

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that GABRIEL J ZAPPIA

Located At 1854 FOREST AVE

Job ID: 2011-11-2770-ALTCOMM

CBL: 327- B-004-001

has permission to Amend Permit # 2011-06-1396, add a plumbing chase, shower, future shower plumbing & exterior stairs provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

[Signature] 2/14/12

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Footings/Setbacks prior to pouring concrete

Close In Elec/Plmb/Frame prior to insulate or gyp

Certificate of Occupancy Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2011-11-2770-ALTCOMM

Located At: 1854 FOREST AVE

CBL: 327- B-004-001

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This use of this property shall remain as a karate studio in the basement & first floor with the second floor vacant. Any change of use shall require a separate permit application for review and approval.

Fire

1. This permit is being approved on the basis of the plans submitted and revision received on 12/28/11. Any deviation from the plans would require amendments and approval. Conditions to permit 2011-06-1396-ALTCOMM remain in effect.
2. All construction shall comply with City Code Chapter 10.
3. All vertical openings shall be protected in accordance with 101:7.1.3.2 and 101:8.6. Exits shall be completely enclosed with 60-minute fire rated constructions and opening protectives; including walls and floor/ceiling assemblies.
4. This permit is for change of use only; any construction shall require additional permits. The occupancy shall comply with City Code Chapter 10 upon inspection.
5. Application requires State Fire Marshal approval.
6. A firefighter Building Marking Sign is required.
7. Fire extinguishers are required per NFPA 10.
8. Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit and on the same circuit as the lighting for the area they serve.
9. Walls in structure are to be labeled according to fire resistance rating. IE; 1 hr. / 2 hr. / smoke proof.
10. A single source supplier should be used for all through penetrations.

Building

1. Application approval based upon information provided by applicant, including revisions received as dated. Any deviation from approved plans requires separate review and approval prior to work.
2. Permit approved based on the plans submitted and reviewed w/owner/ contractor, with additional information as agreed on and as noted on plans.
3. The specifications by the engineer for the stage beam, columns, fastening and footings on the drawing submitted 12/2/11 is to be required to be followed. The change that Gabriel Z. noted in the accompanying email is not approved. Any deviation will require the approval from the engineer and drawings submitted to this office for review.
4. All conditions from the previous permit apply.



General Building Permit Application

2011 11 2970

entered 11/28/11

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

1840

Location/Address of Construction: <u>1854 Forest Ave</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>307 B 004</u>	Applicant * <u>must be owner, Lessee or Buyer*</u> Name <u>Gabriel Zappia</u> Address <u>18 Cottage Ln</u> City, State & Zip <u>Cape Elizabeth, ME</u>	Telephone: <u>615-1399</u>
Lessee/DBA (If Applicable) RECEIVED NOV 22 2011	Owner (if different from Applicant) Name <u>same</u> Address City, State & Zip	Cost Of Work: \$ <u>7,000</u> C of O Fee: \$ <u>100.00</u> Total Fee: \$ <u>100.00</u>
Dept. of Building Inspections Current legal use (i.e. <u>single family</u>) <u>under construction</u> Number of Residential Units <u>0</u> If vacant, what was the previous use? <u>Garage</u> Proposed Specific use: <u>Dojo</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>amendment adding a chase, a shower, and future stairway (40 stairs)</u> - <u>shipped well fire rated stair for when stairs enclosed.</u>		
Contractor's name: <u>John Gabriel Zappia - GC</u> Address: _____ City, State & Zip _____ Telephone: _____ Who should we contact when the permit is ready: <u>Gabriel</u> Telephone: <u>615-1399</u> Mailing address: _____		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 11-22-11

This is not a permit; you may not commence ANY work until the permit is issue

Permit # 2011-11-277c
327-B-004

Ann Machado - Re: 1854 Forest Ave - Fire Alarm Wiring

From: Gabriel <gabriel.zappia@gmail.com>
To: Ann Machado <AMACHADO@portlandmaine.gov>
Date: 12/20/2011 3:57 PM
Subject: Re: 1854 Forest Ave - Fire Alarm Wiring
CC: Benjamin Wallace <wallaceb@portlandmaine.gov>

Ann,

There is no change of use. The machine symbols were added to the drawings at the request of a fire official (so I'm told) because there was no category for "punching bag" to calculate the maximum capacity (I think that was the issue).

