

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that Gabriel J Zappia

Located At 1854 FOREST AVE

Job ID: 2011-06-1396-ALTCOMM

CBL: 327 - - B - 004 - 001 - - - -

has permission to Phase 1. Change the Use from a community hall to karate center, basement & 1st flr, 2nd floor vacant provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

[Signature] 6/29/11

Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD**



Certificate of Occupancy



CITY OF PORTLAND, MAINE

Department of Planning and Urban Development

Building Inspections Division

Location: 1854 FOREST AVE

CBL: 327- B-004-001

Issued to: Gabriel J Zappia

Date Issued: 8/14/2012

This is to certify that the building, premises, or part thereof, at the above location, built-altered-changed as to use under Building Permit No. 2011-06-1396-ALTCOMM, has had a final inspection, has been found to conform substantially to the requirements of the Building Code and the Land Use Code of the City of Portland, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

BASEMENT AND FIRST FLOOR

APPROVED OCCUPANCY

USE GROUP A-3
KARATE CENTER
TYPE 5-B
IBC 2009

Approved:

8-14-2012

(Date)

Inspector





Inspections Division Director

Notice: This certificate identifies the legal use of the building or premises, and ought to be transferred from owner to owner upon the sale of the property.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-06-1396-ALTCOMM	Date Applied: 6/14/2011	CBL: 327 - - B - 004 - 001 - - - - -	
Location of Construction: 1854 FOREST AVE	Owner Name: Gabriel J Zappia	Owner Address: 18 COTTAGE LN CAPE ELIZABETH, ME 04107	Phone: 207-615-1399
Business Name:	Contractor Name: John Hoefnagles	Contractor Address: 136 Stanford St., South Portland, ME 04106	Phone: 207-767-3222
Lessee/Buyer's Name:	Phone:	Permit Type: CHANGE OF USE	Zone: B-2
Past Use: Grange Hall	Proposed Use: Karate Center – change of use from Community Hall to Karate Center (basement & 1 st floor) – 2 nd floor remains vacant Phase 1	Cost of Work: 30000.00 Fire Dept: <input checked="" type="checkbox"/> Approved w/ conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A Signature: <i>Bjorkner</i> <i>SB</i>	CEO District: Inspection: Use Group: A-3 Type: SB DBL 2009 Signature: <i>JMB</i> 6/29/11
Proposed Project Description: Remodel Existing Grange Hall to Karate studio – change of use		Pedestrian Activities District (P.A.D.)	
Permit Taken By:	Zoning Approval		

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetlands</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p><input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM</p> <p>Date: <i>OK w/ conditions</i> <i>6/15/11 ABU</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>ABU</i></p>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHON

12-29-12 DWM/BKL Gabriel 615-1399 Close-in
Fail Provide fire blocking, secure T-Bar

6-4-12 DWM close-in OK

7-3-12 GF Final Fail - Not close to ready

8-14-12 DWM Final OK

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
 1. In-slab plumbing inspection
 2. Footings/Setback for entry
 3. Framing of entry
 4. Close In Framing/Plumbing/Electrical
 5. Certificate of Occupancy/Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Lous

Job ID: 2011-06-1396-ALTCOMM

Located At: 1854 FOREST

CBL: 327 - - B - 004 - 001 - - - -

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Site plan submitted on shows the required 17 parking spaces for the change of use. Any deviations shall require a separate approval before starting that work.
2. Separate permits shall be required for any new signage.
3. With the issuance of this permit and the certificate of occupancy, the use of this building will be a karate school in the basement and first floor and the second floor (attic) will remain vacant. Any change of use shall require a separate permit application for review and approval.

Fire

1. Permit is approved based on revision dated 5/23/11.
2. All construction shall comply with City Code Chapter 10.
3. Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit and on the same circuit as the lighting for the area they serve.
4. Fire extinguishers are required. Installation per NFPA 10.
5. A separate Fire Alarm Permit is required for new systems; or for work effecting more than 5 fire alarm devices; or replacement of a fire alarm panel with a different model.

Building

1. Application approval based upon information provided by applicant with revisions dated 6/23/11 and 6/28/11. Any deviation from approved plans requires separate review and approval prior to work.
2. Permit approved based on the plans submitted and reviewed w/owner/ contractor, with additional information as agreed on and as noted on plans.
3. All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2009 Section 713.
4. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
5. A water fountain is required for this use, primed floor drains required in the bathrooms.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

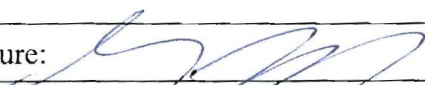
Location/Address of Construction: <u>1854 Forest Ave</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot <u>.68ac</u>	Number of Stories <u>two</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>327 B 4</u>	Applicant * <u>must be owner, Lessee or Buyer*</u> Name <u>Gabriel Zappia</u> Address <u>18 Cottage Ln</u> City, State & Zip <u>Cape Eliz. ME</u>	Telephone: <u>615-1399</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>30,000</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>NONE</u> community ctr (vacant) Number of Residential Units <u>0</u> If vacant, what was the previous use? <u>community center</u> Proposed Specific use: <u>karate school</u> Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: <u>Basement and main Floor will be a karate school. Attic will be unused and vacant.</u>		
Contractor's name: <u>John Hoefnagels</u> Address: <u>136 Stanford St.</u> City, State & Zip <u>So. Portland, ME 04106</u> Telephone: <u>767-3222</u> Who should we contact when the permit is ready: <u>Gabriel Zappia</u> Telephone: <u>615-1399</u> Mailing address: <u>18 Cottage Ln, Cape Elizabeth, ME 04107</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

RECEIVED

Signature: 	Date: <u>6-15-11</u>	JUN 15 2011
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This is not a permit; you may not commence ANY work until the permit is issued. Dept. of Building Inspections City of Portland Maine



Certificate of Design Application

From Designer: John Ossie
 Date: 6/1/11
 Job Name: 1854 Forest Ave
 Address of Construction: 1854 Forest Ave

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year 2009 Use Group Classification (s) Assembly A-3
 Type of Construction Type V
 Will the Structure have a fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC No
 Is the Structure mixed use? No If yes, separated or non separated or non separated (section 302.3) _____
 Supervisory alarm System? No Geotechnical/Soils report required? (See Section 1802.2) _____

Structural Design Calculations

_____ Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

Wind loads (1603.1.4, 1609)

_____ Design option utilized (1609.1.1, 1609.6)
 _____ Basic wind speed (1809.3)
 _____ Building category and wind importance factor, I_w (table 1604.5, 1609.5)
 _____ Wind exposure category (1609.4)
 _____ Internal pressure coefficient (ASCE 7)
 _____ Component and cladding pressures (1609.1.1, 1609.6.2.2)
 _____ Main force wind pressures (1603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

_____ Design option utilized (1614.1)
 _____ Seismic use group ("Category")
 _____ Spectral response coefficients, S_D & S_M (1615.1)
 _____ Site class (1615.1.5)

_____ Live load reduction
 _____ Roof live loads (1603.1.2, 1607.11)
 _____ Roof snow loads (1603.7.3, 1608)
 _____ Ground snow load, P_g (1608.2)
 _____ If $P_g > 10$ psf, flat-roof snow load P_f
 _____ If $P_g > 10$ psf, snow exposure factor, C_e
 _____ If $P_g > 10$ psf, snow load importance factor, I_s
 _____ Roof thermal factor, C_r (1608.4)
 _____ Sloped roof snowload, P_s (1608.4)
 _____ Seismic design category (1616.3)
 _____ Basic seismic force resisting system (1617.6.2)
 _____ Response modification coefficient, R , and deflection amplification factor, C_d (1617.6.2)
 _____ Analysis procedure (1616.6, 1617.5)
 _____ Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

_____ Flood Hazard area (1612.3)
 _____ Elevation of structure

Other loads

_____ Concentrated loads (1607.4)
 _____ Partition loads (1607.5)
 _____ Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



Accessibility Building Code Certificate

Designer: John Ossi FMC CADD

Address of Project: 1854 Forest

Nature of Project: 1854 Forest Re-model into
Karate studio

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.

(SEAL)

Signature: [Signature]

Title: owner/owner

Firm: FMC CADD

Address: 141 Prob. St.
Portland, ME 04101

Phone: 875-0511

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design

Date: 6/1/2011

From: John B SSK Fmc CADDO

These plans and / or specifications covering construction work on:

Re-model of 1054 Forest Ave

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.

Signature: John B SSK

Title: Owner / Designer

Firm: Fmc CADDO

Address: 141 Preble St

Portland, ME 04101

Phone: 873-0511

(SEAL)

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

Fire Comments

The stair between the basement and first floor has dueling doors between the basement and bathroom doors. It's not a required exit from the basement, but it is from the first floor.

The rear exit from the basement does not need to be enclosed. It does not penetrate floors, but only climbs a few steps and exits directly outside at grade.

1854 FOREST RE-MODEL

1844 FOREST AVENUE
PORTLAND, ME 04101

OWNER:
GABRIEL ZAPPIA



DRAWN BY



Engineering Resource Center

75 Bishop St.
Portland, Maine 04103
207-878-8511 Fax 207-878-8515
E-Mail fmc@fmcadd.com

SHEET LIST

- A0 COVER SHEET
- A01 SITE PLAN
- D1. EXISTING & DEMO PLANS
- A1 BASEMENT & FIRST FLOOR PLANS
- A2 NOT USED
- A3 ELEVATIONS
- A4 ELEVATIONS
- A5 SECTION
- LS1 BASEMENT & FIRST FLOOR LIFE SAFETY PLANS

BUILDING CODE COMPLIANCE:

Design Criteria - This project has been designed for compliance with the following codes:

- A. International Building Code (IBC) 2009 Edition
- B. NFPA 101 - 2009 Edition

Convert existing community hall (A-3 Assembly), currently vacant, to a rehearsal and studio.

