

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK **CITY OF PORTLAND**

Please Read
Application And
Notes, If Any,
Attached

PERMIT

Permit Number: 071167

PERMIT ISSUED

OCT 19 2007

326 B009001

This is to certify that 50 INDUSTRIAL WAY LLC Langford & Inc.

has permission to 14' x 14' Utility Shed located on existing slab

AT 50 INDUSTRIAL WAY

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification inspection must be given and when permission is procured before this building or part thereof is altered or closed-in. FOUR HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Craig Carr

Health Dept. _____

Appeal Board _____

Other _____

Department Name

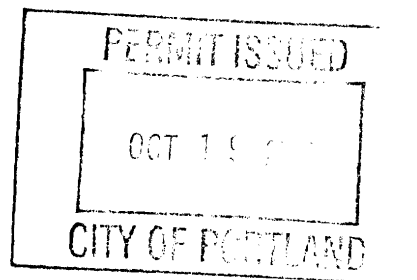
Carrie Burke 10/18/07
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-1167		Issue Date:		CBL: 326 B009001	
Location of Construction: 50 INDUSTRIAL WAY		Owner Name: 50 INDUSTRIAL WAY LLC		Owner Address: 50 INDUSTRIAL WAY	
Business Name: Allagash Brewing Company		Contractor Name: Langford & Low, Inc.		Contractor Address: PO Box 662 Portland	
Lessee/Buyer's Name		Phone:		Phone: 2077975141	
Past Use: Commercial - Allagash Brewing Company		Proposed Use: Allagash Brewing Company - 14' x 14' Utility Shed located on an existing slab		Permit Fee: \$250.00	
Proposed Project Description: 14' x 14' Utility Shed located on an existing slab - used for storage		Cost of Work: \$22,400.00		CEO District: 5	
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: U Type: SB IBC-2003 Signature: [Signature] Date: 10/15/07	
		Signature: [Signature]		Signature: [Signature]	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)			
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied			
		Signature:		Date:	
Permit Taken By: Idobson		Date Applied For: 09/20/2007		Zoning Approval	
<ol style="list-style-type: none">This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.Building permits do not include plumbing, septic or electrical work.Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..		Special Zone or Reviews		Zoning Appeal	
		<input type="checkbox"/> Shoreland		<input type="checkbox"/> Variance	
		<input type="checkbox"/> Wetland		<input type="checkbox"/> Miscellaneous	
		<input type="checkbox"/> Flood Zone		<input type="checkbox"/> Conditional Use	
		<input type="checkbox"/> Subdivision		<input type="checkbox"/> Interpretation	
		<input type="checkbox"/> Site Plan		<input type="checkbox"/> Approved	
		Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>		<input type="checkbox"/> Denied	
		Date: 9/28/07 [Signature]		Date:	
		Historic Preservation		<input checked="" type="checkbox"/> Not in District or Landmark	
				<input type="checkbox"/> Does Not Require Review	
				<input type="checkbox"/> Requires Review	
				<input type="checkbox"/> Approved	
				<input type="checkbox"/> Approved w/Conditions	
				<input type="checkbox"/> Denied	
				Date:	

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT

ADDRESS

DATE

PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

DATE

PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	Date Applied For:	CBL:
07-1167	09/20/2007	326 B009001

Location of Construction: 50 INDUSTRIAL WAY	Owner Name: 50 INDUSTRIAL WAY LLC	Owner Address: 50 INDUSTRIAL WAY	Phone:
Business Name: Allagash Brewing Company	Contractor Name: Langford & Low, Inc.	Contractor Address: PO Box 662 Portland	Phone (207) 797-5141
Lessee/Buyer's Name	Phone:	Permit Type: Sheds	

Proposed Use: Allagash Brewing Company - 14' x 14' Utility Shed located on an existing slab	Proposed Project Description: 14' x 14' Utility Shed located on an existing slab
--	---

Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 09/28/2007
Note: Shed will be used for storage of extra parts & equipment.			Ok to Issue: <input checked="" type="checkbox"/>
1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			
Dept: Building	Status: Approved with Conditions	Reviewer: Jeanine Bourke	Approval Date: 10/18/2007
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.			
Dept: Fire	Status: Approved	Reviewer: Capt Greg Cass	Approval Date: 10/15/2007
Note:			Ok to Issue: <input checked="" type="checkbox"/>

Comments:

9/27/2007-amachado: Left message for Rob Tod. Need to know exactly what the shed is being used for.

9/28/2007-amachado: Gave site plan exemption to planning.

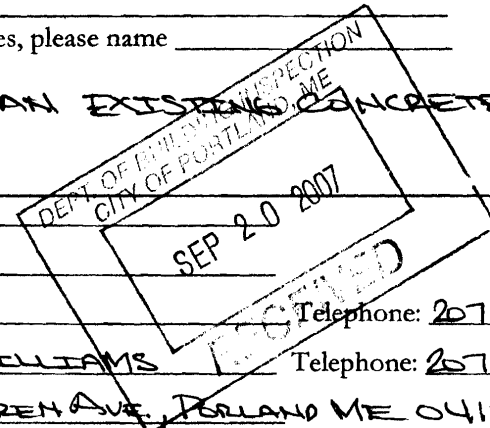
10/10/2007-gg: received site plan exemption as of 10/05/07. Filed with permit. (Greg Cass)



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>30 INDUSTRIAL WAY, PORTLAND ME 04103</u>		
Total Square Footage of Proposed Structure/Area <u>196 SF</u>		Square Footage of Lot <u>73,073 SF</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>326 B 009</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>ROBTOD (ALLAGASH BREWERY COMPANY)</u> Address <u>30 INDUSTRIAL WAY</u> City, State & Zip <u>PORTLAND, ME 04103</u>	Telephone: <u>207.878.5385</u>
Lessee/DBA (If Applicable) <u>N/A</u>	Owner (if different from Applicant) Name <u>N/A</u> Address City, State & Zip	Cost Of Work: \$ <u>22,400</u> C of O Fee: \$ <u>0</u> Total Fee: \$ <u>250.00</u>
Current legal use (i.e. single family) <u>F-2 - FACTORY INDUSTRIAL LOW HAZARD (BREWERY)</u> If vacant, what was the previous use? <u>N/A</u> Proposed Specific use: <u>UTILITY</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>14'x14' UTILITY SHED LOCATED ON AN EXISTING CONCRETE PAD. ON THE PROPERTY</u>		
Contractor's name: <u>LANGFORD AND LOW</u> Address: <u>248 WARREN AVE.</u> City, State & Zip <u>PORTLAND, ME 04104</u> Who should we contact when the permit is ready: <u>DAN WILLIAMS</u> Mailing address: <u>LANGFORD AND LOW, 248 WARREN AVE. PORTLAND ME 04104</u>		



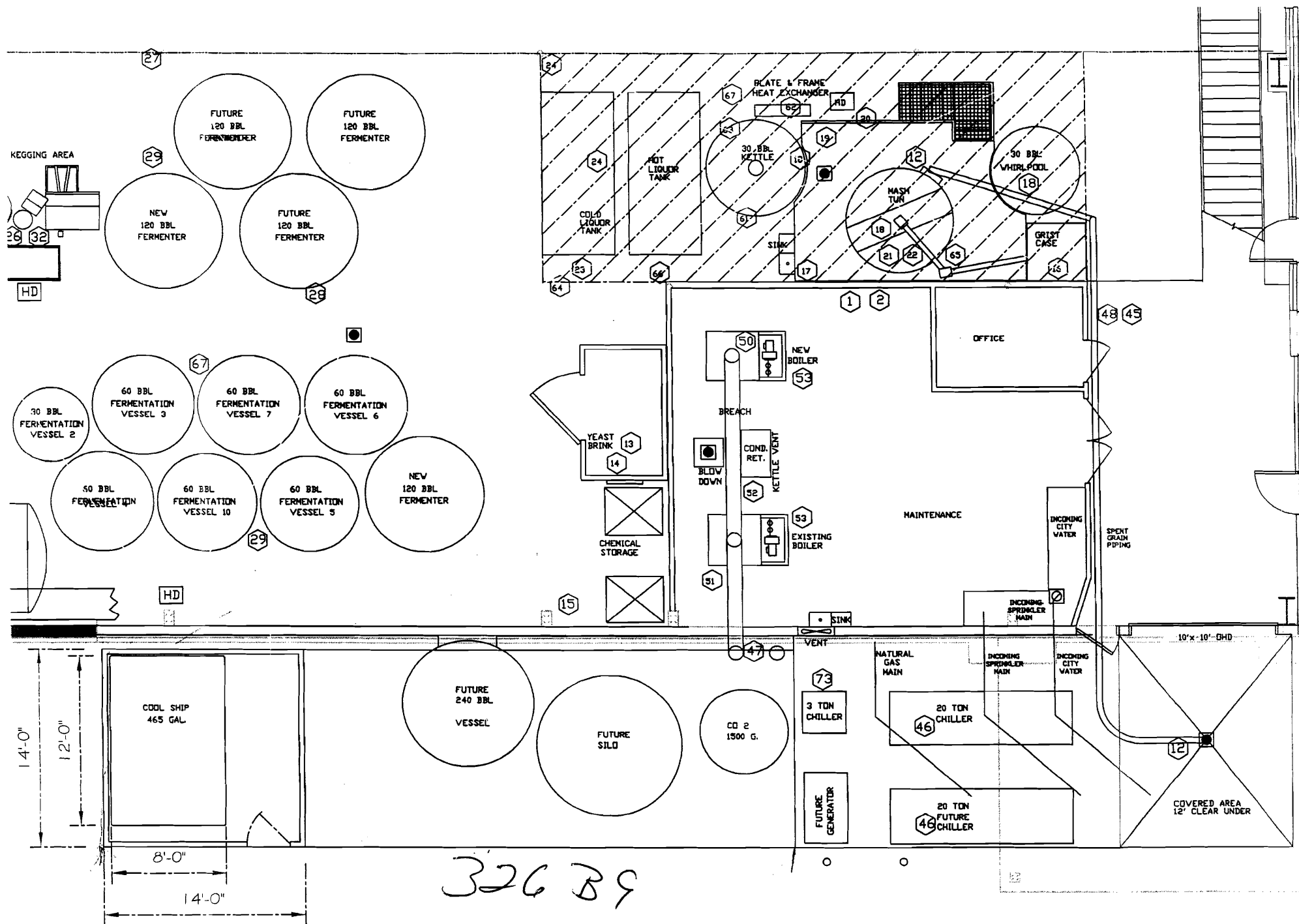
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

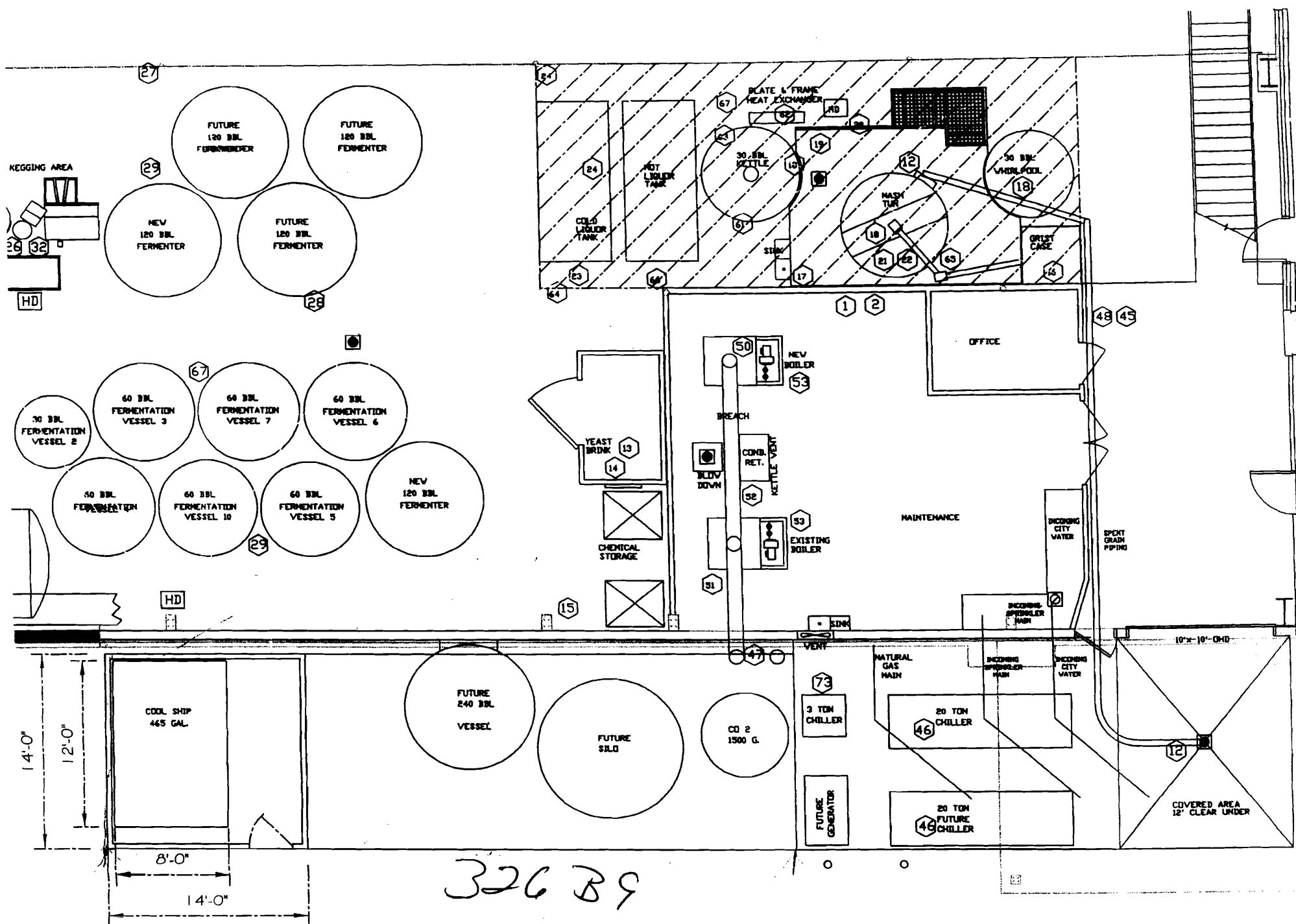
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 9/18/07

This is not a permit; you may not commence ANY work until the permit is issued







APPLICATION FOR EXEMPTION FROM SITE PLAN REVIEW

#2007 0175

1000 T. St. Portland, ME 04101
Applicant

10/15/2007
Application Date

1000 T. St. Portland, ME 04101
Applicant's Mailing Address

1000 T. St. Portland, ME 04101
Project Name/Description

1000 T. St. Portland, ME 04101
Consultant/Agent/Phone Number

1000 T. St. Portland, ME 04101
Address of Proposed Site

CBL: 32.0 P. 2007

Description of Proposed Development:

1000 T. St. Portland, ME 04101
1000 T. St. Portland, ME 04101

Please Attach Sketch/Plan of Proposal/Development

Criteria for Exemptions:

See Section 14-523 (4) on back side of form

- a) Within Existing Structures; No New Buildings, Demolitions or Additions
- b) Footprint Increase Less Than 500 Sq. Ft.
- c) No New Curb Cuts, Driveways, Parking Areas
- d) Curbs and Sidewalks in Sound Condition/Comply with ADA
- e) No Additional Parking/ No Traffic Increase
- f) No Stormwater Problems
- g) Sufficient Property Screening
- h) Adequate Utilities

Applicant's Assessment
(Yes, No, N/A)

Planning Office
Use Only

	✓
	✓
	✓
	✓
	✓
	✓
	✓
	✓

N/F
MILLER INTER VIVOS TRUST
15284/318
326-B-1

N/F
ALFRED MILLIKEN, JR
326-B-10

DRAINAGE EASEMENT TO BE
CONVEYED TO THE CITY OF PORTLAND

N25°32'5"E
35.17'

2424.83

LOT 17
LOT 18

STA: 1466
OFFSET: 50.50 L

DUMPSTER

FUTURE
WAREHOUSE
BUILDING
9,200 S.F.

FUTURE
LOADING
DOCK

EMERGENCY
EGRESS BALQUAY
REQUESTED BY
FIRE CHIEF

PROPOSED
PRODUCTION BUILDING
10,400 S.F.

STA: 0+46
OFFSET: 50.50 L

ROOF OVERHANG

PROPOSED TANK
ON EXISTING CONCRETE
PAD 7/20/07

8' CONCRETE SLAB

22'

STORAGE TANK (TYP.)

REFRIGERATION
EQUIPMENT

SPENT GRAIN
TRAILER

STEEL BOLLARD, TYP.

N/F
NORTHEASTERN GRAPHIC SUPPLY INC.
326-B-8

STA: 0+05.71
OFFSET: 32.50 R

66°09'35"E
57.45'

66°09'35"E
57.45'

GRAPHIC SCALE



(IN FEET)
1 inch = 80 ft.

LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	SETBACK	---
---	MONUMENT	●
---	IRON PIPE/ROD	●
---	CURVE/LINE NO.	CI / LI
▲	BUILDING	■
▲	WETLANDS	■
---	EDGE WETLAND	---
---	SIGN	---
---	EDGE PAVEMENT	---
---	CURVE/LINE	---
○	SEWER	---
○	UTILITY POLE	---
○	HYDRANT	---
○	CATCH BASIN	---
○	MANHOLE	---
○	DECIDUOUS TREE	---

IM
- not adding to impervious
surface
- side setback
31'

30' WIDE
PRESERVATION
EASEMENT

PROPERTY LINE CURVE DATA

CURVE	LENGTH	RADIUS	CRD. BEARING	CRD. DIST.
CI	14.32'	350.00'	66°51'21"E	15.89

EASEMENT LINE DATA

LINE	BEARING	LENGTH
EL1	66°09'35"E	11.32'
EL2	66°12'15"W	21.51'
EL3	N62°56'51"W	51.41'
EL4	N67°12'15"W	6.44'
EL5	S25°32'15"W	10.00'
EL6	N60°00'00"W	10.00'
EL7	N25°32'15"E	10.00'
EL8	N60°00'00"W	10.00'

EASEMENT CURVE DATA

CURVE	LENGTH	RADIUS	CRD. BEARING	CRD. DIST.
EC1	14.32'	350.00'	66°51'21"E	15.89
EC2	14.32'	350.00'	67°11'15"E	15.42

PROPOSED ACCESS
EASEMENT FROM
NORTHEAST GRAPHIC
SUPPLY, INC.