What will really exist in that space is the following:

- The main floor will be open space, for kata training.
- The basement will have a punching bag every few feet for kicking and punching. (There isn't a category for that?) Basement will also contain the baths and 2 showers.
- The attic is "unused and padlocked," per verbal agreement with Barbara. That padlock is in place.

This has always been the plan for Phase I.

Thanks Ann.

--

Gabriel Zappia
(207) 615-1399

On Tue, Dec 20, 2011 at 11:57 AM, Benjamin Wallace <wallaceb@portlandmaine.gov> wrote:

Hi Gabriel,

First- When I spoke with the electrician- which is the only discussion I recall about running fire alarm wiring for future use- there were three issues. First he didn't have a certificate of fitness from the city to run fire alarm wiring. Second I could not review an installation for fire alarm wiring in the building without knowing what the system was being designed to. Third if he had a certificate of fitness and did pull a fire alarm permit now indicating the basis for the system design, the permit is only effective for 6 months and expires unless the installation is completed. The reason is that codes do change and perhaps 1 year or 8 years down the road ADA may required pull stations or horn/strobes will have to be a different height, or the wiring may have to meet a different requirements to keep up with technology.

I did suggest that he could run conduit and back boxes for future use. Later when the system might be installed the wires could be fished thru the conduit as needed, but I could not say if code requirements might change at that time.

Second- Could you give me a call about the building permit revision? We've had a serious backlog. I'm not sure exactly what's going on with this revision and the Fire Marshal's Office may need to review the change also. Also Zoning has a question regarding if the use is different that proposed in the original permit.

Thanks,

Lt. Benjamin Wallace Jr.
Fire Prevention Officer
Portland Fire Department

Zany Notes

12-1-11 Permit is on hold. I spoke to Gabriel Zappia about the proposed work on the project description. It appears that some of the work was done without a permit and this permit is to address this. In the basement, a single shower was added by the stairs in the rear, and the rear wall was stubbed to put future showers in. On the first floor, the rear of the building was closed off to create a one hour rated stair enclosure for the future use of the second floor. The plans submitted also showed the stairs at the front entry being relocated. This was not part of the project description. Gabriel told me that the new entry landing was going to be larger to accommodate the stairs coming off the side of the landing. I told him that we needed the building plans to reflect the larger landing (6' to 8') and we needed a revised site plan because the footprint is changing. - amachado

Ann Machado - 1854 Forest Ave - LVL specification

From: Gabriel <gabriel.zappia@gmail.com>
To: Ann Machado <amachado@portlandmaine.gov>
Date: 12/2/2011 10:45 AM
Subject: 1854 Forest Ave - LVL specification
Attachments: LVL Connection.pdf

Ann,

Attached is the sketch provided by the engineer the architect hired (I don't know who, sorry). This sketch specifies the makeup of the LVL system that supports the stage span as well as additional expected future loads.

After discussion with architect, we made the brace 2" taller and replaced the bottom two bolts with 8 evenly distributed Timberlok screws for easier assembly. It is otherwise as shown in the sketch. (If you want, I can install the missing bolts, I don't think it's necessary.)

