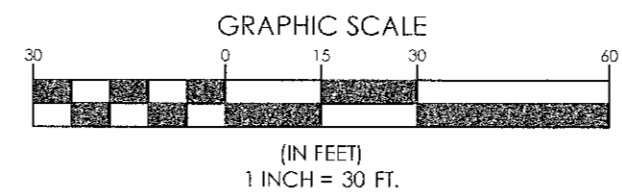


LEGEND

- EXISTING**
- PROPERTY LINE/R.O.W.
 - ABUTTER LINE/R.O.W.
 - DEED LINE/R.O.W.
 - SETBACK
 - EASEMENT
 - MONUMENT
 - IRON PIPE/ROD
 - C1/L1 CURVE/LINE NO.
 - BUILDING
 - DECK/STEPS/OVERHANG
 - EDGE WETLAND
 - WETLANDS
 - EDGE PAVEMENT
 - EDGE CONCRETE
 - PAVEMENT PAINT
 - CURB LINE
 - EDGE OF WATER
 - TREELINE
 - CONTOURS
 - SPOT GRADE
 - CHAIN LINK FENCE
 - STOCKADE FENCE
 - GUARD RAIL
 - STONE WALL
 - RETAINING WALL
 - DECIDUOUS TREE
 - CONIFEROUS TREE
 - BENCHMARK DESCRIPTION WITH ELEVATION
 - BOLLARD
 - SIGN
 - GAS
 - GAS GATE VALVE
 - GAS METER
 - GAS MANHOLE
 - WATER
 - WATER GATE VALVE
 - WATER SHUT OFF
 - HYDRANT
 - SANITARY SEWER
 - SANITARY MANHOLE
 - SD
 - UNDER DRAIN
 - DRAINAGE MANHOLE
 - CATCH BASIN
 - OVERHEAD UTILITY
 - UNDERGROUND UTILITY
 - TRANSFORMER PAD
 - ELECTRICAL MANHOLE
 - TELEPHONE MANHOLE
 - LIGHT POLE
 - UTILITY POLE
 - GUY WIRE
 - RIPRAP
 - HVAC UNIT
 - ELECTRIC METER

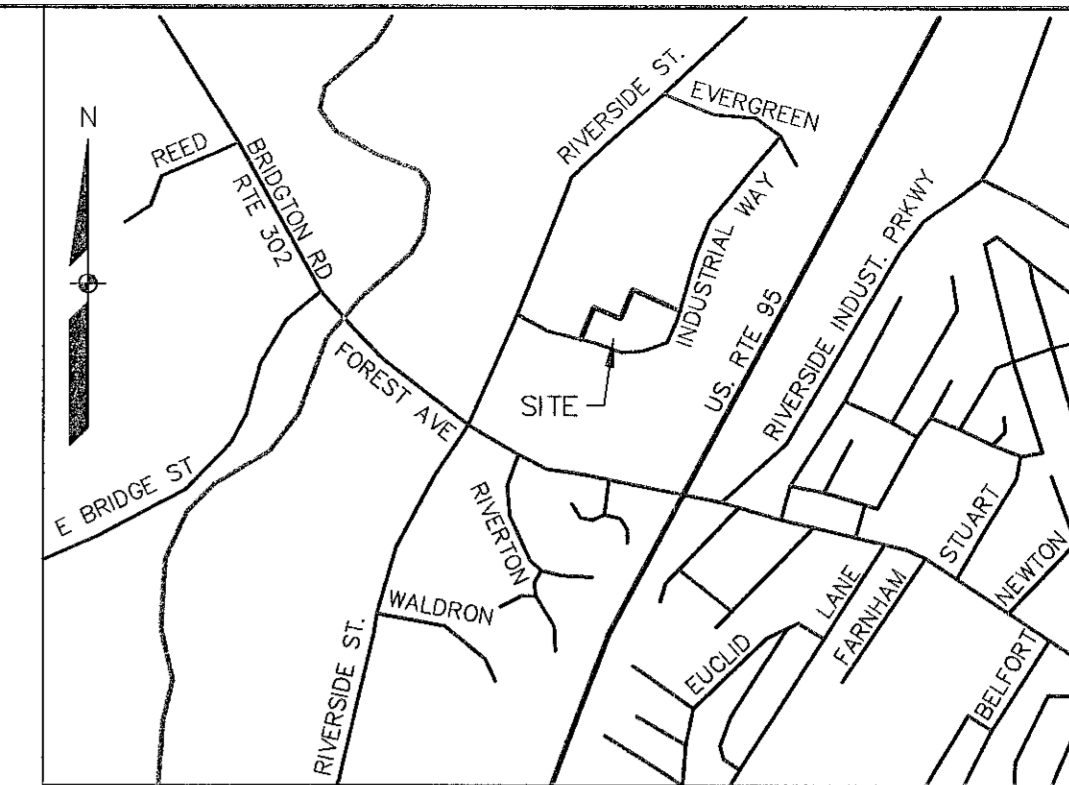
GENERAL NOTES:

- THE RECORD OWNERS OF THE PARCELS SHOWN ON THE PLAN REFERENCED IN NOTE 6A ARE AS FOLLOWS:
 LOTS 17, 18 & 19 - 50 INDUSTRIAL WAY, LLC. BY DEEDS RECORDED AT THE CCRD IN BOOK 28680 PAGE 237, BOOK 18385 PAGE 348 & BOOK 29167 PAGE 291, RESPECTIVELY.
- THE PROPERTY IS SHOWN AS LOTS 8, 9 & 10 ON THE CITY OF PORTLAND TAX MAP 326 BLOCK B AND ARE LOCATED IN THE IM DISTRICT.
- SPACE AND BULK CRITERIA FOR THE IM DISTRICT ARE AS FOLLOWS:
 MAXIMUM IMPERVIOUS SURFACE RATIO: 75%
 MINIMUM LOT SIZE: NONE
 MINIMUM STREET FRONTAGE: 60'
 MINIMUM FRONT YARD: 1' PER BUILDING HEIGHT
 MINIMUM SIDE YARD: 1' PER BUILDING HEIGHT TO MAX. OF 25'
 MINIMUM REAR YARD: 1' PER BUILDING HEIGHT TO MAX. OF 25'
 MAXIMUM BUILDING HEIGHT: 75'
- TOTAL AREA OF PARCELS ARE AS FOLLOWS:
 LOT 17 ±58,920 S.F.
 LOT 18 ±73,073 S.F.
 LOT 19 ±59,985 S.F.
- BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON SURVEYS PERFORMED BY SEBAGO TECHINCS, INC. FROM 2002 THROUGH 2017.
- PLAN REFERENCES:
 A. RECORDING PLAT OF THE TURNPIKE INDUSTRIAL PARK, BY LAND USE CONSULTANTS, DATED MARCH 25, 1986 AND LAST REVISED SEPTEMBER 9, 1986, BEING RECORDED IN THE CCRD IN PLAN BOOK 157 PAGE 61.
 B. SITE PLAN SET OF PLANS OF LOT 18, TURNPIKE INDUSTRIAL PARK FOR ALLAGASH BREWING, BY SEBAGO TECHINCS, INC. (PROJECT #05057)
 C. "GRADING, DRAINAGE AND UTILITIES [PLAN], INDUSTRIAL WAY BUSINESS CENTER, 110 INDUSTRIAL WAY," FOR RIST/BRUNET FAMILY TRUST, BY LAND USE CONSULTANTS, INC., DATED JUNE 9, 1999, UNRECORDED.
- PLAN ORIENTATION IS GRID NORTH, MAINE STATE PLANE COORDINATE SYSTEM, WEST ZONE 1802-NAD83. ELEVATIONS DEPICTED HEREON ARE +/- 0.3' OF NGVD29, BASED ON DUAL FREQUENCY GPS OBSERVATIONS.
- UTILITY INFORMATION DEPICTED HEREON IS COMPILED USING PHYSICAL EVIDENCE LOCATED IN THE FIELD. UTILITIES DEPICTED HEREON MAY NOT NECESSARILY REPRESENT ALL EXISTING UTILITIES. CONTRACTORS AND/OR DESIGNERS NEED TO CONTACT DIG-SAFE SYSTEMS, INC. (1-888-DIG-SAFE) AND FIELD VERIFY EXISTING UTILITIES PRIOR TO CONSTRUCTION AND/OR EXCAVATION.
- THE LOCUS PROPERTY AS DEPICTED HEREON DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD AREA AS DELINEATED ON THE FLOOD INSURANCE RATE MAP FOR PORTLAND, MAINE, CUMBERLAND COUNTY, COMMUNITY-PANEL NUMBER 2300510001B, HAVING AN EFFECTIVE DATE OF JULY 17, 1986. THE LOCUS FALLS WITHIN AN AREA IDENTIFIED AS ZONE C, AREAS OF MINIMAL FLOODING.
- A WETLAND DELINEATION WAS PERFORMED ON THIS PROJECT SITE IN NOVEMBER 2017 BY GARY M. FULLERTON, CERTIFIED SOIL SCIENTIST OF SEBAGO TECHINCS, INC. AND LOCATED BY GROUND SURVEY. THIS DELINEATION CONFORMS TO THE STANDARDS AND METHODS OUTLINED IN THE 1987 WETLANDS DELINEATION MANUAL AND NORTHEAST REGIONAL SUPPLEMENT AUTHORED AND PUBLISHED BY THE U.S. ARMY CORPS OF ENGINEERS.
- LOT 16 IS FURTHER SUBJECT TO RESTRICTIONS, COVENANTS AND CONDITIONS AS DESCRIBED IN A DEED RECORDED AT THE CCRD IN BOOK 7361, PAGE 82.