Total Square Footage	5,180 sf
Occupancy Classification	Group A-3 Assembly
Use Group Classification	Exercise Room
Occupant Load 1st Floor (100/sf)	41
Occupant Load Ground Floor (173/sf)	36
Occupant Load Office Area (106/sf)	7
Total Occupant Load	79
Required egress units @ 21 per occupant - 24', 108" provided	
Construction Classification	Type V

Fire System Requirements

- A. An automatic sprinkler system is not required
- B. Portable fire extinguishers rating shall be 2-A:20-B:C. Spacing shall not exceed 75-feet
- C. Fire Alarm and detection system is not required

NOTE:
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY.
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE AND TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
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PROPERTY OF

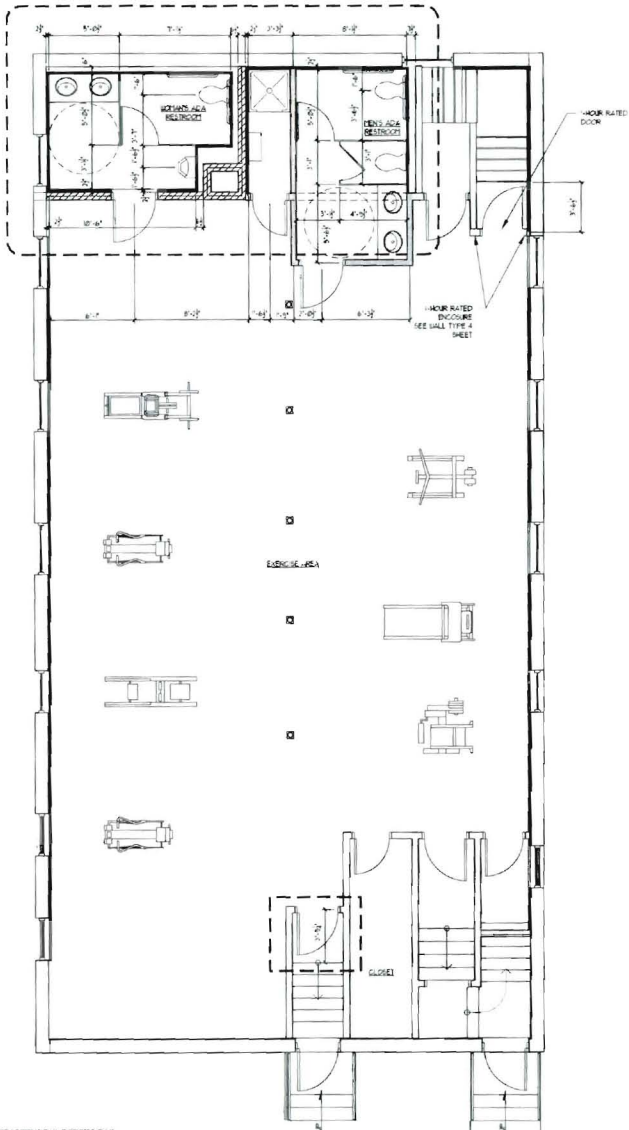


1844 FOREST
1844 FOREST AVENUE, PORTLAND, ME 04103
COVER SHEET

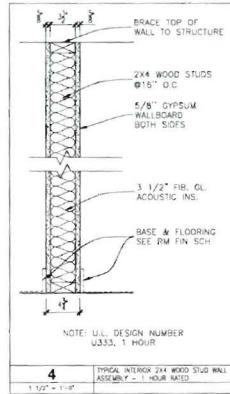


Revised
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JUN 23 2011
Dept. of Building Inspections
City of Portland Maine

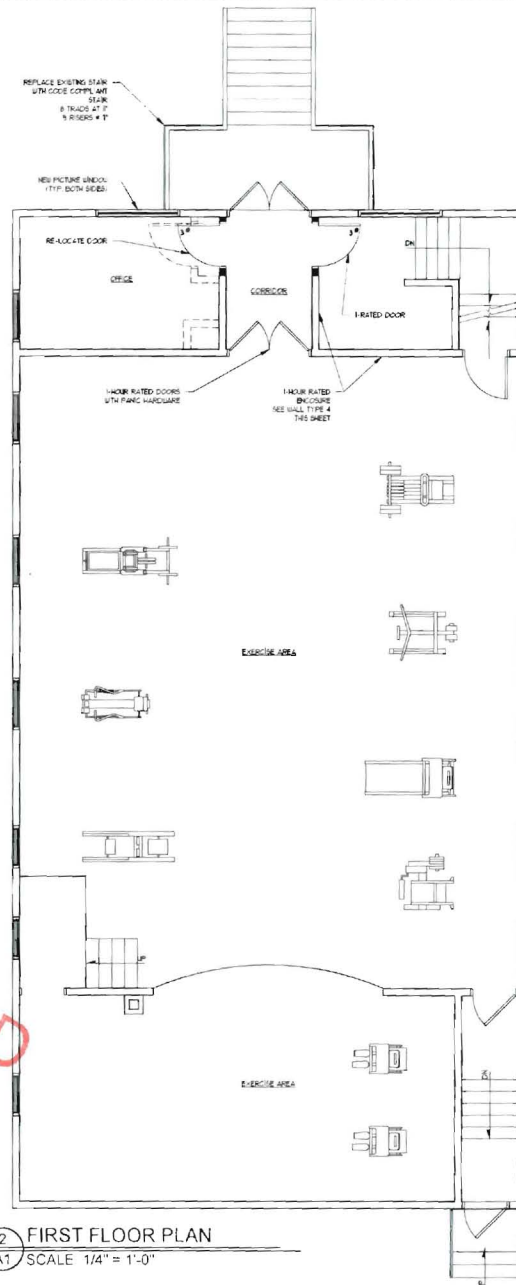
3	
2	
1	Revised Permit
REVS	
CODE	RC 2009
TOWN	PORTLAND
DATE	03-28-11
SCALE	NTS
DESIGNED	JJ/JJR
DRAWN	JJ/JJR
TITLE	COVER SHEET
FILE	
SHEET	A0



1 BASEMENT FLOOR PLAN
A1 SCALE 1/4" = 1'-0"



3 1-HOUR RATED WALL
A1 SCALE 1-1/2" = 1'-0"



2 FIRST FLOOR PLAN
A1 SCALE 1/4" = 1'-0"

NOTES:
1. THE DRAWINGS PROVIDED FOR INFORMATIONAL PURPOSES ONLY.
2. PERMITS FOR CONSTRUCTION OF THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODES/ORDINANCES.
3. ALL DIMENSIONS PLANNED TO BE CONSTRUCTED ARE PROVIDED TO DIMENSIONS BASED ON THE INFORMATION PROVIDED BY THE CLIENT.
4. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LOCAL CODES AND FOR THE OBTAINING OF ANY CODES/ORDINANCES.
5. THE CLIENT ASSUMES RESPONSIBILITY FOR OBTAINING ALL NECESSARY PERMITS AND LOCAL CODES AND FOR THE OBTAINING OF ANY CODES/ORDINANCES.
6. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LOCAL CODES AND FOR THE OBTAINING OF ANY CODES/ORDINANCES.
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8. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LOCAL CODES AND FOR THE OBTAINING OF ANY CODES/ORDINANCES.

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JUN 23 2011

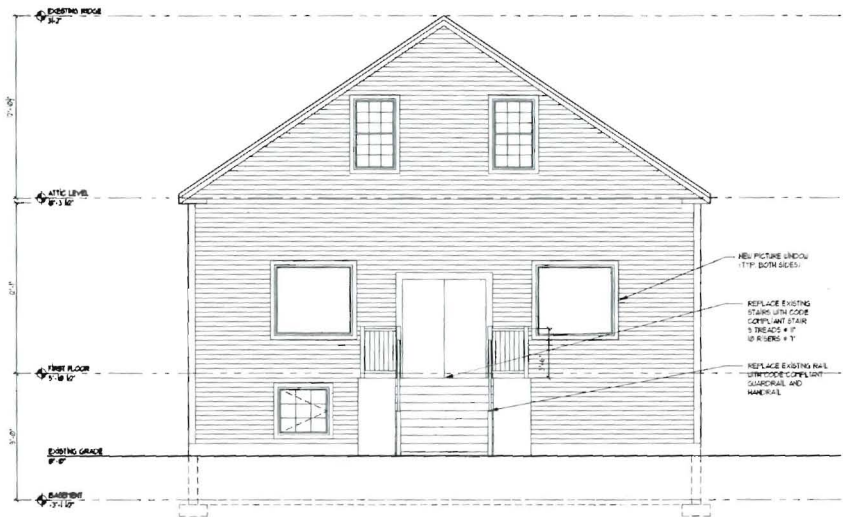
Dept. of Building Inspections
City of Portland Maine



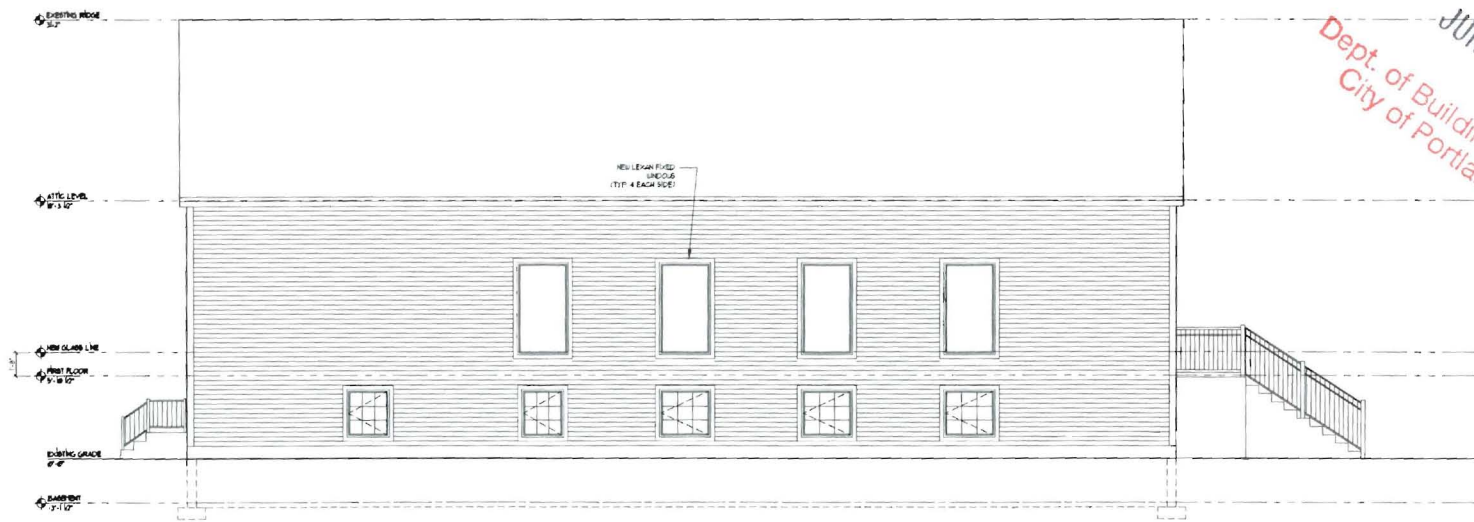
1844 FOREST
1844 FOREST AVENUE, PORTLAND, ME 04103
BASEMENT & FIRST FLOOR PLANS



3
2
1 Revised Permit
REVS
CODE RC 2003
TOWN PORTLAND
DATE 05-24-11
SCALE 1/4" = 1'-0"
DESIGNED JG/JJR
DRAWN JG/JJR
TITLE BASEMENT & FIRST FLOOR PLANS
FILE
SHEET A1



1 NORTH ELEVATION
A3 SCALE 1/4" = 1'-0"



2 WEST ELEVATION
A3 SCALE 1/4" = 1'-0"

NOTE:
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY.
I, THE ARCHITECT, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY
FOR LOCAL CODE COMPLIANCE.
ALL DIMENSIONS PLUMB, SQUARE, ETC. ARE INDICATED TO OUR
CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT
AND DIMENSIONS INDICATED ON CITY COMMON RECORDS, PLANS
AND LOCAL CODES. NONE OF THE DIMENSIONS OF THIS DRAWING
REPRESENTS ANY DIMENSIONS AND SPECIFICATIONS SHOULD BE OBTAINED
BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION.
REVISIONS, IF ANY, SHOULD BE INDICATED BY A REVISION
BY THE ARCHITECT. CONTRACTOR SHALL BE RESPONSIBLE FOR
OBTAINING ALL LOCAL CODES AND REGULATIONS AND FOR OBTAINING
THE LOCAL CODES DRAWING SERVICES. THIS SHALL BE HELD HARMLESS
THE ARCHITECT AND ENGINEER. THE ARCHITECT HAS NO LIABILITY FOR
ANY REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