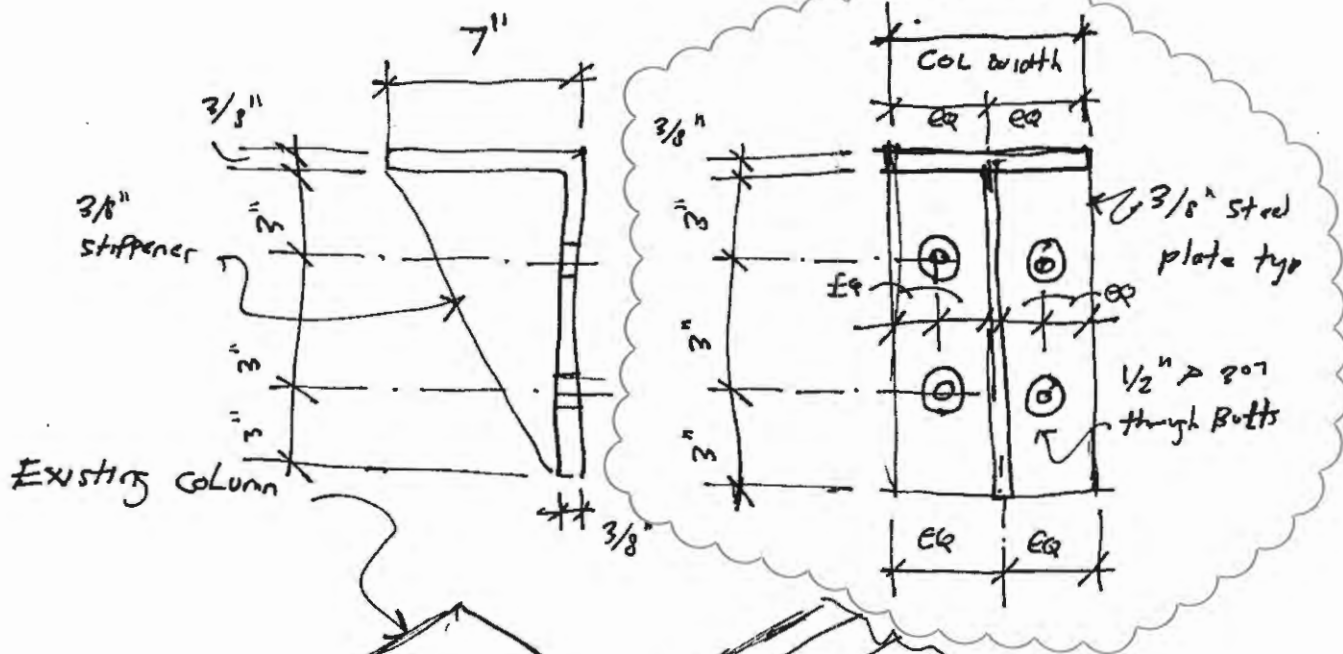
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Gabriel Zappia
(207) 615-1399