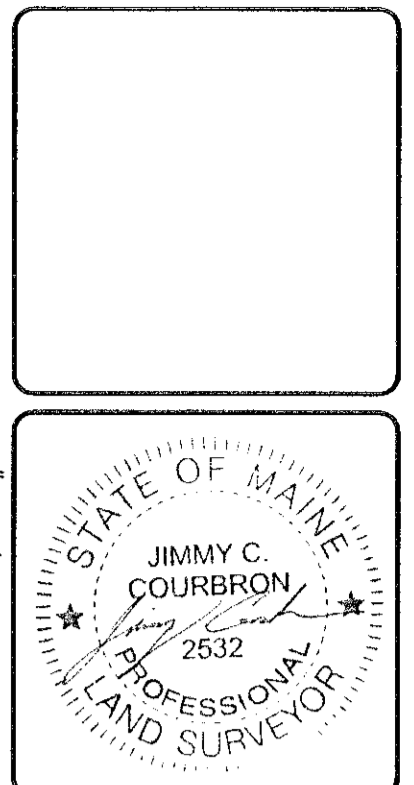
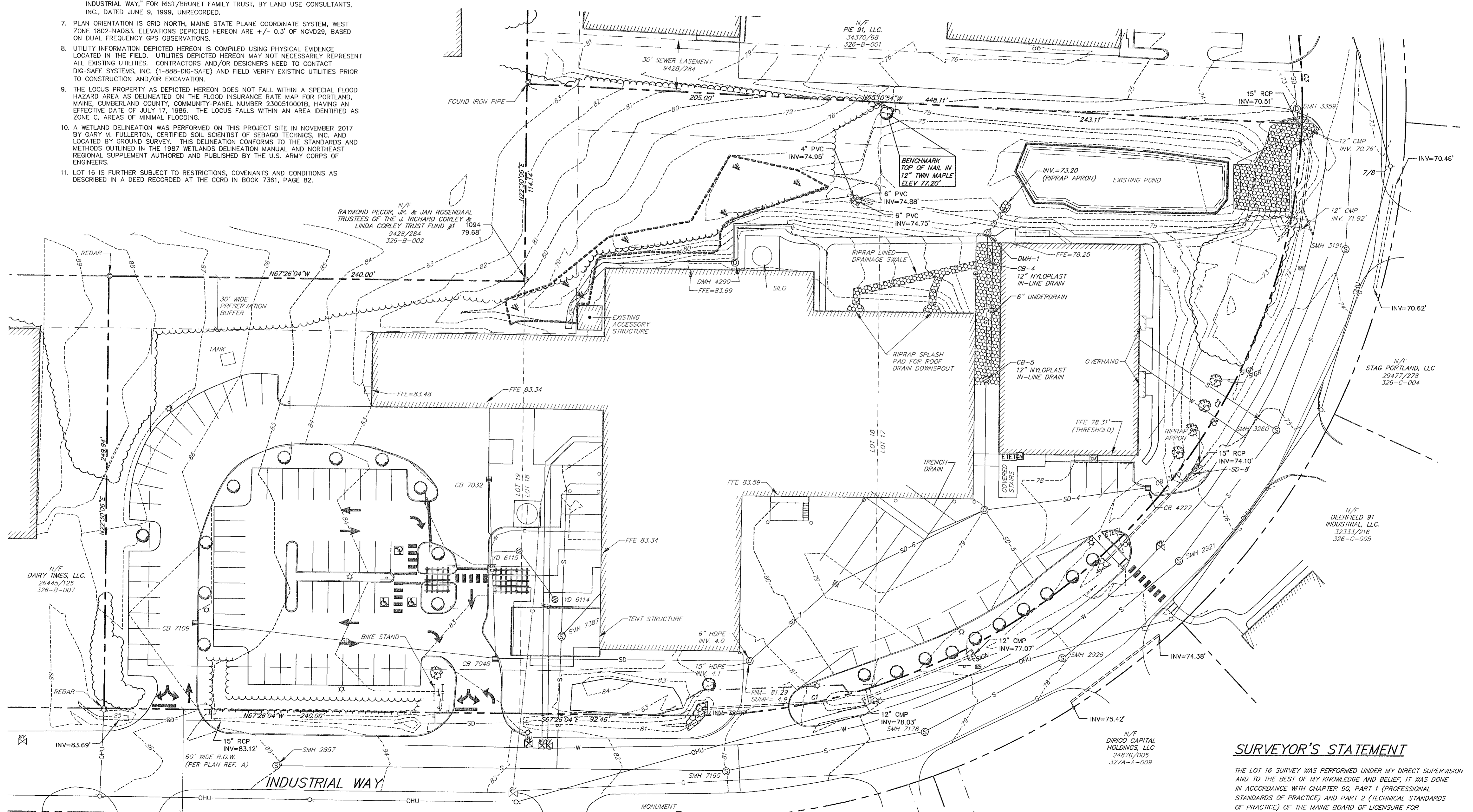