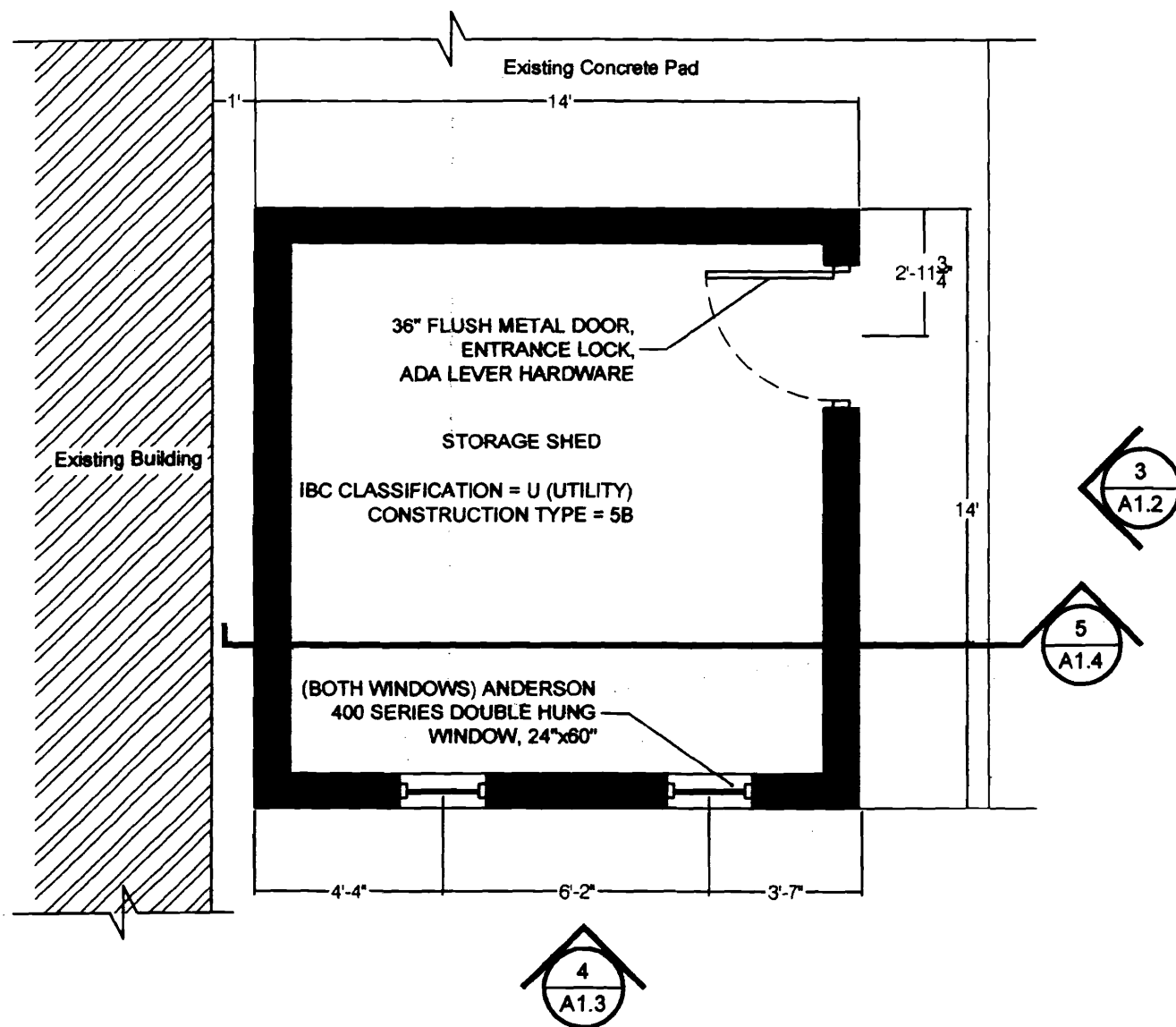
INSTALL RADIAL
GRANITE CURB (TYP.)

INSTALL GRANITE
TYP. DOORS (TYP.)

60' W
PER FT.

STATE OF MAINE

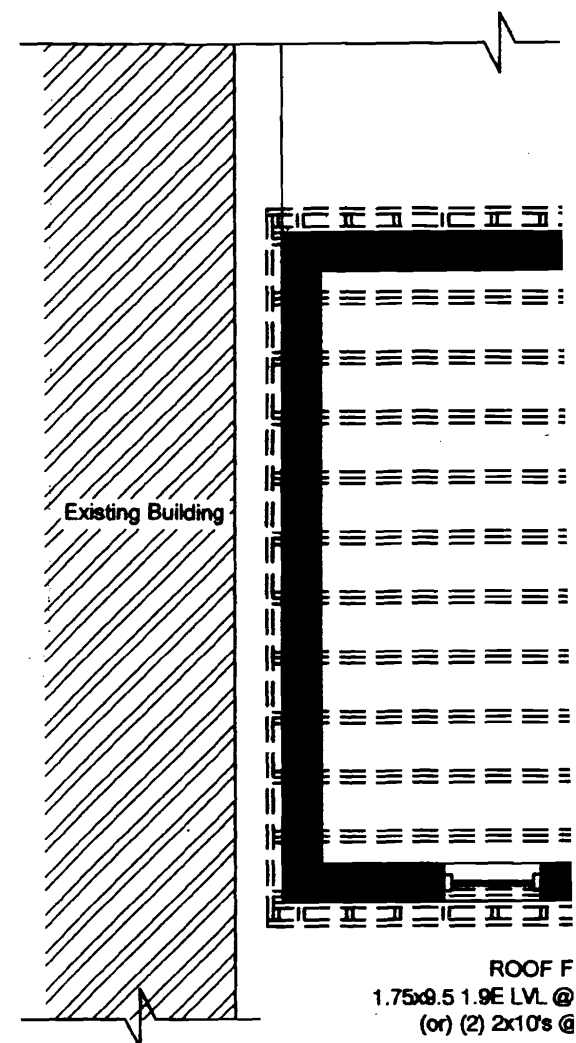
CUMBERLAND COUNTY SS REGISTRY OF DEEDS
RECEIVED _____ 2002
AT _____ M. AND RECORDED IN
PLAN BOOK _____ PAGE _____
ATTEST _____ REGISTER



326 89

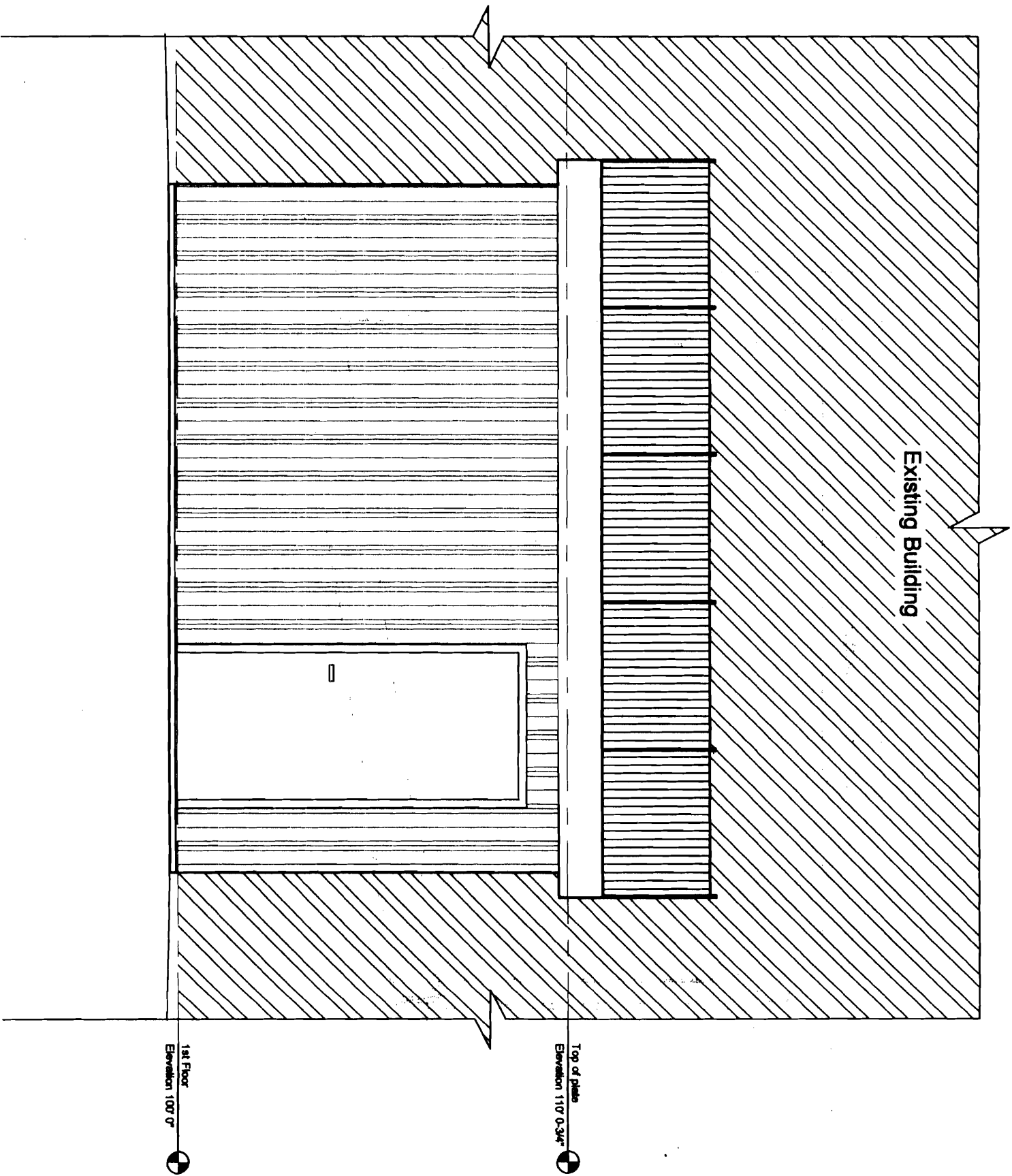
1 Plan
Scale 1/4"=1'

Estimate cost of project = \$22,400



2 Roof Framing
Scale 1/4"=1'

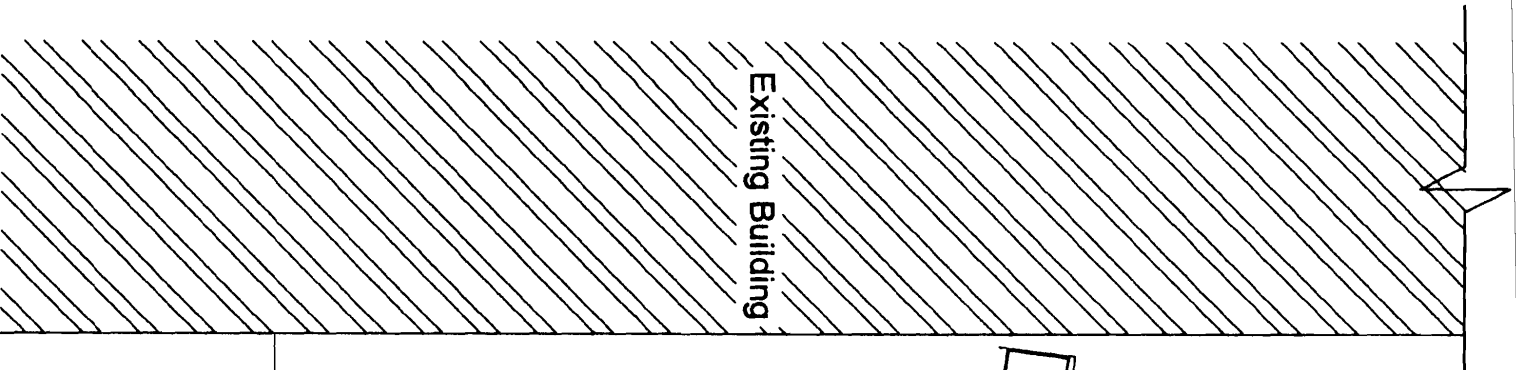
326



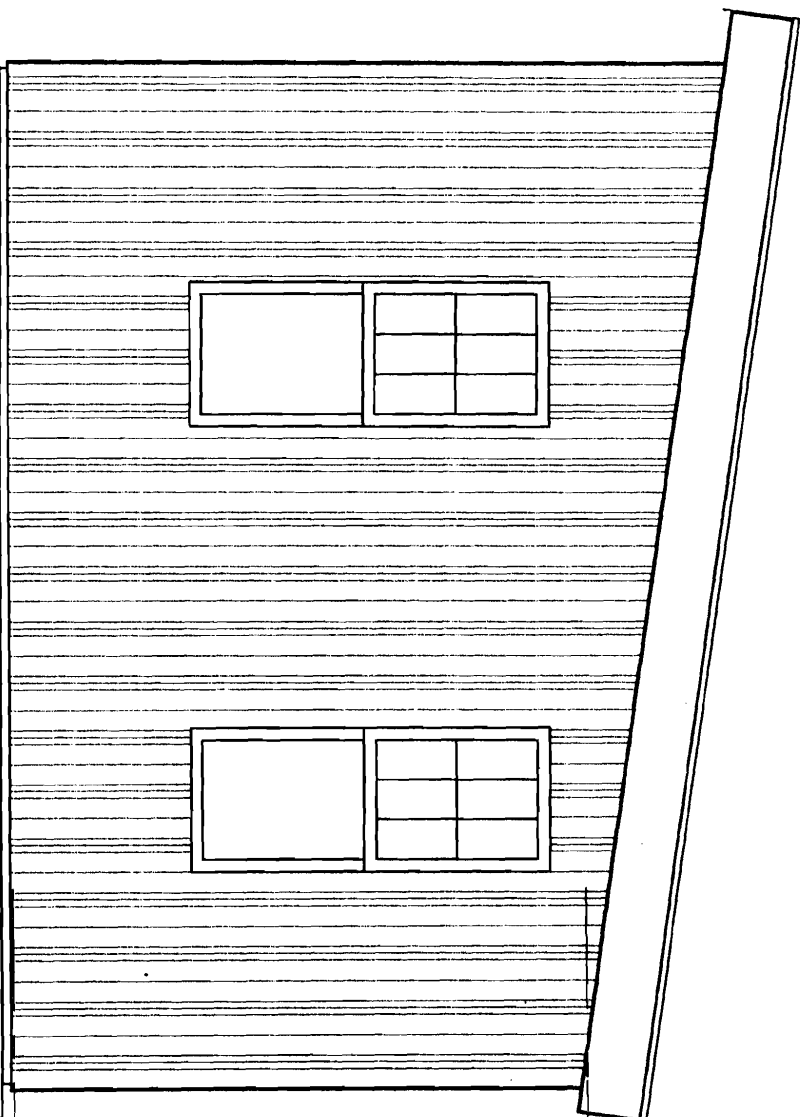
3

Elevation

Scale 3/8"=1'



Existing Building



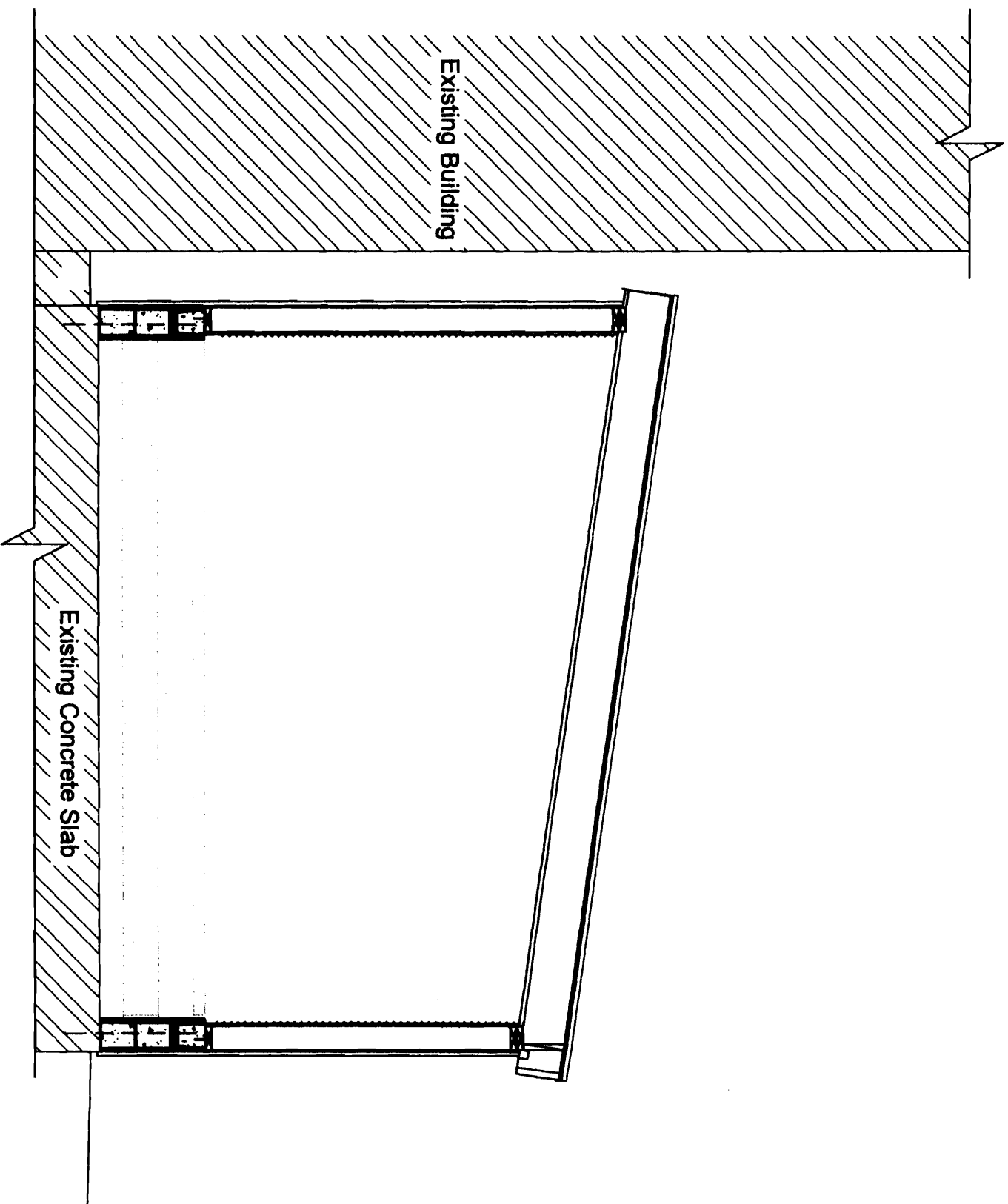
Top of plate
Elevation 108' 0"

1st Floor
Elevation 100' 0"

Elevation

4

Scale 3/8"=1'



5

Section

Scale 3/8"=1'

N/F
MILLER INTER VIVOS TRUST
15284/318
326-B-1

N/F
ALFRED MILLIKEN, JR.
326-B-10

DRAINAGE EASEMENT TO BE
CONVEYED TO THE CITY OF PORTLAND

N25°52'15"E
331.11'

2404.83

LOT 17
LOT 18

STA: 1466
OFFSET: 58.50 L

DUMPSTER

FUTURE
WAREHOUSE
BUILDING
5200 S.F.

FUTURE
LOADING
DOCK

W807 TRUCK

W807 TRUCK

PROPOSED
LOADING
DOCK

OFFICE
1300 S.F.

EMERGENCY
EGRESS WALKWAY
REQUESTED BY
FIRE CHIEF

PROPOSED
PRODUCTION BUILDING
10,400 S.F.

STA: 0+46
OFFSET: 58.50 L

ROOF OVERHANG

PROPOSED SURF
ON EXIST CONCRETE
PAID 7/20/07

22' CONCRETE SLAB

STA: 0+03.11
OFFSET: 32.50 R

66.65

EL5

LOT 18

LOT 19

66.65

EL5

LOT 18

LOT 19

66.65

EL5

LOT 18

LOT 19

66.65

EL5

LOT 18

LOT 19

66.65

EL5

LOT 18

LOT 19

66.65

EL5

LOT 18

LOT 19

66.65

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66.65

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LOT 19

66.65

EL5

LOT 18

LOT 19

66.65

EL5

LOT 18

LOT 19

66.65

EL5

LOT 18

LOT 19

66.65

EL5

N/F
RAYMOND PECOR, JR. & JAN ROSENTHAL
TRUSTEES OF THE J. RICHARD CORLEY &
UNDA CORLEY TRUST FUND #1
9428/284
326-B-2

N/F
NORTHEASTERN GRAPHIC SUPPLY INC.
326-B-8

PROPERTY LINE CURVE DATA

CURVE	LENGTH	RADIUS	CRD. BEARING	CRD DIST.
CI	11432'	355.00'	86°5'11.21"E	119.83

EASEMENT LINE DATA

LINE	BEARING	LENGTH
EL1	86°0'03'55"E	1132'
EL2	86°0'12'10"W	21.87'
EL3	N62°53'51"W	84.1'
EL4	N01°12'78"W	6.44'
EL5	S25°52'15"W	90.00'
EL6	N60°03'55"W	50.00'
EL7	N25°52'15"E	90.00'
EL8	N60°03'55"W	50.00'

EASEMENT CURVE DATA

CURVE	LENGTH	RADIUS	CRD. BEARING	CRD DIST.
EC1	98.50'	355.00'	86°8'07'48"E	98.58
EC2	15.42'	355.00'	81°16'15"E	15.42

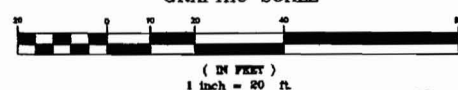
PROPOSED ACCESS
EASEMENT FROM
NORTHEAST GRAPHIC
SUPPLY, INC.