RECEIVED

DEC - 2 2011

Dept. of Building Inspections
City of Portland Maine

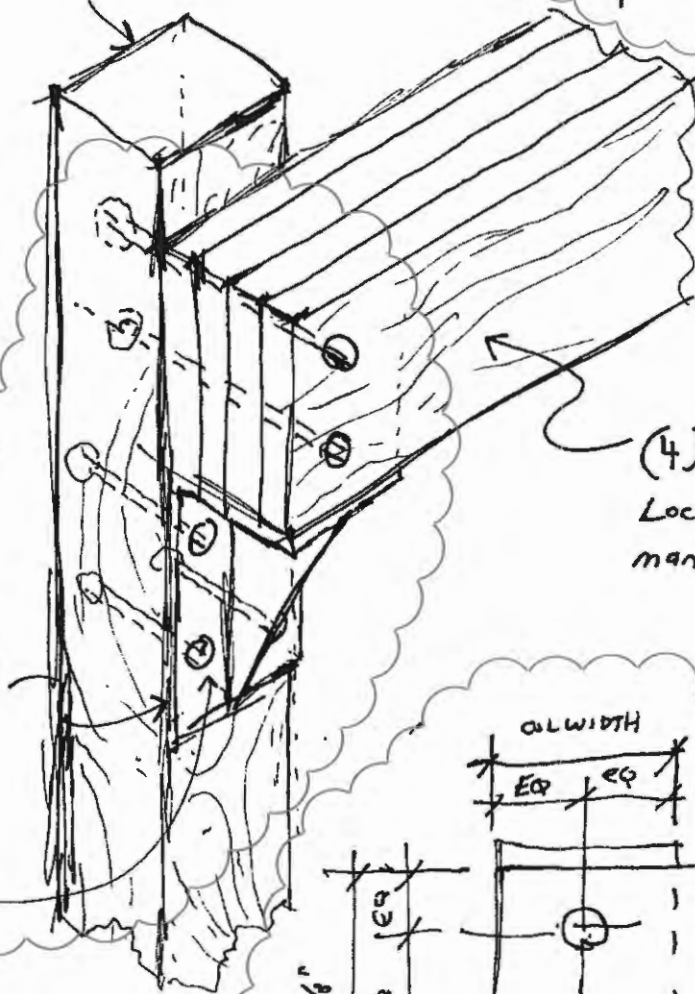


COL MUST HAVE
 A PAD THAT CAN
 SUPPORT 5 KIPS
 (5000 LB) ASSUMING
 SOIL BEARING OF
 2000 LB/SF. MIN
 30" x 30" x 10" CONC.
 PAD

RECEIVED

DEC - 2 11

Dept. of Building Inspections
 Maine

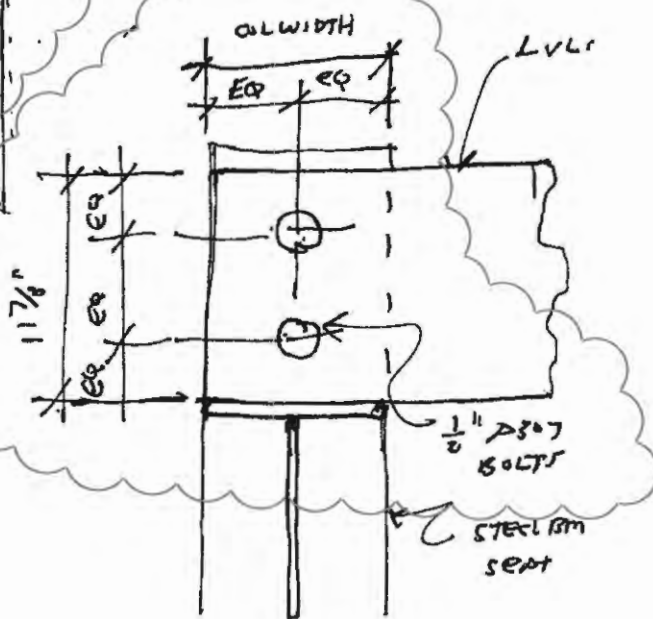


(4) 1.75" x 11.875" LVLs
 Lock together per
 manuf. instructions

Steel Beam
 Seat (see detail)

1/2" D307
 Through Bolts

Existing column must be braced
 at the top



Jeanie Bourke - Re: 1854 Forest

From: John Ossie <johno@fmccadd.com>
To: Jeanie Bourke <JMB@portlandmaine.gov>
Date: 2/13/2012 11:00 AM
Subject: Re: 1854 Forest

327-B-004

Please note on the plan if you could and I'll updated you as soon as I can.
 thanks much!

On Mon, Feb 13, 2012 at 10:00 AM, Jeanie Bourke <JMB@portlandmaine.gov> wrote:

Thanks John,
 Just note that the handrail is required on both sides of the stair, I can make a note on the plan or you can revise.
 Let me know.
 Jeanie

>>> John Ossie <johno@fmccadd.com> 2/10/2012 4:39 PM >>>
 Thanks Jeanie,
 Here is the updated drawing.

On Fri, Feb 10, 2012 at 1:59 PM, Jeanie Bourke <JMB@portlandmaine.gov> wrote:

When using multiple codes, it is always the most stringent that applies. In my tenure here, we (the building officials) have always called it like the NFPA, however, upon reading the IBC commentary I see there is a discrepancy in the description.
 Jeanie

>>> John Ossie <johno@fmccadd.com> 2/10/2012 12:43 PM >>>
 Hi Jeanie,
 I need some clarification here.
 Both codes are in play here.
 In the case of 52 Federal the NFPA would have allowed the single stair so we deferred to the IBC.
 In this case the IBC would have allowed the nosing but the NFPA did not, so we are to defer to the NFPA.
 Are we to defer to the most stringent code in every case?
 thanks
 John