PROPERTY CURVE TABLE

CURVE	LENGTH	RADIUS	CRD. BEARING	CRD. DIST.
C1	114.32'	355.00'	S 76°39'36" E	113.83'
C2	434.77'	355.00'	N 59°01'45" E	408.11'
C3	61.23'	355.00'	N 19°00'09" E	61.15'



LOCATION MAP



DATE	DESCRIPTION	BY	CHECKED
JCC			MWE
B	JCC 4/3/18 SUBMIT LEVEL II SITE PLAN APPLICATION TO CITY		
A	JCC 3/14/18 ISSUED FOR CLIENT REVIEW		

REVISIONS: REVISED DRAWING PER SEBAGO TECHINCS, INC. ANY ALTERATIONS AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHINCS, INC.

SEBAGO TECHINCS
 WWW.SEBAGOTECHINCS.COM
 75 John Roberts Rd., Suite B
 South Portland, ME 04106
 Tel: 207-200-2100
 Fax: 207-753-5656

EXISTING CONDITIONS PLAN
 OF:
 2018 PACKAGING EXPANSION
 50 INDUSTRIAL WAY
 PORTLAND, MAINE 04103
 FOR:
 ALLAGASH BREWING COMPANY
 50 INDUSTRIAL WAY
 PORTLAND, MAINE 04103

SURVEYOR'S STATEMENT
 THE LOT 16 SURVEY WAS PERFORMED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, IT WAS DONE IN ACCORDANCE WITH CHAPTER 80, PART 1 (PROFESSIONAL STANDARDS OF PRACTICE) AND PART 2 (TECHNICAL STANDARDS OF PRACTICE) OF THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS.
 JIMMY C. COURBRON, PLS #2532
 DATE 4/3/2018

PROJECT NO.	SCALE
02249	1" = 30'
SHEET	C.2

02249-EC-2017-Portland,ing. TAB:EC 2017