INSTALL RADIAL
GRANITE CURB (TYP.)

INSTALL GRANITE
TIP DOWNS (TYP.)

60' WIDE
PER PLAN

GRAPHIC SCALE

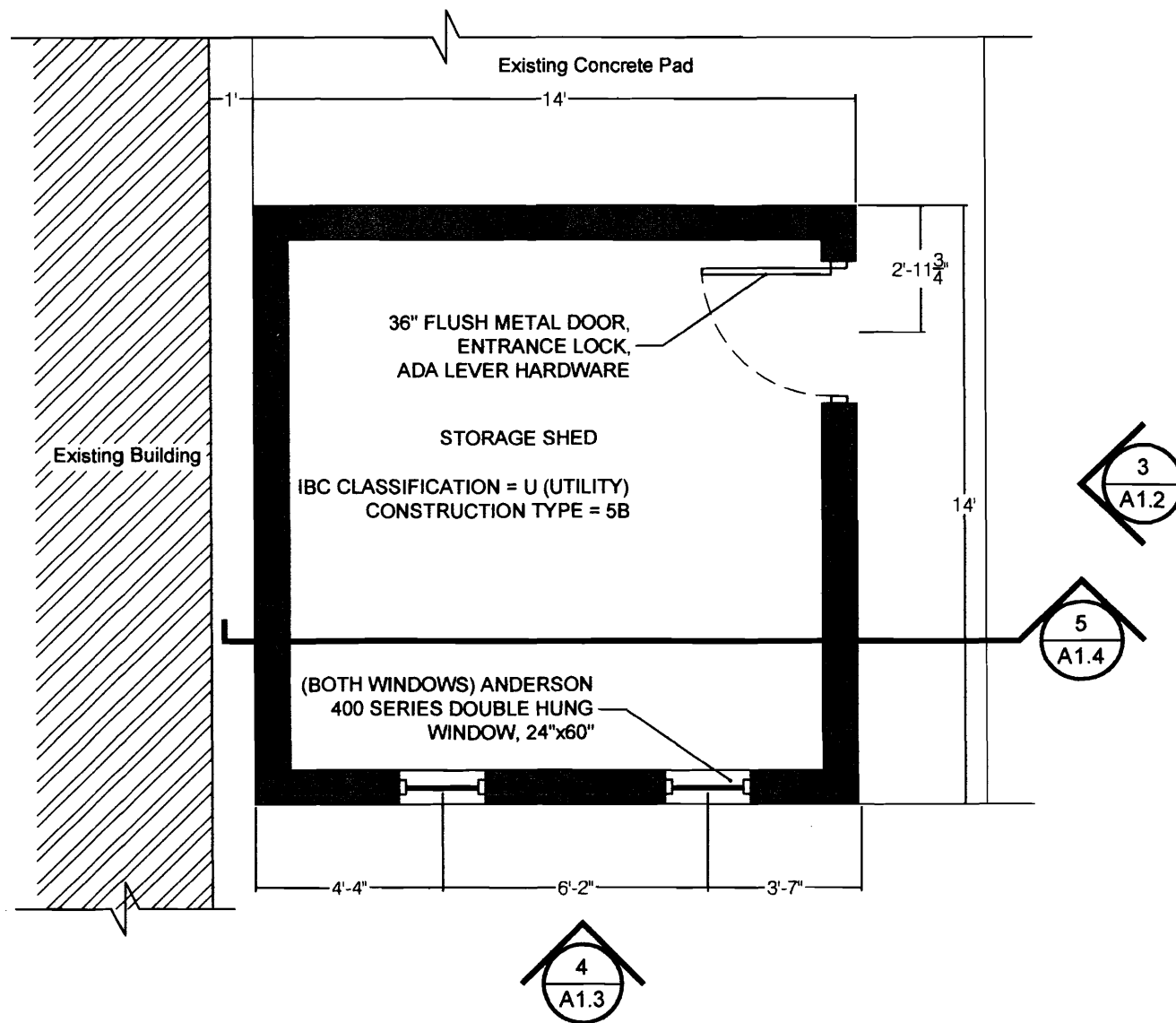


LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	SETBACK	---
---	MONUMENT	---
---	IRON PIPE/ROD	---
---	CURVE/LINE NO.	CI / LI
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---	SEWER	---
---	UTILITY POLE	---
---	HYDRANT	---
---	CATCH BASIN	---
---	MANHOLE	---
---	DECIDUOUS TREE	---

IM
- not adding to impervious
surface
- side setback
31'

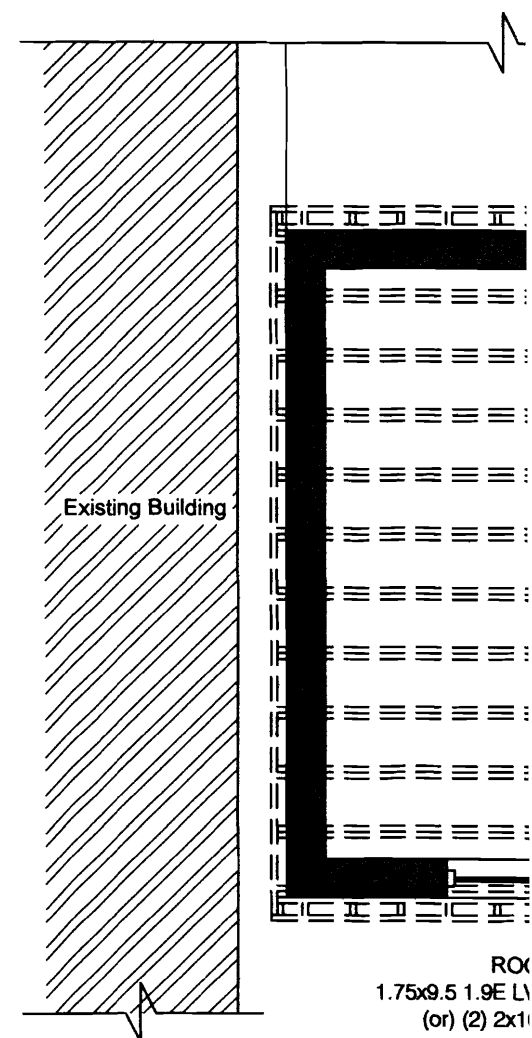
30' WIDE
PRESERVATION
BUFFER



326 B9

1 Plan
Scale 1/4"=1'

Estimate cost of project = \$22,400



2 Roof Framing
Scale 1/4"=1'

Existing Building

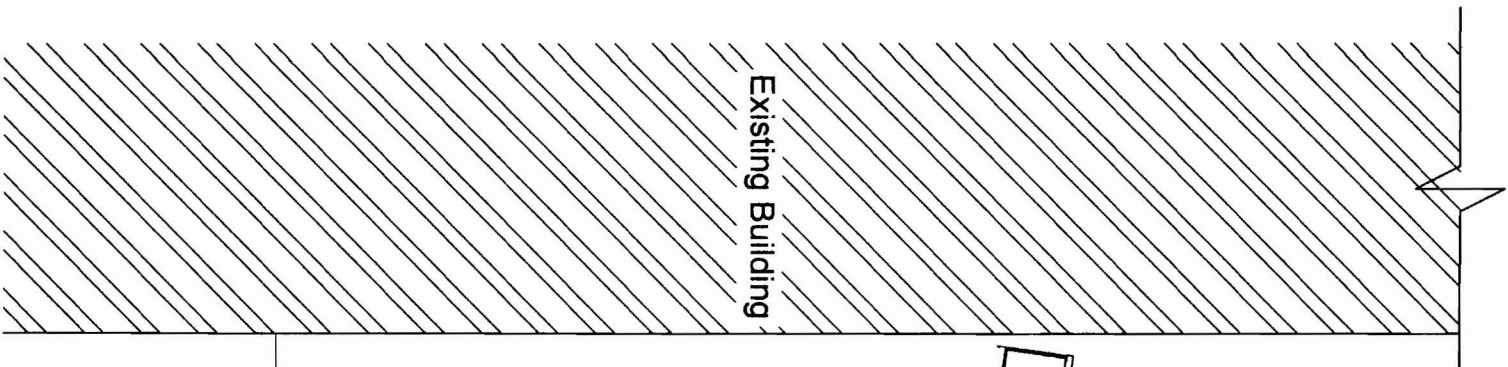
Top of plate
Elevation 110' 0.3/4"

1st Floor
Elevation 100' 0"

Elevation

3

Scale 3/8"=1'



Existing Building

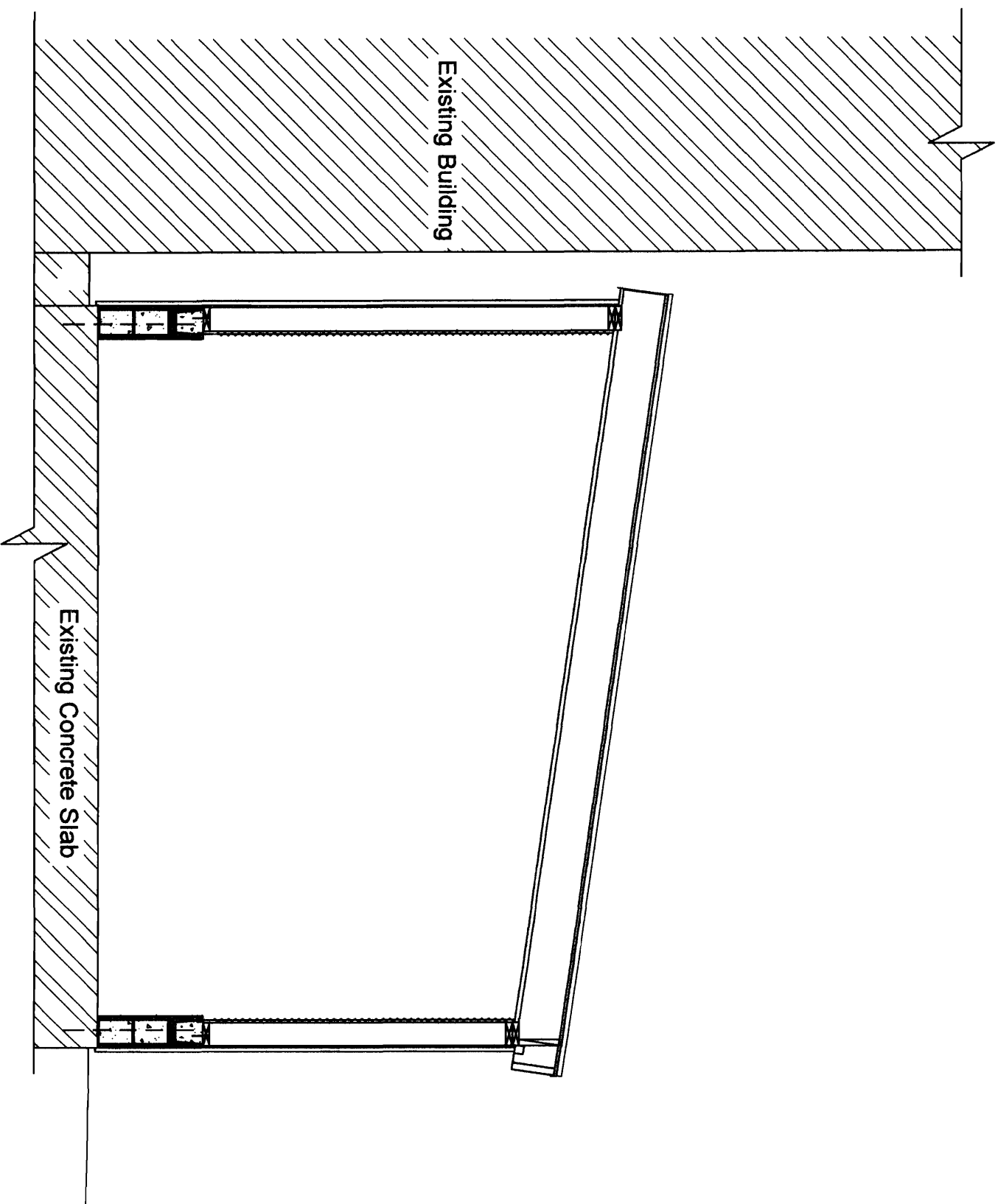
Top of Plate
Elevation 108' 0"

1st Floor
Elevation 100' 0"

4

Elevation

Scale 3/8"=1'



5

Section

Scale 3/8"=1'