On Fri, Feb 10, 2012 at 11:19 AM, Jeanie Bourke <JMB@portlandmaine.gov> wrote:

Hi John,
 I have a few comments on the details you provided:

1. While the IBC Sec. 1009.4.5 Stair Profile is not as specific about nosing projections on vertical risers, the NFPA Sec. 7.2.2.3.3.2 is, therefore the 3/4" nosing as design will not be accepted.
2. Please see IBC Sec. 1012 Handrails and 1013 Guards for a complete description of the required specs at commercial properties. Note: 1013.1 Guards, Where required, **stairs**.

Let me know if you have any questions.
 Jeanie

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 FEB 13 2012
 Dept. of Building & Construction



Administrative Authorization Application

Portland, Maine

Planning and Urban Development Department, Planning Division

1854-1554

#20 11 11 2770
annex

PROJECT NAME: 1854 Forest Ave (Dojo)

PROJECT ADDRESS: _____ CHART/BLOCK/LOT: 327-B-4

APPLICATION FEE: 50 (\$50.00)

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of the Proposal/Development)

Rebuilding front entry, Deck is enlarged for fire exit.

CONTACT INFORMATION: (about 25 ft² larger than original)

OWNER/APPLICANT

Name: Gabriel Zappia

Address: 18 Cottage Lane
Cape Elizabeth, ME

Work #: _____

Cell #: 615-1399

Fax #: _____

Home #: _____

E-mail: gabrielzappia@gmail.com

CONSULTANT/AGENT

Name: self

Address: _____

Work #: _____

Cell #: _____

Fax #: _____

Home #: _____

E-mail: _____

- Karate studio
- permit process
- shouldn't show equip
- Bldg Permit - permit in process

Criteria for an Administrative Authorizations:

(see section 14-523(4) on pg. 2 of this appl.)

- a) Is the proposal within existing structures? _____
- b) Are there any new buildings, additions, or demolitions? _____
- c) Is the footprint increase less than 500 sq. ft.? _____
- d) Are there any new curb cuts, driveways or parking areas? _____
- e) Are the curbs and sidewalks in sound condition? _____
- f) Do the curbs and sidewalks comply with ADA? _____
- g) Is there any additional parking? _____
- h) Is there an increase in traffic? _____
- i) Are there any known stormwater problems? _____
- j) Does sufficient property screening exist? _____
- k) Are there adequate utilities? _____
- l) Are there any zoning violations? _____
- m) Is an emergency generator located to minimize noise? _____
- n) Are there any noise, vibration, glare, fumes or other impacts? _____