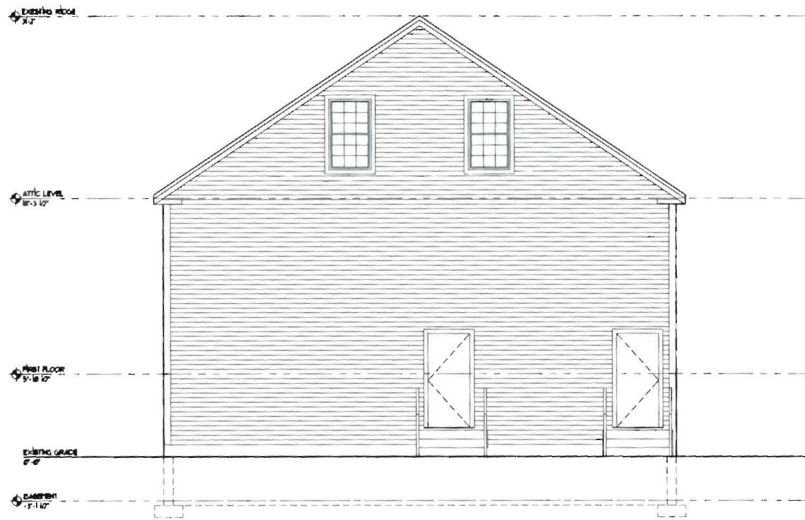
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JUN 23 2011
Dept. of Building Inspections
City of Portland Maine

PROPERTY OF
JFK&BDD
Engineering Resource Center
75 Riverside
Portland, Maine 04101
Tel: 603.763.1111
Fax: 603.763.1111

1844 FOREST
1844 FOREST AVENUE, PORTLAND, ME 04103
ELEVATIONS

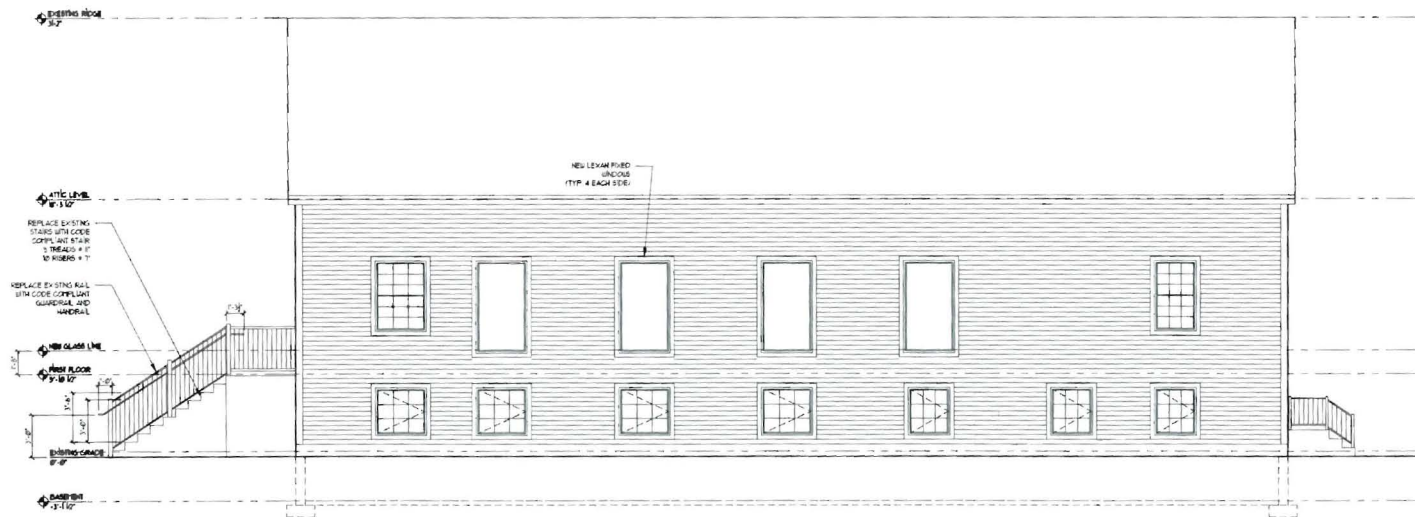
STATE OF MAINE
CHRISTOPHER J. JUDY
No. 10347
LICENSED PROFESSIONAL ARCHITECT
CREATED BY: JUDY

3
2
1 Revised Permit
REV#
CODE IRC 2009
TOWN PORTLAND
DATE 03-28-11
SCALE 1/4" = 1'-0"
DESIGNED JJJ/JJR
DRAWN JJJ/JJR
TITLE
ELEVATIONS
FILE
SHEET A3



1 SOUTH ELEVATION
A4 SCALE 1/4" = 1'-0"

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Dept. of Building Inspections
City of Portland Maine



2 EAST ELEVATION
A4 SCALE 1/4" = 1'-0"

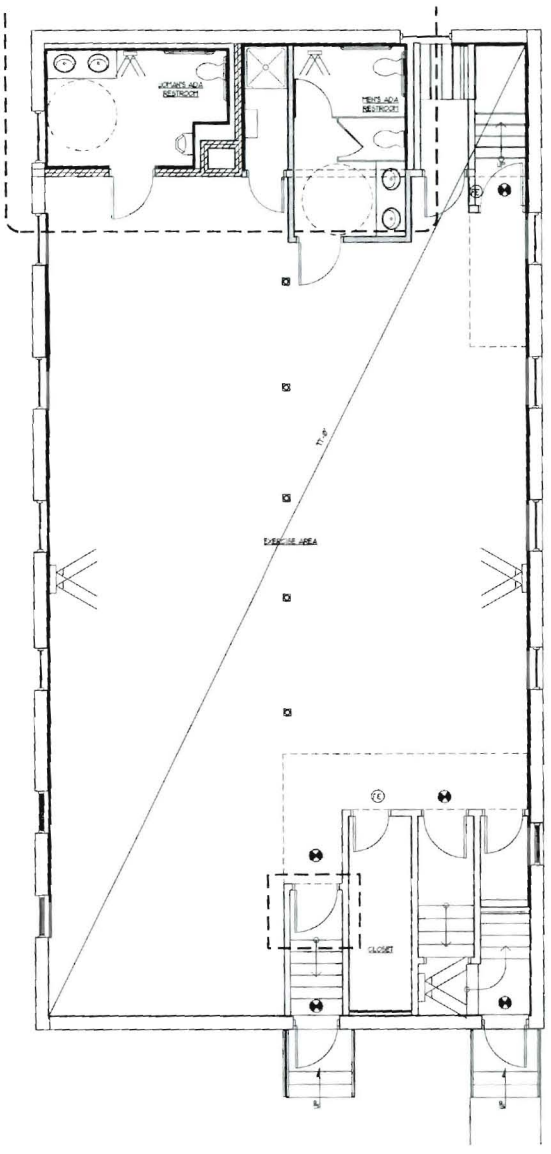
NOTE:
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY.
IF USED FOR CONTRACTOR OR ARCHITECTURAL PURPOSES, ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE
AND ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY THE CLIENT AND/OR ARCHITECT PRIOR TO CONSTRUCTION.
THIS DRAWING IS NOT TO BE USED FOR PERMITS OR AS A BASIS FOR CONSTRUCTION WITHOUT THE SIGNATURE AND SEAL OF A REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT.
FOR MORE INFORMATION, CONTACT THE ARCHITECT AT THE ADDRESS LISTED BELOW.
FOR PERMITS, CONTACT THE CITY OF PORTLAND DEPARTMENT OF BUILDING INSPECTIONS AT THE ADDRESS LISTED BELOW.



PROPERTY OF
FMCADD Engineering Research Center
Portland, Maine 04103
1844 FOREST AVENUE, PORTLAND, ME 04103
ELEVATIONS



3
7
1 Revised Permit
REVS:
CODE IRC 2009
TOWN PORTLAND
DATE 05-28-11
SCALE 1/4" = 1'-0"
DESIGNED: JJOUR
DRAWN: JJOUR
TITLE
ELEVATIONS
FILE
SHEET A4



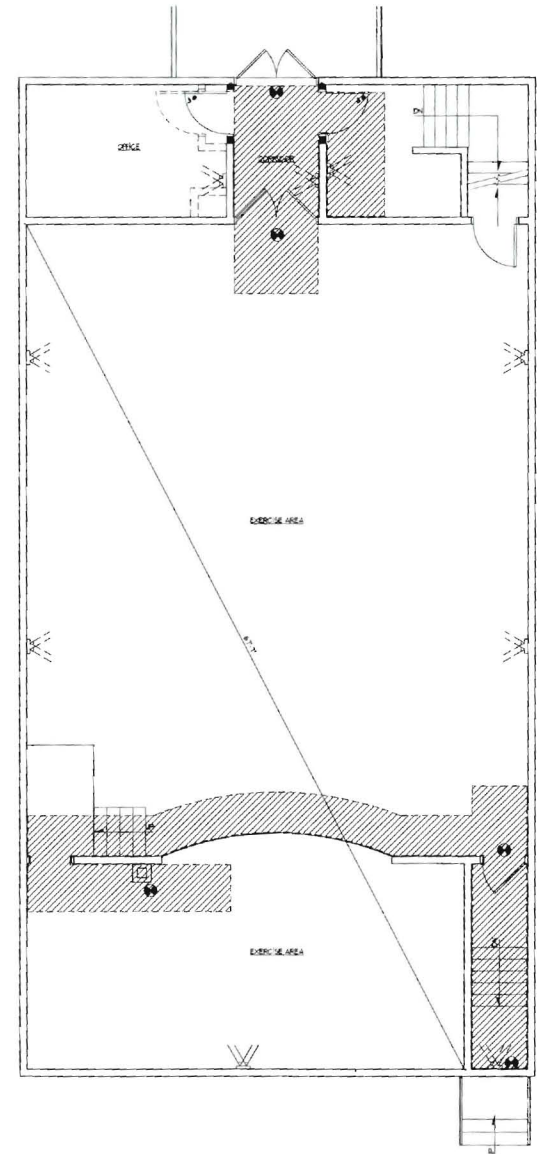
-  EGRESS PATH TO BE KEPT CLEAR
-  FIRE EXTINGUISHER (CLASS "ABC")
-  EXIT SIGN
-  EMERGENCY LIGHT PACK
-  PULL STATION
-  HORN STROBE
-  STROBE
-  EXIT DOOR TAG
-  SMOKE DETECTOR

RECEIVED

JUN 23 2011

Dept. of Building Inspections
City of Portland Maine

1 BASEMENT LIFE SAFETY PLAN
LS1 SCALE 1/4" = 1'-0"



2 FIRST FLOOR LIFE SAFETY PLAN
LS1 SCALE 1/4" = 1'-0"

NOTE:
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IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE.
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF PORTLAND BUILDING DEPARTMENT REGULATIONS AND SPECIFICATIONS.
CONTRACTOR SHALL VERIFY ALL CONDITIONS AND SPECIFICATIONS BEFORE BEGINNING CONSTRUCTION.
THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PORTLAND BUILDING DEPARTMENT.
THIS DRAWING IS THE PROPERTY OF JJC&J ENGINEERING, INC. AND SHALL BE KEPT IN CONFIDENCE.
NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF JJC&J ENGINEERING, INC.

PROPERTY OF



1844 FOREST
1844 FOREST AVENUE, PORTLAND, ME 04103

BASEMENT & FIRST FLOOR LIFE SAFETY PLANS


 STATE OF MAINE
 CERTIFIED
 JUNE 23 2011
 JJC&J ENGINEERING, INC.

3	
2	
1	Revised Permit
REVS	
CODE	RC 2009
TOWN	PORTLAND
DATE	03-29-11
SCALE	1/4" = 1'-0"
DESIGNED	JJC&J
DRAWN	JJC&J
TITLE	BASEMENT & FIRST FLOOR LIFE SAFETY PLANS
FILE	
SHEET	LS1



Administrative Authorization Application

Portland, Maine

Planning and Urban Development Department, Planning Division

PROJECT NAME: Remodel 1884 Forest Avenue

PROJECT ADDRESS: 1844 Forest Ave CHART/BLOCK/LOT: 327-B-004

APPLICATION FEE: _____ (\$50.00)

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of the Proposal/Development)

Convert Old Grange Hall Community Center into Karate dojo / Community Center

not allowed under zoning building been vacant for more than year ASU 6/18/11

CONTACT INFORMATION:

OWNER/APPLICANT

Name: Gabriel Zappia

Address: 18 Cottage Lane
Cape Elizabeth

Work #: _____

Cell #: 615-1899

Fax #: _____

Home #: _____

E-mail: _____

CONSULTANT/AGENT

Name: John Ossie

Address: 141 Problo St.
Portland, ME

Work #: 878-8511

Cell #: 329-6499

Fax #: _____

Home #: _____

E-mail: _____

Criteria for an Administrative Authorizations: (see section 14-523(4) on pg. 2 of this appl.)

Applicant's Assessment Planning Division Y(yes), N(no), N/A

Criteria	Applicant's Assessment	Planning Division
a) Is the proposal within existing structures?	<u>yes</u>	<u>Y</u>
b) Are there any new buildings, additions, or demolitions?	<u>No</u>	<u>N</u>
c) Is the footprint increase less than 500 sq. ft.?	<u>yes</u>	<u>N/A</u>
d) Are there any new curb cuts, driveways or parking areas?	<u>No</u>	<u>N</u>
e) Are the curbs and sidewalks in sound condition?	<u>yes</u>	<u>N/A</u>
f) Do the curbs and sidewalks comply with ADA?	<u>yes</u>	<u>N/A</u>
g) Is there any additional parking?	<u>No</u>	<u>N</u>
h) Is there an increase in traffic?	<u>No</u>	<u>N</u>
i) Are there any known stormwater problems?	<u>No</u>	<u>N</u>
j) Does sufficient property screening exist?	<u>yes</u>	<u>Y</u>
k) Are there adequate utilities?	<u>yes</u>	<u>Y</u>
l) Are there any zoning violations?	<u>No</u>	<u>N</u>
m) Is an emergency generator located to minimize noise?	<u>NA</u>	<u>NA</u>
n) Are there any noise, vibration, glare, fumes or other impacts?	<u>NA</u>	<u>N/A</u>

Signature of Applicant:

Date:

3-8-11

Planning Division Use Only

Authorization Granted

Partial Exemption

Exemption Denied

1. *This approval is for the reuse of the Grange Hall only to a Karate Dojo and does not authorize any commercial or residential use.*

2. *All points of ingress and egress are subject to review and approval in any future site plan submission.*

Standard Condition of Approval: The applicant shall obtain all required City Permits, including building permits from the Inspection Division (Room 315, City Hall (874-8703)) prior to the start of any construction.

IMPORTANT NOTICE TO APPLICANT: The granting of an Administrative Authorization to exempt a development from site plan review does not exempt this proposal from other approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (207)874-8703, to determine what other City permits, such as a building permit, will be required.

PROVISION OF PORTLAND CITY CODE

14-523 (SITE PLAN ORDINANCE)

RE: Administrative Authorization

Sec. 14-523 (b). Applicability

No person shall undertake any development identified in Section 14-523 without obtaining a site plan improvement permit under this article. (c) Administrative Authorization. Administrative Authorization means the Planning Authority may grant administrative authorization to exempt a development proposal from complete or partial site plan review that meets the standards below, as demonstrated by the applicant.

1. The proposed development will be located within existing structures, and there will be no new buildings, demolitions, or building additions other than those permitted by subsection b of this section;
2. Any building addition shall have a new building footprint expansion of less than five hundred (500) square feet;
3. The proposed site plan does not add any new curb cuts, driveways, or parking areas; the existing site has no more than one (1) curb cut and will not disrupt the circulation flows and parking on-site; and there will be no drive-through services provided;
4. The curbs and sidewalks adjacent to the lot are complete and in sound condition, as determined by the public works authority, with granite curb with at least four (4) inch reveal, and sidewalks are in good repair with uniform material and level surface and meet accessibility requirements of the Americans with Disabilities Act;
5. The use does not require additional or reduce existing parking, either on or off the site, and the project does not significantly increase traffic generation;
6. There are no known stormwater impacts from the proposed use or any existing deficient conditions of stormwater management on the site;
7. There are no evident deficiencies in existing screening from adjoining properties; and
8. Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way.
9. There are no current zoning violations;
10. Any emergency generators are to be located to minimize noise impacts to adjoining properties and documentation that routine testing of the generators occur on weekdays between the hours of 9 a.m. to 5 p.m. Documentation pertaining to the noise impacts of the emergency generator shall be submitted; and
11. There is no anticipated noise, vibration, glare, fumes or other foreseeable impacts associated with the project.

- a. **Filing the Application.** An applicant seeking an administrative authorization under this subsection shall submit an administrative authorization application for review, detailing the site plan with dimensions of proposed improvements and distances from all property lines, and stating that the proposal meets all of the provisions in standards 1-11 of Section 14-423 (b)1. **The application must be accompanied by an application fee of \$50.**
- b. **Review.** Upon receipt of such a complete application, the Planning Authority will process it and render a written decision of approval, approval with conditions or denial, with all associated findings.
- c. **Decision.** If a full administrative authorization is granted, the application shall be approved without further review under this article, and no performance guarantee shall be required. In the event that the Planning Authority determines that standards a and b of Section 14-523 (b) (1) and at least four (4) of the remaining standards have been met, the Planning Authority shall review the site plan according to all applicable review standards of Section 14-526 that are affected by the standards in this subsection that have not been met. If an exemption or partial exemption from site plan review is not granted, the applicant must submit a site plan application that will undergo a full review by the Planning Board or Planning Authority according to the standards of Section 14-526.

From: John Ossie <johnno@fmccadd.com>
To: Jeanie Bourke <JMB@portlandmaine.gov>
Date: 6/28/2011 7:10 AM
Subject: 1854 Forest Ave
Attachments: 1884 Forest_Sheet set Phase 1-A1 FLOOR PLANS.pdf; 1884 Forest_Sheet set Phase 1-A4 FR& BK ELEVATIONS.pdf; 1884 Forest_Sheet set Phase 1-A5 SIDE ELEVATIONS.pdf

Hi Jeanie,

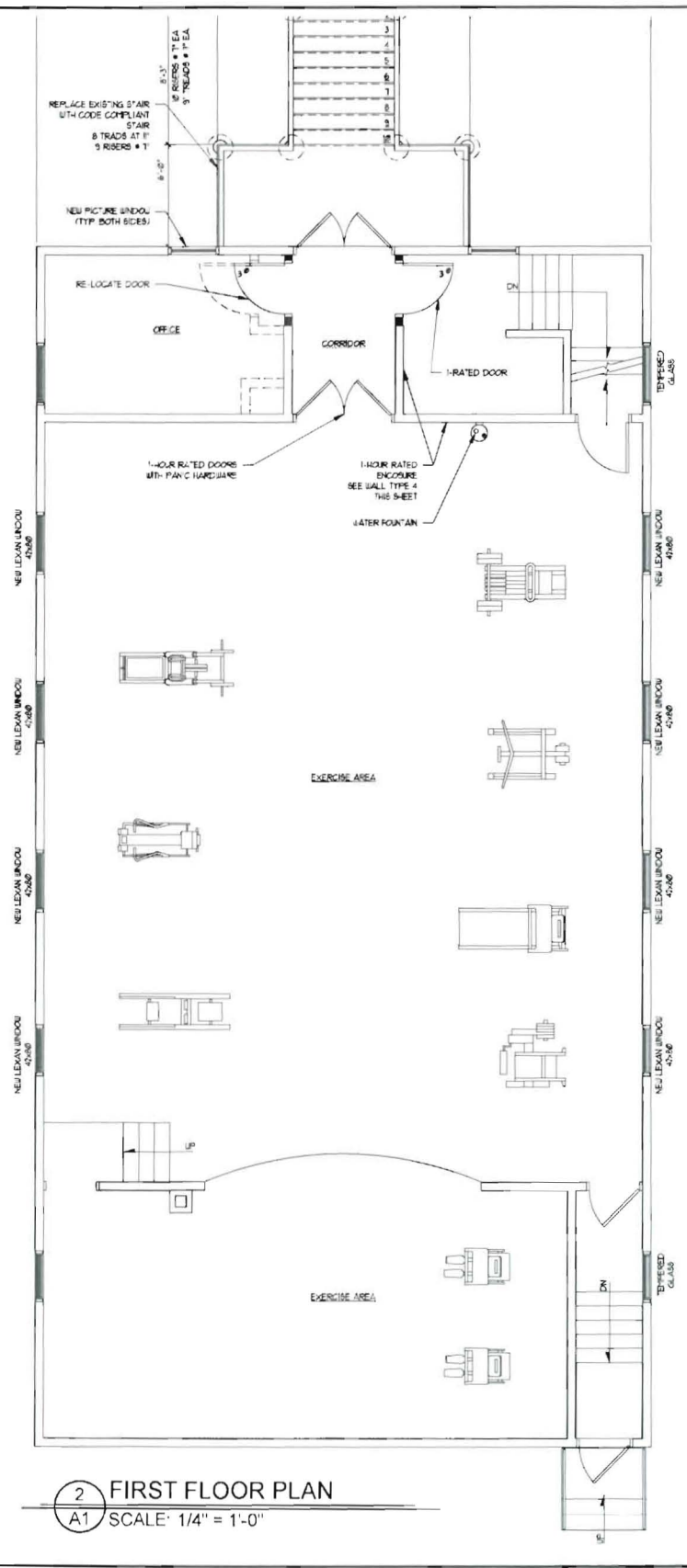
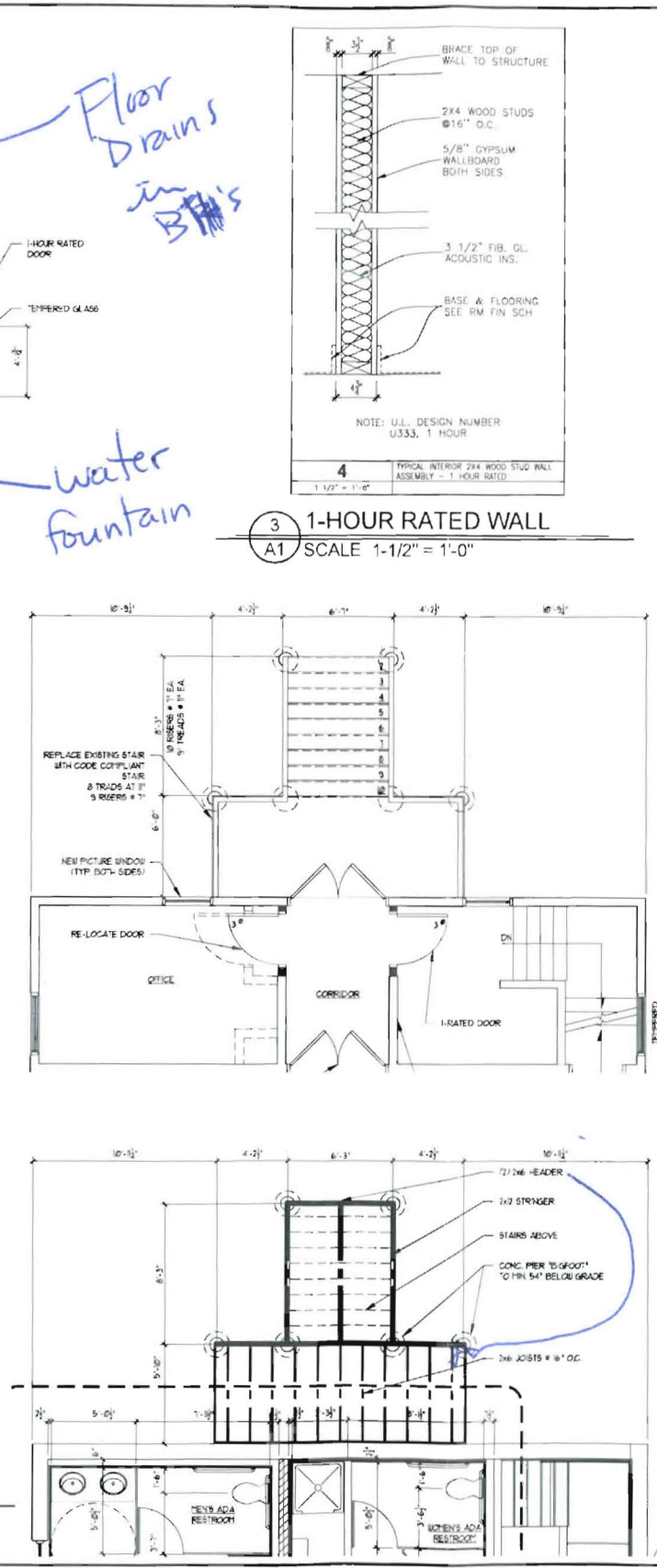
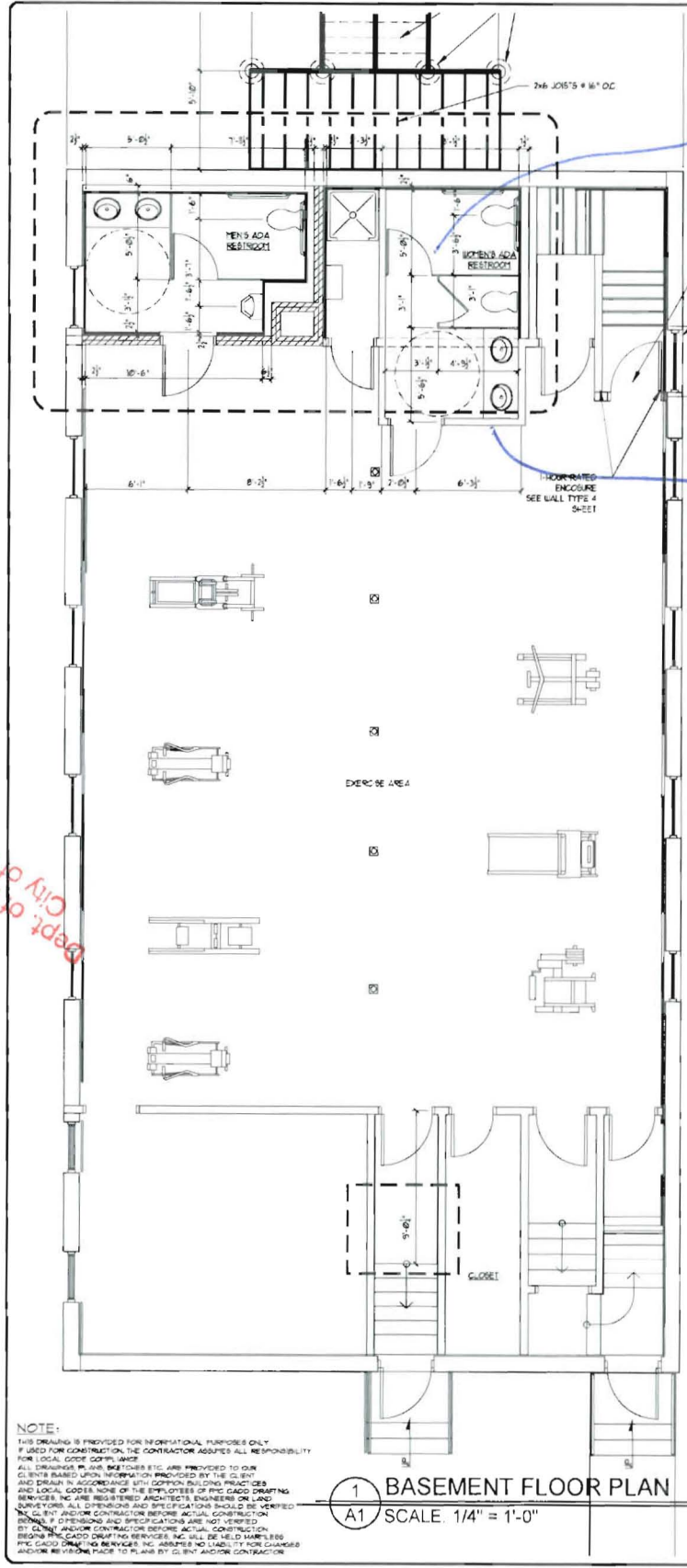
Here the updated drawings for Gabriel.

Please let me know if you need anything else.

Thanks for the help

John

Revisions
RECEIVED
JUN 28 2011
Dept. of Building Inspections
City of Portland Maine



Floor Drains in BM's

Water fountain

RECEIVED
JUN 28 2011
Dept. of Building Inspections
City of Portland Maine

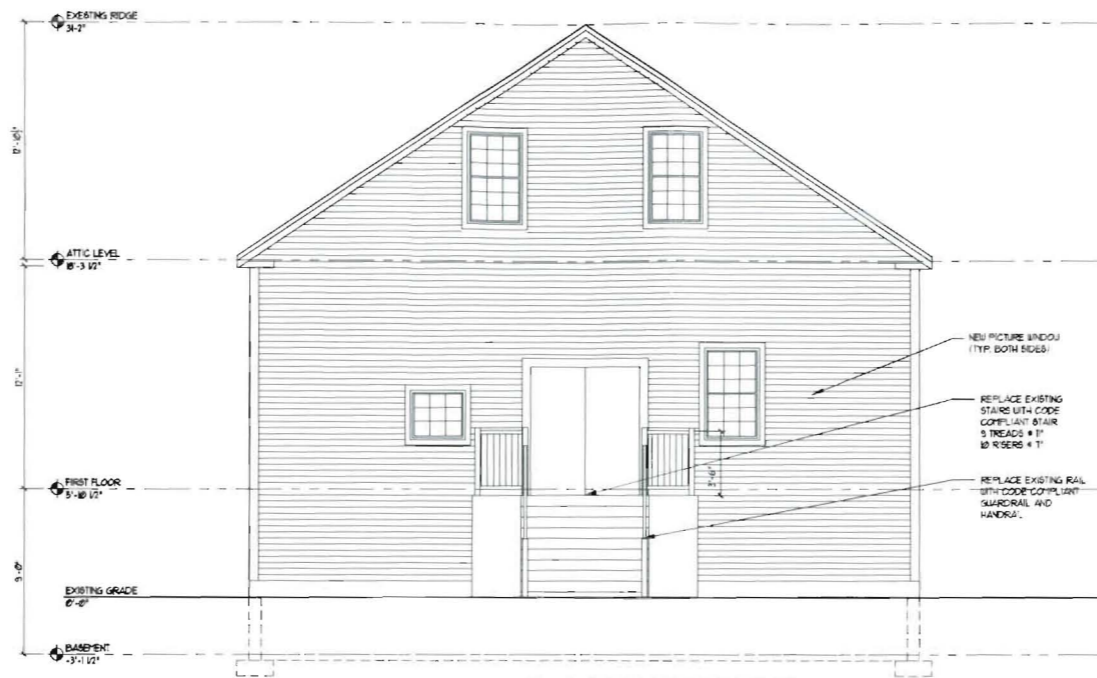
PROPERTY OF
FPC/CADD
Engineering & Construction
2014 Main St
Portland, Maine 04103
207.878.4111 Fax: 207.878.4113
E-Mail: info@fpcadd.com

1854 FOREST
1847 FOREST AVENUE, PORTLAND, ME 04103
BASEMENT & FIRST FLOOR PLANS

RECEIVED
JUN 28 2011
Dept. of Building Inspections
City of Portland Maine

STATE OF MAINE
CHRISTOPHER RAY
REGISTERED ENGINEER
LICENSED PROFESSIONAL ENGINEER

3
2
1
REVS
CODE IRC 2009
TOWN PORTLAND
DATE 05-27-11
SCALE 1/4" = 1'-0"
DESIGNED JJO/JJR
DRAWN JJO/JJR
TITLE BASEMENT & FIRST FLOOR PLANS
FILE
SHEET A1



1 NORTH ELEVATION
A3 SCALE: 1/4" = 1'-0"



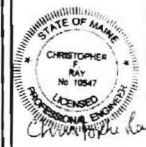
2 EAST ELEVATION
A3 SCALE: 1/4" = 1'-0"

NOTE:
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY.
IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE.
ALL DIMENSIONS TO AND BETWEEN ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF FPC/CADD DRAFTING SERVICES ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION. BEING FPC/CADD DRAFTING SERVICES, INC. SHALL BE HELD HARMLESS FROM FPC/CADD DRAFTING SERVICES, INC. ACCEPTS NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

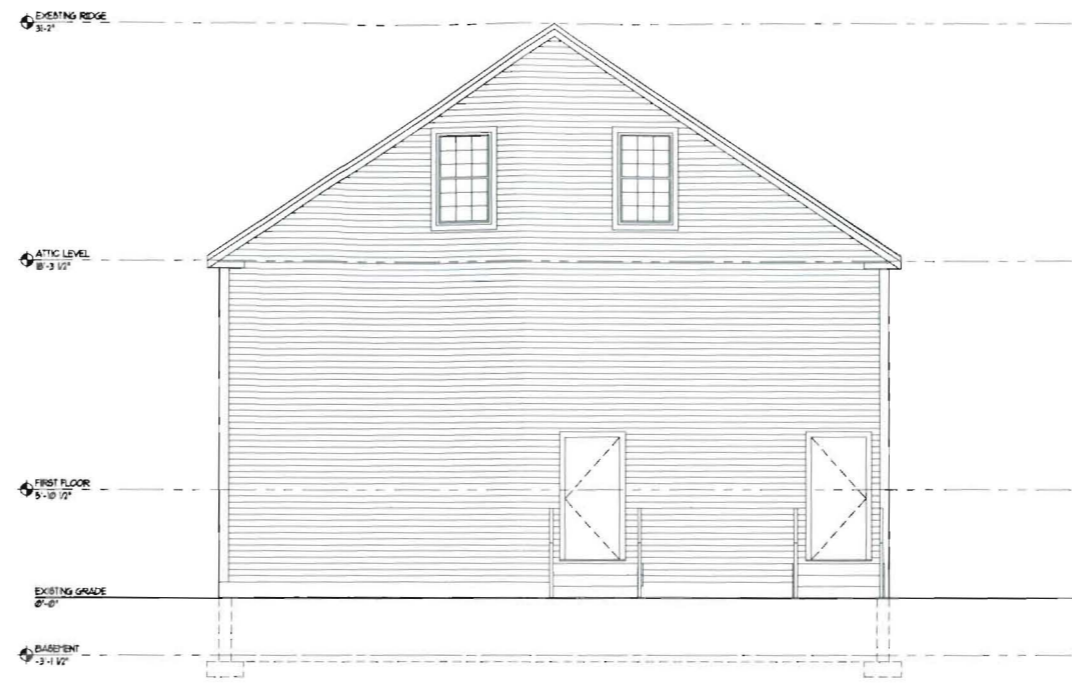
RECEIVED
JUN 28 2011
Dept. of Building Inspections
City of Portland Maine

PROPERTY OF
FPC/CADD
Engineering Resources Center
1500 Main Street, Suite 401
Portland, ME 04101
201.878.8211 Fax: 201.878.8115
E-Mail: info@fpcadd.com

1854 FOREST
1844 FOREST AVENUE, PORTLAND, ME 04103
ELEVATIONS

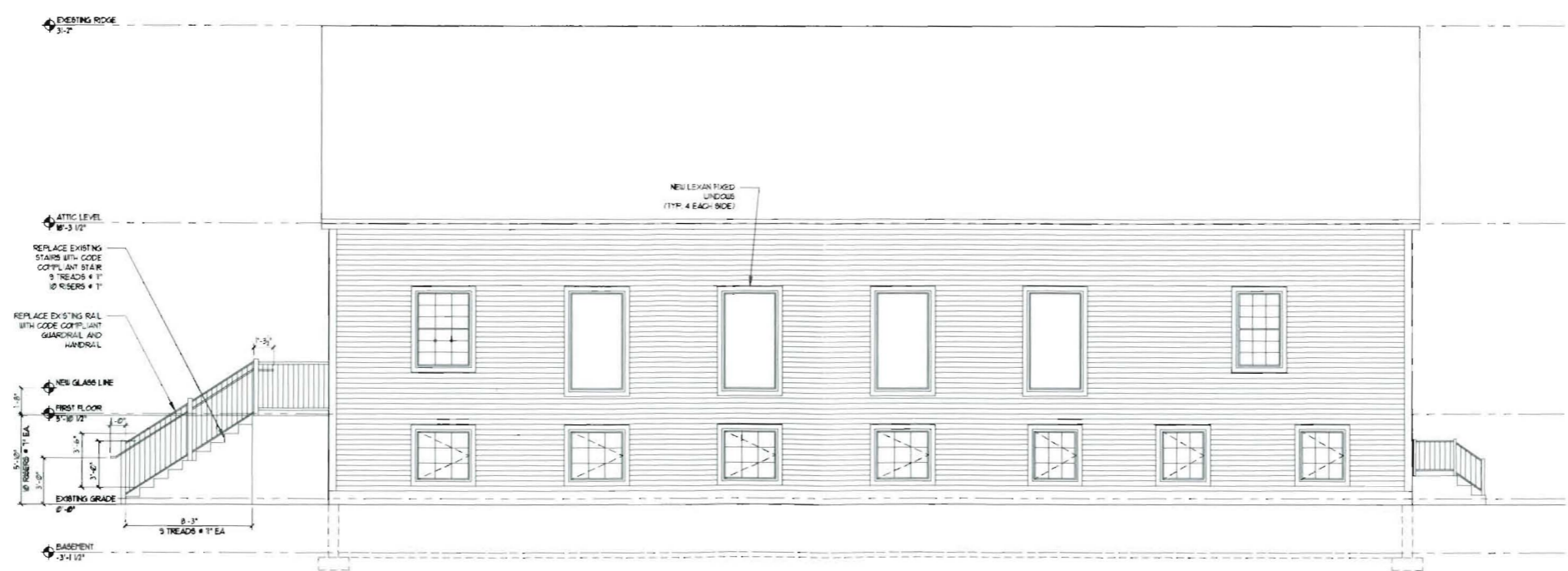


3
2
1
REVS
CODE RC 2003
TOWN PORTLAND
DATE 05-27-11
SCALE 1/4" = 1'-0"
DESIGNED JJO/JJR
DRAWN JJO/JJR
TITLE
ELEVATIONS
FILE
SHEET A3



1 SOUTH ELEVATION
A4 SCALE: 1/4" = 1'-0"

RECEIVED
JUN 28 2011
Dept. of Building Inspections
City of Portland Maine

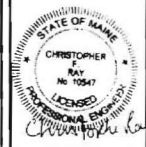


2 WEST ELEVATION
A4 SCALE: 1/4" = 1'-0"

NOTE:
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FOR LOCAL CODE COMPLIANCE.
ALL DIMENSIONS IN THIS DRAWING ARE PROVIDED TO OUR
CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT.
AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES
AND LOCAL CODES. NONE OF THE EMPLOYEES OF FMC CADD DRAFTING
SERVICES, INC. ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND
SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED
BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION.
DRAWING IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED
BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION,
DRAWING FMC CADD DRAFTING SERVICES, INC. WILL BE HELD HARMLESS.
FMC CADD DRAFTING SERVICES, INC. ASSUMES NO LIABILITY FOR CHANGES
AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

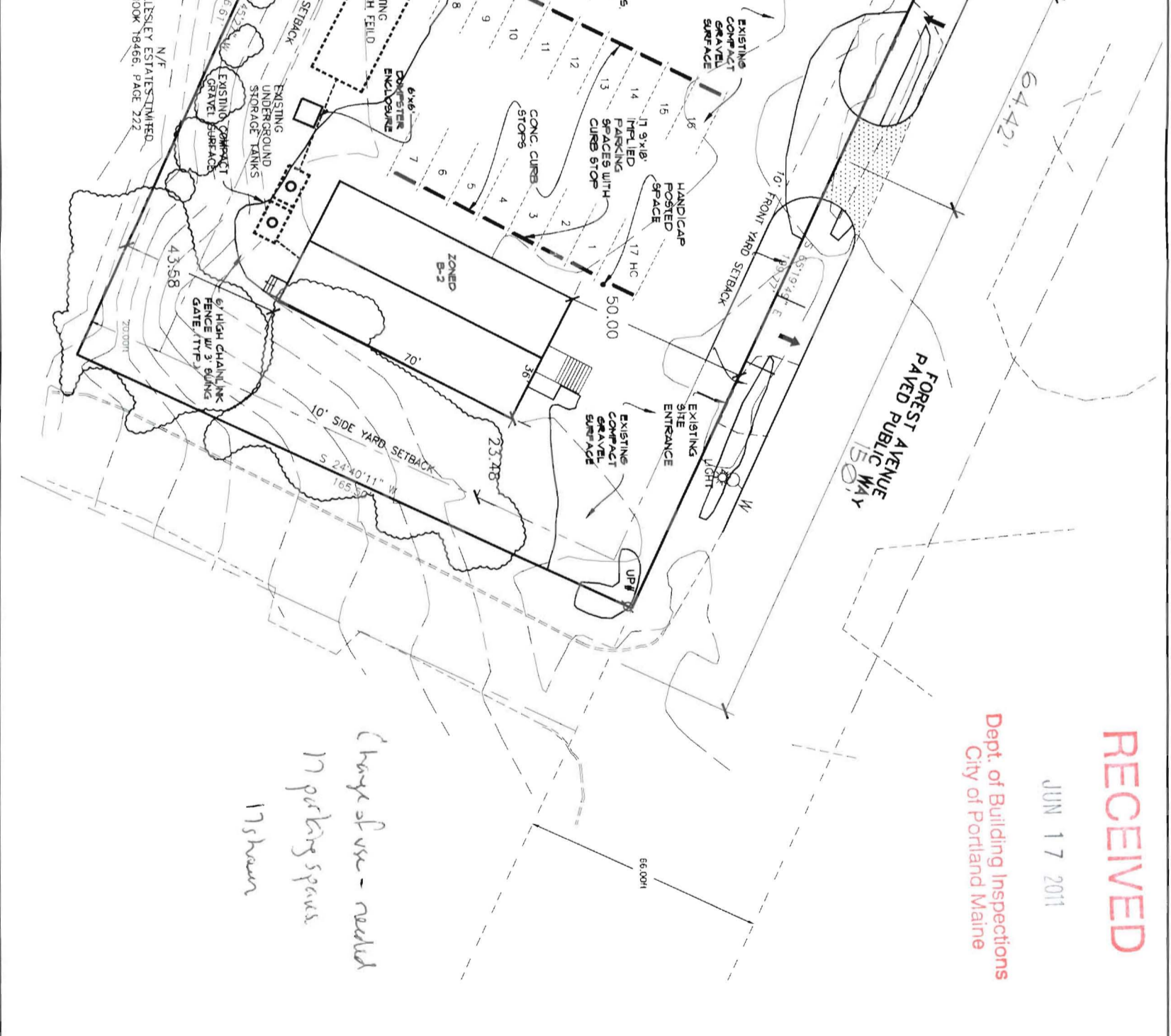
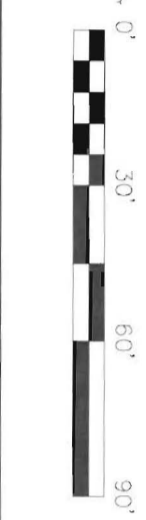
PROPERTY OF
FMC CADD
Engineering Resource Center
Portland, Maine 04103
202-879-8511 Fax: 202-879-8512
E-Mail: fmc@fmcadd.com

1854 FOREST
1844 FOREST AVENUE, PORTLAND, ME 04103
ELEVATIONS



3.	
2.	
1.	
REVS:	
CODE:	RC 2009
TOWN:	PORTLAND
DATE:	05-27-11
SCALE:	1/4" = 1'-0"
DESIGNED:	JJO/JJR
DRAWN:	JJO/JJR
TITLE:	ELEVATIONS
FILE:	
SHEET:	A4

NOTE:
 THIS DRAWING IS PREPARED FOR INFORMATIONAL PURPOSES ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CLIENT IS ALSO RESPONSIBLE FOR OBTAINING ALL NECESSARY SURVEY DATA AND RECORDS. THE DRAWING IS BASED ON THE INFORMATION PROVIDED BY THE CLIENT. THE DRAWING IS NOT TO BE USED FOR CONSTRUCTION. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CLIENT IS ALSO RESPONSIBLE FOR OBTAINING ALL NECESSARY SURVEY DATA AND RECORDS. THE DRAWING IS BASED ON THE INFORMATION PROVIDED BY THE CLIENT.



*Change of use - needed
 17 parking spaces
 17 shown*

RECEIVED
 JUN 17 2011
 Dept. of Building Inspections
 City of Portland Maine

PROPERTY OF	1854 Forest Ave Portland, Maine Gabriel Zappia
ENGINEERING RESOURCE CENTER	75 Bishop St. Portland, Maine 04101 207-776-8511 Fax: 207-776-8515 E-Mail: erc@ercadd.com
FILE	C-1
SHEET	C-1
TITLE	SITE PLAN
DRAWN	JJO
DESIGNED	JJO
SCALE	1"=30'
DATE	06-16-11
TOWN	PORTLAND
CODE	IBC 2009
REVISIONS	1.
	2.
	3.

377-B-024
 permit 2011-06-134 L
 1854 Forest Ave.



N/F
JOHN CHAU
NEANG PHONG
BOOK 26148, PAGE 266
VACANT LAND NO IMPROVMENTS.

ENTRANCE TO FRIENDS MEETING HOUSE.

Entrance

Cut

Cut

SETBACK LINE AVERAGE OF THE TWO
BUILDING CORNERS OF THE ABUTTING
BUILDING TO THE EAST.

GRAVEL PARKING LOT

PROBABLE CENTRAL MAINE POWER
EASEMENT LOCATION

COVERED BUS STOP

EXISTING GRANGE HALL
WOOD FRAME
CONSTRUCTION

EXISTING LEACH FEILD

1832 FOREST AVE
327-B-006

EXISTING
UNDERGROUND
STORAGE TANKS

- Entrance off Forest Ave

N/F
WELLESLEY ESTATES LIMITED
BOOK 18466, PAGE 222

HYDRANT

66.00ft

13.04ft

15.14ft



SITE



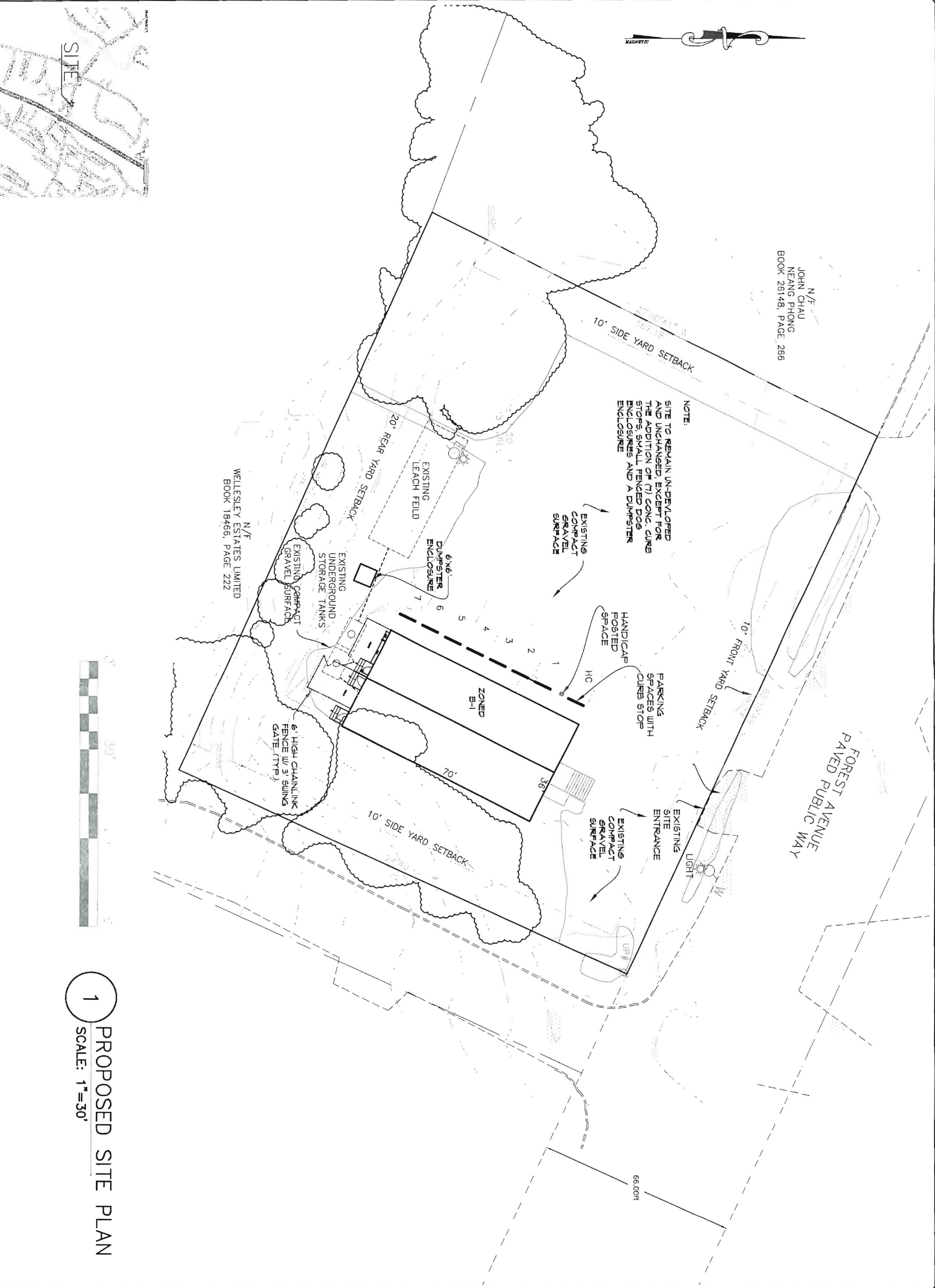
1 EXISTING SITE PLAN
SCALE: 1"=30'

PROPERTY OF



1894 Forest Ave
Portland, Maine

BY	JJO
NO	
REMARKS	
DATE	10-12-10
ISSUED FOR PERMITTING	A
CODE:	IBC 2003
TOWN:	Portland
DATE:	10-12-10
SCALE:	As Noted
DRAWN:	JJO
TITLE:	Existing Site Plan
FILE	000-00-09
SHEET	C-1



1 PROPOSED SITE PLAN
SCALE: 1"=30'

DATE	NO	REMARKS	BY
12-16-09	A	ISSUED FOR REVIEW	JJO

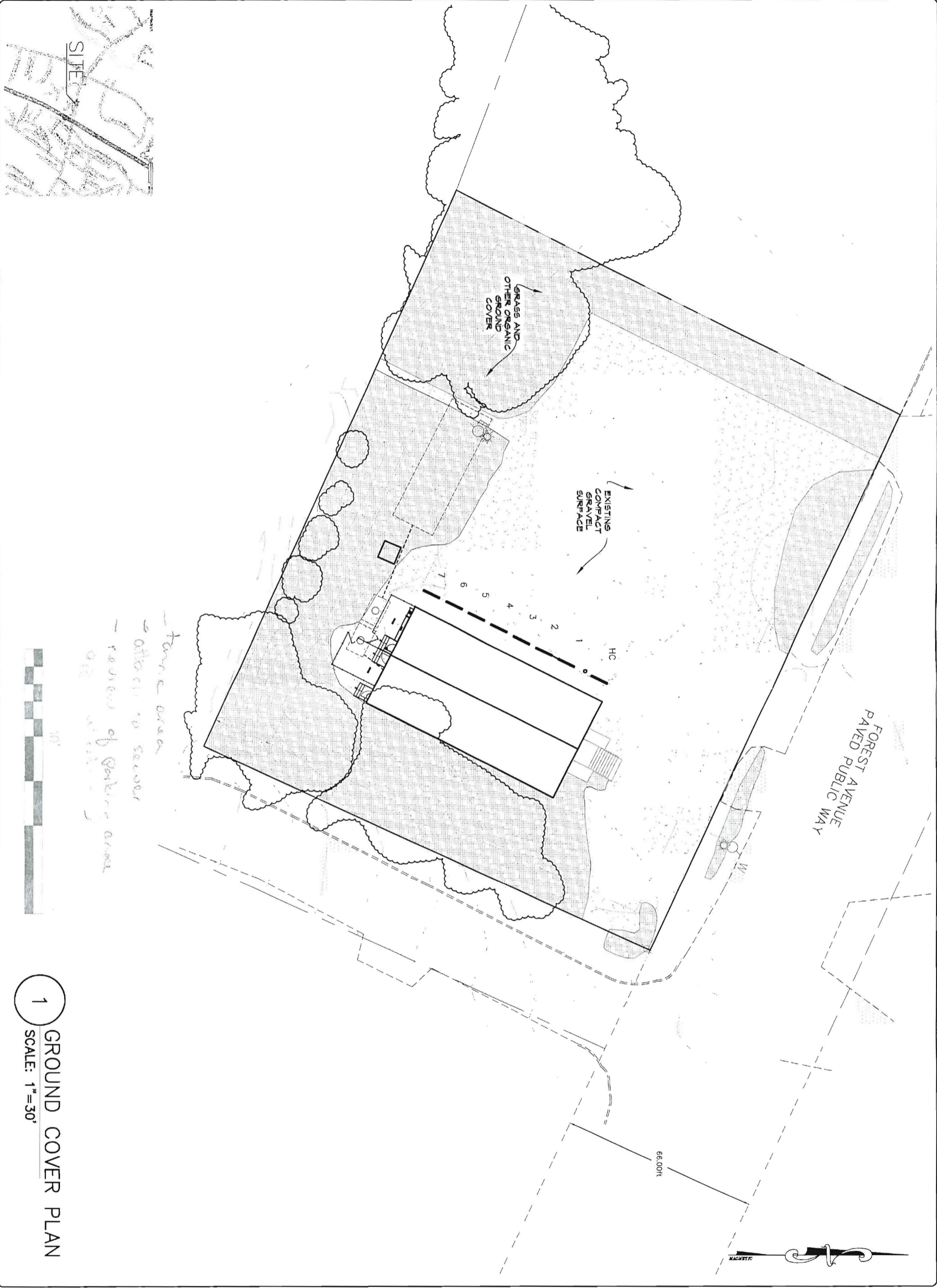
CODE: IBC 2003
 TOWN: Portland
 DATE: 10-12-10
 SCALE: As Noted
 DRAWN: JJO
 TITLE: Proposed Site Plan
 FILE: 000-00-09
 SHEET: C-2

1884 Forest Ave
 Portland, Maine

FMC CADD Engineering Resource Center
 23 Riverside Industrial Park
 Portland, ME 04102
 207-478-6499

75 Bishop St.
 Portland, ME 04103
 207-478-8511 Fax 207-878-8515
 E-Mail: rep@fmcadd.com

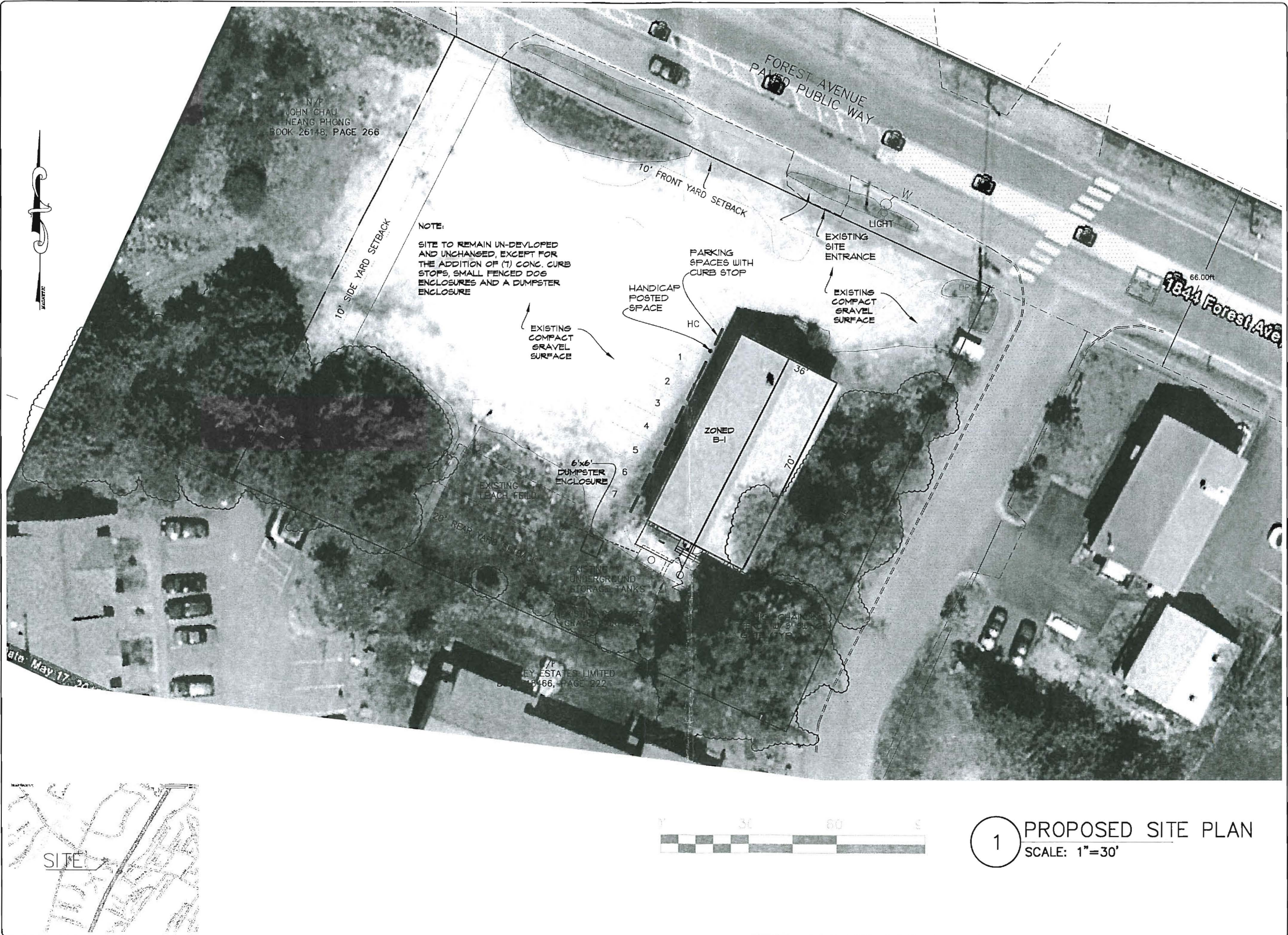
PROPERTY OF



1 GROUND COVER PLAN
SCALE: 1"=30'



PROPERTY OF	235 Riverside Industrial Parkway Portland, ME 04102 207-329-6499	1844 1884 Forest Ave Portland, Maine	<table border="1"> <thead> <tr> <th>DATE</th> <th>NO</th> <th>REMARKS</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>12-16-09</td> <td>A</td> <td>ISSUED FOR REVIEW</td> <td>JJO</td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	DATE	NO	REMARKS	BY	12-16-09	A	ISSUED FOR REVIEW	JJO												
DATE	NO	REMARKS	BY																				
12-16-09	A	ISSUED FOR REVIEW	JJO																				
FILE: 000-00-09																							
SHEET																							
C-3																							



PROPERTY OF

FMC CADD Engineering Resource Center
 23 Riverside Industrial Park, Portland, ME 04103
 207-878-8511 Fax 207-878-8515
 207-329-6499 E-Mail: rpro@fmcadd.com

1884 Forest Ave
 Portland, Maine

DATE	NO	REMARKS	BY
12-16-09	A	ISSUED FOR REVIEW	JJO

CODE: IBC 2003
 TOWN: Portland
 DATE: 10-12-10
 SCALE: As Noted
 DRAWN: JJO

TITLE:
 Proposed
 Site Plan with
 Image

FILE: 000-00-09
 SHEET
 C-4

1 PROPOSED SITE PLAN
 SCALE: 1"=30'

Planning Division Use Only

Authorization Granted

Partial Exemption

Exemption Denied

1. *This approval is for the reuse of the Grange Hall only to a Karate Dojo and does not authorize any commercial or residential use.*

2. *All points of ingress and egress are subject to review and approval in any future site plan submission.*

Standard Condition of Approval: The applicant shall obtain all required City Permits, including building permits from the Inspection Division (Room 315, City Hall (874-8703)) prior to the start of any construction.

IMPORTANT NOTICE TO APPLICANT: The granting of an Administrative Authorization to exempt a development from site plan review does not exempt this proposal from other approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (207)874-8703, to determine what other City permits, such as a building permit, will be required.

PROVISION OF PORTLAND CITY CODE

14-523 (SITE PLAN ORDINANCE)

RE: Administrative Authorization

Sec. 14-523 (b). Applicability

No person shall undertake any development identified in Section 14-523 without obtaining a site plan improvement permit under this article. (c) Administrative Authorization. Administrative Authorization means the Planning Authority may grant administrative authorization to exempt a development proposal from complete or partial site plan review that meets the standards below, as demonstrated by the applicant.

1. The proposed development will be located within existing structures, and there will be no new buildings, demolitions, or building additions other than those permitted by subsection b of this section;
2. Any building addition shall have a new building footprint expansion of less than five hundred (500) square feet;
3. The proposed site plan does not add any new curb cuts, driveways, or parking areas; the existing site has no more than one (1) curb cut and will not disrupt the circulation flows and parking on-site; and there will be no drive-through services provided;
4. The curbs and sidewalks adjacent to the lot are complete and in sound condition, as determined by the public works authority, with granite curb with at least four (4) inch reveal, and sidewalks are in good repair with uniform material and level surface and meet accessibility requirements of the Americans with Disabilities Act;
5. The use does not require additional or reduce existing parking, either on or off the site, and the project does not significantly increase traffic generation;
6. There are no known stormwater impacts from the proposed use or any existing deficient conditions of stormwater management on the site;
7. There are no evident deficiencies in existing screening from adjoining properties; and
8. Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way.
9. There are no current zoning violations;
10. Any emergency generators are to be located to minimize noise impacts to adjoining properties and documentation that routine testing of the generators occur on weekdays between the hours of 9 a.m. to 5 p.m. Documentation pertaining to the noise impacts of the emergency generator shall be submitted; and
11. There is no anticipated noise, vibration, glare, fumes or other foreseeable impacts associated with the project.

- a. **Filing the Application.** An applicant seeking an administrative authorization under this subsection shall submit an administrative authorization application for review, detailing the site plan with dimensions of proposed improvements and distances from all property lines, and stating that the proposal meets all of the provisions in standards 1-11 of Section 14-423 (b)1. **The application must be accompanied by an application fee of \$50.**
- b. **Review.** Upon receipt of such a complete application, the Planning Authority will process it and render a written decision of approval, approval with conditions or denial, with all associated findings.
- c. **Decision.** If a full administrative authorization is granted, the application shall be approved without further review under this article, and no performance guarantee shall be required. In the event that the Planning Authority determines that standards a and b of Section 14-523 (b) (1) and at least four (4) of the remaining standards have been met, the Planning Authority shall review the site plan according to all applicable review standards of Section 14-526 that are affected by the standards in this subsection that have not been met. If an exemption or partial exemption from site plan review is not granted, the applicant must submit a site plan application that will undergo a full review by the Planning Board or Planning Authority according to the standards of Section 14-526.

Jeanie Bourke - 1854 Forest Avenue

From: "Monti, Barbara" <monti@unitil.com>
To: "Jeanie Bourke" <JMB@portlandmaine.gov>, <smh@portlandmaine.gov>
Date: 11/5/2010 3:46 PM
Subject: 1854 Forest Avenue (1844)

Good afternoon ladies,

Mr Zappia is all set to do his interior demo.

Any questions please let me know.

barb

Barbara Monti
Unitil Service Corp
1075 Forest Avenue
PO Box 3586
Portland ME 04104-3586
Phone: 207-541-2533
Email: monti@unitil.com

327-B-004

Criteria for an Administrative Authorizations:
 (See Section 14-523 (4) on page 2 of this application)

Applicant's Assessment
 Y(yes), N(no), N/A

Planning Division
 Use Only

a) Is the proposal within existing structures?	Yes	Yes
b) Are there any new buildings, additions, or demolitions?	No	No
c) Is the footprint increase less than 500 sq. ft.?	Yes	n/a
d) Are there any new curb cuts, driveways or parking areas?	No	No
e) Are the curbs and sidewalks in sound condition?	Yes	n/a
f) Do the curbs and sidewalks comply with ADA?	Yes	n/a
g) Is there any additional parking?	No	No
h) Is there an increase in traffic?	No	No
i) Are there any known stormwater problems?	No	No
j) Does sufficient property screening exist?	Yes	Yes
k) Are there adequate utilities?	Yes	Yes
l) Are there any zoning violations?	No	No
m) Is an emergency generator located to minimize noise?	n/a	n/a
n) Are there any noise, vibration, glare, fumes or other impacts?	n/a	n/a

The request for an administrative authorization for 1844 Forest Avenue was granted by Erick Giles, Planner with the following conditions and standard condition of approval.

1. This approval is for the reuse of the Grange Hall only to a karate dojo and does not authorize any commercial or residential use.
2. All points of ingress and egress are subject to review and approval in any future site plan submission.

Standard Condition of Approval

The applicant shall obtain all required City Permits, including building permits from the Inspection Division (Rm. 315, City Hall (874-8703) prior to the start of any construction.