

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND

# BUILDING PERMIT

This is to certify that Gabriel J Zappia

Located At 1854 FOREST AVE

Job ID: 2011-06-1396-ALTCOMM

CBL: 327 - - B - 004 - 001 - - - -

has permission to Phase 1. Change the Use from a community hall to karate center, basement & 1<sup>st</sup> flr, 2<sup>nd</sup> floor vacant provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

\_\_\_\_\_  
Fire Prevention Officer

*[Signature]* 6/29/11  
\_\_\_\_\_  
Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
PENALTY FOR REMOVING THIS CARD**



# Certificate of Occupancy



## CITY OF PORTLAND, MAINE

Department of Planning and Urban Development

Building Inspections Division

Location: 1854 FOREST AVE

CBL: 327- B-004-001

Issued to: Gabriel J Zappia

Date Issued: 8/14/2012

**This is to certify** that the building, premises, or part thereof, at the above location, built-altered-changed as to use under Building Permit No. 2011-06-1396-ALTCOMM, has had a final inspection, has been found to conform substantially to the requirements of the Building Code and the Land Use Code of the City of Portland, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

BASEMENT AND FIRST FLOOR

APPROVED OCCUPANCY

USE GROUP A-3  
KARATE CENTER  
TYPE 5-B  
IBC 2009

Approved:

8-14-2012

(Date)

Inspector

  
\_\_\_\_\_

  
\_\_\_\_\_

Inspections Division Director

Notice: This certificate identifies the legal use of the building or premises, and ought to be transferred from owner to owner upon the sale of the property.

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-06-1396-ALTCOMM	Date Applied: 6/14/2011	CBL: 327 - - B - 004 - 001 - - - - -	
Location of Construction: 1854 FOREST AVE	Owner Name: Gabriel J Zappia	Owner Address: 18 COTTAGE LN CAPE ELIZABETH, ME 04107	Phone: 207-615-1399
Business Name:	Contractor Name: John Hoefnagles	Contractor Address: 136 Stanford St., South Portland, ME 04106	Phone: 207-767-3222
Lessee/Buyer's Name:	Phone:	Permit Type: CHANGE OF USE	Zone: B-2
Past Use: Grange Hall	Proposed Use: Karate Center – change of use from Community Hall to Karate Center (basement & 1 <sup>st</sup> floor) – 2 <sup>nd</sup> floor remains vacant  Phase 1	Cost of Work: 30000.00  Fire Dept: <input checked="" type="checkbox"/> Approved w/ conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A  Signature: <i>Bjorkner</i> <i>SB</i>	CEO District:  Inspection: Use Group: <i>A-3</i> Type: <i>SB</i> <i>DBL 2009</i> Signature: <i>JMB</i>  <i>6/29/11</i>
Proposed Project Description: Remodel Existing Grange Hall to Karate studio – change of use		Pedestrian Activities District (P.A.D.)	
Permit Taken By:	<b>Zoning Approval</b>		

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<p><b>Special Zone or Reviews</b></p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetlands</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p><input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM</p> <p>Date: <i>OK w/ conditions</i> <i>6/15/11 ABU</i></p>	<p><b>Zoning Appeal</b></p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p><b>Historic Preservation</b></p> <p><input checked="" type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>ABU</i></p>
	<b>CERTIFICATION</b>		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHON

12-29-12 DWM/BKL Gabriel 615-1399 Close-in  
Fail Provide fire blocking, secure T-Bar

6-4-12 DWM close-in OK

7-3-12 GF Final Fail - Not close to ready

8-14-12 DWM Final OK

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
  1. In-slab plumbing inspection
  2. Footings/Setback for entry
  3. Framing of entry
  4. Close In Framing/Plumbing/Electrical
  5. Certificate of Occupancy/Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life* • [www.portlandmaine.gov](http://www.portlandmaine.gov)

Director of Planning and Urban Development  
Penny St. Lous

Job ID: 2011-06-1396-ALTCOMM

Located At: 1854 FOREST

CBL: 327 - - B - 004 - 001 - - - -

## **Conditions of Approval:**

### **Zoning**

1. This permit is being approved on the basis of plans submitted. Site plan submitted on shows the required 17 parking spaces for the change of use. Any deviations shall require a separate approval before starting that work.
2. Separate permits shall be required for any new signage.
3. With the issuance of this permit and the certificate of occupancy, the use of this building will be a karate school in the basement and first floor and the second floor (attic) will remain vacant. Any change of use shall require a separate permit application for review and approval.

### **Fire**

1. Permit is approved based on revision dated 5/23/11.
2. All construction shall comply with City Code Chapter 10.
3. Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit and on the same circuit as the lighting for the area they serve.
4. Fire extinguishers are required. Installation per NFPA 10.
5. A separate Fire Alarm Permit is required for new systems; or for work effecting more than 5 fire alarm devices; or replacement of a fire alarm panel with a different model.

### **Building**

1. Application approval based upon information provided by applicant with revisions dated 6/23/11 and 6/28/11. Any deviation from approved plans requires separate review and approval prior to work.
2. Permit approved based on the plans submitted and reviewed w/owner/ contractor, with additional information as agreed on and as noted on plans.
3. All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2009 Section 713.
4. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
5. A water fountain is required for this use, primed floor drains required in the bathrooms.



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>1854 Forest Ave</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot <u>.68ac</u>	Number of Stories <u>two</u>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>327      B      4</u>	Applicant * <u>must be owner, Lessee or Buyer*</u> Name <u>Gabriel Zappia</u> Address <u>18 Cottage Ln</u> City, State & Zip <u>Cape Eliz. ME</u>	Telephone: <u>615-1399</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>30,000</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>NONE</u> <del>community ctr</del> (vacant) Number of Residential Units <u>0</u> If vacant, what was the previous use? <u>community center</u> Proposed Specific use: <u>karate school</u> Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: <u>Basement and main Floor will be a karate school. Attic will be unused and vacant.</u>		
Contractor's name: <u>John Hoefnagels</u> Address: <u>136 Stanford St.</u> City, State & Zip <u>So. Portland, ME 04106</u> Telephone: <u>767-3222</u> Who should we contact when the permit is ready: <u>Gabriel Zappia</u> Telephone: <u>615-1399</u> Mailing address: <u>18 Cottage Ln, Cape Elizabeth, ME 04107</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

RECEIVED

Signature:	Date: <u>6-15-11</u>	JUN 15 2011
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This is not a permit; you may not commence ANY work until the permit is issued. Dept. of Building Inspections City of Portland Maine



# Certificate of Design Application

From Designer: John Ossie  
 Date: 6/1/11  
 Job Name: 1854 Forest Ave  
 Address of Construction: 1854 Forest Ave

## 2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year 2009 Use Group Classification (s) Assembly A-3  
 Type of Construction Type V  
 Will the Structure have a fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC No  
 Is the Structure mixed use? No If yes, separated or non separated or non separated (section 302.3) \_\_\_\_\_  
 Supervisory alarm System? No Geotechnical/Soils report required? (See Section 1802.2) \_\_\_\_\_

### Structural Design Calculations

\_\_\_\_\_ Submitted for all structural members (106.1 - 106.11)

### Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

### Wind loads (1603.1.4, 1609)

\_\_\_\_\_ Design option utilized (1609.1.1, 1609.6)  
 \_\_\_\_\_ Basic wind speed (1809.3)  
 \_\_\_\_\_ Building category and wind importance factor,  $I_w$  (table 1604.5, 1609.5)  
 \_\_\_\_\_ Wind exposure category (1609.4)  
 \_\_\_\_\_ Internal pressure coefficient (ASCE 7)  
 \_\_\_\_\_ Component and cladding pressures (1609.1.1, 1609.6.2.2)  
 \_\_\_\_\_ Main force wind pressures (1603.1.1, 1609.6.2.1)

### Earth design data (1603.1.5, 1614-1623)

\_\_\_\_\_ Design option utilized (1614.1)  
 \_\_\_\_\_ Seismic use group ("Category")  
 \_\_\_\_\_ Spectral response coefficients,  $S_D$  &  $S_M$  (1615.1)  
 \_\_\_\_\_ Site class (1615.1.5)

\_\_\_\_\_ Live load reduction  
 \_\_\_\_\_ Roof live loads (1603.1.2, 1607.11)  
 \_\_\_\_\_ Roof snow loads (1603.7.3, 1608)  
 \_\_\_\_\_ Ground snow load,  $P_g$  (1608.2)  
 \_\_\_\_\_ If  $P_g > 10$  psf, flat-roof snow load  $P_f$   
 \_\_\_\_\_ If  $P_g > 10$  psf, snow exposure factor,  $C_e$   
 \_\_\_\_\_ If  $P_g > 10$  psf, snow load importance factor,  $I_s$   
 \_\_\_\_\_ Roof thermal factor,  $C_r$  (1608.4)  
 \_\_\_\_\_ Sloped roof snowload,  $P_s$  (1608.4)  
 \_\_\_\_\_ Seismic design category (1616.3)  
 \_\_\_\_\_ Basic seismic force resisting system (1617.6.2)  
 \_\_\_\_\_ Response modification coefficient,  $R$ , and deflection amplification factor,  $C_d$  (1617.6.2)  
 \_\_\_\_\_ Analysis procedure (1616.6, 1617.5)  
 \_\_\_\_\_ Design base shear (1617.4, 1617.5.1)

### Flood loads (1803.1.6, 1612)

\_\_\_\_\_ Flood Hazard area (1612.3)  
 \_\_\_\_\_ Elevation of structure

### Other loads

\_\_\_\_\_ Concentrated loads (1607.4)  
 \_\_\_\_\_ Partition loads (1607.5)  
 \_\_\_\_\_ Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)





# Accessibility Building Code Certificate

Designer: John Ossi FMC CADD

Address of Project: 1854 Forest

Nature of Project: 1854 Forest Re-model into  
Karate studio

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.

**(SEAL)**

Signature: [Signature]

Title: owner/owner

Firm: FMC CADD

Address: 141 Prob. St.  
Portland, ME 04101

Phone: 875-0511

For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)



# Certificate of Design

Date: 6/1/2011

From: John B SSK Fmc CADD

These plans and / or specifications covering construction work on:

Re-model of 1054 Forest Ave

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.

Signature: John B SSK

Title: Owner / Designer

Firm: Fmc CADD

Address: 141 Preble St  
Portland, ME 04101

Phone: 873-0511

**(SEAL)**

For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)

# Fire Comments

The stair between the basement and first floor has dueling doors between the basement and bathroom doors. It's not a required exit from the basement, but it is from the first floor.

The rear exit from the basement does not need to be enclosed. It does not penetrate floors, but only climbs a few steps and exits directly outside at grade.

# 1854 FOREST RE-MODEL

1844 FOREST AVENUE  
PORTLAND, ME 04101

OWNER:  
GABRIEL ZAPPIA



DRAWN BY



Engineering Resource Center

75 Bishop St.  
Portland, Maine 04103  
207-878-8511 Fax 207-878-8515  
E-Mail fmc@fmcadd.com

## SHEET LIST

- A0 COVER SHEET
- A01 SITE PLAN
- D1. EXISTING & DEMO PLANS
- A1 BASEMENT & FIRST FLOOR PLANS
- A2 NOT USED
- A3 ELEVATIONS
- A4 ELEVATIONS
- A5 SECTION
- LS1 BASEMENT & FIRST FLOOR LIFE SAFETY PLANS

### BUILDING CODE COMPLIANCE:

Design Criteria - This project has been designed for compliance with the following codes:

- A. International Building Code (IBC) 2009 Edition
- B. NFPA 101 - 2009 Edition

Convert existing community hall (A-3 Assembly), currently vacant, to a rehearsal and studio.

Total Square Footage	5,180 sf
Occupancy Classification	Group A-3 Assembly
Use Group Classification	Exercise Room
Occupant Load 1st Floor (100/sf)	41
Occupant Load Ground Floor (173/sf)	36
Occupant Load Office Area (106/sf)	7
Total Occupant Load	79
Required egress units @ 21 per occupant - 24', 108" provided	
Construction Classification	Type V

#### Fire System Requirements

- A. An automatic sprinkler system is not required
- B. Portable fire extinguishers rating shall be 2-A:20-B:C. Spacing shall not exceed 75-feet
- C. Fire Alarm and detection system is not required

**NOTE:**  
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY.  
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE AND TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.  
THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.  
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## PROPERTY OF

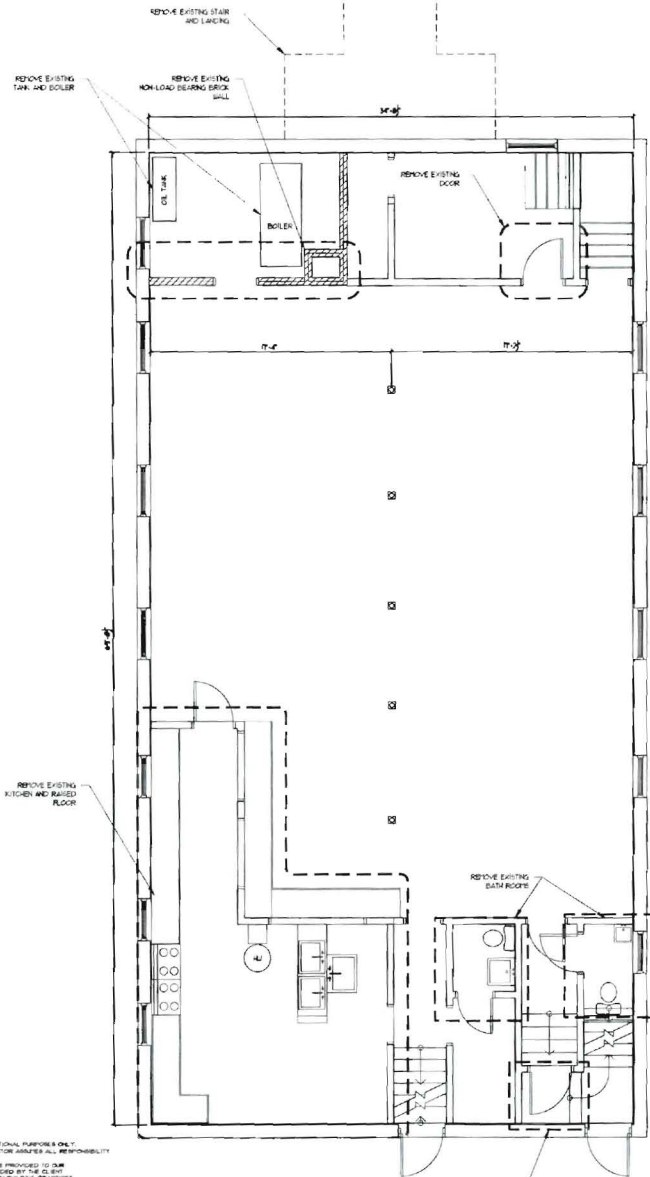


1844 FOREST  
1844 FOREST AVENUE, PORTLAND, ME 04103  
COVER SHEET



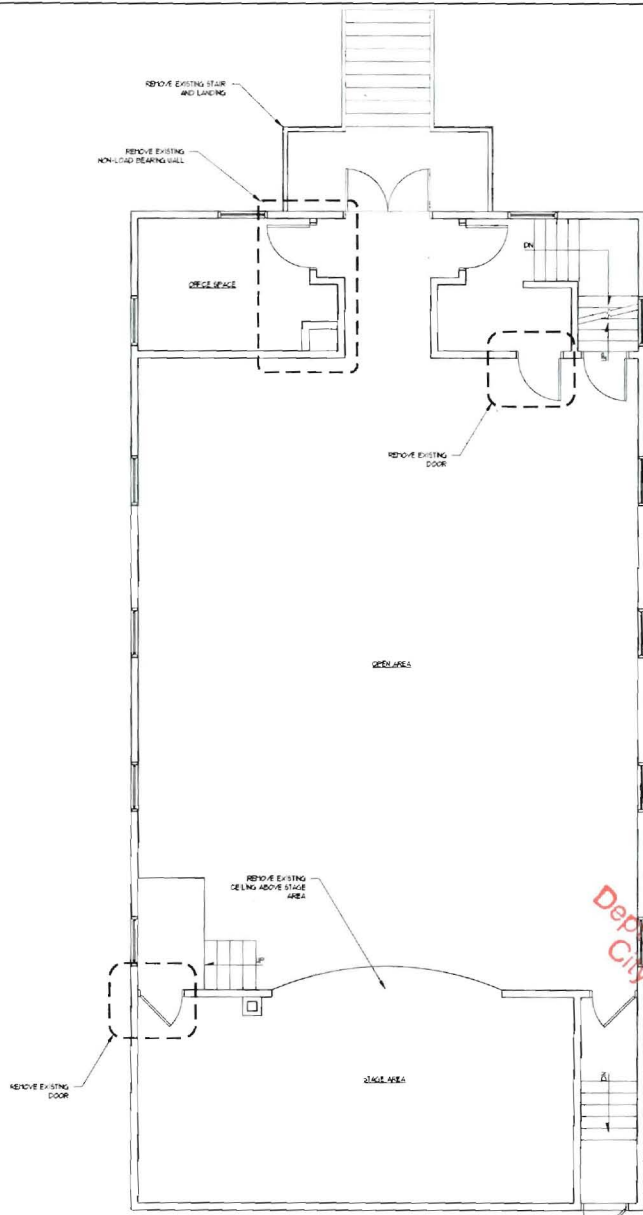
*Revised*  
**RECEIVED**  
JUN 23 2011  
Dept. of Building Inspections  
City of Portland Maine

3	
2	
1	Revised Permit
REVS	
CODE	RC 2009
TOWN	PORTLAND
DATE	03-28-11
SCALE	NTS
DESIGNED	JJ/JJR
DRAWN	JJ/JJR
TITLE	COVER SHEET
FILE	
SHEET	A0



1 BASEMENT DEMO PLAN  
D1 SCALE 1/4" = 1'-0"

NOTE:  
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY.  
IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY  
FOR LOCAL CODE COMPLIANCE.  
ALL CONDITIONS, PERMITS, ETC. ARE PROVIDED TO OUR  
CLIENTS BASED ON INFORMATION PROVIDED BY THE CLIENT  
AND DRAWN TO ACCORDANCE WITH COMMON PRACTICE.  
AND LOCAL CODES. NONE OF THE INFORMATION OR ANY LOCAL ENACTING  
REGULATIONS, AND ALL REGULATIONS AND SPECIFICATIONS SHALL BE OBTAINED  
BY THE CLIENT PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL  
VERIFY THE LOCAL CODES AND REGULATIONS, AND ALL LOCAL ENACTING  
REGULATIONS, AND ALL REGULATIONS AND SPECIFICATIONS ARE NOT VERIFIED  
BY US. THE CONTRACTOR SHALL VERIFY THE LOCAL CODES AND REGULATIONS,  
AND ALL REGULATIONS AND SPECIFICATIONS ARE NOT VERIFIED BY US.  
THE CONTRACTOR SHALL VERIFY THE LOCAL CODES AND REGULATIONS,  
AND ALL REGULATIONS AND SPECIFICATIONS ARE NOT VERIFIED BY US.



2 FIRST FLOOR DEMO PLAN  
D1 SCALE 1/4" = 1'-0"

RECEIVED  
JUN 23 2011  
Dept of Building Inspections  
City of Portland Maine

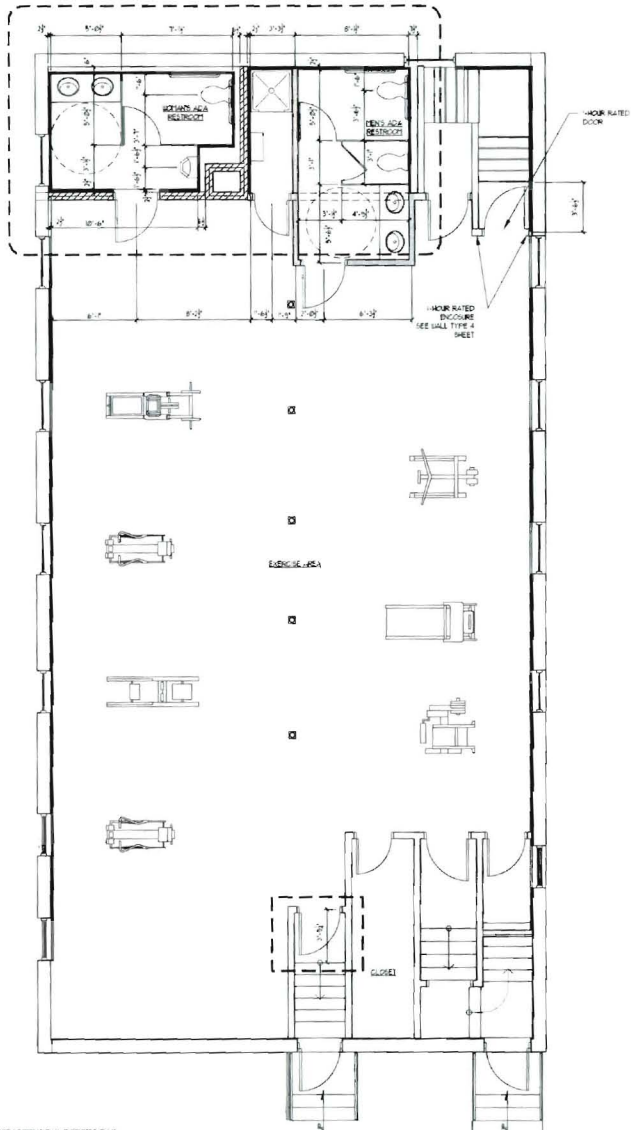


1844 FOREST  
1844 FOREST AVENUE, PORTLAND, ME 04103  
BASEMENT DEMO PLAN



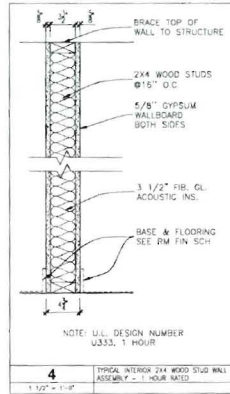
3	1. Revised Permit
REVS:	
CODE	IRC 2009
TOWN	PORTLAND
DATE	03-28-11
SCALE	1/4" = 1'-0"
DESIGNED	JJOUJR
DRAWN	JJOUJR
TITLE	EXISTING DEMO PLANS
FILE	
SHEET	D1

PROPERTY OF

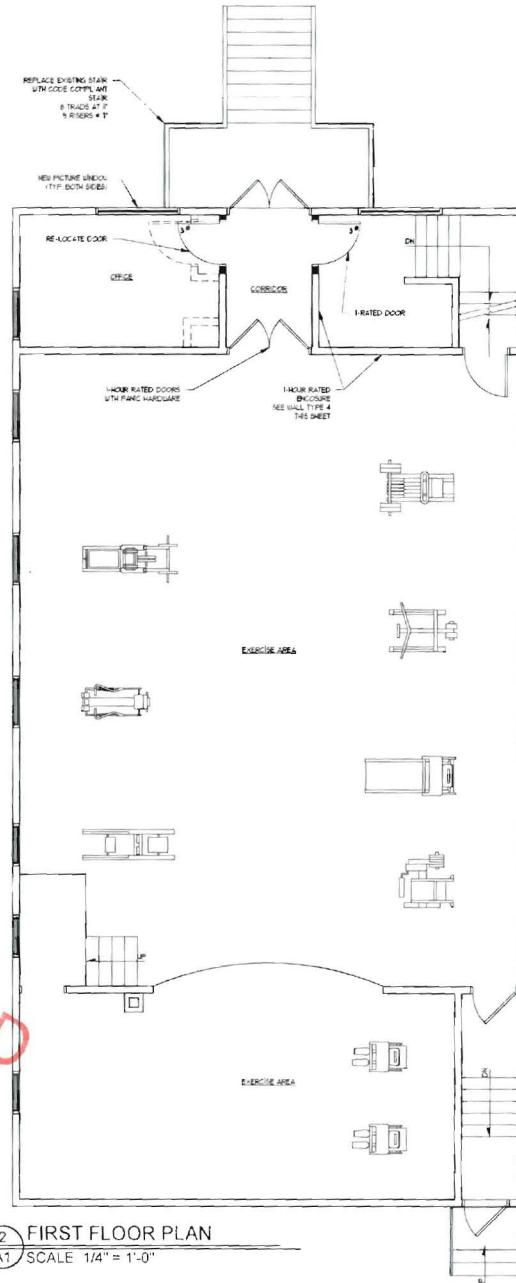


1 BASEMENT FLOOR PLAN

A1 SCALE 1/4" = 1'-0"



3 1-HOUR RATED WALL  
A1 SCALE 1-1/2" = 1'-0"



2 FIRST FLOOR PLAN

A1 SCALE 1/4" = 1'-0"

**NOTES**  
 1. THE DRAWINGS PROVIDED FOR INFORMATIONAL PURPOSES ONLY.  
 2. PERMITS FOR CONSTRUCTION OF THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODES COMPLIANCE.  
 3. ALL DIMENSIONS SHOWN ON THESE DRAWINGS ARE PROVIDED TO DIMENSIONS BASED ON THE INFORMATION PROVIDED BY THE CLIENT.  
 4. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, MATERIALS AND LOCAL CODES BEFORE THE START OF ANY WORK.  
 5. THE CLIENT ASSUMES RESPONSIBILITY FOR OBTAINING ALL NECESSARY PERMITS.  
 6. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, MATERIALS AND LOCAL CODES BEFORE THE START OF ANY WORK.  
 7. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, MATERIALS AND LOCAL CODES BEFORE THE START OF ANY WORK.  
 8. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, MATERIALS AND LOCAL CODES BEFORE THE START OF ANY WORK.  
 9. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, MATERIALS AND LOCAL CODES BEFORE THE START OF ANY WORK.

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 City of Portland Maine

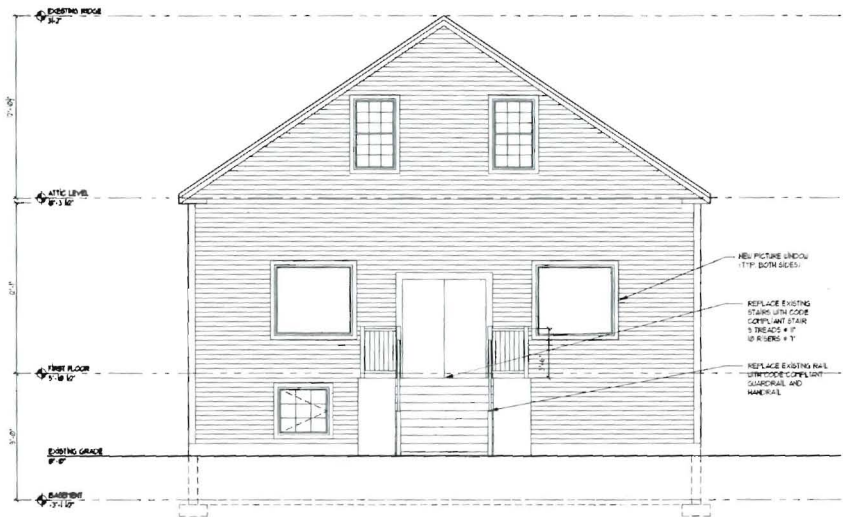
PROPERTY OF  
 Engineering Resource Center  
 2000 Main Street, Suite 200  
 Portland, ME 04103  
 2000 Main Street, Suite 200  
 Portland, ME 04103

**CRABD**  
 CONSULTING REGISTERED ARCHITECTS & ENGINEERS

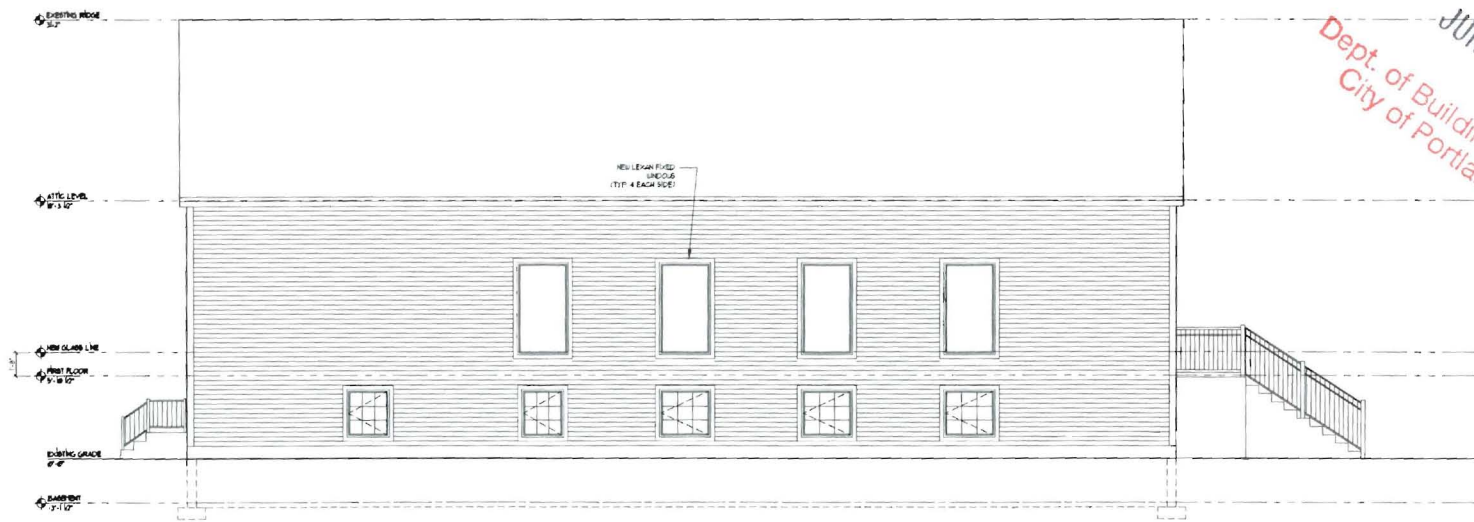
1844 FOREST  
 1844 FOREST AVENUE, PORTLAND, ME 04103  
 BASEMENT & FIRST FLOOR PLANS

STATE OF MAINE  
 REGISTERED ARCHITECT  
 CHRISTOPHER W. JACOBSON  
 No. 13847  
 EXPIRES 12/31/2011

3
2
1 Revised Permit
REVS
CODE RC 2003
TOWN PORTLAND
DATE 05-24-11
SCALE 1/4" = 1'-0"
DESIGNED JGUJR
DRAWN JGUJR
TITLE BASEMENT & FIRST FLOOR PLANS
FILE
SHEET A1



1 NORTH ELEVATION  
A3 SCALE 1/4" = 1'-0"



2 WEST ELEVATION  
A3 SCALE 1/4" = 1'-0"

NOTE:  
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY.  
I, THE ARCHITECT, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY  
FOR LOCAL CODE COMPLIANCE.  
ALL DIMENSIONS PLUMB, SQUARE, ETC. ARE INDICATED TO OUR  
CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT  
AND DIMENSIONS INDICATED ON CITY COMMON RECORDS, PLATS  
AND LOCAL CODES. NONE OF THE SERVICES OF THE ARCHITECT  
RENDERED IN THIS PROJECT INCLUDES THE OBTAINING OF PERMITS  
OR ANY OTHER CONSTRUCTION SERVICES. THE CLIENT SHALL  
OBTAIN ALL NECESSARY PERMITS AND INSURANCE. THE ARCHITECT  
SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR COSTS INCURRED  
BY THE CLIENT IN OBTAINING PERMITS OR INSURANCE. THE ARCHITECT  
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BY THE CLIENT IN OBTAINING PERMITS OR INSURANCE.

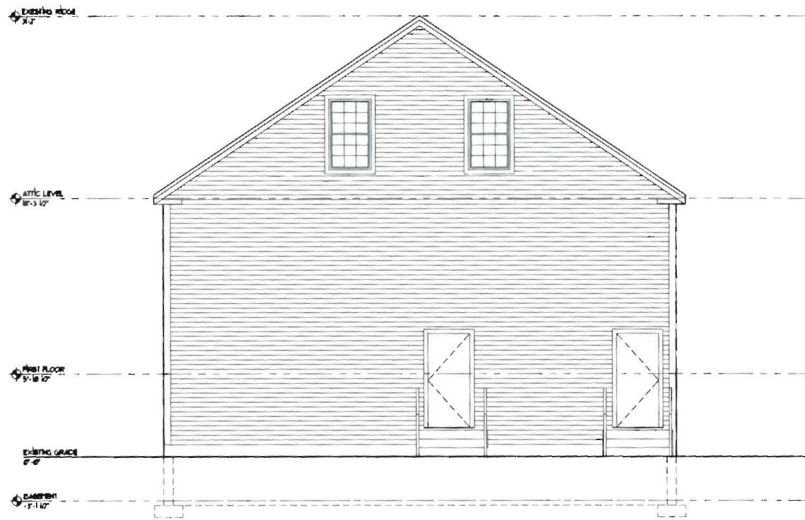
RECEIVED  
JUN 23 2011  
Dept. of Building Inspections  
City of Portland Maine

PROPERTY OF  
**JFK&BDD**  
Engineering Resource Center  
75 Riverside  
Portland, Maine 04101  
Tel: 603.763.1111  
Fax: 603.763.1111

1844 FOREST  
1844 FOREST AVENUE, PORTLAND, ME 04103  
ELEVATIONS

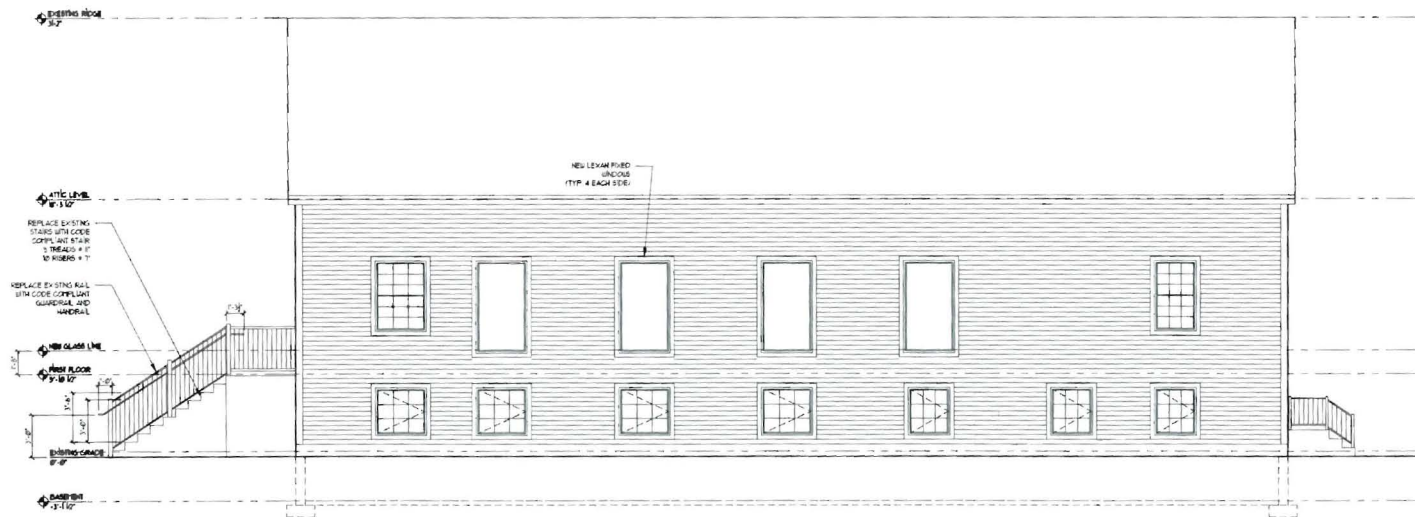
STATE OF MAINE  
CHRISTOPHER J. JUDY  
No. 10847  
LICENSED ARCHITECT  
CREATED BY: JUDY

3
2
1 Revised Permit
REV#
CODE IRC 2009
TOWN PORTLAND
DATE 03-28-11
SCALE 1/4" = 1'-0"
DESIGNED JUD/JJR
DRAWN JUD/JJR
TITLE
ELEVATIONS
FILE
SHEET A3



1 SOUTH ELEVATION  
A4 SCALE 1/4" = 1'-0"

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Dept. of Building Inspections  
City of Portland Maine



2 EAST ELEVATION  
A4 SCALE 1/4" = 1'-0"

NOTE:  
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IF USED FOR CONTRACTOR OR THE CONTRACTOR ASSUMES ALL RESPONSIBILITY  
FOR LOCAL CODE COMPLIANCE.  
ALL CONDITIONS AND NOTICES ETC. ARE PROVIDED TO OUR  
CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT.  
WE DO NOT GUARANTEE THE ACCURACY OF THE CLIENT'S  
AND LOCAL CODES NOR OF THE EXISTENCE OF ANY LOCAL DRAWING  
REVISIONS NOR THE RELEVANCE OF ANY LOCAL CODES OR LISTS  
MATERIALS, ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED  
BY CLIENT BEFORE CONSTRUCTION BEGINS. ACTUAL CONSTRUCTION  
MAY VARY FROM THIS DRAWING AND WE WILL NOT BE RESPONSIBLE  
FOR ANY CONSTRUCTION DEFICIENCIES OR DELAYS. WE WILL NOT BE  
RESPONSIBLE FOR ANY CONSTRUCTION DEFICIENCIES OR DELAYS.  
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PROPERTY OF  
FMCADD  
Engineering Research Center  
Portland, Maine 04103  
Tel: 603.763.1111  
Fax: 603.763.1111  
www.fmcadd.com

1844 FOREST  
1844 FOREST AVENUE, PORTLAND, ME 04103  
ELEVATIONS



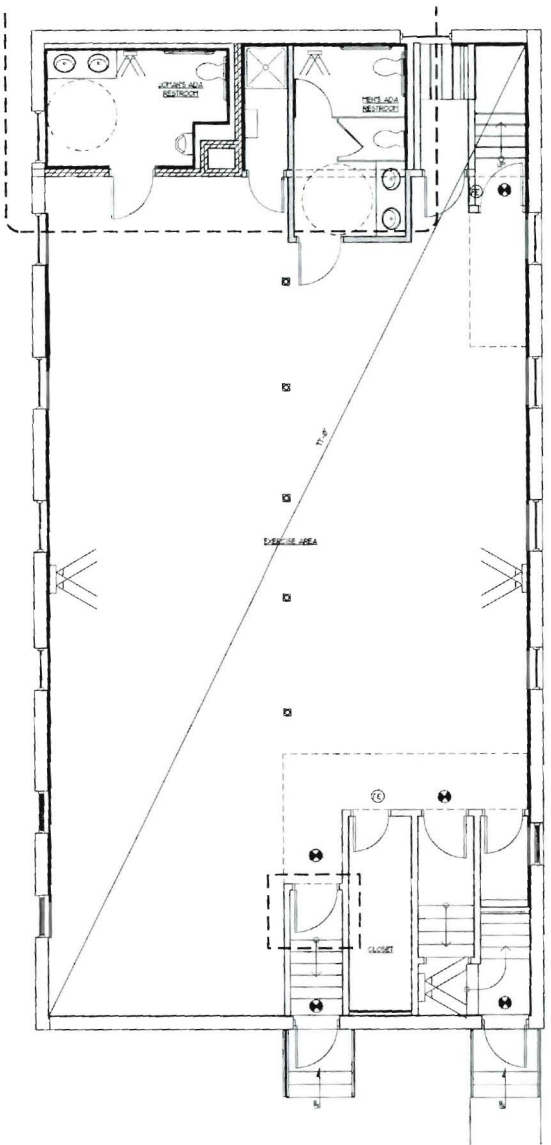
3
7
1 Revised Permit
REVS:
CODE IRC 2009
TOWN PORTLAND
DATE 05-28-11
SCALE 1/4" = 1'-0"
DESIGNED JJOUR
DRAWN JJOUR
TITLE
ELEVATIONS
FILE
SHEET A4



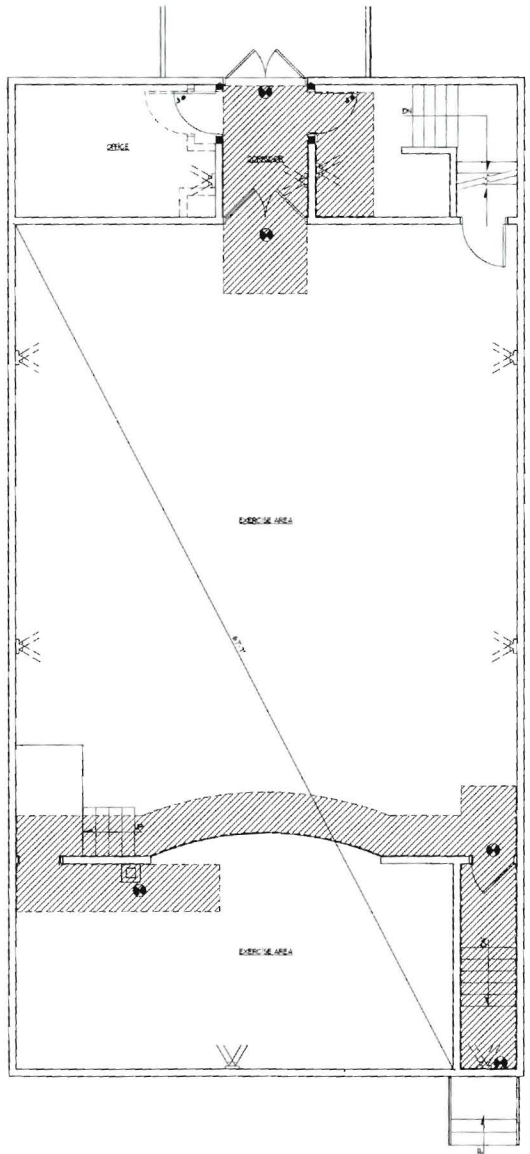


3	
2	
1	Revised Permit
REVS	
CODE	RC 2003
TOWN	PORTLAND
DATE	03-29-11
SCALE	1/4" = 1'-0"
DESIGNED	JJOUJR
DRAWN	JJOUJR
TITLE	BASEMENT & FIRST FLOOR LIFE SAFETY PLANS
FILE	
SHEET	LS1

- EGRESS PATH TO BE KEPT CLEAR
- FIRE EXTINGUISHER (CLASS "ABC")
- EXIT SIGN
- EMERGENCY LIGHT PACK
- PULL STATION
- HORN STROBE
- STROBE
- EXIT DOOR TAG
- SMOKE DETECTOR



**1 BASEMENT LIFE SAFETY PLAN**  
 LS1 SCALE 1/4" = 1'-0"



**2 FIRST FLOOR LIFE SAFETY PLAN**  
 LS1 SCALE 1/4" = 1'-0"

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JUN 23 2011

Dept. of Building Inspections  
 City of Portland Maine

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 FOR LOCAL CODE COMPLIANCE.  
 ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF PORTLAND BUILDING DEPARTMENT REGULATIONS AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.  
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 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.



# Administrative Authorization Application

Portland, Maine

Planning and Urban Development Department, Planning Division

PROJECT NAME: Remodel 1884 Forest Avenue

PROJECT ADDRESS: 1844 Forest Ave CHART/BLOCK/LOT: 327-B-004

APPLICATION FEE: \_\_\_\_\_ (\$50.00)

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of the Proposal/Development)

Convert Old Grange Hall Community Center into Karate dojo / Community Center

*not allowed under zoning building been vacant for more than year ASU 6/18/11*

**CONTACT INFORMATION:**

OWNER/APPLICANT

CONSULTANT/AGENT

Name: Gabriel Zappia

Name: John Ossie

Address: 18 Cottage Lane  
Cape Elizabeth

Address: 141 Probok St.  
Portland, ME

Work #: \_\_\_\_\_

Work #: 878-8511

Cell #: 615-1899

Cell #: 329-6499

Fax #: \_\_\_\_\_

Fax #: \_\_\_\_\_

Home #: \_\_\_\_\_

Home #: \_\_\_\_\_

E-mail: \_\_\_\_\_

E-mail: \_\_\_\_\_

**Criteria for an Administrative Authorizations:**  
(see section 14-523(4) on pg. 2 of this appl.)

**Applicant's Assessment Planning Division**  
Y(yes), N(no), N/A

Criteria	Applicant's Assessment	Planning Division
a) Is the proposal within existing structures?	<u>yes</u>	<u>Y</u>
b) Are there any new buildings, additions, or demolitions?	<u>No</u>	<u>N</u>
c) Is the footprint increase less than 500 sq. ft.?	<u>yes</u>	<u>N/A</u>
d) Are there any new curb cuts, driveways or parking areas?	<u>No</u>	<u>N</u>
e) Are the curbs and sidewalks in sound condition?	<u>yes</u>	<u>N/A</u>
f) Do the curbs and sidewalks comply with ADA?	<u>yes</u>	<u>N/A</u>
g) Is there any additional parking?	<u>No</u>	<u>N</u>
h) Is there an increase in traffic?	<u>No</u>	<u>N</u>
i) Are there any known stormwater problems?	<u>No</u>	<u>N</u>
j) Does sufficient property screening exist?	<u>yes</u>	<u>Y</u>
k) Are there adequate utilities?	<u>yes</u>	<u>Y</u>
l) Are there any zoning violations?	<u>No</u>	<u>N</u>
m) Is an emergency generator located to minimize noise?	<u>NA</u>	<u>NA</u>
n) Are there any noise, vibration, glare, fumes or other impacts?	<u>NA</u>	<u>N/A</u>

Signature of Applicant: 

Date: 3-8-11

**Planning Division Use Only**

Authorization Granted

Partial Exemption

Exemption Denied

1. *This approval is for the reuse of the Grange Hall only to a Karate Dojo and does not authorize any commercial or residential use.*

2. *All points of ingress and egress are subject to review and approval in any future site plan submission.*

**Standard Condition of Approval:** The applicant shall obtain all required City Permits, including building permits from the Inspection Division (Room 315, City Hall (874-8703)) prior to the start of any construction.

**IMPORTANT NOTICE TO APPLICANT:** The granting of an Administrative Authorization to exempt a development from site plan review does not exempt this proposal from other approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (207)874-8703, to determine what other City permits, such as a building permit, will be required.

**PROVISION OF PORTLAND CITY CODE**

**14-523 (SITE PLAN ORDINANCE)**

**RE: Administrative Authorization**

**Sec. 14-523 (b). Applicability**

No person shall undertake any development identified in Section 14-523 without obtaining a site plan improvement permit under this article. (c) Administrative Authorization. Administrative Authorization means the Planning Authority may grant administrative authorization to exempt a development proposal from complete or partial site plan review that meets the standards below, as demonstrated by the applicant.

1. The proposed development will be located within existing structures, and there will be no new buildings, demolitions, or building additions other than those permitted by subsection b of this section;
2. Any building addition shall have a new building footprint expansion of less than five hundred (500) square feet;
3. The proposed site plan does not add any new curb cuts, driveways, or parking areas; the existing site has no more than one (1) curb cut and will not disrupt the circulation flows and parking on-site; and there will be no drive-through services provided;
4. The curbs and sidewalks adjacent to the lot are complete and in sound condition, as determined by the public works authority, with granite curb with at least four (4) inch reveal, and sidewalks are in good repair with uniform material and level surface and meet accessibility requirements of the Americans with Disabilities Act;
5. The use does not require additional or reduce existing parking, either on or off the site, and the project does not significantly increase traffic generation;
6. There are no known stormwater impacts from the proposed use or any existing deficient conditions of stormwater management on the site;
7. There are no evident deficiencies in existing screening from adjoining properties; and
8. Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way.
9. There are no current zoning violations;
10. Any emergency generators are to be located to minimize noise impacts to adjoining properties and documentation that routine testing of the generators occur on weekdays between the hours of 9 a.m. to 5 p.m. Documentation pertaining to the noise impacts of the emergency generator shall be submitted; and
11. There is no anticipated noise, vibration, glare, fumes or other foreseeable impacts associated with the project.

- a. **Filing the Application.** An applicant seeking an administrative authorization under this subsection shall submit an administrative authorization application for review, detailing the site plan with dimensions of proposed improvements and distances from all property lines, and stating that the proposal meets all of the provisions in standards 1-11 of Section 14-423 (b)1. **The application must be accompanied by an application fee of \$50.**
- b. **Review.** Upon receipt of such a complete application, the Planning Authority will process it and render a written decision of approval, approval with conditions or denial, with all associated findings.
- c. **Decision.** If a full administrative authorization is granted, the application shall be approved without further review under this article, and no performance guarantee shall be required. In the event that the Planning Authority determines that standards a and b of Section 14-523 (b) (1) and at least four (4) of the remaining standards have been met, the Planning Authority shall review the site plan according to all applicable review standards of Section 14-526 that are affected by the standards in this subsection that have not been met. If an exemption or partial exemption from site plan review is not granted, the applicant must submit a site plan application that will undergo a full review by the Planning Board or Planning Authority according to the standards of Section 14-526.

**From:** John Ossie <johnno@fmccadd.com>  
**To:** Jeanie Bourke <JMB@portlandmaine.gov>  
**Date:** 6/28/2011 7:10 AM  
**Subject:** 1854 Forest Ave  
**Attachments:** 1884 Forest\_Sheet set Phase 1-A1 FLOOR PLANS.pdf; 1884 Forest\_Sheet set Phase 1-A4 FR& BK ELEVATIONS.pdf; 1884 Forest\_Sheet set Phase 1-A5 SIDE ELEVATIONS.pdf

Hi Jeanie,

Here the updated drawings for Gabriel.

Please let me know if you need anything else.

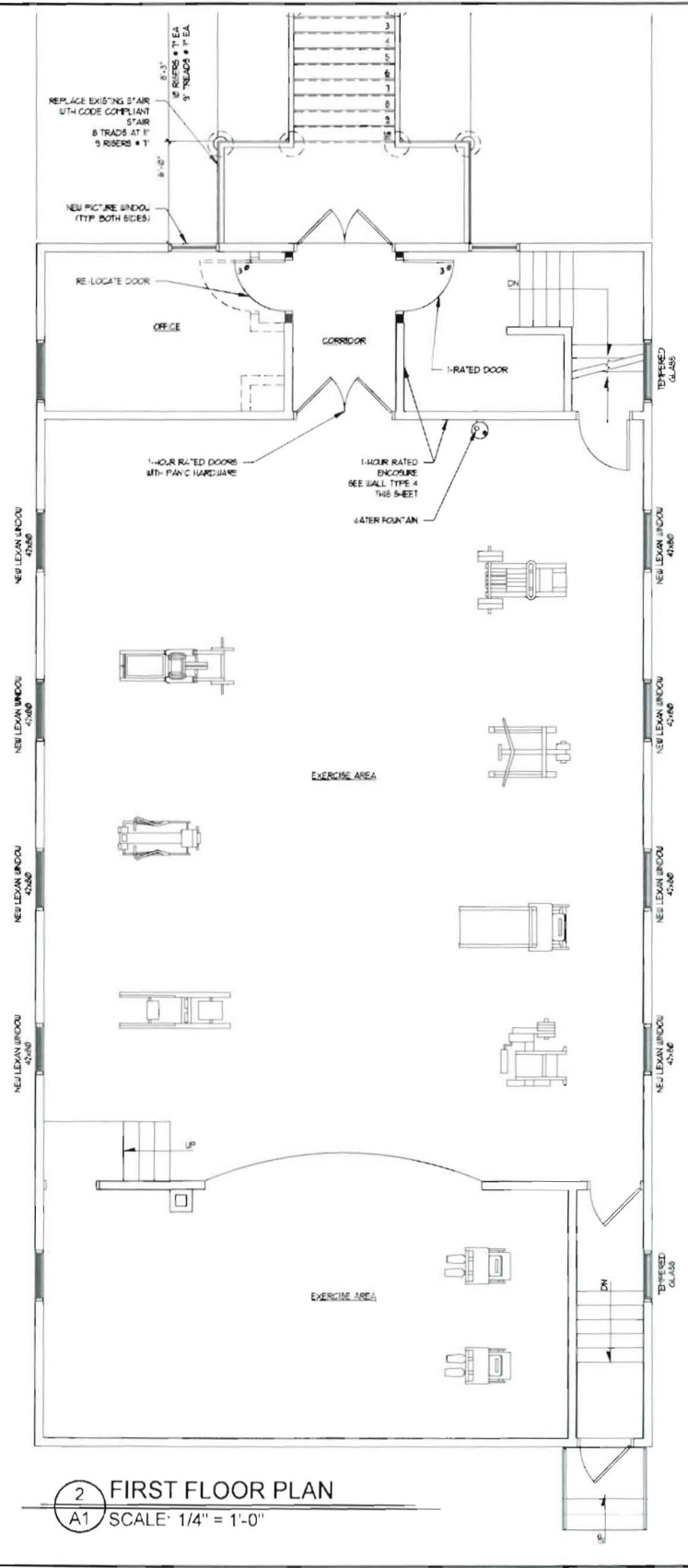
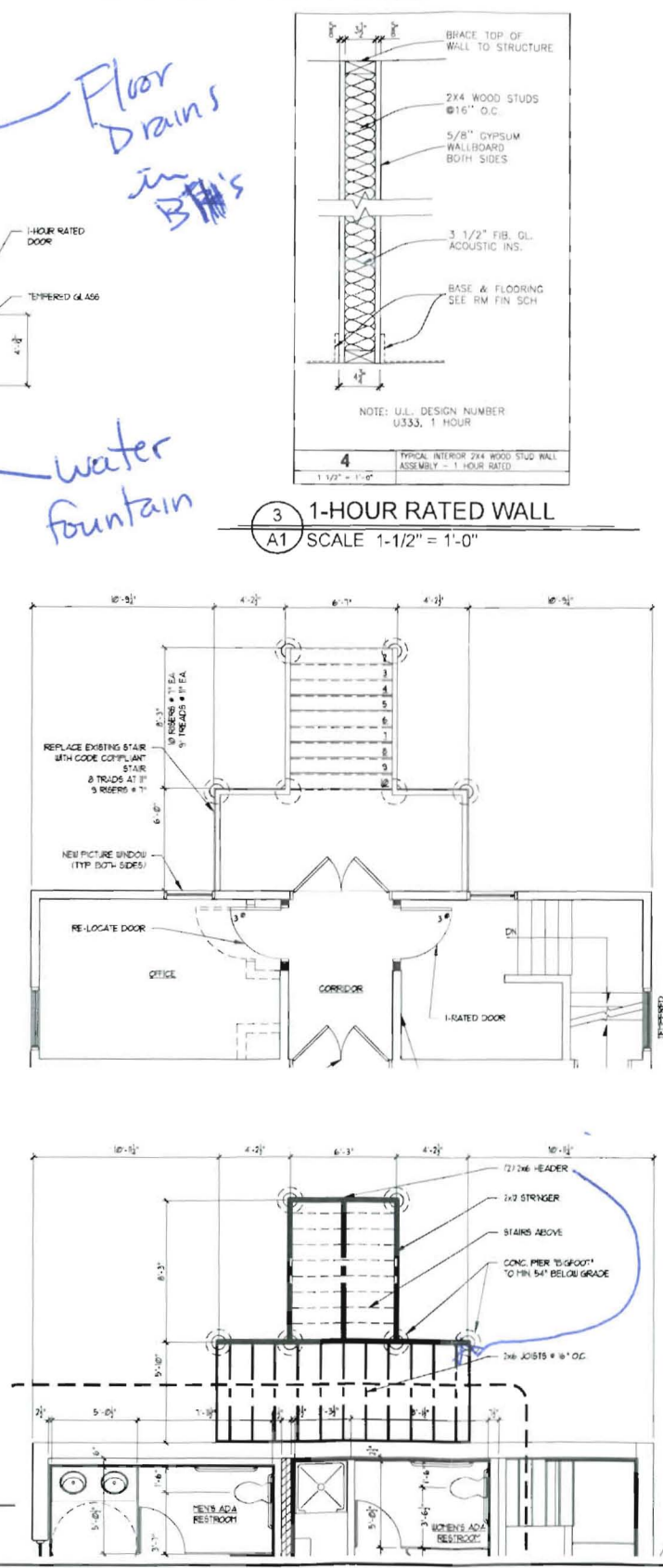
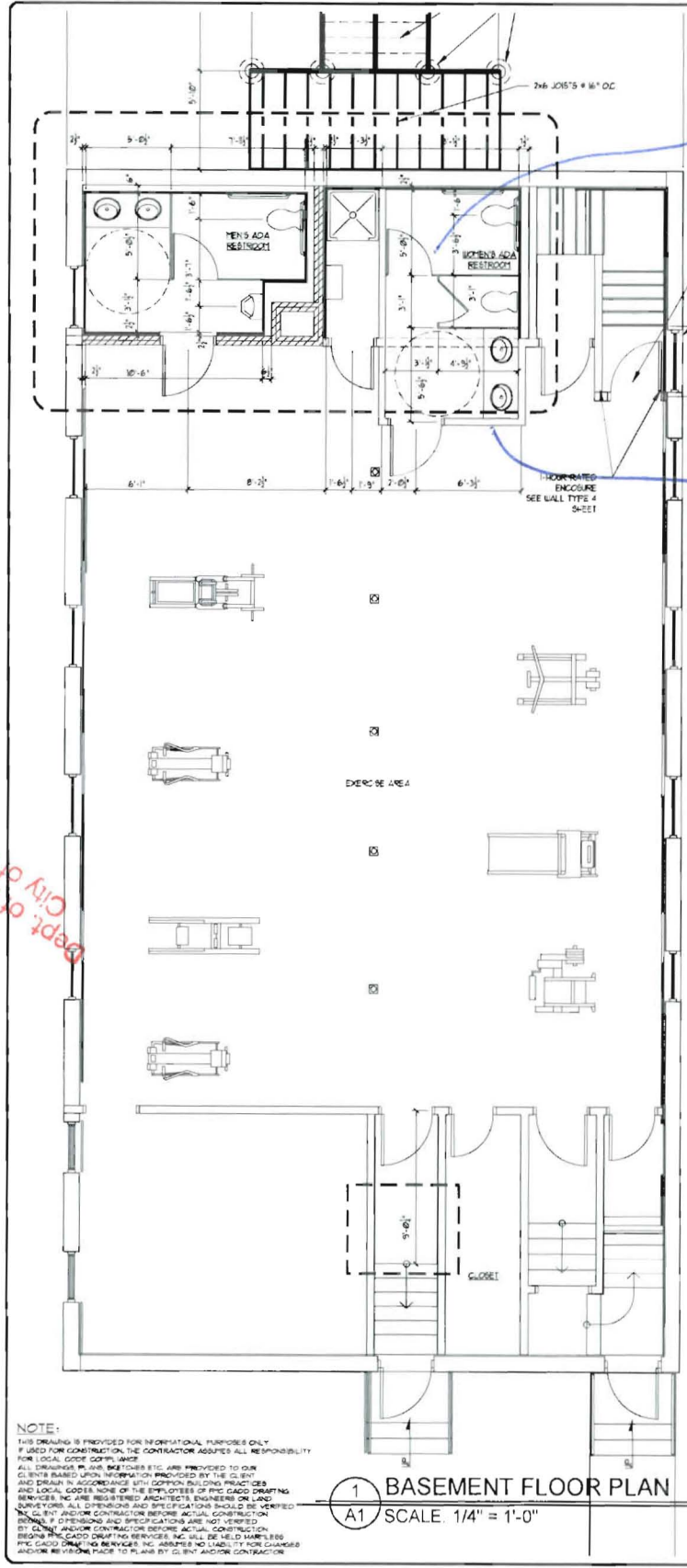
Thanks for the help

John

*Revisions*  
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City of Portland Maine



*Floor Drains in BM's*

*Water fountain*

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City of Portland Maine

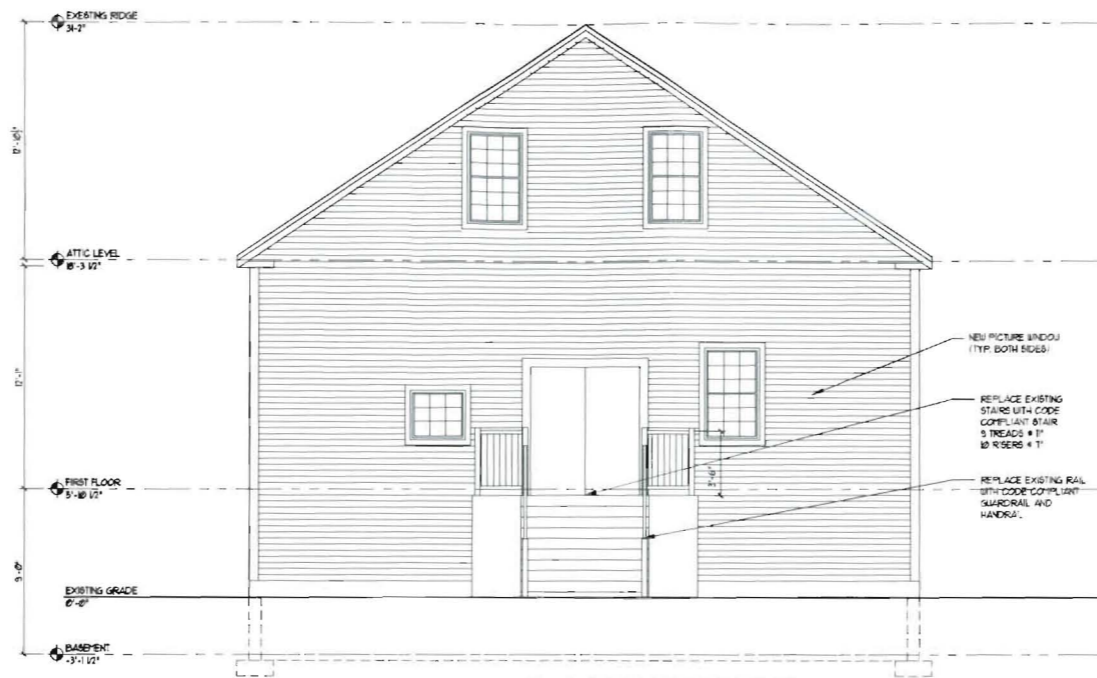
PROPERTY OF  
**FPC/CADD**  
Engineering & Construction Center  
201 Main St  
Portland, Maine 04103  
207.878.4111 Fax: 207.878.4113  
E-Mail: info@fpcadd.com

**1854 FOREST**  
1847 FOREST AVENUE, PORTLAND, ME 04103  
**BASEMENT & FIRST FLOOR PLANS**

STATE OF MAINE  
CHRISTOPHER RAY  
REGISTERED PROFESSIONAL ENGINEER  
LICENSED IN MECHANICAL ENGINEERING

REVS  
3  
2  
1  
CODE IRC 2009  
TOWN PORTLAND  
DATE 05-27-11  
SCALE 1/4" = 1'-0"  
DESIGNED JJO/JJR  
DRAWN JJO/JJR  
TITLE BASEMENT & FIRST FLOOR PLANS  
FILE  
SHEET A1

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City of Portland Maine



1 NORTH ELEVATION  
A3 SCALE: 1/4" = 1'-0"



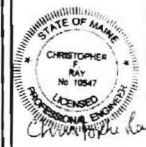
2 EAST ELEVATION  
A3 SCALE: 1/4" = 1'-0"

NOTE:  
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IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY  
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CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT  
AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES  
AND LOCAL CODES. NONE OF THE EMPLOYEES OF FPC CADD DRAFTING  
SERVICES, INC. ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND  
SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED  
BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION.  
BEING FPC CADD DRAFTING SERVICES, INC. SHALL BE HELD HARMLESS  
FPC CADD DRAFTING SERVICES, INC. ACCEPTS NO LIABILITY FOR CHANGES  
AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

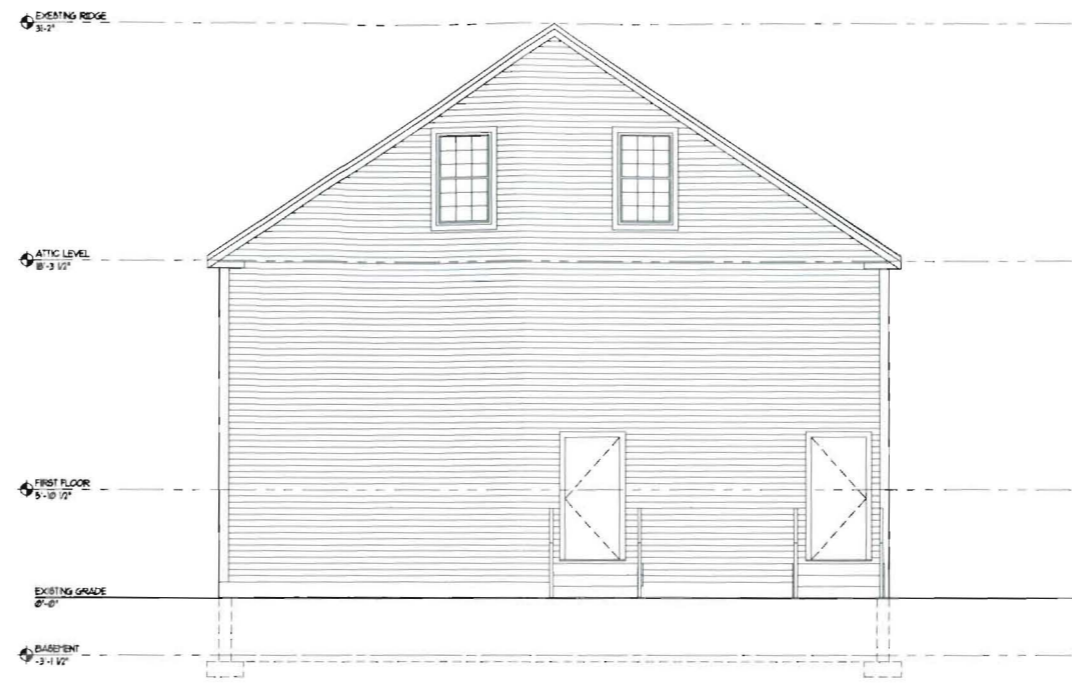
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City of Portland Maine

PROPERTY OF  
FPC CADD  
Engineering Resources Center  
1500 Main Street, Suite 401  
Portland, ME 04103  
207-878-8211 Fax: 207-878-8215  
E-Mail: info@fpcadd.com

1854 FOREST  
1844 FOREST AVENUE, PORTLAND, ME 04103  
ELEVATIONS

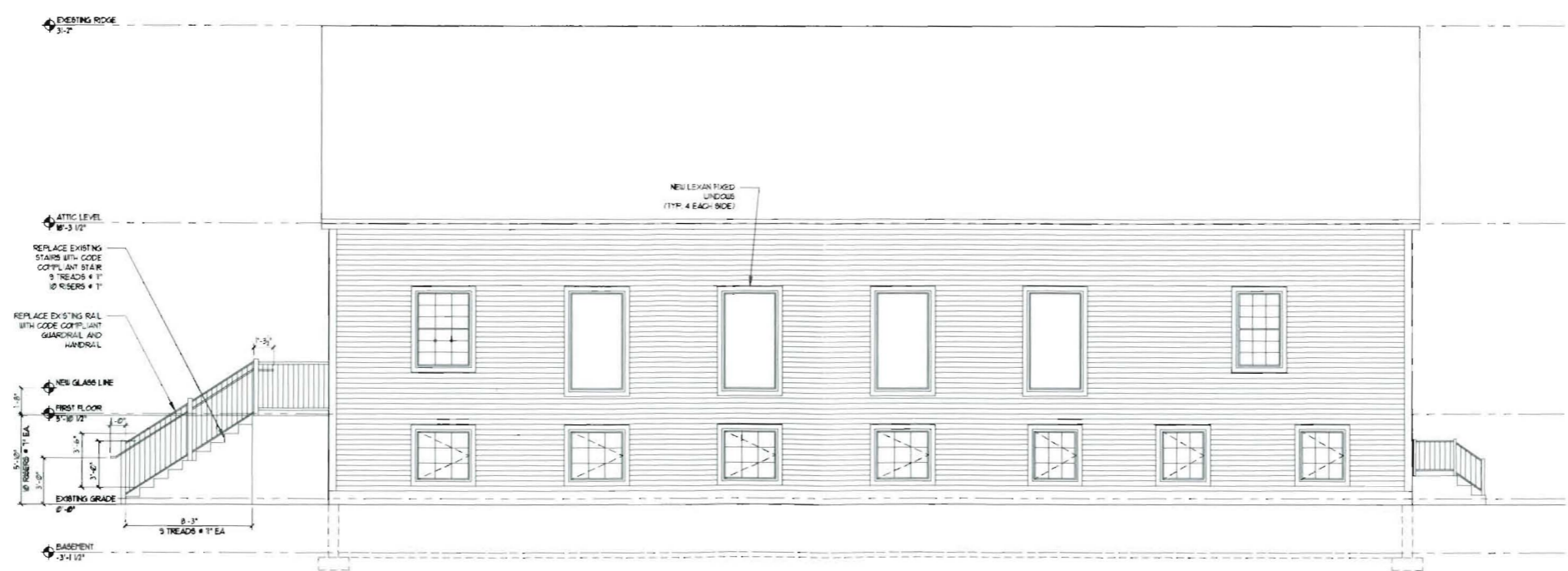


3
2
1
REVS
CODE RC 2003
TOWN PORTLAND
DATE 05-27-11
SCALE 1/4" = 1'-0"
DESIGNED JJO/JJR
DRAWN JJO/JJR
TITLE
ELEVATIONS
FILE
SHEET A3



1 SOUTH ELEVATION  
A4 SCALE: 1/4" = 1'-0"

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City of Portland Maine

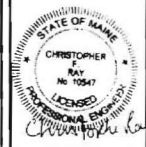


2 WEST ELEVATION  
A4 SCALE: 1/4" = 1'-0"

NOTE:  
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AND LOCAL CODES. NONE OF THE EMPLOYEES OF FMC CADD DRAFTING  
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SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED  
BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION.  
DRAWING IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED  
BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION,  
DRAWING FMC CADD DRAFTING SERVICES, INC. WILL BE HELD HARMLESS.  
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AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

PROPERTY OF  
FMC CADD  
Engineering Resource Center  
Portland, Maine 04103  
202-878-8511 Fax: 202-878-8512  
E-Mail: fmc@fmcadd.com

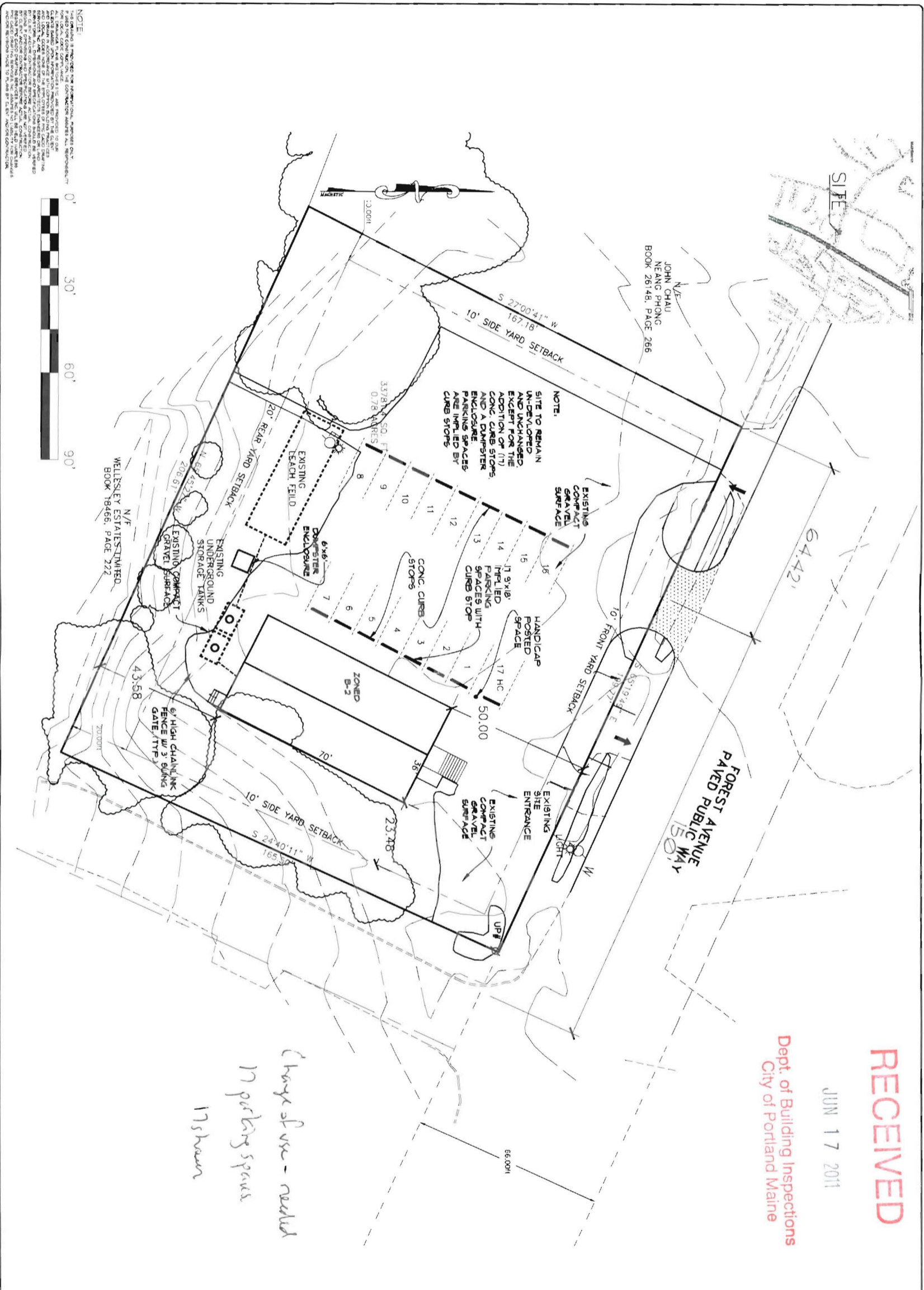
1854 FOREST  
1844 FOREST AVENUE, PORTLAND, ME 04103  
ELEVATIONS



3.	
2.	
1.	
REVS:	
CODE:	RC 2009
TOWN:	PORTLAND
DATE:	05-27-11
SCALE:	1/4" = 1'-0"
DESIGNED:	JJO/JJR
DRAWN:	JJO/JJR
TITLE:	ELEVATIONS
FILE:	
SHEET:	A4

377-B-024  
 permit 2011-06-134 L  
 1854 Forest Ave.

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 City of Portland Maine



*Change of use - needed  
 17 parking spaces  
 17 shown*

1854 Forest Ave  
 Portland, Maine  
 Gabriel Zappia

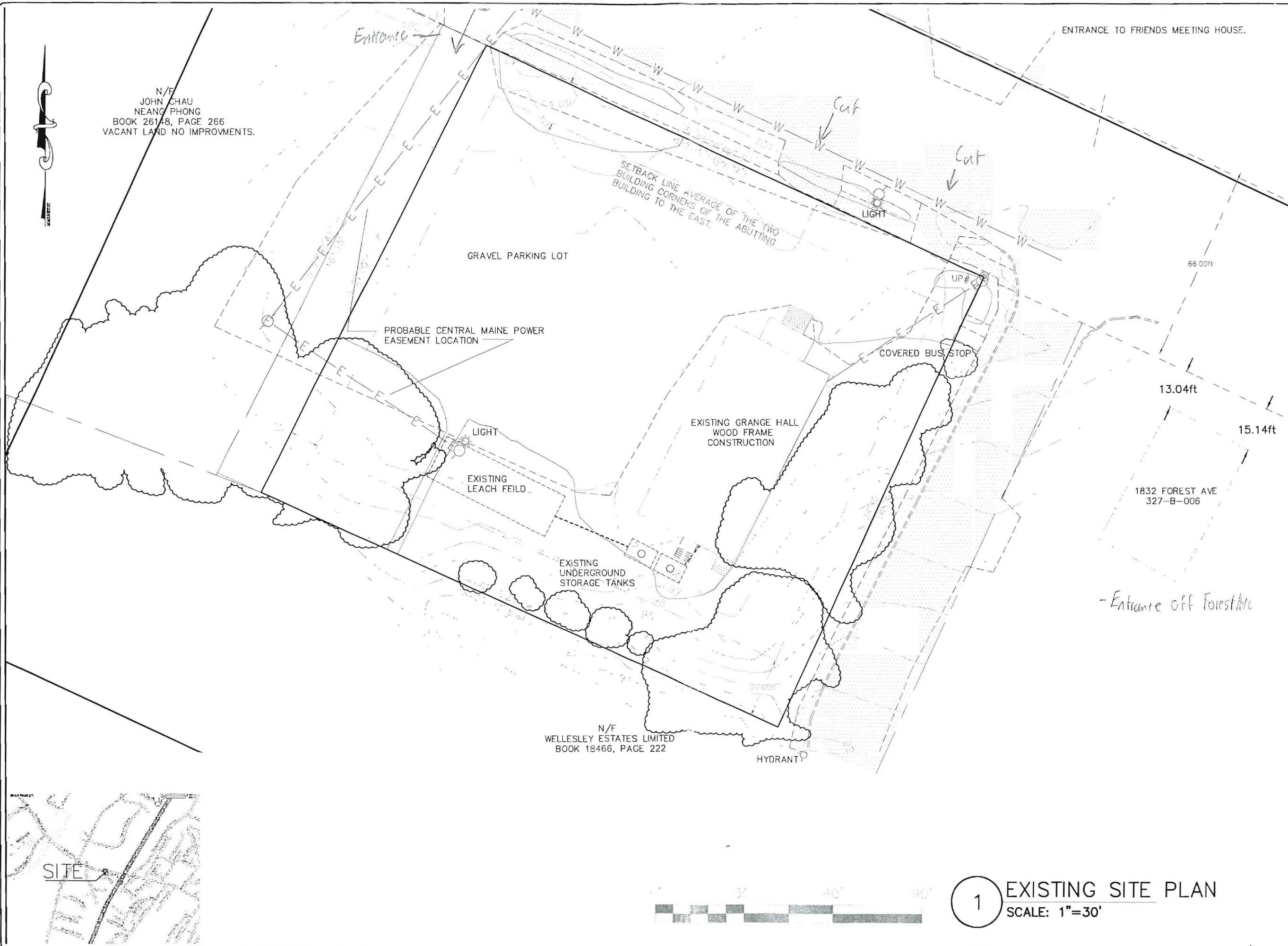
**ERIC CADD** Engineering Resource Center  
 75 Bishop St.  
 Portland, Maine 04101  
 207-776-8511 Fax: 207-475-8515  
 E-Mail: eric@ericadd.com

PROPERTY OF	
FILE	SHEET
	C-1
REV#	
1	
2	
3	
CODE	IBC 2009
TOWN	PORTLAND
DATE	06-16-11
SCALE	1"=30'
DESIGNED	JJO
DRAWN	JJO
TITLE	SITE PLAN





N/F  
JOHN CHAU  
NEANG PHONG  
BOOK 26148, PAGE 266  
VACANT LAND NO IMPROVMENTS.



**1** EXISTING SITE PLAN  
SCALE: 1"=30'

PROPERTY OF



75 Bishop St.  
Portland, Maine 04103  
207-879-8511 Fax: 207-878-8515  
E-Mail: fmc@cadd.com

1894 Forest Ave  
Portland, Maine

1832 FOREST AVE  
327-B-006

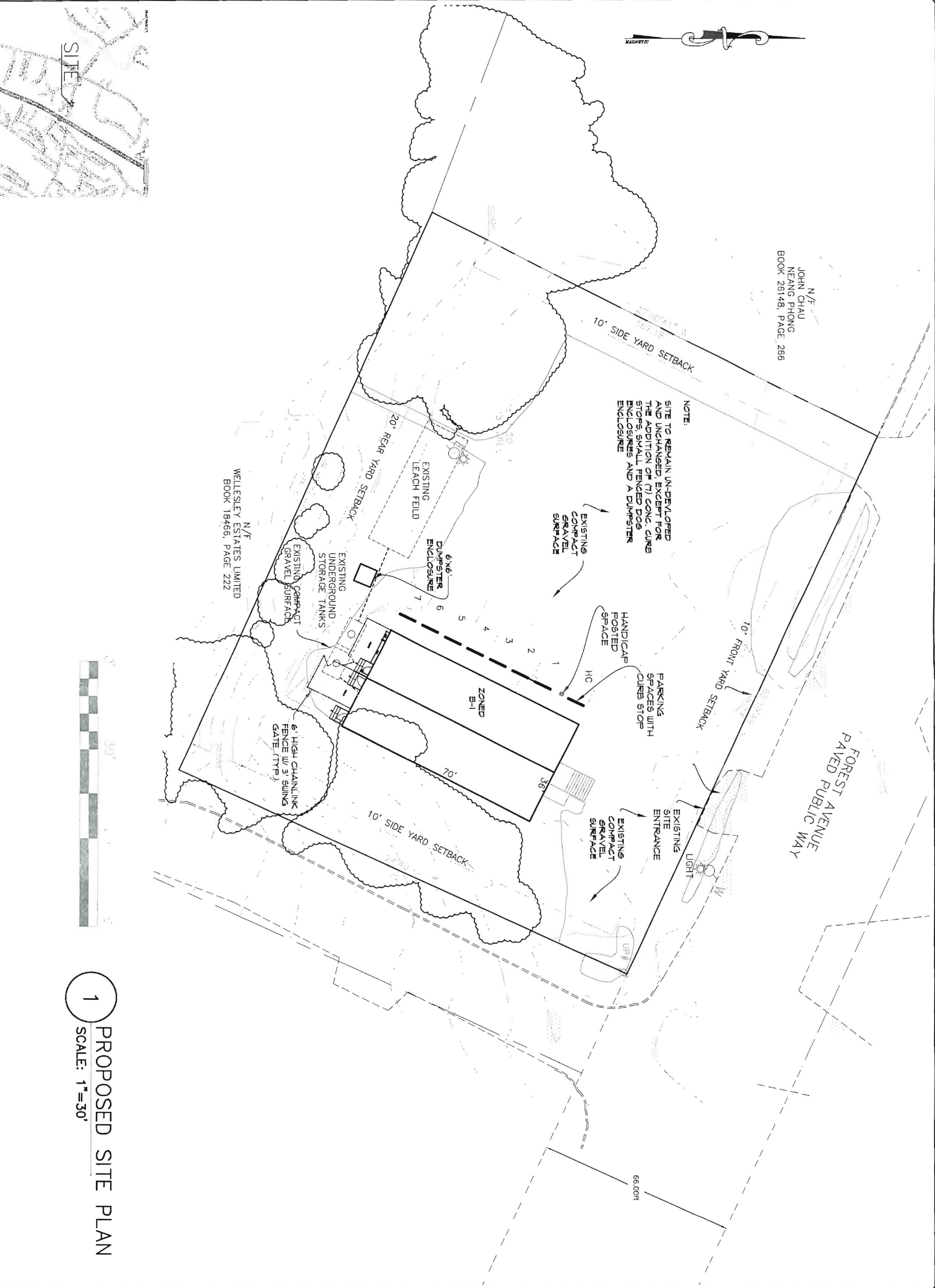
DATE	NO	REMARKS	BY
10-12-10	A	ISSUED FOR PERMITTING	JJO

CODE: IBC 2003  
TOWN: Portland  
DATE: 10-12-10  
SCALE: As Noted  
DRAWN: JJO

TITLE:  
Existing Site Plan

FILE 000-00-09  
SHEET

C-1



N/F  
JOHN CHAU  
NEANG PHONG  
BOOK 26148, PAGE 266

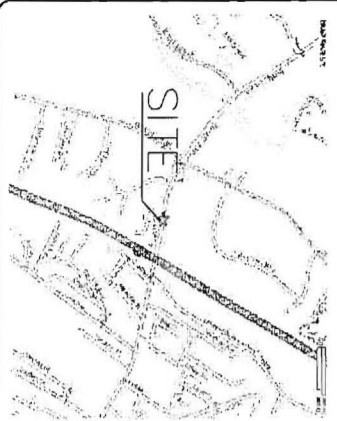
N/F  
WELLESLEY ESTATES LIMITED  
BOOK 18466, PAGE 222

NOTE:  
SITE TO REMAIN UN-DEVELOPED  
AND UNCHANGED EXCEPT FOR  
THE ADDITION OF (7) CONC. CURB  
STOPS, SMALL FENCED DOG  
ENCLOSURES AND A DUMPSTER  
ENCLOSURE

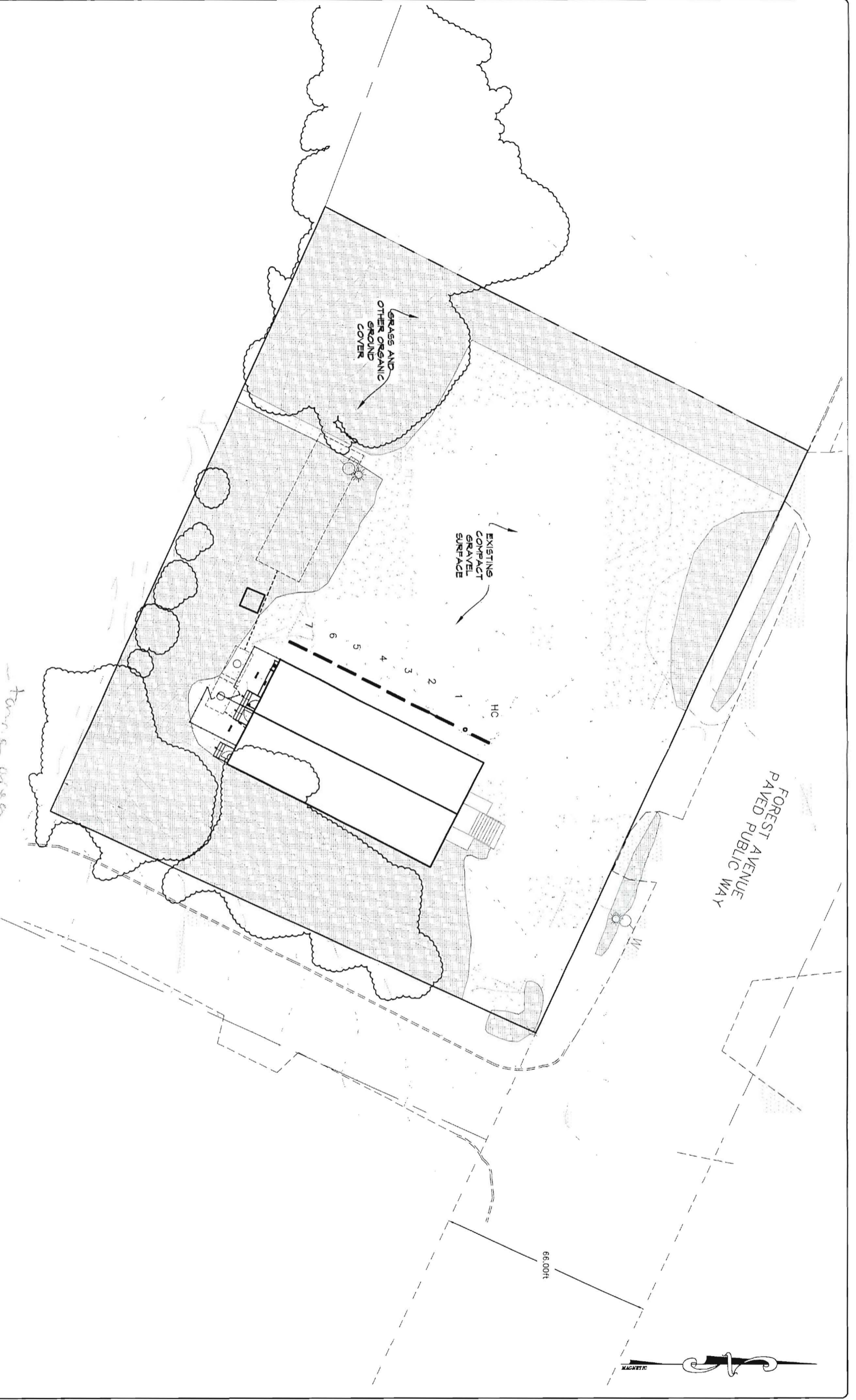


**1** PROPOSED SITE PLAN  
SCALE: 1"=30'

<p>1884 Forest Ave Portland, Maine</p>		<p><b>FMC CADD</b> Engineering Resource Center 23 Riverside Industrial Park Portland, ME 04102 207-478-8511 Fax 207-878-8515 207-329-6499 E-Mail: rep@fmcadd.com</p>		<p>PROPERTY OF</p>
<p>DATE: 12-16-09</p>	<p>NO: A</p>	<p>REMARKS: ISSUED FOR REVIEW</p>	<p>BY: JJO</p>	<p>CODE: IBC 2003</p>
<p>TOWN: Portland</p>	<p>DATE: 10-12-10</p>	<p>SCALE: As Noted</p>	<p>DRAWN: JJO</p>	<p>TITLE: Proposed Site Plan</p>
<p>FILE: 000-00-09</p>	<p>SHEET: C-2</p>			



SITE



*Handwritten notes:*

- fence area
- affect rd sewer
- reason of parking area



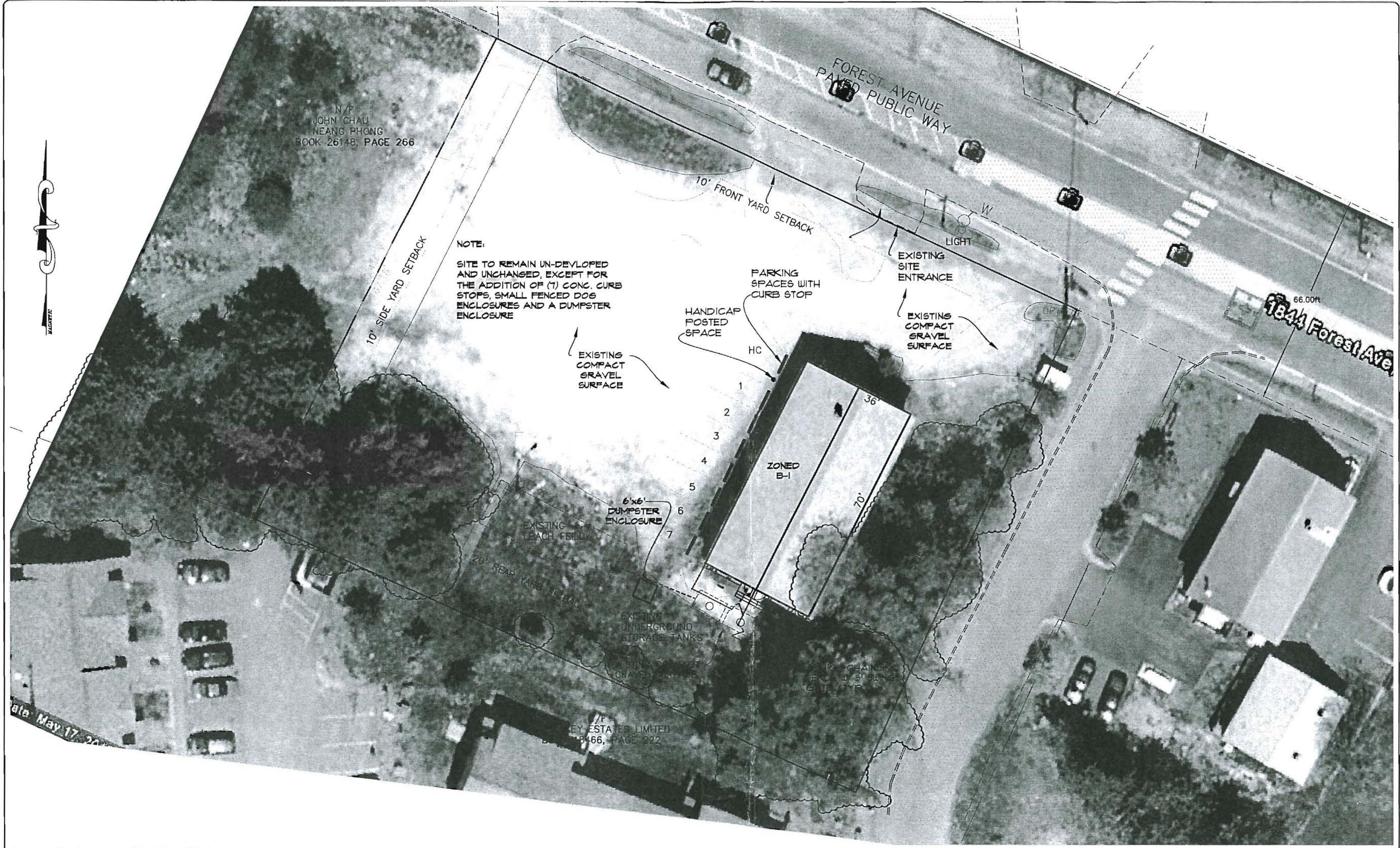
1

# GROUND COVER PLAN

SCALE: 1" = 30'



PROPERTY OF	235 Riverside Industrial Parkway Portland, ME 04102 207-329-6499	1844 1884 Forest Ave Portland, Maine
BY	JJO	
NO	A	ISSUED FOR REVIEW
DATE	12-16-09	
CODE:	IBC 2003	
TOWN:	Portland	
DATE:	10-12-10	
SCALE:	As Noted	
DRAWN:	JJO	
TITLE:	Ground Cover	
FILE:	000-00-09	
SHEET:	C-3	



N/P  
JOHN CHAU  
NEANG PHONG  
BOOK 26148, PAGE 266

NOTE:  
SITE TO REMAIN UN-DEVELOPED AND UNCHANGED, EXCEPT FOR THE ADDITION OF (7) CONC. CURB STOPS, SMALL FENCED DOG ENCLOSURES AND A DUMPSTER ENCLOSURE

N/P  
LEY ESTATES LIMITED  
BOOK 26166, PAGE 222

PROPERTY OF  
**FMC CADD**  
Engineering Resource Center  
233 Riverside Industrial Park  
Portland, ME 04102  
207-878-8511 Fax 207-878-8515  
E-Mail: rpro@fmcadd.com

1884 Forest Ave  
Portland, Maine

DATE	NO	REMARKS	BY
12-16-09	A	ISSUED FOR REVIEW	JJO

CODE: IBC 2003  
TOWN: Portland  
DATE: 10-12-10  
SCALE: As Noted  
DRAWN: JJO  
TITLE: Proposed Site Plan with Image  
FILE: 000-00-09  
SHEET  
C-4

**1** PROPOSED SITE PLAN  
SCALE: 1"=30'

**Planning Division Use Only**

Authorization Granted

Partial Exemption

Exemption Denied

1. *This approval is for the reuse of the Grange Hall only to a Karate Dojo and does not authorize any commercial or residential use.*

2. *All points of ingress and egress are subject to review and approval in any future site plan submission.*

Standard Condition of Approval: The applicant shall obtain all required City Permits, including building permits from the Inspection Division (Room 315, City Hall (874-8703)) prior to the start of any construction.

**IMPORTANT NOTICE TO APPLICANT:** The granting of an Administrative Authorization to exempt a development from site plan review does not exempt this proposal from other approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (207)874-8703, to determine what other City permits, such as a building permit, will be required.

**PROVISION OF PORTLAND CITY CODE**

**14-523 (SITE PLAN ORDINANCE)**

**RE: Administrative Authorization**

**Sec. 14-523 (b). Applicability**

No person shall undertake any development identified in Section 14-523 without obtaining a site plan improvement permit under this article. (c) Administrative Authorization. Administrative Authorization means the Planning Authority may grant administrative authorization to exempt a development proposal from complete or partial site plan review that meets the standards below, as demonstrated by the applicant.

1. The proposed development will be located within existing structures, and there will be no new buildings, demolitions, or building additions other than those permitted by subsection b of this section;
2. Any building addition shall have a new building footprint expansion of less than five hundred (500) square feet;
3. The proposed site plan does not add any new curb cuts, driveways, or parking areas; the existing site has no more than one (1) curb cut and will not disrupt the circulation flows and parking on-site; and there will be no drive-through services provided;
4. The curbs and sidewalks adjacent to the lot are complete and in sound condition, as determined by the public works authority, with granite curb with at least four (4) inch reveal, and sidewalks are in good repair with uniform material and level surface and meet accessibility requirements of the Americans with Disabilities Act;
5. The use does not require additional or reduce existing parking, either on or off the site, and the project does not significantly increase traffic generation;
6. There are no known stormwater impacts from the proposed use or any existing deficient conditions of stormwater management on the site;
7. There are no evident deficiencies in existing screening from adjoining properties; and
8. Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way.
9. There are no current zoning violations;
10. Any emergency generators are to be located to minimize noise impacts to adjoining properties and documentation that routine testing of the generators occur on weekdays between the hours of 9 a.m. to 5 p.m. Documentation pertaining to the noise impacts of the emergency generator shall be submitted; and
11. There is no anticipated noise, vibration, glare, fumes or other foreseeable impacts associated with the project.

- a. **Filing the Application.** An applicant seeking an administrative authorization under this subsection shall submit an administrative authorization application for review, detailing the site plan with dimensions of proposed improvements and distances from all property lines, and stating that the proposal meets all of the provisions in standards 1-11 of Section 14-423 (b)1. **The application must be accompanied by an application fee of \$50.**
- b. **Review.** Upon receipt of such a complete application, the Planning Authority will process it and render a written decision of approval, approval with conditions or denial, with all associated findings.
- c. **Decision.** If a full administrative authorization is granted, the application shall be approved without further review under this article, and no performance guarantee shall be required. In the event that the Planning Authority determines that standards a and b of Section 14-523 (b) (1) and at least four (4) of the remaining standards have been met, the Planning Authority shall review the site plan according to all applicable review standards of Section 14-526 that are affected by the standards in this subsection that have not been met. If an exemption or partial exemption from site plan review is not granted, the applicant must submit a site plan application that will undergo a full review by the Planning Board or Planning Authority according to the standards of Section 14-526.

**Jeanie Bourke - 1854 Forest Avenue**

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**From:** "Monti, Barbara" <monti@unitil.com>  
**To:** "Jeanie Bourke" <JMB@portlandmaine.gov>, <smh@portlandmaine.gov>  
**Date:** 11/5/2010 3:46 PM  
**Subject:** 1854 Forest Avenue (1844)

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Good afternoon ladies,

Mr Zappia is all set to do his interior demo.

Any questions please let me know.

barb

Barbara Monti  
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