Applicant's Assessment Planning Division

Y(yes), N(no), N/A

Y(yes), N(no), N/A

No _____

No _____

Yes _____

No _____

Yes _____

Yes (available) _____

No _____

No _____

Yes _____

Yes _____

No _____

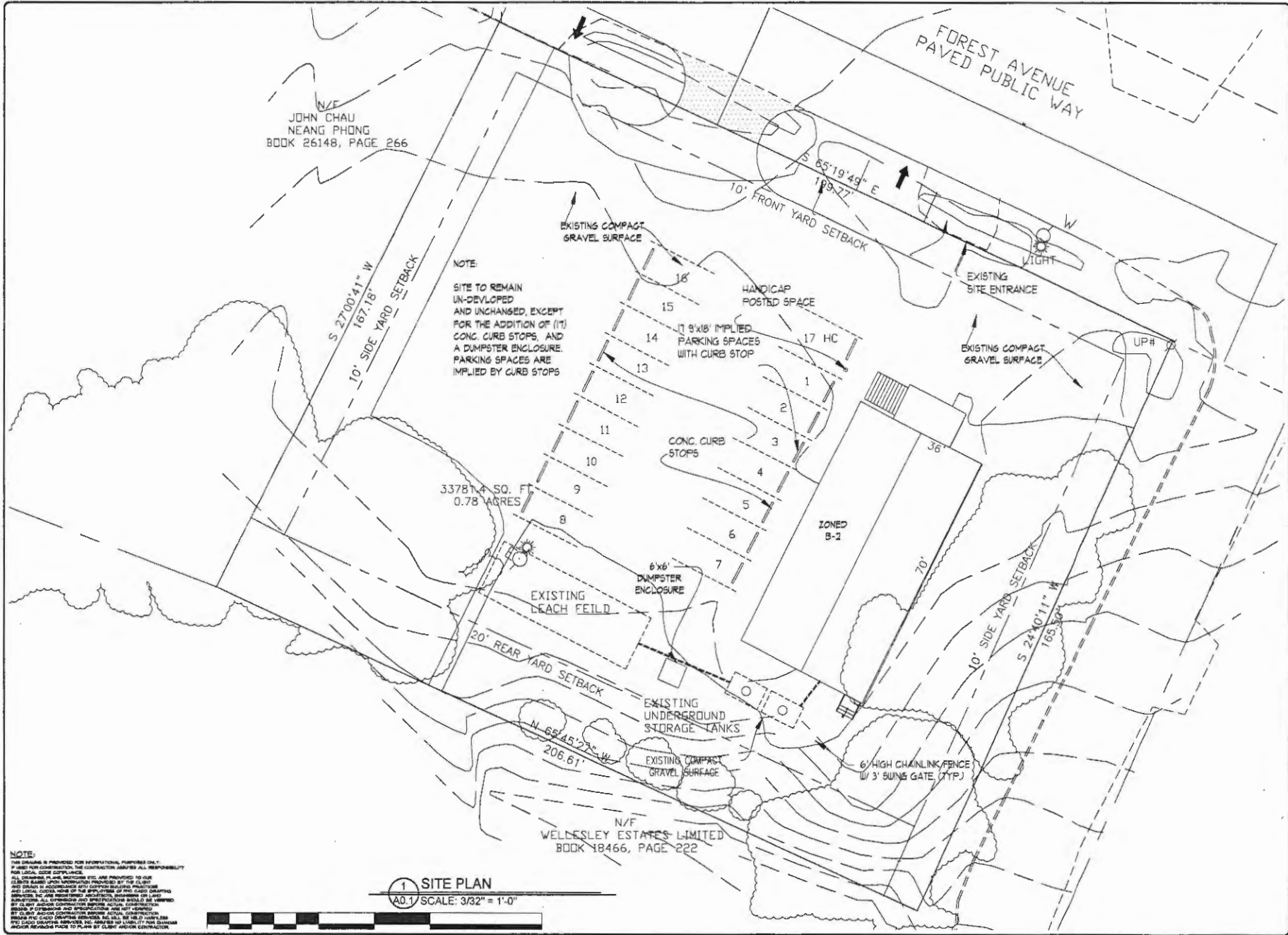
None _____

No _____

Signature of Applicant:

Date:

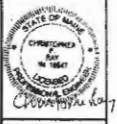
12-5-11



1 SITE PLAN
A0.1 SCALE: 3/32" = 1'-0"

PROPERTY OF:
Engineering Bureau Center
25 Main St.
Portland, Maine 04101
Phone: 603-761-8333
FAX: 603-761-8334
E-MAIL: info@ebc.com

1854 FOREST
1844 FOREST AVENUE, PORTLAND, ME 04103
SITE PLAN



3.	
2.	
1.	
REVS:	
CODE:	IRC 2003
TOWN:	PORTLAND
DATE:	05-21-11
SCALE:	3/32" = 1'-0"
DESIGNED:	JJOUJR
DRAWN:	JJOUJR
TITLE:	SITE PLAN
FILE:	
SHEET:	A0.1



CITY OF PORTLAND, MAINE

Department of Building Inspections

Original Receipt

Nov. 29 20 11

Received from Marie Zapp

Location of Work 1854 Forest Ave

Cost of Construction \$ _____ Building Fee: _____

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: _____

Building (IL) Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____

Other Amendment to permit 6201106

CBL: 307 BOOY 1396

Check #: Von Total Collected \$ 100.00

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy