon that information determine where the vehicle will be parked.
- When vehicle driver presents his/her ticket stub, valet attendant will retrieve vehicle returning it to driver.



PORTLAND MAINE

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Planning & Urban Development Department
Jeff Levine, AICP, Director

Planning Division
Alexander Jaegerman, Director

Gabriel Zappia
18 Cottage Lane
Cape Elizabeth, ME 04107

Casco Bay Engineering, Inc
Attention: Eric Dube, PE
424 Fore Street
Portland, ME 04101

RE: Staff Review Comments for Level II Final Site Plan

Project Name:	1844 Forest Avenue Renovation	Project ID:	2012-534
Project Address:	1844 Forest Avenue	CBL:	327 B 004
Applicant:	Gabriel Zappia		
Planner:	Shukria Wiar		

Dear Mr. Zappai:

Thank you for submitting a Level II Final Plan application is to renovate the existing building and construct a 42 space paved parking lot at 1844 Forest Avenue. The property currently consists of an existing building and a gravel parking area. This proposal is being reviewed as a final plan review subject to the Site Plan Ordinance, Article V of the Land Use Code.

Staff Review Comments for Final Plan Review:

1. Zoning- Marge Schmuckal

The last approved use for this property was approved under permit application #2011-06-1396 when the applicant changed the use of the property from a grange hall to a karate center for the basement and 1st floor. The other floor(s) remain vacant without an approved use. Apparently the applicant now wants to change the use from the karate center to an entertainment center. I am uncertain as to what is meant by an entertainment center. I will need more information concerning this proposed use before I can determine that it meets the B-2 uses. Is the use implying amusement devices, such as pinball, or a venue with a stage and seating? I will need scalable floor plans showing the floor layouts for each floor. The floor plans should show what uses are on what floor. Are there associated offices? I cannot determine parking requirements until I am confident on how to classify the proposed use. I see no bicycle spaces shown. Is any light for the parking lot proposed?

This is only a preliminary zoning review at this time. I await more information.

2. Transportation Standards

- The applicant should provide details on expected traffic generation to and from the site. This information will be used to determine the need for a traffic impact study and a Traffic Movement Permit.
- The applicant should provide information that supports the proposed parking lot supply.
- The applicant should provide an evaluation of the need for a left-turn lane on Forest Avenue.
- A sidewalk connection between the building and the sidewalk along Forest Avenue should be provided.

- e. The applicant should provide analysis that supports the proposed location of the driveway given existing driveways and lane configurations on Forest Avenue.
- f. I would prefer greater separation between the driveway throat and the two handicapped parking spaces.
- g. It should be noted that a monetary contribution (for the Forest Avenue/Riverside Street intersection) was required for the abutting development and a determination on a similar requirement will be made following a review of traffic generation information.

3. Environmental Quality Standards

a. Landscape Plan

The applicant will need to submit a landscape plan for the proposal. The landscape plan shall address the landscaping standards of the Portland Technical Manual, Section 4 (available the City's website). The standards that apply to this parking lot are preservation of existing vegetation, screening and buffering, street trees, and interior site landscaping (landscaped islands). Buffering the nearby residential area that would include solid 6' fencing along the rear property line and buffering the parking lot from the street.

b. Water Quality, Storm Water Management and Erosion Control

In accordance with Section 5 of the City of Portland Technical Manual, a Level II development project is required to submit a stormwater management plan pursuant to the regulations of Maine DEP Chapter 500 Stormwater Management Rules, including conformance with the Basic, General, and Flooding Standards. We have reviewed the applicability of these standards relative to the proposed project and offer the following comments:

- a. Basic Standards: Notes and details have been provided to address erosion and sediment control requirements, inspection and maintenance requirements, and good housekeeping practices in accordance with Appendix A, B, & C of MaineDEP Chapter 500. The plan should note a catch basin inlet protection device for the existing catch basin in Forest Avenue, east of the entrance to the project site and a stabilized construction exit at the location where construction vehicles will exit the site.
- b. General Standards: The Applicant is proposing a net reduction in impervious area. As such, treatment in accordance with the General Standard is not required for this project. The applicant proposes a small retention swale at the southeast corner of the property. At this time, minimal detail has been provided on the swale construction, specifically relative to the outlet pipe and overflow spillway. We request additional information relative to the design of the swale, specifically how it will detain water and the inlet/outlet design of the pipe and spillway. In addition, because the swale will discharge concentrated flow to the adjacent property, we request the applicant clarify the location and size of the offsite infrastructure intended to receive this flow (the size/location of the existing culvert that crosses the Wellesley Estate driveway, and any stabilization that may be necessary between the outlet and the culvert).
- c. Flooding Standard: The Applicant is proposing a net reduction in impervious area. As such, peak flow attenuation in accordance with the Flooding Standard is not required for this project.

4. Public Infrastructure and Community Safety Standards

a. Public Infrastructure

1. Applicant is request to show and install required number of bicycle parking racks.
2. Wellesley Estates has a four inch sewer force main crossing the property. An easement will need to established and shown on the plat plan.
3. The Existing plan shows underground electric entering the building from two locations but one does not show the origin. Please complete.
4. Since the proposed site plan does not show the existing overhead electric it is assumed that the overhead power is being removed. Please confirm.
5. Clarification is needed on the "small retention swale." With an 8" pipe proposed with an invert elevation on 78.5', it does not appear any detention will occur. Also as proposed the flow has or will become channelized. Please explain.
6. New sign is shown partly within the road right of way. If allowed, believe a license with the City would be required to place a sign in this proposed location.
7. An easement will be required for the emergency vehicle access across the applicant's property. It also appears that since the alignment will change that the access easement with Wellesley Estates will change. Please submit new and modified easement agreements.
8. As a result of changing the emergency vehicle access through the parking lot, there is now a 42' (end of tipdown to end of tipdown) curb cut on Forest Ave that will not be used. Since Forest Ave is under a five

year moratorium, the applicant is request to fill the curb cut with bituminous curbing and re-grade, pave the bituminous sidewalk and esplanade as required.

b. Public Safety and Fire Prevention

Fire Department review is pending; comments will be forwarded at a later date.

c. Availability and Adequate Capacity of Public Utilities

Please provide capacity letter of public utilities

5. Site Design Standards

a. Snow and Ice Loading

Show the snow loading area on the site plans

b. Exterior Lighting

Will the parking lot have exterior lighting? We will need a lighting plan that shows the location of the fixtures and photometry. We will also need the catalogue cuts of the proposed fixtures. The proposed lighting and lighting plan will need to meet the site lighting standards of the Technical Manual, Section 12.

c. Noise and Vibration

d. Signage and Wayfinding

The site plan needs to show the proposed traffic signage and wayfinding. The commercial sign that is in the ROW will need to be removed and placed on private land. The applicant will also need a license from the City for the overhang of the sign onto the ROW.

e. Zoning Related Design Standards

The site is located in the B-2 zone. This zone has design standards, please see City's website for the standards. The applicant will need to address as to how the proposed project is meeting the design standards. It is acknowledged that the building is existing but there are standards that will still apply, for example buffering of the parking lot, development relationship to the street, crosswalks within the parking lot and across entrances, and street trees.

f. Right, Title and Interest and Boundary Survey

The Deed mentions utility easement granted to Central Maine power Company but the survey does not show this. This easement needs to be shown on the boundary survey plan.

There is a note on the recorded subdivision plat that states:

16. THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATIONS TO OR DEVIATIONS FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION, TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS SIZE, LOCATION AND SURFACING OF PARKING AREAS, AND LOCATION AND SIZE OF BUILDINGS.

Relocating the emergency access lane will mean that the applicant will need to comply with this requirement and will need to get Planning Authority approval for the change. The applicant will need to get the subdivision/your neighbor to be a co-applicant on the change with you or at least get their sign off through some letter/authorization.

The Planning Authority may request additional information during the continued review of the proposal according to applicable laws, ordinances and regulations.

Please submit one (1) complete paper set of revised final plans and upload the digital plans and documents to address staff comments. Upon receipt of the revised material, the City of Portland will review the additional plans and information for conformance with applicable ordinances. Please be aware that an application expires within 120 days of the date upon which this written request for additional information was made and only one set of revised plans may be submitted and uploaded for review. After receipt of the final application, the item will be reviewed and the Planning Authority will approve, approve with conditions, or deny the final site plan.

If you have any questions, feel free to contact me at 756-8083 or by email at shukriaw@portlandmaine.gov

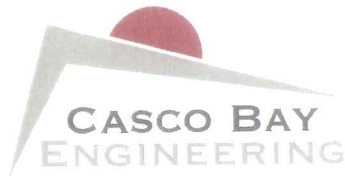
Sincerely,

Shukria Wiar
Planner

Electronic Distribution:

Alexander Jaegerman, Planning Division Director
Barbara Barhydt, Development Review Services Manager
Danielle West-Chuhta, Associate Corporation Counsel
Marge Schmuckal, Zoning Administrator
Katherine Earley, City Engineer, Public Services

David Margolis-Pineo, Deputy City Engineer
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Tom Errico, P.E., TY Lin Associates
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CIVIL & STRUCTURAL ENGINEERING
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424 Fore St., Portland, ME 04101 Phone 207.842.2800 Fax 207.842.2828

January 23, 2014

Ms Shukria Wiar
Planning and Urban Development Department
City of Portland, Maine
389 Congress Street
Portland, ME 04101

**Re: 1844 Forest Avenue
Level II Site Alteration Application – Letter response**

Dear Shukria,

Casco Bay Engineering has been working to address the questions listed in your 'Staff Review Comments for Level II Final Site Plan' letter regarding the proposed project. We have also been working to address the largest issue discussed in the letter, the traffic impacts of the project. The following comments address your questions as follows:

1. Zoning

The existing property was previously used as a Grange Hall with an associated gravel parking area. The proposed use is noted as follows:

- Major events will fall into categories as follows: Friday and Saturday night dance events, weekend afternoon weddings and weekday activity events.
- Friday night dances will be "all age" and alcohol-free. Hours of operation will run from 6 PM to 1 AM. It is anticipated that many of the dancers will be dropped off by parents or arrive by bus, foot, or bicycle.
- Saturday night dances will be adult-only including bar service. Events will run from 6 PM to 1 AM.
- Weekday nights (Sun-Thurs) will be rented for different types of events including but not limited to; dance lessons, karate, fitness activities and other similar events.
- Weddings and other similar sit down catered events will mostly be held on Saturdays and Sundays. These type of events will not run concurrent with Sunday morning church events. Church events are scheduled to run from 7 AM until 11 AM on Sunday mornings. Sunday events will start after 1 PM. Attendance is anticipated at approximately 200 persons. Please see the attached floor plans for separate event layouts.
- We are proposing a kitchen for use with catered events by an outside caterer. The kitchen may also be used at the weekend dance events. The building will be sprinkled and have fire alarms.

Dept. of Building Inspections
City of Portland Maine

RECEIVED
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- Attendance – We expect peak attendance to be on Friday nights for the "all age" dances. Between car pools, parents dropping kids off, bicycles, bus, and walk-ins, we expect attendance to be at our 400 person limit.

2. Transportation Standards

- Please see the attached Traffic Assessment report by Mr. Bill Bray, PE, dated September 8, 2013 that addresses the transportation standards.
- Parking. We are proposing paved **39** parking spaces on the subject property and additional parking will be located across the street at the Church. We anticipate utilizing 31 spaces on all days with the exception of Sundays. This allows us 70 total parking spaces. Our parking calculations are as follows:

First Floor assembly area	1,750 sq. ft.
Second Floor assembly area	<u>1,180 sq. ft.</u>
Total assembly area	2,930 sq. ft.

Total assembly area 2,930 / 125 sq. ft. per space = **23.5** spaces required
 Total parking spaces provided on site = **39** spaces

- Please refer to the Traffic Assessment report by Mr. Bill Bray, PE.
- We provided a sidewalk connection between the building and Forest Avenue as requested.
- The driveway is now located in the existing curb cut as requested.
- As a result of the revised driveway location the layout of the two handicapped parking spaces are no longer an issue.
- No comment.

3. Environmental Quality Standards

- We have submitted the landscape plan as requested, drawing C102.
- We have noted the appropriate catch basin inlet protection on the site plan as requested. We also eliminated the containment swale at the rear of the property. As stated, we are proposing a net reduction in impervious area for the project and as a result peak flow attenuation is not required.

4. Public Infrastructure and Community Safety Standards

- Public Infrastructure
 - We added the requested bicycle rack as requested.
 - We are providing the appropriate sewer easement for the existing 4 inch force main to Wellesley Estates as requested on the revised boundary survey plan.
 - The underground electric has been revised as requested.
 - The overhead electric is being removed and changed to underground as shown on the revised plan.
 - We have removed the small retention swale from the project.
 - The new sign location has been revised as requested.
 - We are providing the appropriate emergency vehicle access easement as requested on the revised boundary survey plan.

- 8. We have revised the entrance location to coordinate with the existing emergency vehicle access to Wellesley Estates.
 - b. Public Safety and Fire Prevention – No Comment
 - c. Availability and Adequate Capacity of Public Utilities
Capacity letters have been submitted to the appropriate departments.
5. Site Design Standards
- a. We have added the snow and ice loading to our landscape plan on drawing C102 as requested.
 - b. The owner is utilizing the existing building mounted lighting for the proposed lighting condition for the project.
 - c. No comment.
 - d. We have providing the appropriate parking lot striping for wayfinding on the proposed plan as requested.
 - e. We have provided the appropriate landscaping and screening of the property as noted in the City design standards as requested.
 - f. The requested CMP utility easement is now shown on the recording plat as requested. We are no longer relocating the emergency vehicle access easement therefore no action is required.

We hope that we have addressed all of your concerns noted in your review letter. Please find enclosed the following updated drawings for the project:

- | | | |
|------------------------------|------|--------------------------|
| 1. Site plan drawing package | C0 | Cover Sheet |
| | C100 | Existing Conditions Plan |
| | C101 | Proposed Site Plan |
| | C102 | Landscape Plan |
| | C200 | Site Details |
| | C300 | Erosion Control Details |
- 2. Level II Site Plan Alteration Application
 - 3. Traffic Assessment by William F. Bray, P.E.
 - 4. Right, Title and Interest for property
 - 5. Floor layout and seating plans by Cad-de-Tech
 - 6. Boundary Survey by Northeast Civil Solutions of Existing Property
 - 7. Letters of support from Abutters

Please contact us if you have any other questions regarding this project. We look forward to the next step in the review process. Thank you for your help in the review of this project.

Sincerely,



Eric Dube, P.E.
Casco Bay Engineering, Inc.

Effective August 18, 2010



Level II – Preliminary and Final Site Plans Development Review Application Portland, Maine

Planning and Urban Development Department
Planning Division

Portland's Planning and Urban Development Department coordinates the development review process for site plan, subdivision and other applications under the City's Land Use Code. Attached is the application form for a Level II: Preliminary or Final Site Plan. Please note that Portland has delegated review from the State of Maine for reviews under the Site Location of Development Act, Chapter 500 Stormwater Permits, and Traffic Movement Permits. General information pertaining to the thresholds of review, public noticing procedures and the fee structure is contained in the Notice to Developer's Packet.

Level II: Site Plan Development includes:

- New structures with a total floor area of less than 10,000 sf except in Industrial Zones.
- New structures with a total floor area of less than 20,000 sf in Industrial Zones.
- Any new temporary or permanent parking area, paving of an unpaved surface parking area, or creation of other impervious surface area greater than 7,500 sf.
- Building addition(s) with a total floor area of less than 10,000 sf (cumulatively within a 3 year period) except in Industrial Zones.
- Building addition(s) with a total floor area of less than 20,000 sf in Industrial Zones.
- Park improvements: New structures or buildings with a total floor area of less than 10,000 sf, facilities encompassing an area of greater than 7,500 sf and less than 20,000 sf (excludes rehabilitation or replacement of existing facilities).
- New piers, docks, wharves, bridges, retaining walls, and other structures within the Shoreland Zone.
- Land disturbance between 1 and 3 acres (includes stripping, grading, grubbing, filling or excavation).
- A change in the use of a total floor area between 10,000 and 20,000 sf in any existing building (cumulatively within a 3 year period).
- Construction of a lodging house, bed and breakfast facility, emergency shelter or special needs independent living unit.
- Signage subject to approval pursuant to Section 14-526 (d) 8.a. (IV) of the Land Use Code.
- Any new major or minor auto service station with less than 10,000 sf of building area that is outside the B-2 or B-5 zones.
- The creation of day care or home babysitting facilities to serve more than 12 children in a residential zone (not permitted as a home occupation under section 14-410) in any principal structure that has not been used as a residence within the 5 years preceding the application.

The Land Use Code (including Article V), the Technical Manual, and the Design Manual are available on the City's web site at <http://www.portlandmaine.gov/planning/default.asp> or copies may be purchased at the Planning Division Office.

Planning Division
Fourth Floor, City Hall
389 Congress Street
(207) 874-8721 or 874-8719

Office Hours
Monday thru Friday
8:00 a.m. – 4:30 p.m.

PROJECT NAME: 1844 Forest Avenue Renovation

PROPOSED DEVELOPMENT ADDRESS:
1844 Forest Avenue

PROJECT DESCRIPTION:
New 42 space paved parking lot to serve newly renovated building.

CHART/BLOCK/LOT: 327-B-5 PRELIMINARY PLAN 6-26-12 (date)
FINAL PLAN (date)

CONTACT INFORMATION:

	Applicant's Contact for electronic plans Name: e-mail: work #:
Applicant – must be owner, Lessee or Buyer Name: Gabriel Zappia Business Name, if applicable: Address: 18 Cottage Lane City/State : Cape Elizabeth ME Zip Code: 04107	Applicant Contact Information Work # Home# Cell # Fax# e-mail:
Owner – (if different from Applicant) Name: Address: City/State : Zip Code:	Owner Contact Information Work # Home# Cell # Fax# e-mail:
Agent/ Representative Name: Address: City/State : Zip Code:	Agent/Representative Contact information Work # Cell # e-mail:
Billing Information Name: Address: City/State : Zip Code:	Billing Information Work # Cell # Fax# e-mail:

Engineer Name: Casco Bay Engineering, Inc. Eric Dube, P.E. Address: 424 Fore Street City/State: Portland, ME Zip Code: 04101	Engineer Contact Information Work # 207-842-2800 Cell # 207-712-7022 Fax# 207-842-2828 e-mail: ericd@cascobayengineering.com
Surveyor Northeast Civil Solutions Name: Jim Fisher Address: 153 US Route 1 City/State: Scarborough, ME Zip Code: 04074	Surveyor Contact Information Work # 207-883-1000 Cell # Fax# 207-883-1001 e-mail: jim.fisher@northeastcivilsolutions.com
Architect CAD-D-TECH Name: John Ossie Address: Presnell Street City/State: Portland, ME Zip Code: 04103	Architect Contact Information Work # Cell # Fax# e-mail:
Attorney Name: Address: City/State: Zip Code:	Attorney Contact Information Work # Cell # Fax# e-mail:

APPLICATION FEES:

Check all reviews that apply. (Payment may be made by Cash or Check payable to the City of Portland.)

Level II Development (check applicable reviews) <input checked="" type="checkbox"/> Less than 10,000 sq. ft. (\$400.00) <input type="checkbox"/> After-the-fact Review (\$1,000.00 plus applicable application fee)	Fees Paid (office use) _____ _____	Other Reviews (check applicable reviews) <input type="checkbox"/> Traffic Movement (\$1,000) <input type="checkbox"/> Stormwater Quality (\$250) <input type="checkbox"/> Section 14-403 Review (\$400 + \$25/lot) # of Lots ___ x \$25/lot = _____ <input type="checkbox"/> Other _____ <input type="checkbox"/> Change of Use <input type="checkbox"/> Flood Plain <input type="checkbox"/> Shoreland <input type="checkbox"/> Design Review <input type="checkbox"/> Housing Replacement <input type="checkbox"/> Historic Preservation	Fees Paid (office use) _____ _____
The City invoices separately for the following: <ul style="list-style-type: none"> • Notices (\$.75 each) • Legal Ad (% of total Ad) • Planning Review (\$40.00 hour) • Legal Review (\$75.00 hour) Third party review is assessed separately.			
Plan Amendments (check applicable reviews) <input type="checkbox"/> Planning Staff Review (\$250) <input type="checkbox"/> Planning Board Review (\$500)	Fees Paid (office use) _____ _____		

APPLICATION SUBMISSION

All site plans and written application materials must be uploaded to a website for review. At the time of application, instructions for uploading the plans will be provided to the applicant. One paper set of the plans, written materials and application fee must be submitted to the Planning Division Office to start the review process.

Application submissions shall include one (1) paper packet with folded plans containing the following materials:

Numbers below changed- can't seem to highlight

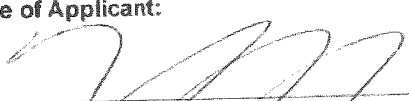
1. **One (1) full size site plans** that must be **folded**.
One (1) set of all written materials or as follows, unless otherwise noted:
 - a. Application form that is completed and signed.
 - b. Cover letter stating the nature of the project.
 - c. All Written Submittals (Sec. 14-525 2. (c), including evidence of right, title and interest.
2. A stamped standard boundary survey prepared by a registered land surveyor at a scale not less than one inch to 50 feet.
3. Plans and maps based upon the boundary survey and containing the information found in the attached sample plan checklist.
4. Copy of the checklist completed for the proposal listing the material contained in the submitted application.
5. One (1) set of plans reduced to 11 x 17.

Refer to the application checklist for a detailed list of submittal requirements.

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521). Portland's Land Use Code is on the City's web site: www.portlandmaine.gov Copies of the ordinances may be purchased through the Planning Division.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This application is for a Level II Site Plan review. It is not a permit to begin construction. An approved site plan, a Performance Guarantee, Inspection Fee, Building Permit, and associated fees will be required prior to construction. Other Federal, State or local permits may be required prior to construction, which are the responsibility of the applicant to obtain.

Signature of Applicant: 	Date: 5-15-2012
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PROJECT DATA

The following information is required where applicable, in order complete the application

Total Site Area	32,108 sq. ft.
Proposed Total Disturbed Area of the Site	26,930 sq. ft.
(If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) with DEP and a Stormwater Management Permit, Chapter 500, with the City of Portland)	
IMPERVIOUS SURFACE AREA	
• Proposed Total Paved Area	17,045 sq. ft.
• Existing Total Impervious Area	22,715 sq. ft.
• Proposed Total Impervious Area	19,645 sq. ft.
• Proposed Impervious Net Change	(-) 3,070 sq. ft.
BUILDING AREA	
• Proposed Building Footprint	2,600 sq. ft.
• Proposed Building Footprint Net change	0 sq. ft.
• Existing Total Building Floor Area	5,200 sq. ft.
• Proposed Total Building Floor Area	5,200 sq. ft.
• Proposed Building Floor Area Net Change	0 sq. ft.
• New Building	NO (yes or no)
ZONING	
• Existing	B-2
• Proposed, if applicable	
LAND USE	
• Existing	Vacant Building
• Proposed	Dance Hall
RESIDENTIAL, IF APPLICABLE	
• Proposed Number of Affordable Housing Units	
• Proposed Number of Residential Units to be Demolished	
• Existing Number of Residential Units	
• Proposed Number of Residential Units	
• Subdivision, Proposed Number of Lots	
PARKING SPACES	
• Existing Number of Parking Spaces	17
• Proposed Number of Parking Spaces	40
• Number of Handicapped Parking Spaces	2
• Proposed Total Parking Spaces	42
BICYCLE PARKING SPACES	
• Existing Number of Bicycle Parking Spaces	N/A
• Existing Number of Bicycle Parking Spaces	
• Proposed Number of Bicycle Parking Spaces	
• Total Bicycle Parking Spaces	
ESTIMATED COST OF PROJECT	\$85,000

General Submittal Requirements – Preliminary Plan (Optional)

Level II Site Plan

Preliminary Plan Phase Check list (if elected by applicant)

Applicant Checklist	Planner Checklist	Number of Copies	Written Submittal Requirements
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Completed application form
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Application fees
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Written description of project
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Evidence of right, title and interest.
<input type="checkbox"/>	<input type="checkbox"/>	1	Copies of required State and/or Federal permits.
<input type="checkbox"/>	<input type="checkbox"/>	1	Written assessment of proposed project's compliance with applicable zoning requirements.
<input type="checkbox"/>	<input type="checkbox"/>	1	Written description of existing and proposed easements or other burdens.
<input type="checkbox"/>	<input type="checkbox"/>	1	Written requests for waivers from individual site plan and/or technical standards, where applicable.
<input type="checkbox"/>	<input type="checkbox"/>	1	Traffic analysis (may be preliminary, in nature, during the preliminary plan phase).
<input type="checkbox"/>	<input type="checkbox"/>	1	Written summary of significant natural features located on the site.
<input type="checkbox"/>	<input type="checkbox"/>	1	Written summary of project's consistency with related city master plans.
Applicant Checklist	Planner Checklist	Number of Copies	Site Plan Submittal Requirements
<input checked="" type="checkbox"/>	<input type="checkbox"/>		Boundary Survey meeting the requirements of Section 13 of the City of Portland Technical Manual.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Preliminary Site Plan including the following: (*information provided may be preliminary in nature during preliminary plan phase):
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed structures with distance from property line (including location of proposed piers, docks or wharves if in Shoreland Zone).
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Location of adjacent streets and intersections and approximate location of structures on abutting properties.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Proposed site access and circulation.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Proposed grading and contours.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Location and dimension of existing and proposed paved areas including all parking areas and vehicle, bicycle and pedestrian access ways.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Preliminary landscape plan including existing vegetation to be preserved, proposed site landscaping and street trees.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed utilities (preliminary layout).
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Preliminary infrastructure improvements (e.g. - curb and sidewalk improvements, roadway intersection modifications, utility connections, transit infrastructure, roadway improvements).
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Preliminary stormwater management and erosion control plan.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Existing significant natural features located on the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important natural features listed in Section 14-526 (b) 1. of the Land Use Code).
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Proposed alterations to and protection measures for significant natural features located on the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important

natural features listed in Section 14-526 (b)1. of the Land Use Code).

- Existing and proposed easements or public or private rights of way.

General Submittal Requirements – Final Plan (Required)
Level II Site Plan
Final Plan Phase Check list (including items listed above in General Requirements for Preliminary Plan, if applicant did not elect to submit for a preliminary plan review)

Applicant Checklist	Planner Checklist	Number of Copies	Written Submittal Requirement
<input type="checkbox"/>	<input type="checkbox"/>	1	Evidence of financial and technical capacity.
<input type="checkbox"/>	<input type="checkbox"/>	1	Evidence of utilities' capacity to serve the development.
<input type="checkbox"/>	<input type="checkbox"/>	1	Written summary of fire safety (referencing NFPA fire code and Section 3 of the City of Portland Technical Manual).
<input type="checkbox"/>	<input type="checkbox"/>	1	Construction management plan.
<input type="checkbox"/>	<input type="checkbox"/>	1	Traffic Plan (if development will (1) generate 100 or more PCE or (2) generate 25 or more PCE and is located on an arterial, within 1/2 mile of a high crash location, and/or within ¼ mile of an intersection identified in a previous traffic study as a failing intersection).
<input type="checkbox"/>	<input type="checkbox"/>	1	Stormwater management plan.
<input type="checkbox"/>	<input type="checkbox"/>	1	Written summary of solid waste generation and proposed management of solid waste.
<input type="checkbox"/>	<input type="checkbox"/>	1	Written assessment of conformity with applicable design standards.
<input type="checkbox"/>	<input type="checkbox"/>	1	Manufacturer's verification that HVAC and manufacturing equipment meets applicable state and federal emissions requirements.

Final Plan Phase			
<input type="checkbox"/>	<input type="checkbox"/>	1	Final Site Plan Including the following
<input type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed structures on the site with distance from property line (including location of proposed piers, docks or wharves if in Shoreland Zone).
<input type="checkbox"/>	<input type="checkbox"/>		▪ Location of adjacent streets and intersections and approximate location of structures on abutting properties.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed site access and circulation.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed grading and contours.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Location and dimension of existing and proposed paved areas including all parking areas and vehicle, bicycle and pedestrian access ways. Proposed curb lines must be shown.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed loading and servicing areas, including applicable turning templates for delivery vehicles
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed snow storage areas or snow removal plan.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed trash and recycling facilities.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Landscape plan including existing vegetation to be preserved, proposed site landscaping and street trees.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed utilities.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Location and details of proposed infrastructure improvements (e.g. - curb and sidewalk improvements, roadway intersection modifications, utility connections, public transit infrastructure, roadway improvements).
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed septic system, if not connecting to municipal sewer. (Portland Waste Water Application included in this application)
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed finish floor elevation (FFE).

<input type="checkbox"/>	<input type="checkbox"/>	▪ Exterior building elevation(s) (showing all 4 sides).
<input type="checkbox"/>	<input type="checkbox"/>	▪ Proposed stormwater management and erosion controls.
<input type="checkbox"/>	<input type="checkbox"/>	▪ Exterior lighting plan, including street lighting improvements..
<input type="checkbox"/>	<input type="checkbox"/>	▪ Proposed signage.
<input type="checkbox"/>	<input type="checkbox"/>	▪ Identification of existing significant natural features located on the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important natural features listed in Section 14-526 (b)1. of the Land Use Code). Wetlands must be delineated.
<input type="checkbox"/>	<input type="checkbox"/>	▪ Proposed alterations to and protection measures for of existing significant natural features located on the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important natural features listed in Section 14-526 (b)1. of the Land Use Code).
<input type="checkbox"/>	<input type="checkbox"/>	▪ Total area and limits of proposed land disturbance.
<input type="checkbox"/>	<input type="checkbox"/>	▪ Soil type and location of test pits and borings.
<input type="checkbox"/>	<input type="checkbox"/>	▪ Details of proposed pier rehabilitation (Shoreland areas only).
<input type="checkbox"/>	<input type="checkbox"/>	▪ Existing and proposed easements or public or private rights of way.



PORTLAND FIRE DEPARTMENT
SITE REVIEW
FIRE DEPARTMENT CHECKLIST



A separate drawing[s] shall be provided to the Portland Fire Department for all site plan reviews.

1. Name, address, telephone number of applicant.
2. Name address, telephone number of architect
3. Proposed uses of any structures [NFPA and IBC classification]
4. Square footage of all structures [total and per story]
5. Elevation of all structures
6. Proposed fire protection of all structures
 - **As of September 16, 2010 all new construction of one and two family homes are required to be sprinkled in compliance with NFPA 13D. This is required by City Code. (NFPA 101 2009 ed.)**
7. Hydrant locations
8. Water main[s] size and location
9. Access to all structures [min. 2 sides]
10. A code summary shall be included referencing NFPA 1 and all fire department. Technical standards.

Some structures may require Fire flows using annex H of NFPA 1

William J. Bray, P.E.
235 Bancroft Street
Portland, Maine 04102
Phone (207) 774-3603
trafficsolutions@maine.rr.com

September 8, 2013

Traffic Assessment Proposed 1844 Forest Avenue-Entertainment Center

INTRODUCTION

Gabriel Zappia is proposing development of his property at 1844 Forest Avenue, previously identified as the "Presumpscot Grange Hall" building, into an entertainment center scheduling major events including Friday and Saturday night dances, concerts, weekend weddings, and weekday activities. The 1844 Forest Avenue building previously operated as an entertainment venue holding numerous music concerts, dances, and other entertainment functions into mid to late 2000.

Access to the proposed project is provided through an existing "fire-lane" easement located on the westerly edge of the property. The proposed project will provide a total of 39 on-site striped parking spaces and an additional 31 leased spaces at the Portland Friends Meeting House property located at 1837 Forest Avenue (opposite side of Forest Avenue).

Tom Errico, P.E., the City's Traffic Consultant in consultation with the City's Zoning Administrator, has determined that a Maine Department of Transportation Traffic Movement Permit is not required for the project and, as a result, has defined parking demand versus supply, site access/safety, and event capacity as "key" components of the traffic assessment. Mr. Errico further directed that the site assessment be based upon the worst-case event and worst-case peak period.

Traffic surveys measuring parking demand and traffic generation and twenty-four hour directional traffic data were conducted in support of the proposed project. The data was summarized and utilized in the analysis of parking supply and demand, warrants for a left-turn lane to the site, and the projection of site event capacities. The following report summarizes that effort:

Proposed Site Use Detail

In a separate letter to the City dated April 23, 2013 from Casco Bay Engineering, Site Engineering Consultant, the following site uses and special features of each event were outlined as follows:

- *Friday and Saturday night dance events, weekend afternoon weddings, and weekday activity events.*
- *Friday night dances will be "all-age" and alcohol free. Hours of operation will run from 6PM to 1 AM. It is expected that a high percentage of the attendees will be either dropped off by parents or they will use other modes of transportation.*
- *Saturday night dances will be adult-only and will run 6PM to 1 AM.*
- *Weekday events will include a host of different events including but not limited to: dance lessons, karate, fitness activities, and other similar events.*

- *Weddings will mostly be on Saturdays and Sundays and will not run concurrent with morning church events. Sunday weddings will not start until 1PM. Attendance is expected at 200 persons.*
- *Maximum attendance at dance events is capped at 400 attendees.*

Parking Supply

A total of 39 on-site striped parking spaces will be provided with re-construction of the gravel parking area surrounding the proposed site. In addition, 31 additional parking spaces are available from the Portland Friends Meeting House located opposite the proposed site at 1837 Forest Avenue (copy of “Letter of Permission” is attached). Accordingly, a total of 70 parking spaces are provided in support of the proposed site. Mr. Zappia proposes to operate both parking lots with valet attendant(s) during all “busy” event venues increasing the parking supply to approximately 95 spaces, with 55 spaces on-site and 40 spaces in the 1837 Forest Avenue parking lot.

Existing Saturday Hourly Traffic Volumes

An automatic traffic recorder (ATR) count was conducted on Forest Avenue on Saturday, July 28, 2013 to determine the peak travel conditions for the roadway. A summary of the data is presented in the following chart:

Hourly Traffic Volumes Forest Avenue
(Saturday, July 28, 2013)

<u>Start Time</u>	<u>Forest Avenue EB</u>	<u>Forest Avenue WB</u>	<u>Total Traffic</u>
07:00 AM	263	196	459
08:00	352	290	642
09:00	404	416	820
10:00	479	444	923
11:00	491	512	1003
12:00 PM	465	431	896
1:00	423	450	873
2:00	393	407	800
3:00	454	401	855
4:00	445	375	820
5:00	384	319	703
6:00	415	319	734
7:00	371	272	643
8:00	302	251	553
9:00	260	203	463
10:00	210	191	401
11:00	131	145	276

As presented on the chart, the highest recorded volume of traffic traveling Forest Avenue during the afternoon and evening hours occurs between 1:00 and 2:00 PM with a total volume of 873 vehicles - 450 vehicles traveling west bound and 423 vehicles eastbound.

Vehicle Occupancy of Proposed Venues

A four hour traffic and parking survey was conducted at **The Landing**, a special event venue located in the neighboring Town of Scarborough, for a 150-person wedding event held on Saturday, July 20, 2013. All vehicle trips entering and exiting the on-site parking lot were recorded in 15-minute intervals between the hours of 4:00 and 8:00 PM. In addition, the survey technician recorded the number of occupants per vehicle for all trips to/from the site for the duration of the study. The results of the survey are presented in the following table:

Vehicle Volume of Occupancy Study
The Landing
(Saturday, July 20, 2013)

<u>Time Interval</u>	<u>Single Occupant Vehicle</u>	<u>Two Occupant Vehicle</u>	<u>Three Occupant Vehicle</u>	<u>Four Occupant Vehicle</u>	<u>Five Occupant Vehicle</u>	<u>Six Occupant Vehicle</u>	<u>Total Vehicles</u>	<u>Total Occupants</u>
4:00-5:00 PM	9	23	12	9	6	1	60	163 persons
5:00-6:00 PM	5	1	0	0	0	0	6	7 persons
6:00-7:00 PM	0	3	0	0	0	0	3	6 persons
7:00-8:00 PM	0	0	0	0	0	0	0	0 persons

From a summary of the data, it was determined that a total of 60 vehicle trips occurred during the busiest hour of the survey with all trips entering the site and zero trips exiting the site. A total of 163 persons were observed in those 60 vehicles resulting in a per vehicle occupancy rate of 2.72 persons per vehicle [163 ÷ 60 = 2.72 persons per vehicle]. The computed vehicle occupancy rate is very similar and consistent with the nationally accepted vehicle occupancy rate of 2.5 persons per vehicle that is generally utilized in the determination of parking supply requirements and off-site traffic impacts of major entertainment venues.

Note: The Reader should be cautioned that staff parking requirements are not reflected in either vehicle occupancy rate and must be accounted for in the projection of event parking requirements. The wedding event held at The Landing utilized a total of 20 staff persons whom arrived on-site much earlier in the day.

Event(s) Attendance Capacity Determination

The venue capacity for all “adult” (i.e.: weddings, adult dances, concerts, etc.) entertainment functions is estimated based upon a per vehicle occupancy rate of 2.5 vehicles to present a conservative process in determining the parking demand requirements and the potential off-site traffic impacts of a typical site event. Two baseline event capacities are established: 1) unassisted motorist parking and, 2) attendant valet parking.

1. Unassisted Motorist Parking: 70 spaces x 2.5 persons per vehicle = **175** event attendees
2. Attendant Valet Parking: 95 spaces x 2.5 persons per vehicle = **230** event attendees

The attendance capacity recommended for the Friday night “all-age” and alcohol free events is established based upon a brief observational survey conducted at Studio 250, located at 250 Read Street. This venue has an attendance capacity of 60 persons. The date of the event and survey was Thursday, April 11, 2013. Generally, everyone in attendance either arrived by foot or was dropped off by a parent or friend, with the exception of band and studio staff members. Based upon information provided by Mr. Zappia, the Studio 250 facility is the only local venue holding “all-age” events; therefore, more definitive data is not readily available. Mr. Zappia’s application to the City demonstrates full compliance with the City’s zoning laws for an attendance capacity of 400. The attendance capacity of an “all-age” event must recognize the modal splits of an “all-age” (i.e.: walkers, drop-offs, Metro service, etc.) dance event while still ensuring safe ingress/egress to the site and along the Forest Avenue corridor. This report has established an initial capacity of 350 persons for an “all-age” event based upon the supporting discussion above.

Peak “Worst-Case” Traffic Condition

This report has assumed that the “worst-case” peak condition occurs early afternoon on a “peak” Saturday for a well attended wedding event of 150 plus attendees. The volume of baseline traffic recorded on Forest Avenue between 1:00 and 2:00 PM is nearly 25% higher [873 vehicles versus 703 vehicles] than the time period between 6:00 and 7:00 PM, the scheduled time for a typical dance event. Further, the surge of motorists arriving for a typical wedding event is far more acute than a dance event, when attendees typically arrive at the venue more randomly over a more extended time period.

Left-turn Lane Warrant Analysis

The Maine Department of Transportation has published a warrant for auxiliary left-turn lanes in their December 2004 Highway Design Manual. The warrants are predicated upon the volume of two-way traffic traveling on the designated highway and the volume of left-turning vehicles.

A traffic model of a typical wedding event of 160 persons was prepared based upon the following directional traffic assignment:

<i>Forest Avenue East</i>	= 35%
<i>Forest Avenue West</i>	= 20%
<i>Riverside Street North</i>	= 15%
<i>Riverside Street South</i>	= 30%

Figure 1 is a line diagram that illustratively presents the trip assignment of the typical wedding event traffic model.

The estimated volume of vehicles turning left from Forest Avenue to either the 1844 Site or the 1837 Forest Avenue parking lot were superimposed onto Figure 8-19 (Appropriate chart for a posted speed limit of 40mph) from MaineDOT's referenced design manual to determine if either of the two separate left-turn movements met the warrants for consideration of a separate left-turn lane. As clearly depicted on the referenced chart, a dedicated left-turn lane is not required for either left-turn movement.

Conclusions

1. The City has determined that the proposed project does not require a Maine Department of Transportation Traffic Movement Permit (TMP). Documentation was previously submitted to the City under separate cover that clearly demonstrated that similar events (dances, concerts, etc.) have been held within the past ten years at the 1844 Forest Avenue site, which effectively exempts the project from the MaineDOT TMP requirements.
2. The proposed project will provide a total of 39 on-site parking spaces and an additional 31 spaces in the Portland Friends Meeting House located at 1837 Forest Avenue (located directly opposite the 1844 site) for a total site parking supply of 70 spaces.
3. The Applicant is proposing to utilize attendant valet parking procedures for large events increasing the off-site parking supply to approximately 95 spaces.
4. Based upon a nationally accepted vehicle occupancy rate of 2.5 persons per vehicle at similar entertainment venues, the 1844 Forest Avenue site can support the following attendance capacities:
 - Adult Dance or Concert Event**
 - Unassisted or Self-Parking = 175 person capacity
 - Attendant Valet Parking = 230 person capacity
 - All-Age and Alcohol Free Dance Event**
 - Attendance Capacity = 350 person capacity
 - Wedding Event**
 - Unassisted or Self-Parking – 150 to 160 persons (Lower capacity value accounts for event staffing parking needs)
 - Attendant Valet Parking – 175 to 180 persons (Lower capacity value accounts for staff parking needs and left-turn impacts)
5. A dedicated left-turn lane on Forest Avenue is not required for either left-turn movement; left-turn to the 1844 site or left-turn into the 1837 Forest Avenue parking lot.

Recommendations

- The Applicant should work with the City's Public Services Department to ensure that the currently striped crosswalk on Forest Avenue, adjacent to the 1844 Forest Avenue site, is highly visible and within acceptable practices throughout the year.
- A detailed parking operation plan should be prepared that reflects the management of the attendant valet parking system ensuring its safe operation both on and off-site.
- Parking for building and event staffing personnel should be accommodated exclusively in the Portland Friends Meeting House parking lot. Staff personnel should be directed to park in tandem fashion in the designated parking area.
- Adjustments to the recommended attendance capacities should be based upon detailed parking demand and attendance records collected during the inaugural season of the 1844 Forest Avenue venue for each major event.

DETAILS REPORT

**Note: Report is Sorted in Ascending Order by Office, Recorded Date, Document Number

Doc#	Document Type	Town	Book/Vlm/Pag e	File Date
31126	DEED	PORTLAND	27866/291	06/23/2010
Street	Street Name	Description		
Grantors	Grantees	Street	Property Description	
MAINE STATE GRANGE PATRONS OF HUSBANDRY	ZAPPIA GABRIEL J			
References	Description	Recorded year		
Book/Vlm/Page				
27866/291	DEED			

Quit Claim Deed with Covenant

KNOW ALL MEN BY THESE PRESENTS,

MAINE REAL ESTATE TAX PAID

That MAINE STATE GRANGE PATRONS OF HUSBANDRY, a non-profit corporation organized and existing under the laws of the State of Maine with a place of business at 146 State Street, Augusta, County of Kennebec, State of Maine, releases and quit claims with covenant to GABRIEL J. ZAPPIA of 18 Cottage Lane, Cape Elizabeth, Maine 04107, the land and buildings in City of Portland, Cumberland County, State of Maine described as follows:

First Parcel: Beginning at a point on the Southwesterly side of the road leading from Pride's Bridge to Morrill's Corner (now called Forest Avenue) at a post on said side of said road at corner of land formerly of one Bailey; thence running southwesterly adjoining land now or formerly of one Bailey one hundred fifty-five and five-tenths (155.5) feet, more or less, to a granite monument and angle in said Bailey line; thence Northwesterly adjoining said Bailey land one hundred (100) feet to a pipe driven in the ground; thence Northeasterly parallel with the first course above described one hundred sixty-one and five-tenths (161.5) feet, more or less, to a pipe driven in the southwesterly side of said road; thence Southeasterly by said road one hundred (100) feet to the post and point of beginning.

Being same premises conveyed to Presumpscot Grange No. 15 P. of H. by deed dated October 19, 1921 recorded Book 1088, Page 163 Cumberland County Registry of Deeds.

Second Parcel: Beginning at a point on the southwesterly side of Forest Avenue leading from Pride's Bridge to Morrill's Corner at an iron pipe driven in the ground at the northerly corner of land conveyed by Arthur S. Jones to the Presumpscot Grange No. 15, P. of H. by deed dated October 19, 1921 and recorded in Cumberland County Registry of Deeds, Book 1088, Page 163; thence from said point of beginning running southwesterly adjoining land now or formerly of Presumpscot Grange No. 15, P. of H. one hundred sixty-one and five tenths (161.5) feet, more or less, to the westerly corner of said land now or formerly of Presumpscot Grange No. 15, P. of H. and a pipe driven in the ground at land now or formerly of one Bailey; thence northwesterly adjoining said land now or formerly of one Bailey one hundred (100) feet to a point; thence northeasterly parallel to said land now or formerly of Presumpscot Grange No. 15, P. of H. one hundred sixty-one and five tenths (161.5) feet, more or less, to Forest Avenue; thence southeasterly by said Forest Avenue one hundred (100) feet to the point of beginning.

Being same premises conveyed to Presumpscot Grange No. 15 P. of H. by deed dated August 21, 1947 recorded Book 1871, Page 406 Cumberland County Registry of Deeds.

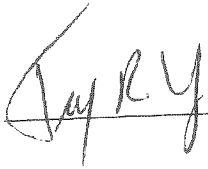
Excepting and reserving from the above described parcel of land a lot of land described in deed from Presumpscot Grange No. 15 P. of H. to Wellesley Estates Limited Partnership by deed dated March 21, 2003 recorded Book 19078, Page 059 Cumberland County Registry of Deeds.


Also excepting a utility easement granted to Central Maine Power Company recorded Book 03216, Page 379 Cumberland County Registry of Deeds.

Being same premises conveyed to grantor by deed dated October 2, 2007 recorded Book 25530, Page 18 Cumberland County Registry of Deeds.

IN WITNESS WHEREOF, Maine State Grange Patrons of Husbandry, by James A. Owens, its President duly authorized signs and seals this deed on June 23, 2010.

Maine State Grange Patrons of Husbandry

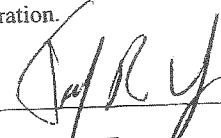


By: 
James A. Owens, President

State of Maine
Cumberland, ss

June 23, 2010

Personally appeared the above named, James A. Owens, President of Maine State Grange Patrons of Husbandry, and acknowledged the foregoing instrument to be his free act and deed and the free act and deed of said corporation.



Notary Public/Attorney at Law
Jeffrey R. Vigue

Received
Recorded Register of Deeds
Jun 23, 2010 12:29:37P
Cumberland County
Pamela E. Lovley

SCHEDULE A

A certain parcel of land situated on the southwesterly side of Forest Avenue in the City of Portland, County of Cumberland and State of Maine, bounded and described as follows:

Starting at a concrete monument found at the westernmost corner of the land of Wellesley Estates Limited Partnership as described in Cumberland County Registry of Deeds in Book 1871, Page 406 at the southernmost corner of the land now or formerly of Portland Venture Partners as described in said Registry in Book 734, Page 167 and as shown on "Amended Subdivision Plan on Forest Avenue, Portland, Maine made for Wellesley Estates, LLC Oct. 8, 2002" as revised December 18, 2002 by Owen Haskell, Inc., recorded in Plan Book 202, Page 744;

Thence, N 29° 13' 55" E by the land of Portland Venture Partners 2.00 feet towards Forest Avenue (this course being incorrectly labeled on the above-mentioned recorded plan). **This shall be the Point of Beginning;**

Thence, N 29° 13' 55" E by the land of Portland Venture Partners 165.20 feet to Forest Avenue (this course being incorrectly labeled on the above-mentioned recorded plan);

Thence, S 63° 13' 40" E by Forest Avenue 16.01 feet;

Thence, S 29° 13' 55" W by the remaining land now or formerly of Presumpscot Grange #15, P. of H. a distance of 164.18 feet to the land of Wellesley Estates Limited Partnership;

Thence, N 66° 52' 00" W, 16.09 feet by land of Wellesley Estates Limited Partnership, to the point of beginning.

Said parcel contains 2,635 square feet.

Reserving unto the grantor, however, an easement in common with others over the above described property for purposes of emergency access only to said land of Wellesley Estates Limited Partnership from Forest Avenue.

Received
Recorded Register of Deeds
Apr 05, 2013 12:10:32P
Cumberland County
Pamela E. Lovley

KELLY A. ROBERTS & ASSOCIATES
One William Street
Portland, ME 04103

Warranty Deed

LET IT BE KNOWN BY THESE PRESENTS, that **WELLESLEY ESTATES LIMITED PARTNERSHIP**, a Maine limited partnership with a mailing address of PO Box 7332, Portland, Maine 04112, for consideration paid, hereby GRANTS to **GABRIEL ZAPPIA**, an individual with a mailing address of 18 Cottage Lane, Cape Elizabeth, Maine, with **WARRANTY COVENANTS**, a certain lot or parcel of land, with the improvements thereon and all appurtenances thereto, in the City of Portland, County of Cumberland and State of Maine, as more particularly described in Schedule A attached hereto and incorporated herein by this reference.

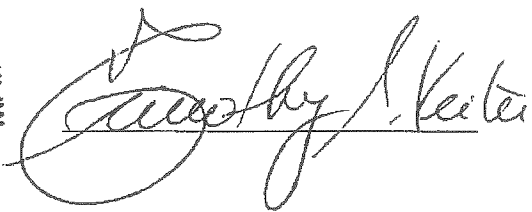
IN WITNESS WHEREOF, said **WELLESLEY ESTATES LIMITED PARTNERSHIP** has caused this Warranty Deed to be duly executed and delivered as an instrument under seal by Wellesley Estates, LLC, its General Partner, hereunto duly authorized, this 4th day of April, 2013.

MAINE REAL ESTATE TAX PAID

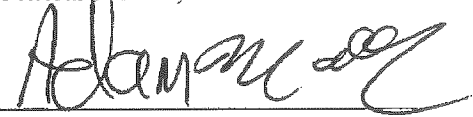
WITNESS:

WELLESLEY ESTATES LIMITED PARTNERSHIP

By: Wellesley Estates, LLC,
Its General Partner,



Timothy S. Keiter

By: 

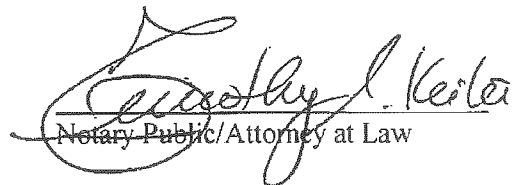
Adam Mack
Its Manager

STATE OF MAINE
COUNTY OF CUMBERLAND, ss.

April 4, 2013

Then personally appeared before me the above named Adam Mack, as Manager of Wellesley Estates, LLC, as General Partner of Wellesley Estates Limited Partnership, and acknowledged the foregoing instrument to be his free act and deed in said capacity, and the free act and deed of said limited liability company and of said limited partnership.

Before me,



Notary Public/Attorney at Law

Timothy S. Keiter
Print Name

Wellesley Estates, LP
PO BOX 7332
Portland, ME 04112
(207) 774-8013

November 20, 2012

Shukria Wiar
Planner, City of Portland

RE: 1844 Forest Ave, Level II Site Plan

Dear City of Portland:

I am aware that Gabriel Zappia, and his company, have made an application to permit a Dance Hall at the old Grange property at 1844 Forest Ave.

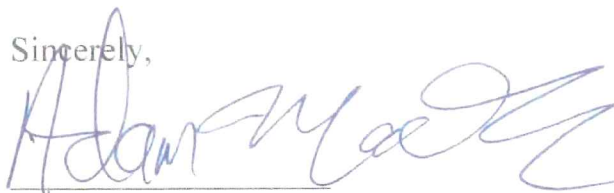
I am the owner of Wellesley Estates, the abutting 45 unit apartment complex.

I have no objections to Mr. Zappia's application, and I urge you to approve it.

Mr. Zappia has been a good neighbor, working with me on a few issues to make sure that our properties can co-exist and compliment each other. I am sure that Mr. Zappia will operate his dance hall in a professional and well controlled manner. I am confident that we could privately work out any issues that may arise from operations of the dance hall.

Thank you for your consideration, please contact me if you have any questions of me.

Sincerely,

A handwritten signature in blue ink that reads "Adam Mack". The signature is fluid and cursive, written over a horizontal line.

Adam Mack
Managing Member, Wellesley Estates, LLC
GP, Wellesley Estates, LP

April 7, 2013

Gabriel Zappia
18 Cottage Lane,
Cape Elizabeth, ME 04107

Dear Mr. Zappia:

We write to follow-up on the phone conversation we had with you last month about your plans to open a dance hall with a liquor license at 1844 Forest Avenue in Portland - and to let you know Portland Friends Meeting does not think that the proposed dance hall activities will interfere with our own. We believe in good stewardship and appreciate your work to offer multiple uses of your building to the community.

In addition, we greatly appreciate your willingness to allow us to park vehicles occasionally on your property as overflow parking. We can reciprocate in sharing our meetinghouse parking lot when we are not holding events; however, we must be clear that the policy for our property is that we do not allow alcohol on the premises for any reason.

Best wishes,



Anne Harwood and



Sarah Cushman

Co-Clerks
Portland Friends Meeting
1837 Forest Avenue
Portland, ME 04103
(207) 797-4720

EASEMENT DEED

LET IT BE KNOWN BY THESE PRESENTS that GABRIEL ZAPPIA, an individual with a mailing address of 18 Cottage Lane, Cape Elizabeth, Maine ("Grantor"), for due consideration paid, the receipt and sufficiency of which are hereby acknowledged, does hereby GRANT unto WELLESLEY ESTATES LIMITED PARTNERSHIP, a Maine limited partnership with a mailing address of P.O. Box 7332, Portland, Maine 04112 ("Grantee"), its successors and assigns forever, the following described easement rights and privileges on property located in the City of Portland, County of Cumberland and State of Maine:

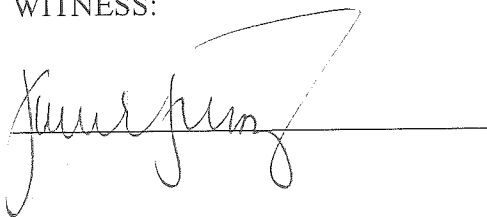
Easement for Sewer Force Main: A perpetual easement to maintain, repair and replace the Grantee's existing sewer force main, in its current location on certain land of Grantor described in a deed of Grantee to Grantor dated April 4, 2013, and recorded in the Cumberland County Registry of Deeds in Book 30532, Page 150 (the "Fire Lane Deed").

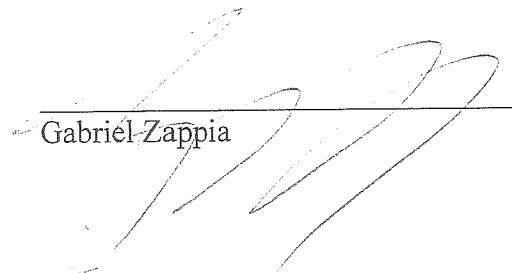
Including in this easement and granting hereby to Grantee, its successors and assigns, the right to enter said property of Grantor described in the Fire Lane Deed to such an extent as may be reasonably necessary to maintain, clean, repair and said sewer force main, including the right to enter with workers and machines for said purposes, provided that Grantee shall promptly repair and restore the land of the Grantor to its condition prior to the performance of any such work, promptly after the completion thereof on each occasion when any such work is performed. Such restoration work shall include but not be limited to reseeding and replacing any disturbed areas or foliage or other growth which was removed and restoring any disturbed ground surface, and shall also include without limitation repaving and restriping of parking lots and drives. Grantor and its successors and assigns agree by acceptance hereof and by any entry pursuant hereto, to defend, indemnify and hold harmless the Grantor, its successors and assigns, from and against all loss, costs, liability, judgments, expenses, and damages which may be asserted against or incurred by Grantor, its successors or assigns, in any connection with the existence, maintenance, use or operation of said sewer force main, or in any connection with any activity conducted by or for Grantee pursuant to the within granted rights.

TO HAVE AND TO HOLD unto the said WELLESLEY ESTATES LIMITED PARTNERSHIP, its successors and assigns, forever.

IN WITNESS WHEREOF, said GABRIEL ZAPPIA has hereunto set his hand and seal, this 27th day of June, 2014.

WITNESS:



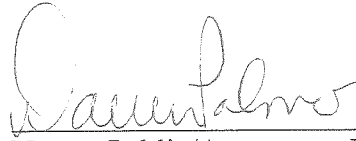

Gabriel Zappia

STATE OF MAINE
COUNTY OF CUMBERLAND, ss.

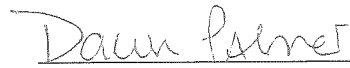
June 27, 2014

Then personally appeared the above named Gabriel Zappia, and acknowledged the foregoing Easement Deed to be his free act and deed.

Before me,



Notary Public/~~Attorney at Law~~



Print Name Dawn Palmer
Notary Public, State of Maine
My Commission Expires November 15, 2020

Received
Recorded Register of Deeds
Jun 30, 2014 10:50:16A
Cumberland County
Pamela E. Lovley

Memorandum
Department of Planning and Urban Development
Planning Division



To: Phil DiPierro- Development Review Coordinator
Assessor's Office
Marge Schmuckal- Zoning Administrator
Rhonda Zazzara, Public Services
Bill Clark- Public Services

From: Shukria Wiar, Planner

Date: August 22, 2014
RE: Level I Site Alteration Review
CBL: 327 B004001
App #: 2012-534
Project Address: 1844 Forest Avenue

The attached are the final approved plans for construction of a of an entertainment club with associated parking at 1844 Forest Avenue, approved July 7, 2014.

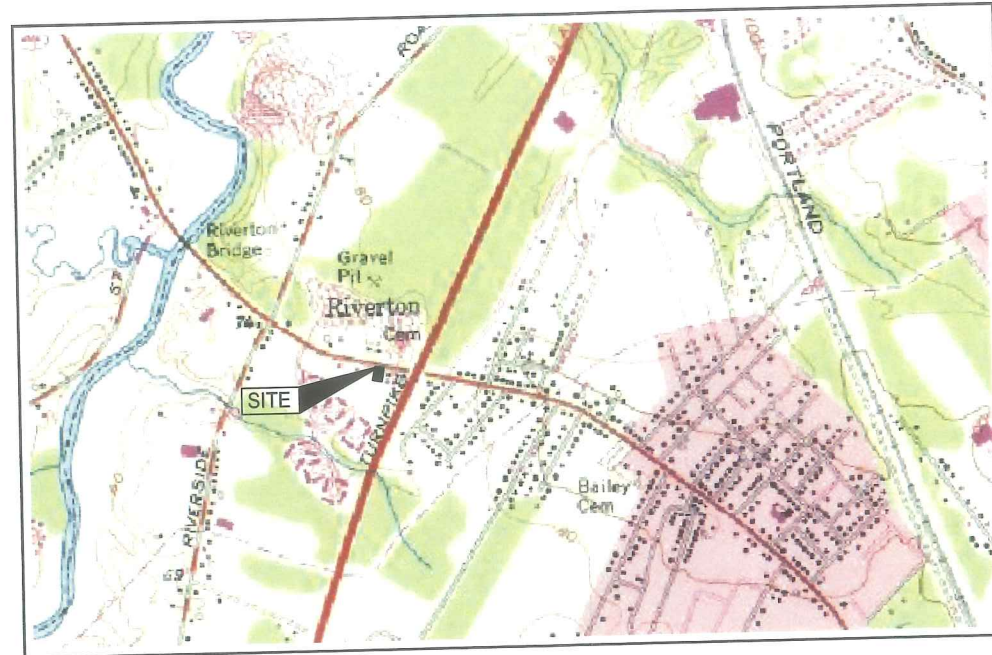
If you have any questions, please contact me.

Thanks.

1844 FOREST AVE

PORTLAND, MAINE

JUNE, 2012



LOCUS MAP
NOT TO SCALE

DRAWING LIST

C100	EXISTING CONDITIONS PLAN
C101	PROPOSED SITE PLAN
C200	SITE DETAILS
C300	EROSION CONTROL DETAILS

ZONING INFORMATION

ZONE:	B-2
MINIMUM LOT SIZE:	10,000 SQ. FT.
ACTUAL LOT SIZE:	32,108 SQ. FT.
MAX. % IMPERVIOUS:	80% = 25,686 SQ. FT.
EXISTING IMPERVIOUS:	22,715 SQ. FT.
PROPOSED IMPERVIOUS:	19,645 SQ. FT.

SETBACKS:	
FRONT:	NONE
SIDE:	10 FT.
REAR:	20 FT.

MIN. STREET FRONTAGE:	50 FT.
MAX. BUILDING HEIGHT:	45 FT.

CLIENT:

GABRIEL ZAPPIA
18 COTTAGE LANE
CAPE ELIZABETH, ME 04107

PRELIMINARY
NOT FOR CONSTRUCTION

MAINE

1844 FOREST AVENUE
PORTLAND

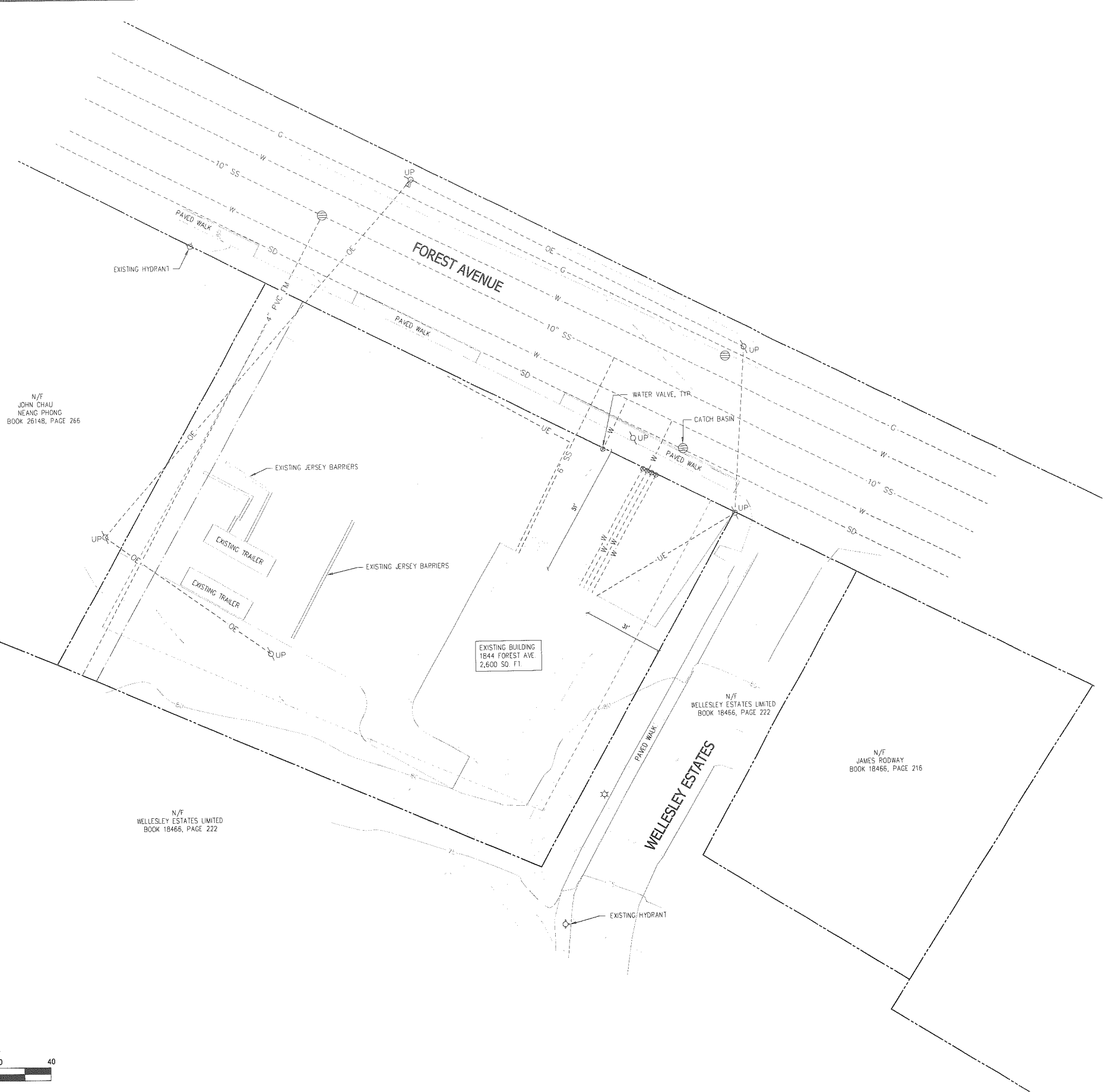
REVISIONS	ISSUE	FOR PLANNING REVIEW
No.	DATE	
1	6-26-12	

SHEET TITLE:

COVER SHEET

DESIGNED:	ED
DRAWN:	TD
DATE:	10-31-11
CADD FILE:	11-071-C1.DWG
PROJECT NUMBER:	11-071

C0



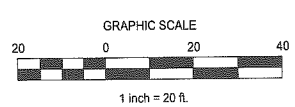
N/F
JOHN CHAU
NEANG PHONG
BOOK 26148, PAGE 266

EXISTING BUILDING
1844 FOREST AVE
2,600 SQ. FT.

N/F
WELLESLEY ESTATES LIMITED
BOOK 18466, PAGE 222

N/F
JAMES RODWAY
BOOK 18466, PAGE 216

N/F
WELLESLEY ESTATES LIMITED
BOOK 18466, PAGE 222



EXISTING SITE PLAN

GENERAL NOTES

- 1. BOUNDARY AND TOPOGRAPHY INFORMATION TAKEN FROM NORTHEAST CIVIL SOLUTIONS DATED FEBRUARY 10, 2012.
2. THE CONTRACT WORK TO BE PERFORMED ON THIS PROJECT CONSISTS OF FURNISHING ALL REQUIRED LABOR, MATERIALS, EQUIPMENT, IMPLEMENTS, PARTS AND SUPPLIES NECESSARY FOR THE INSTALLATION OF CONSTRUCTION IMPROVEMENTS IN ACCORDANCE WITH THESE DRAWINGS AND AS FURTHER ELABORATED IN ANY ACCOMPANYING SPECIFICATIONS.
3. THE WORK SHALL BE PERFORMED IN A THOROUGH WORKMANLIKE MANNER. ALL CONTRACTORS TO CONFORM TO ALL APPLICABLE OSHA STANDARDS. ANY REFERENCE TO A SPECIFICATION OR DESIGNATION OF THE AMERICAN SOCIETY FOR TESTING MATERIALS, FEDERAL SPECIFICATIONS, OR OTHER STANDARDS, CODES OR ORDERS, REFERS TO THE MOST RECENT OR LATEST SPECIFICATION OR DESIGNATION.
4. ALL CONSTRUCTION WITHIN THE TOWN RIGHT OF WAY SHALL COMPLY WITH TOWN PUBLIC WORKS STANDARDS. ALL CONSTRUCTION WITHIN A STATE RIGHT OF WAY SHALL COMPLY WITH MAINE C.O.T. STANDARDS. ALL UTILITY CONSTRUCTION SHALL CONFORM TO RESPECTIVE UTILITY STANDARDS.
5. THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED BY THE TOWN PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE TOWN REQUIRED TO PERFORM ALL THE WORK (STREET OPENINGS, BUILDING PERMIT, ETC.). THE CONTRACTOR SHALL POST ALL BONDS AS REQUIRED, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
6. PRIOR TO CONSTRUCTION, THE SITE CONTRACTOR IS TO INFORM ALL AREA UTILITY COMPANIES AND GOVERNMENTAL AGENCIES OF PLANNED CONSTRUCTION. THE SITE CONTRACTOR IS REQUIRED TO CONTACT DIG-SAFE (1-800-225-4977) AT LEAST 3 BUSINESS DAYS PRIOR TO ANY EXCAVATION TO VERIFY ALL UNDERGROUND AND OVERHEAD UTILITY LOCATIONS.
7. THE PROJECT DRAWINGS ARE GENERALLY SCHEMATIC AND INDICATE THE POSSIBLE LOCATION OF EXISTING UNDERGROUND UTILITIES. INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY MAPS, MUNICIPAL RECORD MAPS, AND FIELD SURVEY. IT IS NOT GUARANTEED TO BE CORRECT OR COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES, INCLUDING SERVICES, WHEN THOSE SERVICES ARE TO BE LEFT IN PLACE. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATE MEANS OF SUPPORT AND PROTECTION DURING THE EXCAVATING AND BACKFILLING OPERATIONS. SHOULD ANY UNCHARTERED OR INCORRECTLY CHARTERED UTILITIES BE FOUND, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH THE WORK IN THIS AREA.
8. OSHA REGULATIONS MAKE IT UNLAWFUL TO OPERATE CRANES, BOOMS, HOISTS, ETC. WITHIN TEN FEET (10') OF ANY ELECTRIC LINE. IF THE CONTRACTOR MUST OPERATE CLOSER THAN 10', THE CONTRACTOR MUST CONTACT THE POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS BEFORE ENCROACHING ON THIS REQUIREMENT.
9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE ALL PLANS, APPROVALS, AND DETAILS FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL THE SITE CONDITIONS IN THE FIELD AND CONTACT THE DESIGN ENGINEER IF THERE ARE ANY DISCREPANCIES REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT AN APPROPRIATE REVISION CAN BE MADE PRIOR TO BIDDING.
10. THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF THE BUILDING AREA. BUILDING AND DRIVEWAYS SHOWN ARE CONCEPTUAL. ALL SITE DIMENSIONS ARE REFERRED TO PROPERTY LINES, THE FACE OF CURBS, OUTSIDE FACE OF WALLS, OR EDGE OF PAVING UNLESS OTHERWISE NOTED.
11. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED IN WRITING BY THE OWNER, DESIGN ENGINEER, AND APPROPRIATE GOVERNMENTAL AGENCY PRIOR TO INSTALLATION.
12. THE CONTRACTOR SHALL RESTORE ALL UTILITY STRUCTURES, PIPE, UTILITIES, PAVEMENT, CURBS, SIDEWALKS, AND LANDSCAPED AREAS DISTURBED BY CONSTRUCTION TO AS GOOD AS BEFORE BEING DISTURBED AS DETERMINED BY CITY CODE ENFORCEMENT OFFICIALS. ANY DAMAGES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
13. ALL EXCAVATION SHALL BE BACKFILLED TO EXISTING GRADE BEFORE THE END OF THE DAY OR ADEQUATELY PROTECTED FROM DANGER TO HUMANS AND ANIMALS.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL FIELD LAYOUT. THE OWNER WILL PROVIDE A BENCH MARK AT THE CONSTRUCTION SITE FROM WHICH TO BEGIN LAYOUT.
15. THE CONTRACTOR SHALL GUARANTEE THE FAITHFUL REMEDY OF ANY DEFECTS DUE TO FAULTY MATERIALS OR WORKMANSHIP AND GUARANTEES PAYMENT FOR ANY RESULTING DAMAGE WHICH SHALL APPEAR WITHIN A PERIOD OF ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION OF THE PROJECT.
16. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
17. A PRE-CONSTRUCTION CONFERENCE WITH THE OWNER, DESIGNERS, TOWN OFFICIALS AND CONTRACTOR SHALL BE REQUIRED BEFORE ANY CONSTRUCTION OCCURS ON THE PROJECT. DURING CONSTRUCTION THERE SHALL BE WEEKLY PROGRESS MEETINGS WITH THE OWNER (ON SITE OR TELECONFERENCE) UNTIL PROJECT COMPLETION.
18. PROPER IMPLEMENTATION AND MAINTENANCE OF EROSION CONTROL MEASURES ARE OF PARAMOUNT IMPORTANCE FOR THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ONSITE INSPECTIONS OF THE OWNER, THEIR REPRESENTATIVES, OR STATE/LOCAL/FEDERAL INSPECTORS AT NO ADDITIONAL COST TO THE OWNER.

LEGEND table with columns for EXISTING, DESCRIPTION, and PROPOSED. It lists various symbols for utilities, structures, and site features.

CASCO BAY logo and contact information: 424 Fore Street, Portland, ME 04101, Phone 207.842.2800, Fax 207.842.2828, www.cascobayengineering.com

CLIENT: GABRIEL ZAPPIA, 16 COTTAGE LANE, CAPE ELIZABETH, ME 04107

PRELIMINARY NOT FOR CONSTRUCTION

MAINE

1844 FOREST AVENUE PORTLAND

REVISIONS table with columns for No., DATE, and ISSUE FOR PLANNING REVIEW.

SHEET TITLE:

EXISTING CONDITIONS PLAN

DESIGNED: ED, DRAWN: TD, DATE: 2-20-12, CADD FILE: 11-071-C1.DWG, PROJECT NUMBER: 11-071

C100

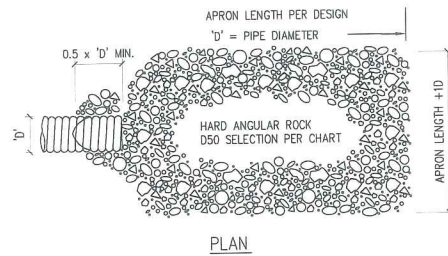
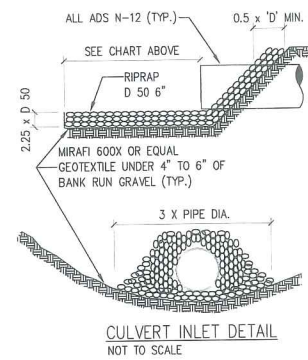
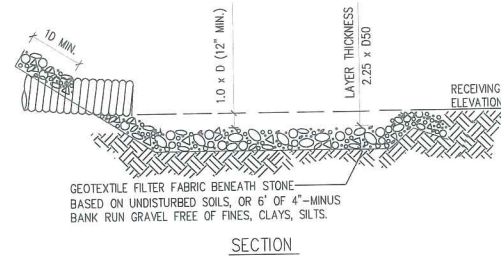
SCALE: 1"=20'-0"

CLIENT:

GABRIEL ZAPPIA
18 COTTAGE LANE
CAPE ELIZABETH, ME 04107

PRELIMINARY
NOT FOR CONSTRUCTION

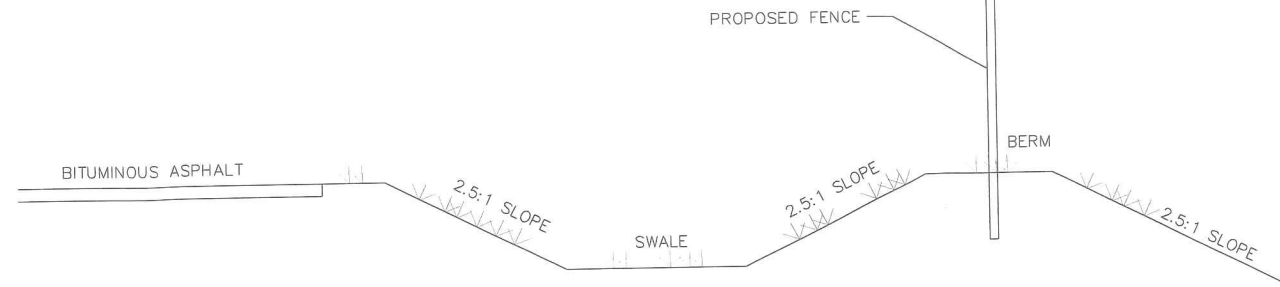
DIAMETER	L LENGTH	W WIDTH	A	D ₅₀	REMARKS
12"/15"	6'-0"	8'-0"	12"	6"	
18"	10'-0"	12'-0"	15"	6"	
24"	-	-	-	-	
36"	27'-0"	24'-0"	24"	8"	



- NOTES:
1. CONSULT WITH IF&W IF FISH PASSAGE WILL BE INHIBITED DURING LOW FLOWS.
 2. REFER TO DESIGN NOTES AND LIMITATIONS IN TEXT ON PIPE OUTLET PROTECTION.
 3. IN DEFINED CHANNELS, APRON SHALL EXTEND FULL WIDTH OF BOTTOM AND ONE FOOT ABOVE MAX. TAILWATER OR UP TO BANK FULL, WHICHEVER IS LESS.

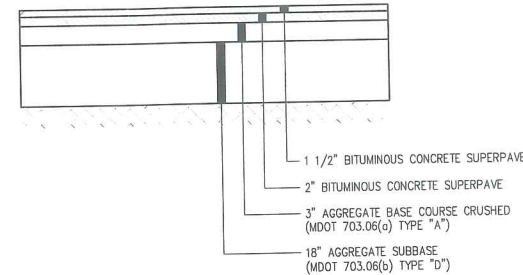
CULVERT OUTLET DETAIL
NOT TO SCALE

TYPICAL SECTION THROUGH SWALE



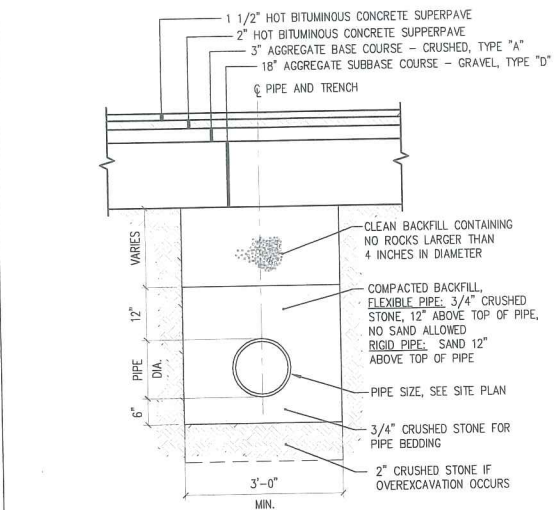
NTS

TYPICAL PAVED PARKING DETAIL



- NOTE:
1. COMPACT GRAVEL SUB-BASE, BASE COURSE TO 95% OF MAXIMUM DENSITY USING HEAVY ROLLER COMPACTION.
 2. CONTRACTOR SHALL SET GRADE STAKES MARKING SUB-BASE AND FINISH GRADE ELEVATIONS FOR CONSTRUCTION REFERENCE.

NTS



- NOTE:
- ANY ALTERNATE TRENCHING OR PAYMENT METHODS SHALL BE APPROVED BY THE CITY.

UNDERGROUND PIPE TRENCH DETAIL

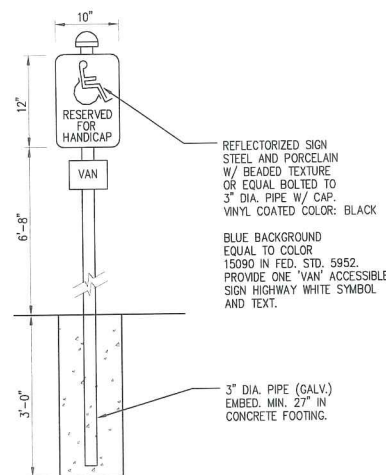
NTS

CULVERT INLET/OUTLET PROTECTION DETAIL

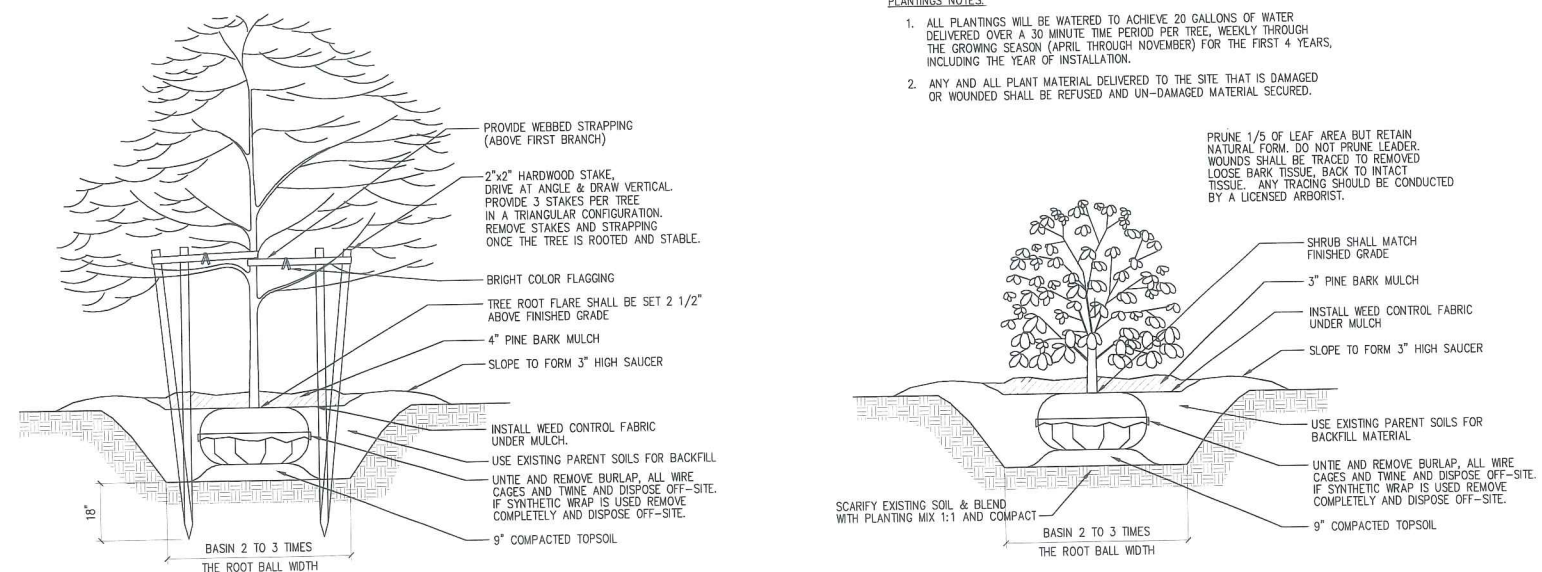
NTS

UNDERGROUND PIPE TRENCH DETAIL

TYPICAL HANDICAP SIGN DETAIL



TYPICAL TREE/SHRUB PLANTING DETAILS



PLANTINGS NOTES:

1. ALL PLANTINGS WILL BE WATERED TO ACHIEVE 20 GALLONS OF WATER DELIVERED OVER A 30 MINUTE TIME PERIOD PER TREE, WEEKLY THROUGH THE GROWING SEASON (APRIL THROUGH NOVEMBER) FOR THE FIRST 4 YEARS, INCLUDING THE YEAR OF INSTALLATION.
2. ANY AND ALL PLANT MATERIAL DELIVERED TO THE SITE THAT IS DAMAGED OR WOUNDED SHALL BE REFUSED AND UN-DAMAGED MATERIAL SECURED.

PRUNE 1/5 OF LEAF AREA BUT RETAIN NATURAL FORM. DO NOT PRUNE LEADER. WOUNDS SHALL BE TRACED TO REMOVED LOOSE BARK TISSUE, BACK TO INTACT TISSUE. ANY TRADING SHOULD BE CONDUCTED BY A LICENSED ARBORIST.

1844 FOREST AVENUE
PORTLAND
MAINE

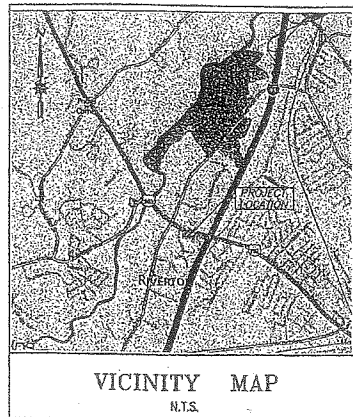
NO.	DATE	ISSUE	FOR PLANNING REVIEW
1	6-26-12	A	

SHEET TITLE:

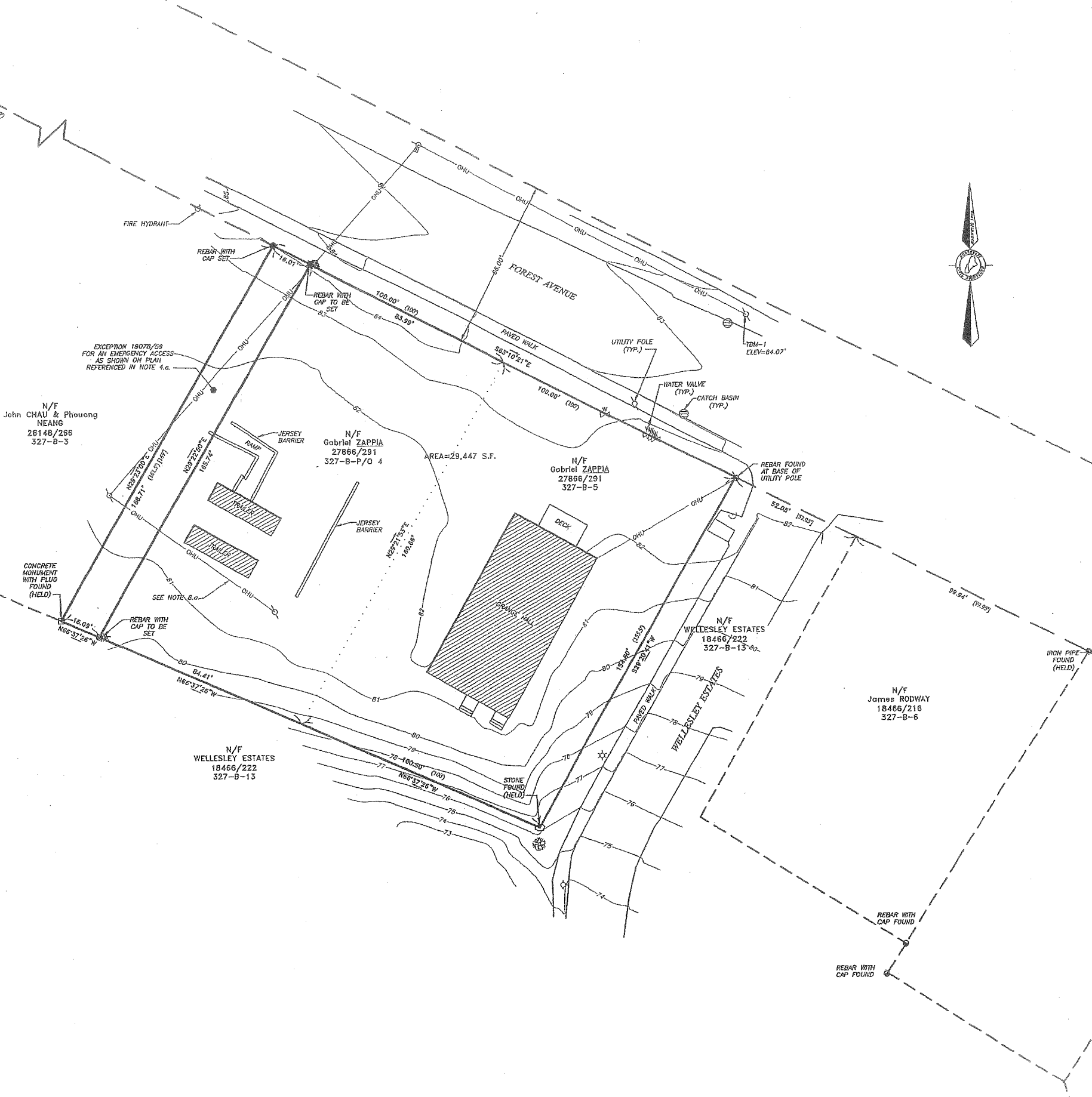
SITE DETAILS

DESIGNED:	ED
DRAWN:	TD
DATE:	10-31-11
CADD FILE:	11-071-DETAILS.DWG
PROJECT NUMBER:	11-071

C200



3" O/S GRANITE MONUMENT FOUND (HELD)
251.89' (251.89')



LEGEND

- #5 REBAR WITH PLASTIC CAP STAMPED
- "NCS, INC. PLS 1314" SET ON 2/9/12
- FOUND IRON PIPE (SIZE & TYPE AS NOTED)
- FOUND MONUMENT (SIZE & TYPE AS NOTED)
- FOUND IRON ROD
- FOUND CAPPED IRON ROD (NUMBER AS NOTED)
- UTILITY POLE (NUMBER AS NOTED)
- GUY WIRE ANCHOR
- BOUNDARY LINE
- EASEMENT LINE
- EDGE OF GRAVEL
- EDGE OF PAVEMENT
- RIGHT-OF-WAY LINE
- ABUTTER LINE
- OVERHEAD UTILITY
- N/F NOW OR FORMERLY OWNED BY
- 1234/567 DEED BOOK AND PAGE (CCRD)
- 12-3-45 TAX MAP-BLOCK-LOT
- (123.45) PARENTHESIS DENOTE RECORD DEED DATA
- 1123.457 PARENTHESIS DENOTE RECORD PLAN DATA

NOTES

1. THE BASIS OF BEARING FOR THIS SURVEY IS MAGNETIC 1968 FROM PLAN REFERENCED IN NOTE 4.a.
2. DEED AND PLAN BOOK REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
3. RECORD OWNERSHIP OF THE PARCEL SURVEYED CAN BE FOUND IN A DEED FROM MAINE STATE GRANGE PATRONS OF HUSBANDRY TO GABRIEL ZAPPIA DATED JUNE 23, 2010 AND RECORDED IN DEED BOOK 27866, PAGE 292.
4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
 - a. AMENDED SUBDIVISION PLAN ON FOREST AVENUE, PORTLAND, MAINE, BY OWEN HASKELL, INC., DATED OCTOBER 8, 2002 AND RECORDED IN PLAN BOOK 202, PAGE 744.
 - b. PORTLAND RIGHT OF WAY MAP ENTITLED STATE HIGHWAY 14 U.S. ROUTE 302/FOREST AVENUE, BY STATE OF MAINE DEPARTMENT OF TRANSPORTATION, SHEET 2 OF 3, DATED JUNE 2010.
 - c. VARIOUS PLANS PROVIDED BY THE CITY OF PORTLAND ENGINEERING DEPARTMENT.
5. THE PARCEL SURVEYED IS IDENTIFIED ON THE CITY OF PORTLAND TAX ASSESSOR'S MAP 327, BLOCK 8, PARCEL 5.
6. THE PARCEL SURVEYED IS LOCATED IN THE R-5 ZONE/DISTRICT. PORTIONS OF BULK AND SPACE REQUIREMENTS ARE AS FOLLOWS:
 - MINIMUM LOT SIZE (RESIDENTIAL).....6,000 S.F.
 - MINIMUM STREET FRONTAGE.....50'
 - MINIMUM FRONT YARD.....20'
 - MINIMUM REAR YARD.....20'
 - MINIMUM SIDE YARD.....8'
 - * SIDE YARD IS DEPENDENT ON HEIGHT OF STRUCTURE 1 STORY SHOWN.
7. THE WIDTH AND LAYOUT OF ROUTE 302/FOREST AVENUE IS 66' WIDE AND FROM PLANS ACQUIRED FROM THE CITY OF PORTLAND ENGINEERING DEPARTMENT.
8. REFERENCE IS MADE TO THE FOLLOWING EASEMENTS OF RECORD:
 - a. AN EASEMENT FROM 217.1 TO 217.2 TO CENTRAL MAINE POWER COMPANY AND NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY TO CONSTRUCT, ERECT, OPERATE, MAINTAIN AND REMOVE ELECTRIC DISTRIBUTION AND COMMUNICATION LINES.
9. ELEVATIONS AND CONTOURS ARE BASED ON NGVD 1988. SEE PLAN FOR TBM DESCRIPTION.
10. THE UTILITIES SHOWN ON THIS PLAN WERE FROM FIELD OBSERVATION ONLY. THERE MAY BE OTHER UTILITIES EXISTING THAT ARE NOT SHOWN. CONTACT DIG-SAFE (888)DIG-SAFE PRIOR TO ANY EXCAVATION WORK.

Revised	By	Date	Change

PROJECT: 33113 Forest Ave DRAWING NAME: 33113.DWG
 DATE: FEBRUARY 10, 2012 SCALE: 1"=20'
 FIELD BY: ADA, SA DRAWN BY: ADA

BOUNDARY SURVEY
 1844 FOREST AVENUE, PORTLAND, MAINE
 Owner:
GABRIEL ZAPPIA
 1844 FOREST AVENUE, PORTLAND, MAINE
 Prepared For:
GABRIEL ZAPPIA
 1844 FOREST AVENUE, PORTLAND, MAINE

SURVEYING ENGINEERING LAND PLANNING
Northeast Civil Solutions
 INCORPORATED
 153 US ROUTE 1, SCARBOROUGH, MAINE 04074

tel 207.883.1000 fax 207.883.1001 e-mail info@northeastcivilsolutions.com
 800.882.2227

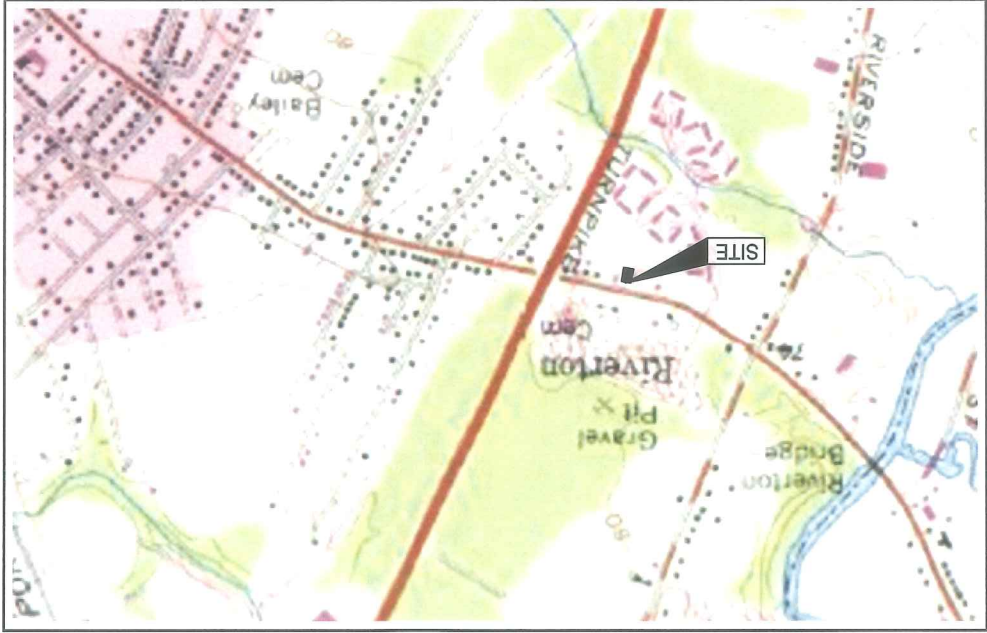
STAMP AND SIGNATURE

G. B. D. 2/12/2012
 G. B. D. 2/12/2012
 STATE OF MAINE
 M. JOHANN BUSMAN
 1314
 PROFESSIONAL SURVEYOR

IF THIS PLAN BOOK HAS NOT GOTTEN AN EMBOSSED SEAL, IT IS NOT AN ORIGINAL AND MAY BE VOID. EMBOSSED SEAL ABOVE.

1844 FOREST AVE

PORTLAND, MAINE
JUNE, 2012



DRAWING LIST

C100	EXISTING CONDITIONS PLAN
C101	PROPOSED SITE PLAN
C102	LANDSCAPE PLAN
C200	SITE DETAILS
C300	EROSION CONTROL DETAILS

ZONING INFORMATION

ZONE:	B-2
MINIMUM LOT SIZE:	10,000 SQ. FT.
ACTUAL LOT SIZE:	32,108 SQ. FT.
MAX. % IMPERVIOUS:	80% = 25,686 SQ. FT.
EXISTING IMPERVIOUS:	22,715 SQ. FT.
PROPOSED IMPERVIOUS:	19,645 SQ. FT.
SETBACKS:	
FRONT:	NONE
SIDE:	10 FT.
REAR:	20 FT.
MIN. STREET FRONTAGE:	50 FT.
MAX. BUILDING HEIGHT:	45 FT.

1844 FOREST AVENUE
PORTLAND

MAINE

PRELIMINARY
NOT FOR CONSTRUCTION

CLIENT:
GABRIEL ZAPPA
18 COTTAGE LANE
CAPE ELIZABETH, ME 04107

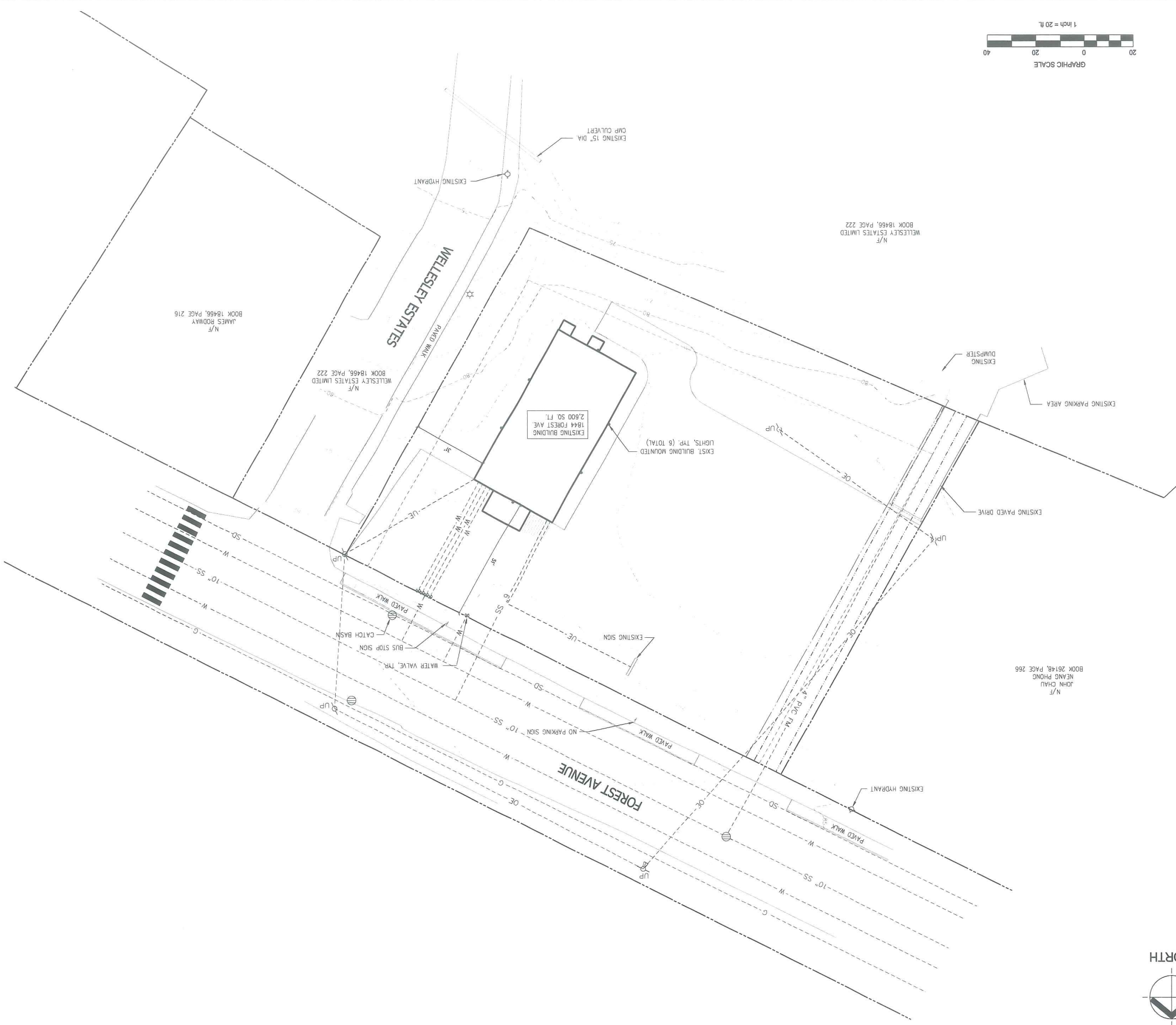
424 Fore Street
Portland, ME 04101
Phone 207.842.2800
Fax 207.842.2828
www.cascobayengineering.com



COVER SHEET

REVISIONS		
NO.	DATE	ISSUE
A	6-28-12	FOR PLANNING REVIEW
B	1-13-14	FOR PLANNING REVIEW
C	5-13-14	FOR PLANNING REVIEW

DESIGNED:	ED
DRAWN:	TD
DATE:	10-31-11
CADD FILE:	11-071-C1.DWG
PROJECT NUMBER:	11-071



LEGEND table with columns for PROPOSED and EXISTING symbols and their corresponding descriptions. Includes symbols for stone walls, site lighting, trees, maps, birch, faces of ledge, stormwater flow, erosion control, hay bales, ground and temp. stone check dam, silt fence, underground catch basin, drainage manhole, sewer manhole, sewer line, water gate, water line, rare hydrant, electrical transformer, underground electrical, overhead electrical, utility pole, gas shut-off, spot grade, contour, soil test pit, edge of road/traveled way, wetlands, no cut buffer, abutment line, property line, lot setbacks, street line, granite monument found, well hole found, capped iron rod found, iron rod found, iron pin found/set, granite monument - 3' girth, and proposed descriptions.

GENERAL NOTES
1. BOUNDARY AND TOPOGRAPHY INFORMATION TAKEN FROM NORTHEAST CIVIL SOLUTIONS DATED FEBRUARY 10, 2012.
2. THE CONTRACT WORK TO BE PERFORMED ON THIS PROJECT CONSISTS OF FINISHING ALL REQUIRED LABOR MATERIALS EQUIPMENT PLANTS AND SUPPLIES NECESSARY FOR OR APPROPRIATE TO THE INSTALLATION OF CONSTRUCTION IMPROVEMENTS IN ACCORDANCE WITH THESE DRAWINGS AND AS FURTHER ELABORATED IN ANY ACCOMPANYING SPECIFICATIONS.
3. THE WORK SHALL BE PERFORMED IN A MANNER WORKMANLIKE MANNER ALL CONSTRUCTION TO CONFORM TO ALL APPLICABLE LOCAL STANDARDS, ANY REFERENCE TO A SPECIFICATION OR SPECIFICATION OF THE AMERICAN SOCIETY FOR TESTING MATERIALS, FEDERAL SPECIFICATIONS, OR OTHER STANDARDS, CODES OR ORDERS, REFERS TO THE MOST RECENT OR LATEST SPECIFICATION OR DESIGNATION.
4. ALL CONSTRUCTION WITHIN THE TOWN RIGHT OF WAY SHALL COMPLY WITH TOWN PLU WORKS STANDARDS. ALL CONSTRUCTION WITHIN A STATE RIGHT OF WAY SHALL COMPLY WITH MAINE D.O.T. STANDARDS. ALL UTILITY CONSTRUCTION SHALL CONFORM TO THE OWNER'S RESPONSIBILITY FOR OBTAINING ALL NECESSARY PERMITS REQUIRED BY THE TOWN PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PERMITS FROM THE TOWN FORWARD TO PERFORM ALL THE WORK (STREET OPENINGS, BUILDING PERMITS, ETC.). THE CONTRACTOR SHALL POST ALL BONDS AS REQUIRED. PAY ALL FEES. PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
5. PRIOR TO CONSTRUCTION, THE SITE CONTRACTOR IS TO INFORM ALL AREA UTILITY COMPANIES AND GOVERNMENTAL AGENCIES OF PLANNED CONSTRUCTION. THE SITE CONTRACTOR IS REQUIRED TO CONTACT (1-800-225-8877) AT LEAST 3 BUSINESS DAYS PRIOR TO ANY EXCAVATION TO VERIFY ALL UNDERGROUND AND OVERHEAD UTILITY LOCATIONS. THE PROJECT DRAWINGS ARE GENERALLY SCHEMATIC AND INDICATE THE POSSIBLE LOCATION OF EXISTING UNDERGROUND UTILITIES. INFORMATION ON EXISTING UTILITIES HAS BEEN OBTAINED FROM MAINE ENGINEERING CONSULTANTS AND CONTRACTORS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND DEPTHS OF ALL UTILITIES. INCLUDING SERVICES, WHEN THOSE SERVICES ARE TO BE LEFT IN PLACE. THE CONTRACTOR TO PROTECT AND MARK ALL UTILITIES AND SHALL BE RESPONSIBLE FOR PROTECTING AND MARKING ALL UTILITIES. TO PROTECT AND MARK UTILITIES AND PROTECT AND MARK UTILITIES BE BEFORE PROCEEDING FURTHER WITH THE WORK IN THE AREA.
6. OSHA REGULATIONS MAKE IT UNLAWFUL TO OPERATE CRANES, BOOMS, HOSTS, ETC. WITHIN TEN FEET (10') OF ANY ELECTRIC LINE. IF THE CONTRACTOR MUST OPERATE CLOSER THAN TEN FEET (10') OF ANY ELECTRIC LINE, IF THE CONTRACTOR MUST MAKE ARRANGEMENTS FOR PROTECTIVE SCREENING TO OPERATE AT LEAST TEN FEET (10') FROM THE LINE.
7. THE CONTRACTOR SHALL RESTORE ALL UTILITIES, STRUCTURES, PIPE, UTILITIES, PAVEMENT, CURBS, SIDEWALKS, AND LANSCAPED AREAS DISTURBED BY CONSTRUCTION TO AS GOOD AS BEFORE BEING DISTURBED BY CONSTRUCTION.
8. ALL EXCAVATION SHALL BE BACKFILLED TO EXISTING GRADE BEFORE THE END OF THE DAY OR ADEQUATELY PROTECTED FROM DANGER TO HUMANS AND ANIMALS.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL FIELD LAYOUT. THE OWNER WILL PROVIDE A BENCH MARK AT THE CONSTRUCTION SITE FROM WHICH TO BEAN LAYOUT.
10. THE CONTRACTOR SHALL RESTORE ALL UTILITIES, STRUCTURES, PIPE, UTILITIES, PAVEMENT, CURBS, SIDEWALKS, AND LANSCAPED AREAS DISTURBED BY CONSTRUCTION TO AS GOOD AS BEFORE BEING DISTURBED BY CONSTRUCTION.
11. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF APPROVED BY THE OWNER AND APPROVED BY THE OWNER'S DESIGN ENGINEER, AND APPROPRIATE GOVERNMENTAL AGENCY PRIOR TO INSTALLATION.
12. THE CONTRACTOR SHALL RESTORE ALL UTILITIES, STRUCTURES, PIPE, UTILITIES, PAVEMENT, CURBS, SIDEWALKS, AND LANSCAPED AREAS DISTURBED BY CONSTRUCTION TO AS GOOD AS BEFORE BEING DISTURBED BY CONSTRUCTION.
13. ALL EXCAVATION SHALL BE BACKFILLED TO EXISTING GRADE BEFORE THE END OF THE DAY OR ADEQUATELY PROTECTED FROM DANGER TO HUMANS AND ANIMALS.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL FIELD LAYOUT. THE OWNER WILL PROVIDE A BENCH MARK AT THE CONSTRUCTION SITE FROM WHICH TO BEAN LAYOUT.
15. THE CONTRACTOR SHALL RESTORE ALL UTILITIES, STRUCTURES, PIPE, UTILITIES, PAVEMENT, CURBS, SIDEWALKS, AND LANSCAPED AREAS DISTURBED BY CONSTRUCTION TO AS GOOD AS BEFORE BEING DISTURBED BY CONSTRUCTION.
16. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
17. A PRE-CONSTRUCTION CONFERENCE WITH THE OWNER, DESIGNERS, TOWN OFFICIALS AND CONTRACTOR SHALL BE REQUIRED BEFORE ANY CONSTRUCTION OCCURS ON THE PROJECT.
18. PROPER MAINTENANCE AND MAINTENANCE OF EROSION CONTROL MEASURES ARE OF THE CONTRACTOR'S RESPONSIBILITY THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF EROSION CONTROL MEASURES WITH THE OWNER (ON SITE OR TELECONFERENCE) UNTIL PROJECT COMPLETION.

DESIGNED: ED
DRAWN: TD
DATE: 2-20-12
CADD FILE: 11-071-C1.DWG
PROJECT NUMBER: 11-071

EXISTING CONDITIONS PLAN

SHEET TITLE

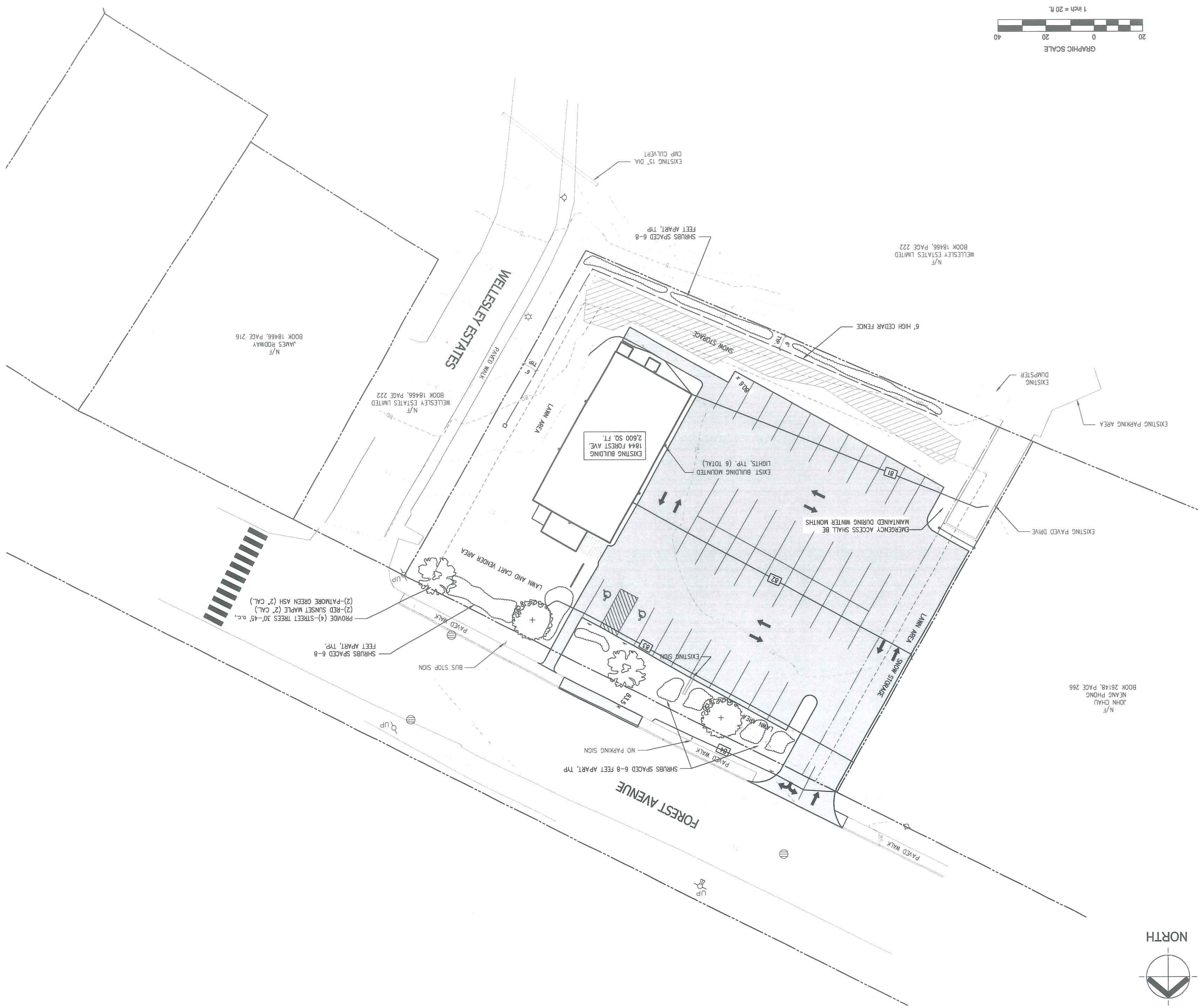
REVISIONS table with columns for No., Date, Issue, and Description. Includes revisions for planning reviews.

1844 FOREST AVENUE
PORTLAND
MAINE

PRELIMINARY
NOT FOR CONSTRUCTION

CLIENT: GABRIEL ZAPPA
18 COTTAGE LANE
CAPE ELIZABETH, ME 04107
PHONE 207.842.2800
FAX 207.842.2828
WWW.CASCOBAYENGINEERING.COM





LEGEND	EXISTING	PROPOSED
GRANITE MONUMENT - 3' OFFSET	□	□
IRON PIN FOUND/SET	○	○
IRON ROD FOUND	○	○
CAVED IRON ROD FOUND	○	○
DRILL HOLE FOUND	○	○
GRANITE MONUMENT FOUND	□	□
STREET LINE	---	---
LOT SETBACKS	---	---
PROPERTY LINE	---	---
ABUTTOR LINE	---	---
"NO CUT" BUFFER	---	---
WETLANDS	---	---
EDGE OF ROAD/TRAVELED WAY	---	---
SOIL TEST PIT	○	○
CONTOUR	---	---
SPOT GRADE	---	---
GAS SHUT-OFF	---	---
UTILITY POLE	---	---
OVERHEAD ELECTRICAL	---	---
UNDERGROUND ELECTRICAL	---	---
ELECTRICAL TRANSFORMER	---	---
FIRE HYDRANT	---	---
WATER LINE	---	---
WATER GATE	---	---
SEWER LINE	---	---
SEWER MANHOLE	---	---
SEWER MANHOLE	---	---
DRAINAGE MANHOLE	---	---
CATCH BASIN	---	---
UNDERDRAIN/STORMDRAIN	---	---
UNDERDRAIN	---	---
SILT FENCE	---	---
TEMP. STONE CHECK DAM	---	---
GROUND AND	---	---
FLOW DIRECTION	---	---
HAY BALES	---	---
EROSION CONTROL BLANKET	---	---
STORMWATER BOUNDARY	---	---
STORMWATER FLOW (ft)	---	---
FACE OF LEVEE OUTSLOPE	---	---
BIRCH	---	---
MAPLE	---	---
TREE LINE	---	---
SITE LIGHTING	---	---
STONE WALL	---	---

1844 FOREST AVENUE
PORTLAND
MAINE

PRELIMINARY
NOT FOR CONSTRUCTION

CLIENT:
GABRIEL ZAPPIA
18 COTTAGE LANE
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CASCO BAY ENGINEERING
424 Fore Street
Portland, ME 04101
Phone 207.842.2800
Fax 207.842.2828
www.cascobayengineering.com

LANDSCAPE PLAN

DESIGNED: ED
DRAWN: TD
DATE: 2-20-12
CADD FILE: 11-071-C1.DWG
PROJECT NUMBER: 11-071

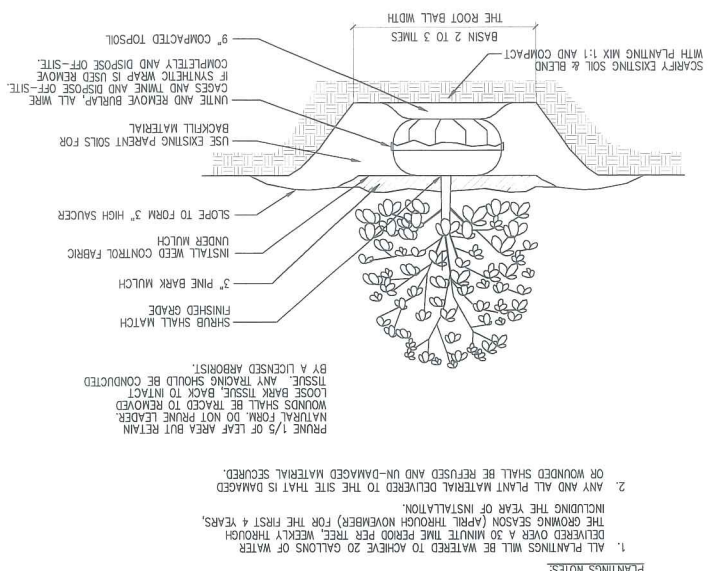
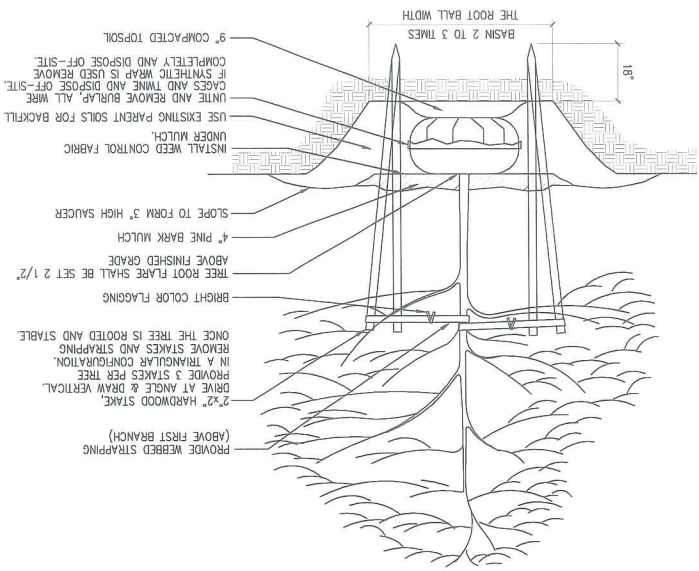
SHEET TITLE

No.	DATE	ISSUE
A	8-28-12	FOR PLANNING REVIEW
B	1-31-12	FOR PLANNING REVIEW
C	5-13-14	FOR PLANNING REVIEW

REVISIONS

C102

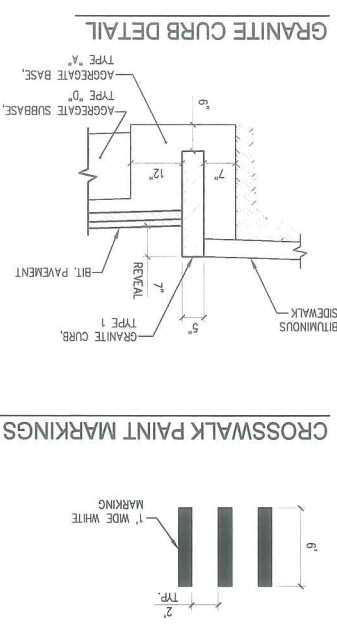
TYPICAL TREE/SHRUB PLANTING DETAILS



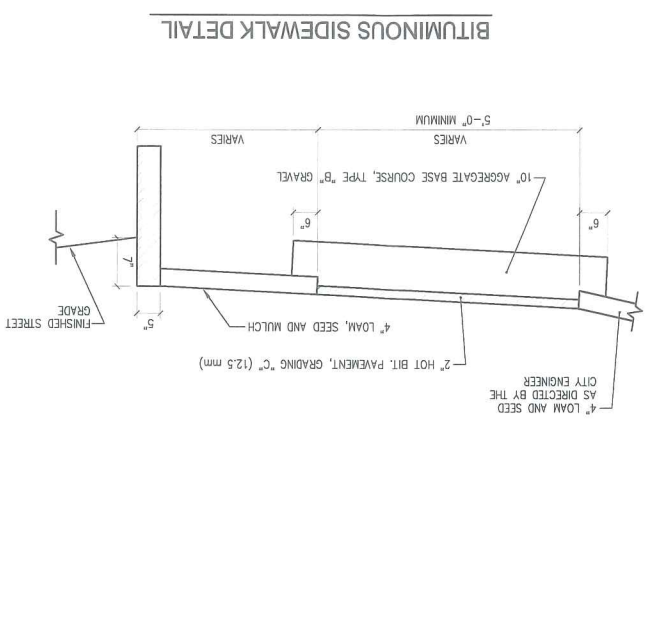
PLANTING NOTES:
 1. ALL PLANTINGS WILL BE WATERED TO ACHIEVE 20 GALLONS OF WATER DELIVERED OVER A 30 MINUTE PERIOD FOR THE FIRST 4 YEARS. THE GROWING SEASON (APRIL THROUGH NOVEMBER) FOR THE FIRST 4 YEARS, INCLUDING THE YEAR OF INSTALLATION.
 2. ANY AND ALL PLANT MATERIAL DELIVERED TO THE SITE THAT IS DAMAGED OR WOUNDED SHALL BE REFUSED AND UN-DAMAGED MATERIAL SECURED.

NTS

DETAILS

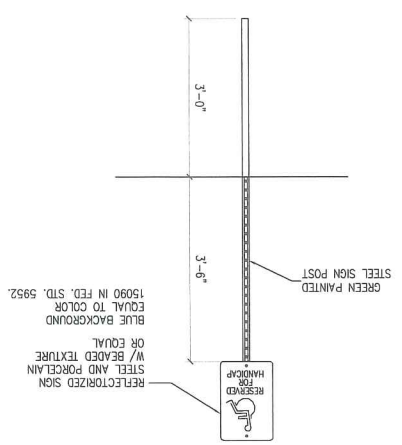


CROSSWALK PAINT MARKINGS



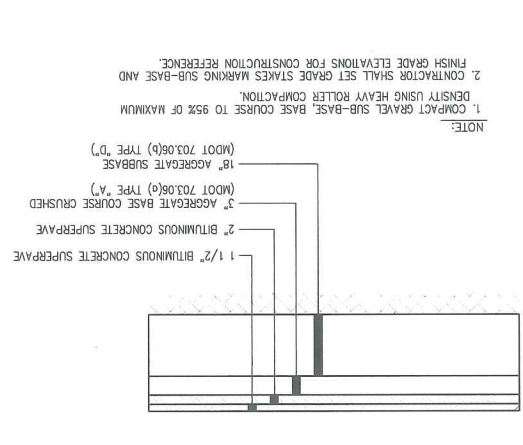
NTS

TYPICAL HANDICAP SIGN DETAIL



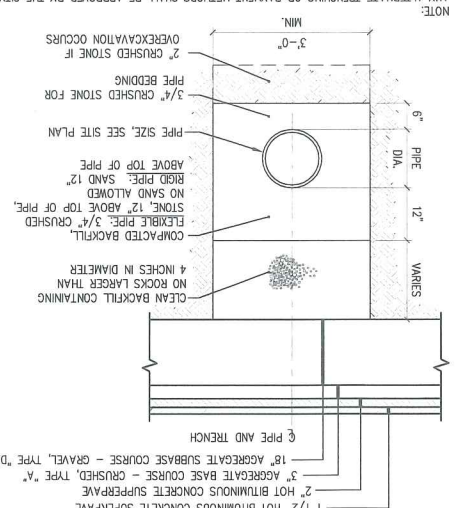
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TYPICAL PAVED PARKING DETAIL



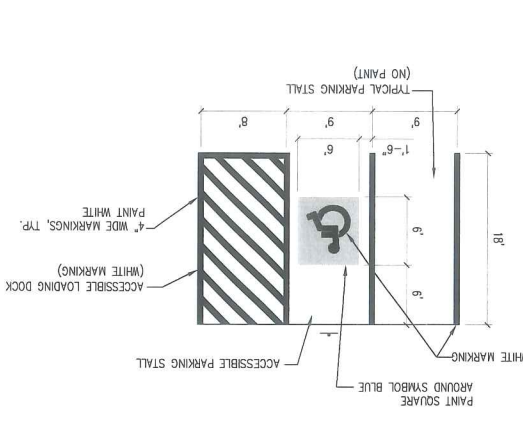
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UNDERGROUND PIPE TRENCH DETAIL



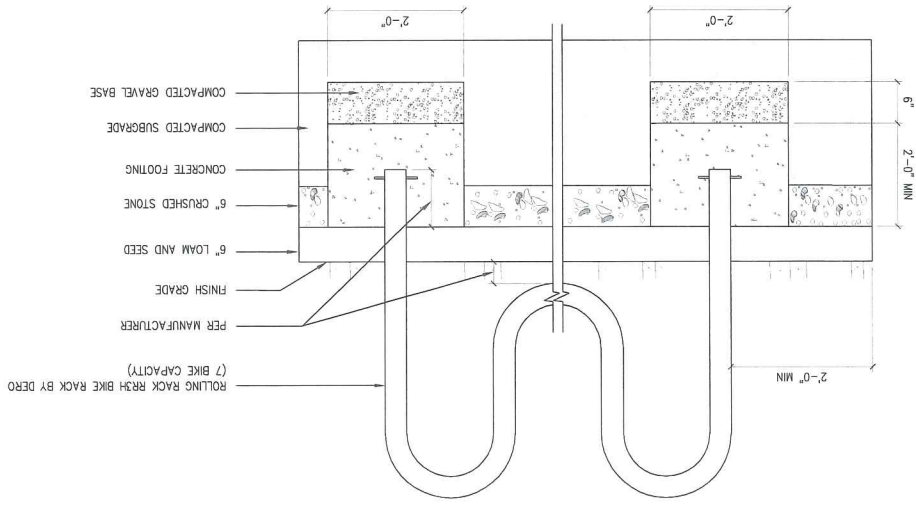
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TYPICAL PARKING SPACE DETAIL



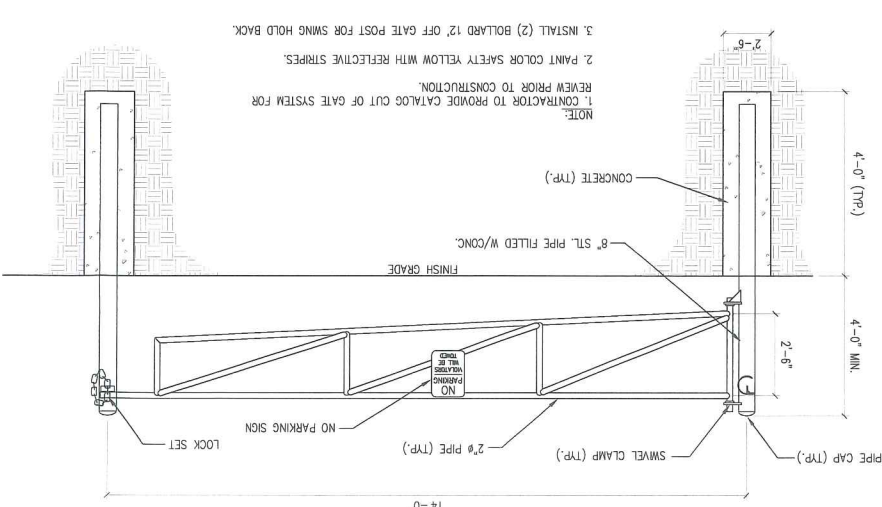
NTS

BIKE RACK DETAIL



NTS

TYPICAL GATE DETAIL



NTS

C200

DESIGNED: ED
 DRAWN: TD
 DATE: 10-31-11
 CAD FILE: 11-071-DETAILS.DWG
 PROJECT NUMBER: 11-071

SITE DETAILS

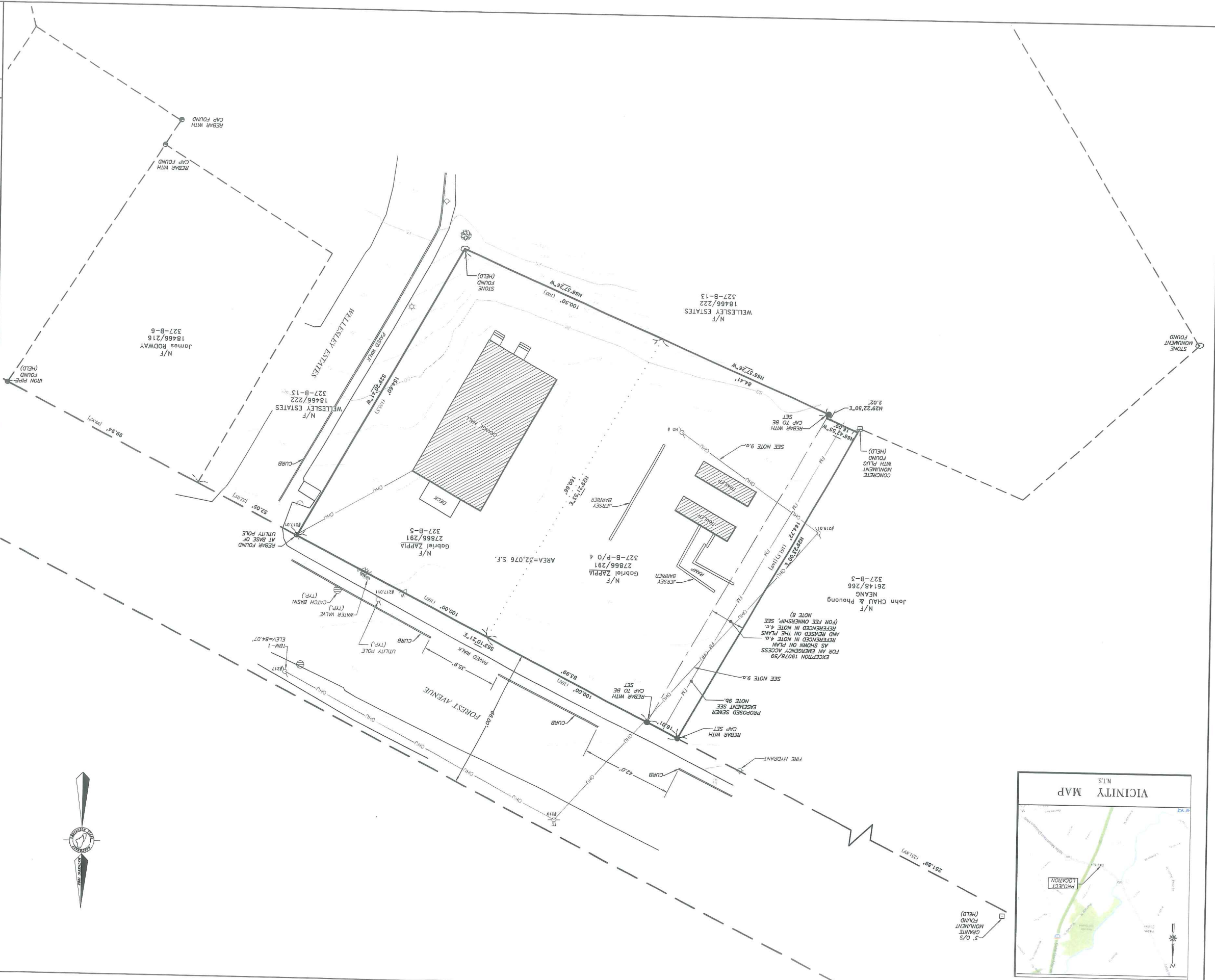
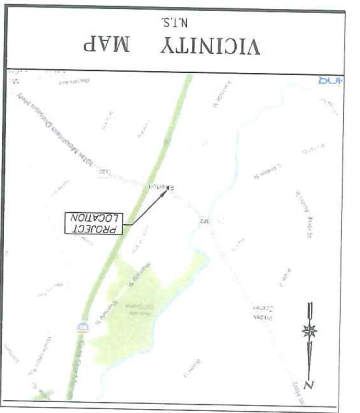
NO.	DATE	ISSUE
A	02-28-12	FOR PLANNING REVIEW
B	02-28-14	FOR PLANNING REVIEW
C	05-03-14	FOR PLANNING REVIEW

1844 FOREST AVENUE
 PORTLAND
 MAINE

PRELIMINARY
 NOT FOR CONSTRUCTION

CLIENT:
 GABRIEL ZAPPA
 18 COTTAGE LANE
 CAPE ELIZABETH, ME 04107
 424 Fore Street
 Portland, ME 04101
 Phone 207.642.2800
 Fax 207.642.2828
 www.cascobayengineering.com





DATE: *1/10/14*

NAME: *JOHANN BUSHMAN*

PLS. NO. 1314

STAMP AND SIGNATURE

BOUNDARY SURVEY

Client: **GABRIEL ZAPPIA**
1844 FOREST AVENUE, PORTLAND, MAINE

Project: **3313 Forest Ave**

DRAWING NAME: 3313.DWG
SCALE: 1"=20'
DATE: FEBRUARY 10, 2012
DRAWN BY: ADA

NO.	DATE	BY	DESCRIPTION
1	2-10-12	ADA	ISSUED FOR PERMIT
2	2-13-12	ADA	REVISED TO ADD
3	1/10/14	ADA	REVISED PER CITY ENGINEER AND RECORDS DEPARTMENT OF ACCESS CONTROL DATA

NOTES

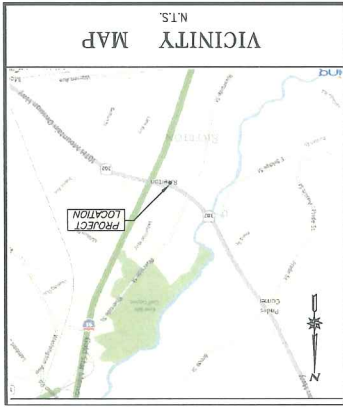
- THE BASIS OF BEARING FOR THIS SURVEY IS MAGNETIC 1988 FROM PLAN REFERENCED IN NOTE 4.
- DEED AND PLAN BOOK REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
- RECORD OWNERSHIP OF THE PARCEL SURVEYED CAN BE FOUND IN A DEED FROM MAINE STATE GRANTEE PARONS OF HUSBANDRY TO GABRIEL ZAPPIA DATED JUNE 23, 2010 AND RECORDED IN DEED BOOK 27866, PAGE 292.
- REFERENCE IS MADE TO THE FOLLOWING PLANS:
 - AMENDED SUBDIVISION PLAN ON FOREST AVENUE, PORTLAND, MAINE, BY OWEN HASKELL, INC., DATED OCTOBER 8, 2009 AND RECORDED IN PLAN BOOK 202, PAGE 744.
 - PORTLAND RIGHT OF WAY MAP EXEMPTED STATE HIGHWAY 14 U.S. ROUTE 302/FOREST AVENUE, BY STATE OF MAINE DEPARTMENT OF TRANSPORTATION, SHEET 2 OF 3, DATED JUNE 2010.
 - VARIOUS PLANS PROVIDED BY THE CITY OF PORTLAND ENGINEERING DEPARTMENT CREATED BY CASCO BAY ENGINEERING, DATED FEBRUARY 20, 2012.
 - THE PARCEL SURVEYED IS IDENTIFIED ON THE CITY OF PORTLAND TAX ASSESSORS' MAP 227, BLOCK B, PARCEL 5.
- THE PARCEL SURVEYED IS LOCATED IN THE B-2 ZONE/PRESTRICT, PORTIONS OF BULK AND SPACE REQUIREMENTS FOR NON RESIDENTIAL USE ARE AS FOLLOWS:

MINIMUM LOT SIZE	10,000 S.F.
MINIMUM STREET FRONTAGE	50'
MINIMUM FRONT YARD	NONE
MINIMUM REAR YARD	20' ABUTTING RESIDENTIAL USE
MINIMUM SIDE YARD	10'
- THE WIDTH AND LAYOUT OF ROUTE 302/FOREST AVENUE IS 66' WIDE AND FROM PLANS ACQUIRED FROM THE CITY OF PORTLAND ENGINEERING DEPARTMENT.
- FEES INTEREST IN THE STRIP WAS FOUND IN A DEED FROM WELLESLEY ESTATES LIMITED PARTNERSHIP TO GABRIEL ZAPPIA, DATED APRIL 4, 2013 AND RECORDED IN DEED BOOK 30532, PAGE 150.
- REFERENCE IS MADE TO THE FOLLOWING EXEMPTS OF RECORD:
 - AN EXEMPT FROM 217.1 TO 217.2 TO CENTRAL MAINE POWER COMPANY AND NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY, DATED OCTOBER 21, 1971 AND RECORDED IN DEED BOOK 3216, PAGE 379 TO CONSTRUCT ERECT, OPERATE, MAINTAIN AND REMOVE ELECTRIC DISTRIBUTION AND COMMUNICATION LINES. UPON FIELD INSPECTION, THESE POLE NUMBERS WERE NOT FOUND. THERE IS AN OVERHEAD LINE ORIGINATING AT POLE #219 CROSSING THE PROPERTY TO POLE #213 ON THE ADJUTING PROPERTY. THE LOCATION OF THE INTENDED EXEMPT.
11. THE UTILITIES SHOWN ON THIS PLAN WERE FROM FIELD OBSERVATION ONLY. THERE MAY BE OTHER UTILITIES EXISTING THAT ARE NOT SHOWN. CONTACT DIGSAFE (800)542-5426 PRIOR TO ANY EXCAVATION WORK.

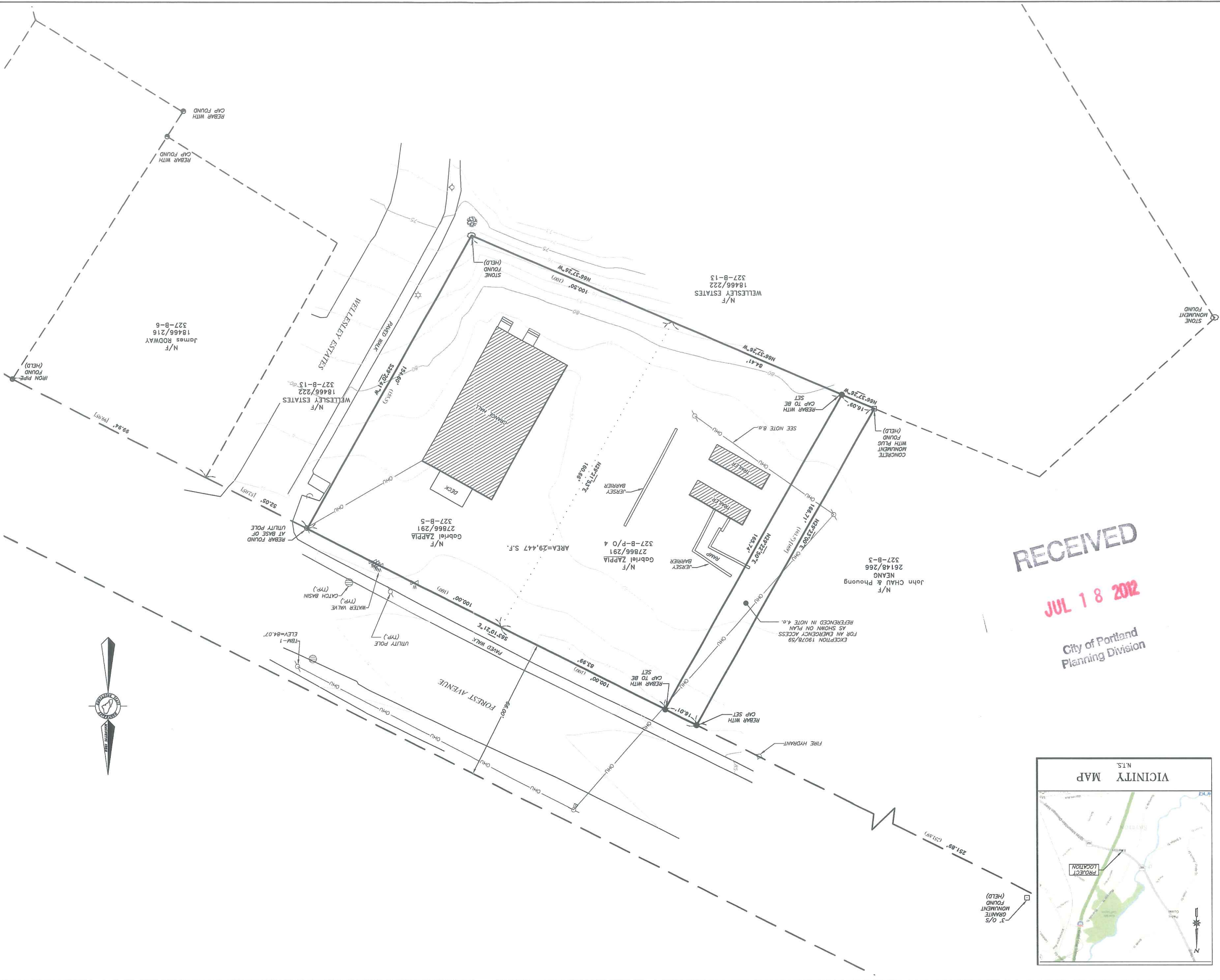
LEGEND

●	#5 REBAR WITH PLASTIC CAP STAMPED
○	N.C.S. INC. PLS 1314 SET ON 2/9/12
○	FOUND MONUMENT (SIZE & TYPE AS NOTED)
○	FOUND IRON ROD
○	FOUND IRON ROD (NUMBER AS NOTED)
○	UTILITY POLE (NUMBER AS NOTED)
○	OUT WIRE ANCHOR
—	BOUNDARY LINE
—	EXHIBIT LINE
—	EDGE OF PARCELT
—	RIGHT-OF-WAY LINE
—	ADJUTER LINE
—	OVERHEAD UTILITY
—	N/F
—	DEED BOOK AND PAGE (CIRD)
—	TAX MAP-BLOCK-LOT
—	12-3-45
—	122841
—	122841

153 US ROUTE 1, SCARBOROUGH, MAINE 04074
 603.883.2227
 info@northeastcivilsolutions.com



RECEIVED
JUL 18 2012
 City of Portland
 Planning Division



DATE: 7/10/12
 DRAWN BY: ADA
 PROJECT: 3313 Forest Ave

BOUNDARY SURVEY
 1844 FOREST AVENUE, PORTLAND, MAINE
GABRIEL ZAPPIA
 1844 FOREST AVENUE, PORTLAND, MAINE
GABRIEL ZAPPIA
 1844 FOREST AVENUE, PORTLAND, MAINE

STAMP AND SIGNATURE

153 US ROUTE 1, SCARBOROUGH, MAINE 04074
 INCORPORATED
Northeast Civil Solutions
 SURVEYING ENGINEERING LAND PLANNING

1st 207.883.1000
 Fax 207.883.1001
 info@northeastcivilsolutions.com

DATE: 7/10/12
 H. JOHANN BUSMAN
 MAINE REG. NO. 1314

1" = 20'

LEGEND

- #5 REBAR WITH PLASTIC CAP STAMPED
- "NCS, INC. PLS 1314" SET ON 2/9/12
- FOUND IRON PIPE (SIZE & TYPE AS NOTED)
- FOUND MONUMENT (SIZE & TYPE AS NOTED)
- FOUND IRON ROD
- FOUND IRON ROD (NUMBER AS NOTED)
- FOUND CAPED IRON ROD (NUMBER AS NOTED)
- UTILITY POLE (NUMBER AS NOTED)
- GUY WIRE ANCHOR
- BOUNDARY LINE
- EASEMENT LINE
- EDGE OF GRAVEL
- EDGE OF PAVEMENT
- RIGHT-OF-WAY LINE
- ABUTTER LINE
- OVERHEAD UTILITY
- NOW OR FORMERLY OWNED BY
- DEED BOOK AND PAGE (CCRD)
- TAX MAP-BLOCK-LOT
- PARENTHESIS DENOTE RECORD DEED DATA
- PARENTHESIS DENOTE RECORD DEED DATA

NOTES

1. THE BASIS OF BEARING FOR THIS SURVEY IS MAGNETIC 1968 FROM PLAN REFERENCED IN NOTE 4.c.
2. DEED AND PLAN BOOK REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
3. RECORD OWNERSHIP OF THE PARCEL SURVEYED CAN BE FOUND IN A DEED FROM 2010 AND RECORDED IN DEED BOOK 27866, PAGE 292.
4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
 - a. AMENDED SUBDIVISION PLAN ON FOREST AVENUE, PORTLAND, MAINE, BY OWEN HAZELL, INC., DATED OCTOBER 9, 2002 AND RECORDED IN PLAN BOOK 202, PAGE 744.
 - b. PORTLAND RIGHT OF WAY MAP ENTITLED STATE HIGHWAY 14 U.S. ROUTE 302, DEPARTMENT OF TRANSPORTATION, SHEET 2 OF 2, DATED JUNE 2010.
 - c. VARIOUS PLANS PROVIDED BY THE CITY OF PORTLAND ENGINEERING DEPARTMENT.
5. THE PARCEL SURVEYED IS IDENTIFIED ON THE CITY OF PORTLAND TAX ASSESSORS' MAP 327, BLOCK B, PARCEL 5.
6. THE PARCEL SURVEYED IS LOCATED IN THE 9-2 ZONE/DISTRICT PORTIONS OF BULK AND SPACE REQUIREMENTS FOR NON RESIDENTIAL USE ARE AS FOLLOWS:
 - MINIMUM LOT SIZE 10,000 S.F.
 - MINIMUM STREET FRONTAGE 50'
 - MINIMUM FRONT YARD 15.00'
 - MINIMUM REAR YARD 20'
 - MINIMUM SIDE YARD 10'
7. THE WIDTH AND LAYOUT OF ROUTE 302/FOREST AVENUE IS 66' WIDE AND FROM PLANS ACQUIRED FROM THE CITY OF PORTLAND ENGINEERING DEPARTMENT.
8. REFERENCE IS MADE TO THE FOLLOWING EASEMENTS OF RECORD:
 - a. AN EASEMENT FROM 217.1 TO 217.2 TO CENTRAL MAINE POWER COMPANY AND NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY TO CONSTRUCT, ERECT, OPERATE, MAINTAIN AND REMOVE ELECTRIC DISTRIBUTION AND COMMUNICATION LINES.
9. ELEVATIONS AND CONTOURS ARE BASED ON NGVD 1988. SEE PLAN FOR TBM DESCRIPTION.
10. THE UTILITIES SHOWN ON THIS PLAN WERE FROM FIELD OBSERVATION ONLY. THERE MAY BE OTHER UTILITIES EXISTING THAT ARE NOT SHOWN. CONTACT DIS-SAFE (888)835-5462 PRIOR TO ANY EXCAVATION WORK.

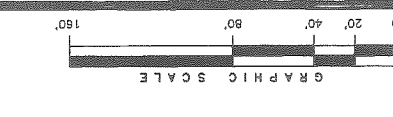
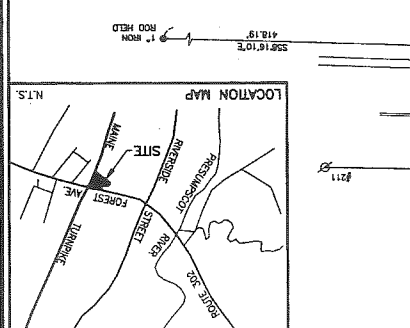
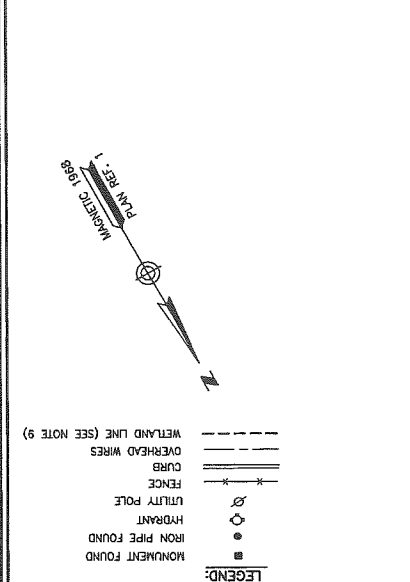
1" = 20'

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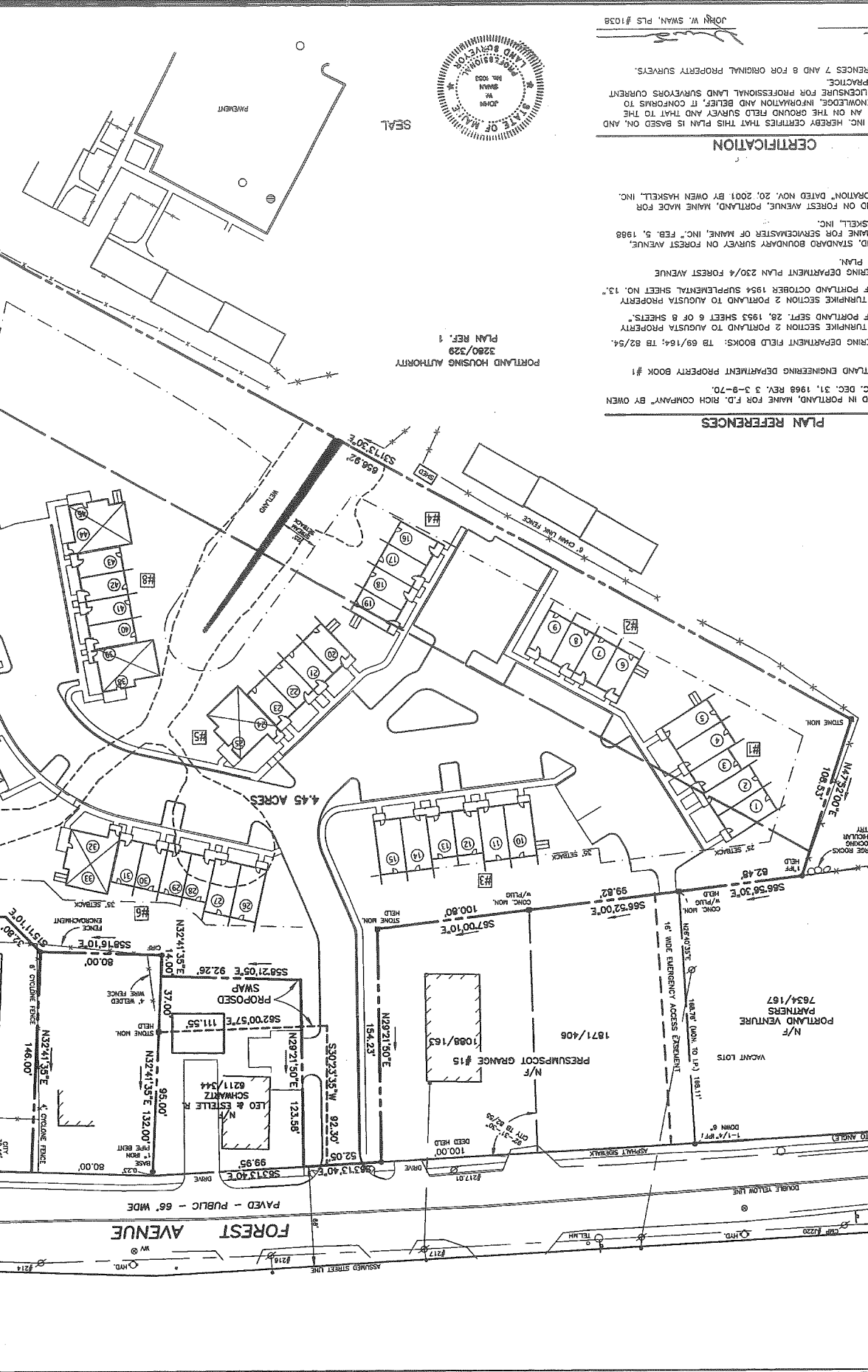
AMENDED SUBDIVISION PLAN
 ON
 FOREST AVENUE, PORTLAND, MAINE
 OWNER: WELLESLEY ESTATES, LLC
 c/o ADAM DEVELOPMENT COMPANY
 34 PREBLE STREET, PORTLAND, ME 04101
OWEN HASKELL, INC.
 16 CAREY ST., PORTLAND, ME 04101 (207) 774-0424
 PROFESSIONAL LAND SURVEYORS
 Drawn By: JCS
 Check By: JWS
 Date: OCT. 8, 2002
 Scale: 1" = 40'
 Book No. 414
 Drawg. No. 1A

REV. 2 12-18-02 REVISED SETBACK LINE
 REV. 1 11-15-02 INCREASE REMAINING LAND OF LINK
 THIS PLAN IS A SECOND AMENDED PLAN
 REFLECTING A CHANGE TO THE SETBACK LINE
 ON THE NORTHWEST CORNER OF THE PROPERTY.
 IN THE ORIGINAL AMENDMENT REFLECTED A CHANGE
 IN THE PROPERTY BOUNDARY.
 THIS PLAN IS A REVISION OF THE
 SUBDIVISION PLAN SIGNED BY THE
 PLANNING BOARD ON OCTOBER 22, 2002

CHANGES REFLECTED ON THIS AMENDED SUBDIVISION
 PLAN HAVE BEEN REVIEWED AND APPROVED BY
 THE DIRECTOR OF PLANNING AND DEVELOPMENT
 DATE: 12/18/02



State of Maine, Cumberland SS.
 Registered Professional Land Surveyor
 Received Dec 18 2002
 at 3:30pm
 Plan Book 414 Page 1A
 Address: Owen Haskell, Inc.
 16 Carey St., Portland, ME 04101



DATE: 12-17-02
 JOHN W. SWAN, PLS #1038

CERTIFICATION
 OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ORIGINAL FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE STANDARDS OF PRACTICE.
 SEE PLAN REFERENCES 7 AND 8 FOR ORIGINAL PROPERTY SURVEYS.
 A SUBDIVISION SHALL BE DEFINED AS THE DIVISION OF A LOT, TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE LOTS, INCLUDING OF FORTY (40) ACRES OR MORE, WITHIN ANY FIVE-YEAR PERIOD WHETHER ACCOMPLISHED BY SALE, LEASE, DEVELOPMENT, BUILDINGS OR OTHERWISE AND AS FURTHER DEFINED IN 30-A M.R.S.A. SECTION 4401. THE TERM SUBDIVISION SHALL INCLUDE PART OF A STRUCTURE WHICH, THROUGH EXISTING STRUCTURE IS DEEMED TO BE A NEW STRUCTURE FOR THE PURPOSES OF AN UNITS WITHIN A FIVE-YEAR PERIOD. THE AREA INCLUDED IN THE EXPANSION OF AN STRUCTURES ON A TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE DWELLING STRUCTURES OR PARCEL OF LAND INTO THREE (3) OR MORE DWELLING UNITS SHALL INCLUDE PART OF A STRUCTURE WHICH, THROUGH PARAGRAPH 1, IS INTENDED FOR MULTIFAMILY HOUSING INCLUDING SINGLE-FAMILY AND MULTIFAMILY HOUSING CONDOMINIUMS, TIME-SHARE UNITS AND APARTMENTS.

1. PLAN OF LAND IN PORTLAND, MAINE FOR F.D. RICH COMPANY BY OWEN HASKELL, INC. DEC. 31, 1988 REV. 3-8-70.
2. CITY OF PORTLAND ENGINEERING DEPARTMENT PROPERTY BOOK #1 PAGE 47.
3. CITY ENGINEERING DEPARTMENT FIELD BOOKS: TB 69/164; TB 82/54; TB 82/54.
4. "1A" MAINE TURNPIKE SECTION 2 PORTLAND TO AUGUSTA PROPERTY EXCAVATION OR REGRADING.
5. "1A" MAINE TURNPIKE SECTION 2 PORTLAND TO AUGUSTA PROPERTY SITE PLAN, APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATIONS TO OR DEVIATIONS FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION, TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODS OR LAWN AREAS, ACCESS SIZE, LOCATION AND SURFACING OF PARKING AREAS, AND LOCATION AND SIZE OF BUILDINGS.
7. PLAN OF LAND, STANDARD BOUNDARY SURVEY BY OWEN HASKELL, INC., FEB. 5, 1988 PORTLAND, MAINE FOR SEMINARMASTER OF MAINE, INC.
8. PLAN OF LAND ON FOREST AVENUE, PORTLAND, MAINE MADE FOR MINOT CORPORATION DATED NOV. 20, 2001 BY OWEN HASKELL, INC.
17. ALL ELECTRIC, TELEPHONE, AND CABLE T.V. SERVICES SHALL BE UNDERGROUND AND IN CONFORMANCE WITH POWER CO., TELEPHONE CO. AND CABLE T.V. CO. STANDARDS.
19. WELLESLEY ESTATES IS A PRIVATE DEVELOPMENT. LIGHTING, TRASH REMOVAL, SNOW REMOVAL AND STREET MAINTENANCE WILL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION.
20. SOIL WASTE REMOVAL SHALL BE CURBSIDE PICKUP BY PRIVATE CONTRACTOR.
21. A SUBDIVISION SHALL BE DEFINED AS THE DIVISION OF A LOT, TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE LOTS, INCLUDING OF FORTY (40) ACRES OR MORE, WITHIN ANY FIVE-YEAR PERIOD WHETHER ACCOMPLISHED BY SALE, LEASE, DEVELOPMENT, BUILDINGS OR OTHERWISE AND AS FURTHER DEFINED IN 30-A M.R.S.A. SECTION 4401.

- PLAN REFERENCES**
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 2. CITY OF PORTLAND ENGINEERING DEPARTMENT PROPERTY BOOK #1 PAGE 47.
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- GENERAL NOTES**
1. THE RECORD OWNER OF THE PROPERTY IS DONALD N. LINK, BY DEED RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS BOOK 15620 PAGE 122.
 2. LOCUS IS SHOWN AS LOTS B-7 AND B-8 ON CITY OF PORTLAND ASSESSORS MAP 327.
 3. FOREST AVENUE FIXED FROM IRON MONUMENT AND TIES SHOWN ON CITY ENGINEERING DEPARTMENT BLUE SHEETS.
 4. BEARINGS ARE MAGNETIC 1988 AS BASED ON MONUMENTS FOUND AS SHOWN ON PLAN REFERENCE 1.
 5. SURVEY EQUIPMENT: NIKON NTD30, ND20.
 6. NO MONUMENTS FOUND ON TURNPIKE LAND - FENCES HELD.
 7. ALL UNDERGROUND UTILITIES ARE APPROXIMATE. DIG SAFE SHOULD BE CONTACTED PRIOR TO ANY EXCAVATION.
 8. FENCE ENCROACHMENT BY NAPPY MAY HAVE CREATED RIGHTS IN LAND WITHIN THAT FENCE.
 9. WETLANDS SHOWN HEREON WERE DELINEATED BY SWEET ASSOCIATES AS TAKEN FROM PLAN OF "SITE PLAN" BY ARCHITECTURE, P.A. DESIGN BY WELLESLEY ESTATES, INC. NO DELINEATION OR LOCATION BY OWEN HASKELL, INC. NOVEMBER 27, 2001.
 10. THE PROPERTY IS LOCATED IN THE CITY OF PORTLAND B-2 AND R-5 ZONES AS SHOWN ON THIS PLAN.
 11. THE SPACE AND BULK CRITERIA FOR THE R-5 ZONE IS AS FOLLOWS:
 MAX. BUILDING HEIGHT: 35 FT.
 MAX. NO. OF UNITS PER BUILDING: 12 UNITS
 MAX. LENGTH OF BUILDING: 140 FT.
 MIN. BLD. SETBACK FROM EXTERNAL PROPERTY LINE: 25 FT.
 BUILDING LENGTH 100' OR MORE: 35 FT.
 MIN. DISTANCE BETWEEN DETACHED BUILDINGS: N/A
 NET LAND AREA CALCULATIONS - R-5 ZONE (FRUD):
 GROSS AREA: 198,891 S.F.
 STORMWATER MANAGEMENT AREA: 5,251 S.F.
 WETLANDS: 0 S.F.
 INACCESSIBLE AREAS: 10,312 S.F.
 SLOPES OF 25% OR GREATER: 9,916 S.F.
 SUBTOTAL: 171,836 S.F.
 20% OF SUBTOTAL: 34,368 S.F.
 NET LAND AREA: 137,468 S.F.
 NO. OF DWELLING UNITS ALLOWED: 45.8
 TOTAL NO. OF DWELLING UNITS PROPOSED: 45

