

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0945	Issue Date:	CBL: 326 B004002
-----------------------	-------------	---------------------

Location of Construction: 899 RIVERSIDE ST	Owner Name: SPURWINK SCHOOL	Owner Address: 899 RIVERSIDE ST	Phone:
Business Name:	Contractor Name: TBD	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone: IM

Past Use: Spurwink School -Group Home "Sue Wright House"	Proposed Use: Spurwink School -Group Home "Sue Wright House" - Stair Renovations, & Additions to conform to Current Health, Welfare & Life Safety Building Codes	Permit Fee: \$870.00	Cost of Work: \$85,000.00	CEO District: 5
--	---	-------------------------	------------------------------	--------------------

Proposed Project Description: Stair Renovations & Additions to conform to Current Health, Welfare & Life Safety Building Codes	<p>FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied w/conditions</p> <p>INSPECTION: Use Group: I-1 Type: SRB</p> <p>Signature: <i>KG</i></p> <p>Signature: <i>JMB 10/14/10</i></p> <p>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)</p> <p>Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied</p> <p>Signature: _____ Date: _____</p>
--	--

Permit Taken By: Idobson	Date Applied For: 08/03/2010	Zoning Approval
-----------------------------	---------------------------------	------------------------

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED

OCT 15 2010

City of Portland

Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK w/conditions</i> Date: 8/18/10 <i>APN</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ABU</i> Date:
--	---	--

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
------------------------	---------	------	-------

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
---	------	-------

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

 X **Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**

 X **Foundation Inspection: Prior to placing ANY backfill for below grade occupiable space**

 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

 X **Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.**
NOTE: There is a \$75.00 fee per inspection at this point.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0945	Date Applied For: 08/03/2010	CBL: 326 B004002
-----------------------	---------------------------------	---------------------

Location of Construction: 899 RIVERSIDE ST	Owner Name: SPURWINK SCHOOL	Owner Address: 899 RIVERSIDE ST	Phone:
Business Name:	Contractor Name: TBD	Contractor Address:	Phone
Lessee/Buyer's Name	Phone:	Permit Type: Institutional	

Proposed Use: Spurwink School -Group Home "Sue Wright House" - Stair Renovations, & Additions to conform to Current Health, Welfare & Life Safety Building Codes	Proposed Project Description: Stair Renovations & Additions to conform to Current Health, Welfare & Life Safety Building Codes
---	---

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 08/18/2010**Note:** The use as a group home is legally nonconforming. Using section 14-382(c) a nonconforming building can be altered, modified or added on to if th changes are to bring the use into compliance with health or safety codes and it should be limited to the minimum necessary to accomplish this. **Ok to Issue:** ☒

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 10/14/2010**Note:** 10/1/10 Routed from Tammy M. To fire review**Ok to Issue:** ☒

- 1) CO IS REQUIRED FOR OCCUPANCY OF THE 3RD FLOOR
- 2) All penetratios through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 3) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 4) The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office.
- 5) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 6) Application approval based upon information provided by applicant, with revisions dated 10/12/10. Any deviation from approved plans requires separate review and approrval prior to work.
- 7) Those renovating dwellings shall install a CO detector in each area within or giving access to bedrooms. That detection must be powered by the electrical service in the building and battery.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Keith Gautreau **Approval Date:** 10/05/2010**Note:** **Ok to Issue:** ☒

- 1) Fire Alarm system shall be maintained.
If system is to be off line over 4 hours a fire watch shall be in place.
Dispatch notification required 874-8576.
- 2) Sprinkler protection shall be maintained.
Where the system is to be shut down for maintenance or repair, the system shall be checked at the end of each day to insure the system has been placed back in service.
- 3) All means of egress to remain accessible at all times
- 4) Two means of egress are required from every story. "State Law Title 25 ~ 2453"
- 5) Installation of a Fire Alarm system requires a Knox Box to be installed per city ordinance
- 6) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance.
Compliance letters are required.

Location of Construction: 899 RIVERSIDE ST	Owner Name: SPURWINK SCHOOL	Owner Address: 899 RIVERSIDE ST	Phone:
Business Name:	Contractor Name: TBD	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Institutional	
7) All construction shall comply with City Code Chapter 10.			

Comments:

10/6/2010-jmb: Spoke to Matthew W. For details from Tammy and additional including, pier location for new entry deck, new foundation carrying the side egress stair enclosure, tread depth, headroom, new front dormer framing, tempered windows in the new stairwells, r-value in exterior walls, headroom in 3rd fl bath, ridge post load path and use classification for building code 1-1 vs R-4. CO required for occupancy of the 3rd floor.

10/14/2010-jmb: Received revisions on 10/12, reviewed for compliance, ok to issue

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING DEPARTMENT

PERMIT

PERMIT ISSUED

Permit Number: 100945

This is to certify that SPURWINK SCHOOL /TRD

OCT 15 2010

has permission to Stair Renovations & Additions conform Current Health, Welfare & Life Safety Building CodesAT 899 RIVERSIDE ST

CEB 326-B004002

City of Portland

provided that the person or persons, firm or corporation acquiring this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or otherwise moved-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

James Bonk 10/14/10
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD



CITY OF PORTLAND, MAINE
Department of Building Inspections

Original Receipt

8.3 20 10

Received from

Peawick

Location of Work

895 Riverside St

\$

Building Fee:

\$

Site Fee:

Certificate of Occupancy Fee:

Total:

870

Plumbing (15)

Electrical (12)

Site Plan (12)

3.4

850 1200

Check #

164553

Total Collected \$

870

No work is to be started until permit issued.
Please keep original receipt for your records.

Taken by:

8910

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy



GENERAL BUILDING PERMIT APPLICATION

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>899 RIVERSIDE ST</u>		
Total Square Footage of Proposed Structure/Area <u>1-600 ST. HALL, 1-1,000 ST. BULL</u>		Square Footage of Lot <u>3.278 Acres</u>
Tax Assessor's Chart, Block & Lot Chart# <u>3260</u> Block# <u>B004</u> Lot# <u>002</u>	Applicant ^{must be Owner, Lessee or Buyer} Name <u>SPRINT SERVICES</u> Address <u>877 RIVERSIDE ST</u> City, State & Zip <u>PORTLAND ME</u>	Telephone: <u>(207) 871-1200</u>
Leasee/DBA (If Applicable) <u>/</u>	Owner (if different from Applicant) Name <u>/</u> Address <u>/</u> City, State & Zip <u>/</u>	Cost Of Work: \$ <u>75,000</u> C of O Fee: \$ <u>/</u> Total Fee: \$ <u>80</u>
Current legal use (i.e. single family) <u>Existing 1000' Home</u> If vacant, what was the previous use? <u>/</u> Proposed Specific use: <u>Same As Existing</u> Is property part of a subdivision? <u>/</u> If yes, please name <u>/</u> Project description: <u>Struct. Renovations & ADDITIONS to comply to current HAZMAT, WASTE, & Life Safety Building Codes.</u>		
Contractor's name: <u>TED C/O MATTHEW GILBERT</u> Address: <u>46 DEWEY DR AVE</u> City, State & Zip: <u>PORTLAND ME 04103</u> Telephone: <u>450 0710</u> Who should we contact when the permit is ready? <u>/</u> Telephone: <u>/</u> Mailing address: <u>/</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 574-4703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Owner or his/her authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 8/3/10 AUG - 3 2010
This is not a permit; you may not commence ANY work until the permit is issued.
Dept. of Building Inspections
City of Portland and Maine

GARRISON CONSULTING

August 3, 2010

Jeannie Bourke
City of Portland Maine
Code Enforcement Officer
389 Congress Street
Portland, Maine 04101

Re: Spurwink Services, 899 Riverside Street – Sue Wright House

Dear Ms Bourke:

Attached please find a Building Permit Application for the Sue Wright House at 899 Riverside Street on the Spurwink Services campus. We are submitting this permit application to increase the volume of the facility as part of our effort to bring Sue Wright House into conformance with the requirements of the State Fire Marshall's Office, NFPA 101 - Life Safety Code Handbook and Federal Fair Housing requirements.

Presently Sue Wright House is approved as an Existing Non-Conforming use as a Community Living Arrangement for (8) persons of need plus the house parents / family in the IM Zone. This approved use dates back to 1960 when Spurwink began providing children of need with care. As part of ongoing regulatory review of the program itself, the State requires periodic review from the State Fire Marshall's office to ensure the facility meets the provisions of a continually evolving building code. During their most recent visit, the State Fire Marshall noted that Sue Wright house no longer meets the standards for Means of Escape in the Residential Care Occupancy chapter for Small Facilities. Specifically noted were NFPA Life Safety code sections 33.2, 33.2.2.2 & 33.2.3 among others.

We have reviewed this project with Marge Schmuckal Zoning Administrator and were able to determine that this work did not need to be reviewed by the Zoning Board of Appeals due to the fact improvements are being made to meet health welfare and safety needs.

This submission outlines how we propose to adapt Sue Wright House to meet the current code standards as stipulated by the State Fire Marshall's Office (see attached eMail from Richard McCarthy) as they relate to Residential Care Occupancy – Small Facilities.

To summarize this proposal, Spurwink would build a new 1-hr enclosed stairway to provide safe evacuation from the facility. This new stair would be built within the existing footprint of the residence and spring upward from the existing 1-story mud-room located in the rear of the building. To alleviate safety concerns we also propose to extend a new porch off the back of the residence to help redirect rainwater and winter snow. Finally this submittal identifies some interior renovation to provide improved accommodation for the residents in the house.

We look forward to presenting this request to you in person at the next ZBA meeting.

Sincerely,



Matthew G Winch
Principal

From: "McCarthy, Richard" <Richard.McCarthy@maine.gov>
Subject: FW:
Date: July 15, 2010 4:16:02 PM EDT
To: "Matthew G. Winch" <matthewwinch@earthlink.net>

here is what was sent to Dan

Richard McCarthy CFI II / CFPE
Office of the State Fire Marshal
Senior Plans Examiner
Office (207)626-3886
Fax (207)287-6251
richard.mccarthy@maine.gov

From: McCarthy, Richard
Sent: Thursday, July 15, 2010 3:50 PM
To: 'Dan Bonner'
Subject: RE:

Dan,

I have done a preliminary review of The Sue Wright House located in Portland. I agree that the current stair does not meet th NFPA 101 requirements for a means of escape. You would be required to provide a code compliant means of escape for this facility to be compliant. This review is only for the means of escape and a full review will be required and permits from both the city and our office obtained before any work is started.

Richard McCarthy CFI II / CFPE
Office of the State Fire Marshal
Senior Plans Examiner
Office (207)626-3886
Fax (207)287-6251
richard.mccarthy@maine.gov

From: Dan Bonner [mailto:dbonner@spurwink.org]
Sent: Thursday, July 15, 2010 11:53 AM
To: McCarthy, Richard
Subject:

Here you go, and thanks for the help.

Daniel M Bonner. LMSW.
Vice President of Operations.

spurwink services.
Going the distance. Changing lives
899 Riverside Street.
Portland, Me 04103
207-871-1200
www.spurwink.org

CONFIDENTIALITY NOTICE: This communication (including all attachments) is intended solely for the use of the person or persons to whom it is addressed, and should be treated as a confidential communication of Spurwink Services. It may include information that is privileged and/or confidential under both State and Federal Law. If you are not the intended recipient, or agent of the recipient, you are notified that any further use, dissemination, copy, distribution, printing or disclosure of this communication is strictly prohibited. If you have received this communication in error, please notify the originator and delete it from your system (do not retain any copies), return the original transmittal to us by mail without making a copy, and reply to the sender to advise us that this communication was misdirected. Your cooperation in protecting confidential information is appreciated.

(COPY)



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 899 Riverside St.

Issued to Richard M Smith
899 Riverside St.

Date of Issue October 11, 1961

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. 60/970, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

Residence School for mentally
disturbed children.

Limiting Conditions:

No more than eight children.
Third floor not to be used.

This certificate supersedes
certificate issued

Approved:

(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

alterations, modifications or additions shall be made to it, except as provided in this division.

(b) A building whose use is wholly nonconforming shall not be altered so as to increase the cubical content or the degree of nonconformity.

(c) No alterations, modifications or additions shall be made so as to increase the cubical content or the degree of nonconforming use, nor shall a nonconforming use be extended to any other part of such building, unless such part was clearly arranged and designed for such nonconforming use prior to June 5, 1957, or such extension of a nonconforming use is solely for the purpose of bringing the use into compliance with health or safety codes, or to correct a condition that may not technically be in violation but which is determined by the board of appeals to constitute a health or safety problem. In either case, the expansion shall be limited to the minimum necessary to accomplish that purpose.

(d) Alteration, modification or addition may be made to a building which is lawfully nonconforming as to space and bulk or any dimensional requirement where the proposed changes in existing exterior walls and/or roofs would be within the space occupied by the existing shell of the building, and would not create any new nonconformity nor increase any existing nonconformity. This subsection shall not apply to buildings located within shoreland zones and existing on June 15, 1992, which are nonconforming only as to setbacks from wetlands, tributary streams or other water bodies, which shall be regulated in accordance with subsection (f) of this section.

(e) Except as expressly provided herein, any alteration, modification or addition permitted under this section shall be in compliance with all other applicable sections of this chapter. Nothing within this section shall be construed to permit an increase in the number of nonconforming units in a building which is nonconforming as to the number of dwelling units or will become nonconforming as a result of such alteration, modification or addition.

(f) *Expansions.* A non-conforming structure may be added to or expanded after obtaining a permit from the same permitting authority as that for a new structure, if such addition or expansion does not increase the non-conformity of the structure and is in accordance with the sections below.



Certificate of Design Application

Design Designer:

M. J. G. L. Jones

Date:

8/3/10

Building Name:

899 Riverside St. Svc. Wrentham Ham

Address of Construction:

899 Riverside St.

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year ICC 2003 / ASCE 101, 2000 Use Group Classification (s) II (BC) Existing Res. Bldg
Type of Construction Type S Code Facility (Single Family)
NFPA, 2000

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC Yes (Existing)
Is the Structure mixed use? No If yes, separated or non separated or non separated (section 302.3) ---
Supervisory alarm System? Yes Geotechnical/Soils report required? (See Section 1802.2) No

Structural Design Calculations

Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (1603.11, 1607)

Floor Area Use	Loads Shown

Roof loads (1603.1.4, 1609)

Design option utilized (1603.1.1, 1609.4)
Basic wind speed (1609.5)
Building category and wind importance Factor, I_w (1604.5, 1609.5)
Wind exposure category (1609.4)
Internal pressure coefficient (ASCE 7)
Component and cladding pressure (1603.1.1, 1609.4.2.2)
Main frame wind pressure (1603.1.1, 1609.4.2.1)

Seismic design data (1603.1.5, 1614-1623)

Design option utilized (1614.1)
Seismic use group ("Category")
Spectral response coefficient, S_s & S_1 (1615.1)
Site class (1613.1.5)

Live load reduction
Roof live loads (1603.1.2, 1607.11)
Roof snow loads (1603.7.2, 1609)
Ground snow load, P_g (1606.2)
If $P_g > 10$ psf, flat-roof snow load P_f
If $P_g > 10$ psf, snow exposure factor, C_e
If $P_g > 10$ psf, snow load importance factor, I_s
Roof thermal factor, C_t (1606.4)
Sloped roof snow load, P_s (1606.5)
Seismic design category (1611.5)
Basic seismic force resisting system (1617.6.2)
Response modification coefficient, R , and
deflection amplification factor, C_d (1617.6.2)
Analysis procedure (1616.4, 1617.5)
Design base shear (1617.4, 1617.5.1)

Flood loads (1603.1.6, 1613)

Flood hazard area (1613.1)
Elevation of structure

Other loads

Concentrated loads (1607.4)
Fashion loads (1607.5)
Misc. loads (1606, 1607.2, 1607.3.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2004)



Certificate of Design

date:

2/3/10

from:

Matthew Wink

These plans and / or specifications covering construction work on:

899 RIVERSIDE ST, Sae Wright House Process
Stair / Penetrations

have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.



Signature:

Matthew Wink

Title:

Architect

Firm:

Commonwealth

Address:

11 BEDFORD ST
PORTLAND ME 04103

Phone:

(207) 450-0750

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Accessibility Building Code Certificate

Designer:

William G. White

Address of Project:

895 Riverside St

Nature of Project:

Expansions & Renovations to Add
Code Required Egress Stair

Technical submissions covering the proposed construction work as described above have been signed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.

Signature:

W.G. White

Title:

Professional

Firm:

Compensated Construction

Address:

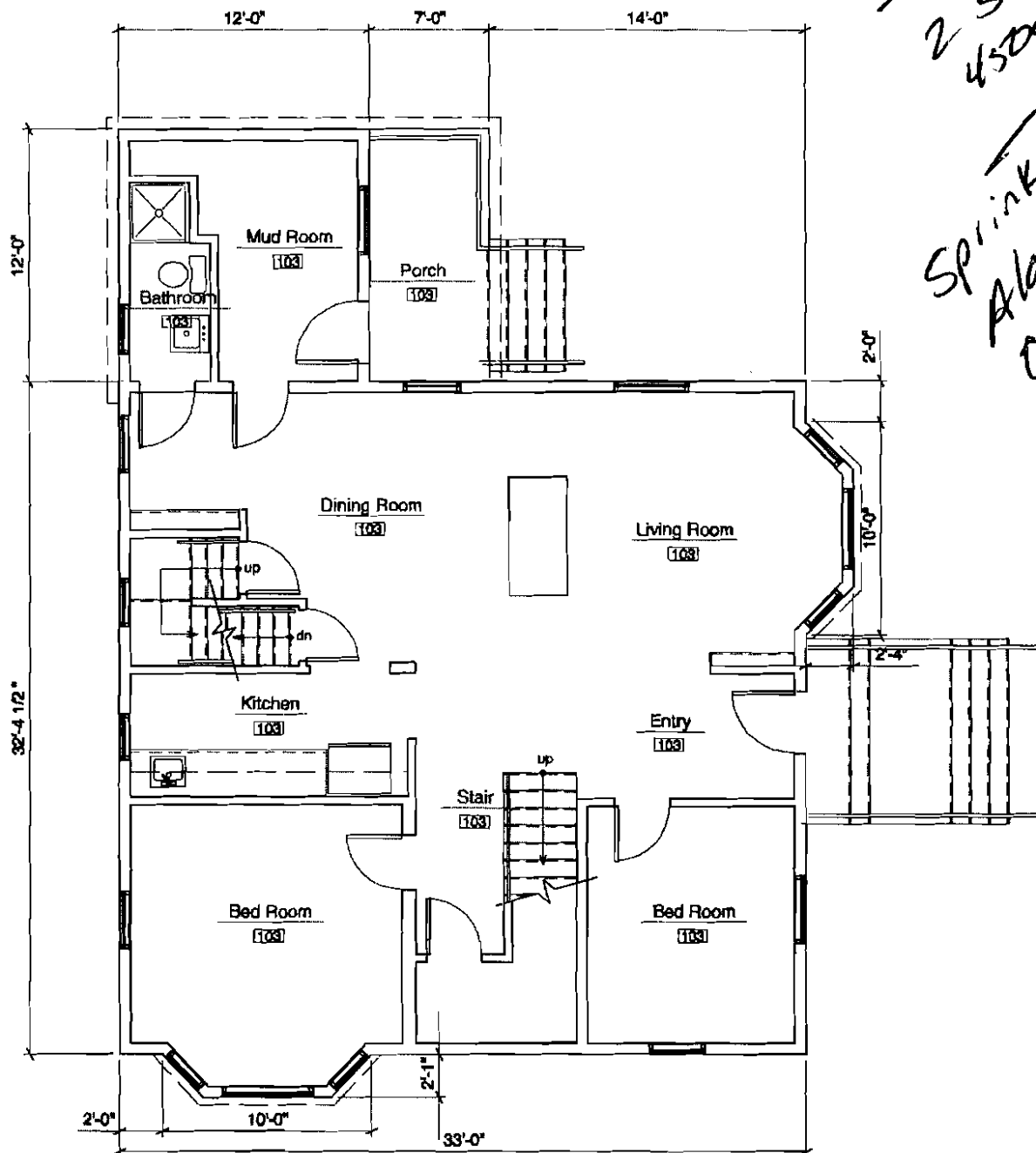
41 Exchange Street
Portland ME 04107

Phone:

(207) 450-0750



For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



10 Existing Floor Plan

Use Type
I-1 SB
2 stories
4500 SF max
OK

Sprinkler st
Alarm system
OK for 3
504.2

GARRISON
CONSULTING

41 edgewood ave
portland, maine 04103
telephone 207 450 0750

e-mail matthewwinch@earthlink.net

Sue Wright House

899 Riverside St.
Portland, Maine

**Existing Conditions
First Floor Plan**

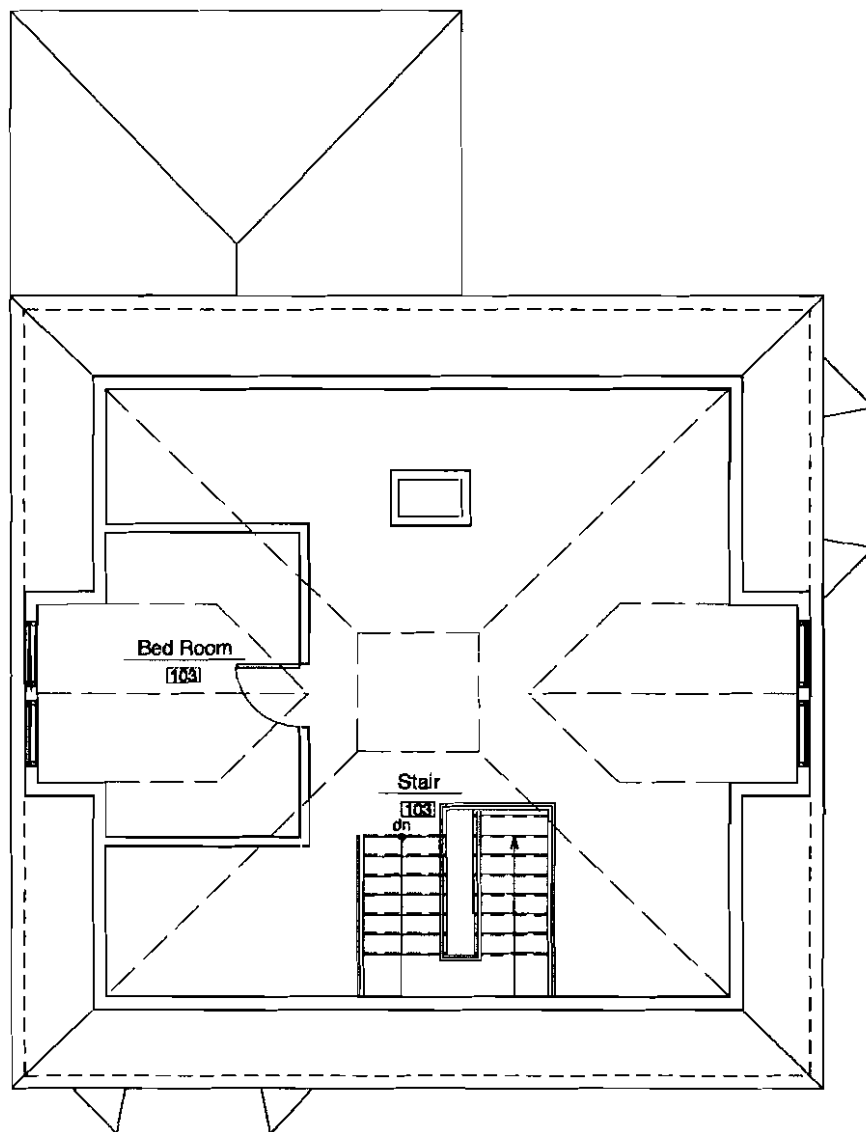
Scale: 1/8" = 1'-0" Date: 08/03/10

Drawn By: MGW

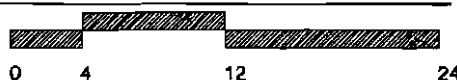
Project No: 2010-006

DWG NO:

EXTC-01



10 Existing Floor Plan



GARRISON
CONSULTING

41 edgewood ave
portland, maine 04103
telephone 207 450 0750

e-mail matthewwinch@earthlink.net

Sue Wright House

899 Riverside St.
Portland, Maine

Existing Conditions
~~Second Floor Plan~~

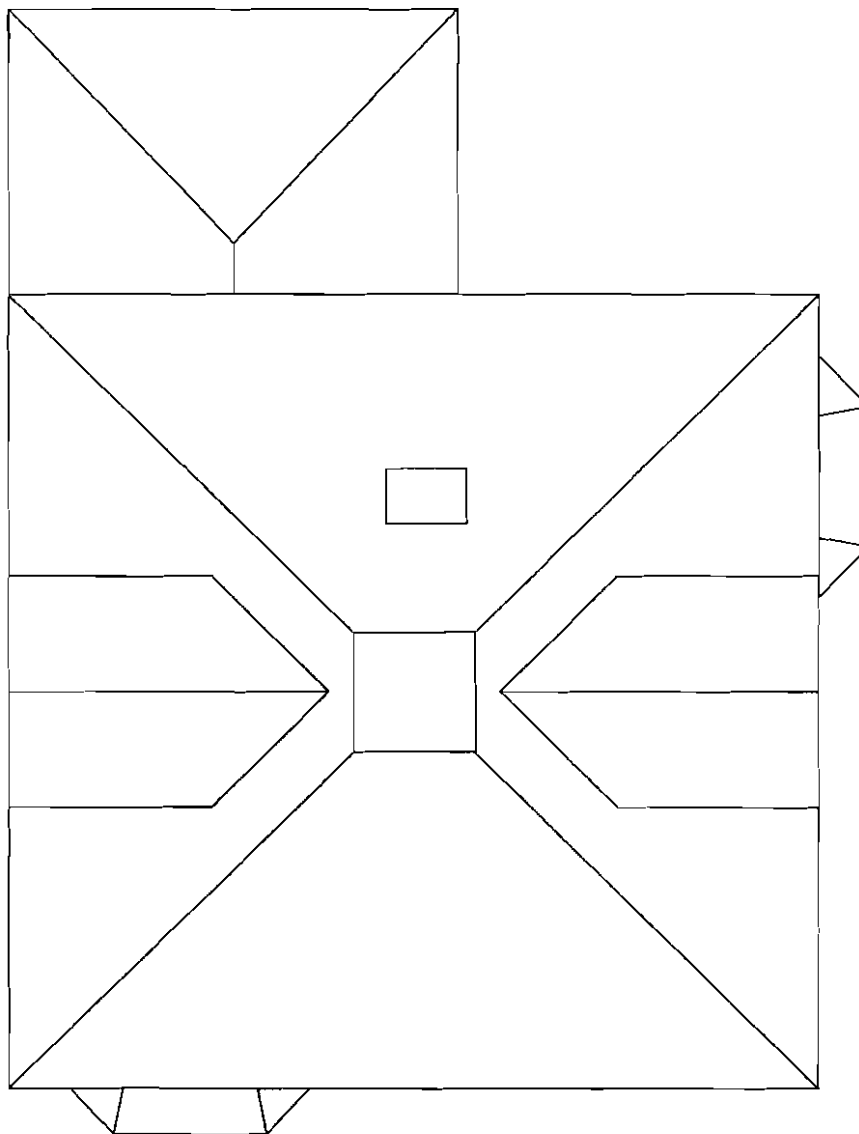
Scale: 1/8" = 1'-0" Date: 08/03/10

Drawn By: MGW

Project No: 2010-006

DWG NO:

EXTC-03



10

Existing Roof Plan



GARRISON
CONSULTING

41 edgewood ave
portland, maine 04103
telephone 207 450 0750

e-mail matthewwinch@earthlink.net

Sue Wright House

899 Riverside St.
Portland, Maine

**Existing Conditions
Second Floor Plan**

Scale: 1/8" = 1'-0" Date: 08/03/10

Drawn By: MGW

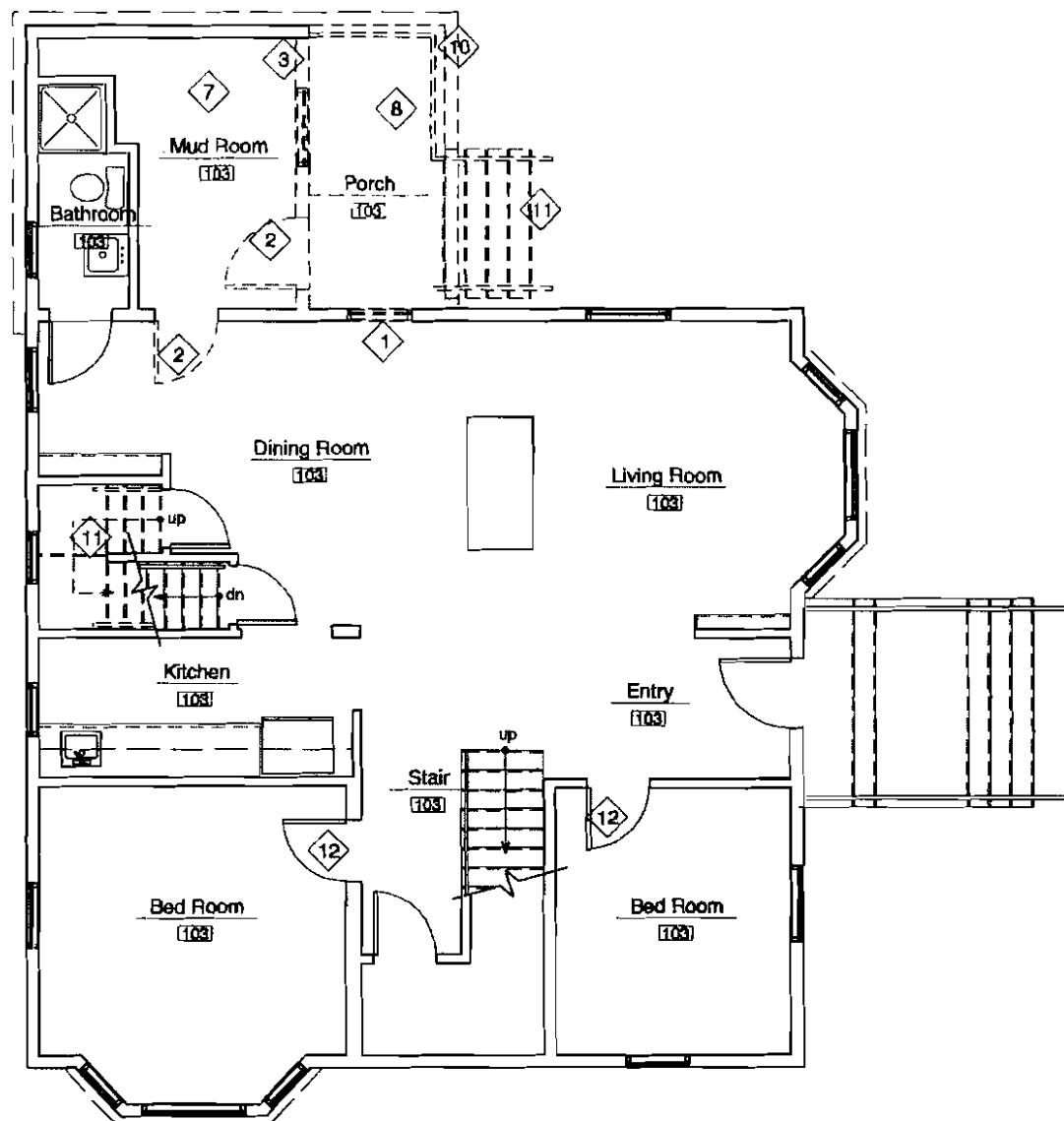
Project No: 2010-006

DWG NO:

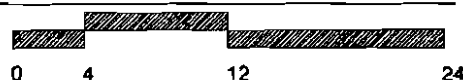
EXTC-03

Demolition Notes

- | | | |
|---|---|--|
| 1 Remove existing door, frame and blocking. Prep opening for infill wall. | 5 Remove existing plumbing fixture. | 10 Remove porch rails and decking. |
| 2 Remove existing door or window. | 7 Remove existing lighting fixtures and ceiling material. | 11 Remove existing stair framing |
| 3 Remove existing wall. | 8 Remove existing roof framing, shingles and sheathing | 12 Remove existing door replace with 1 3/4" 20 minute door |
| 4 Remove existing carpet, backing and accessories. | 9 Remove existing electrical equipment | 13 |



10 1st Floor Demo Plan



GARRISON
CONSULTING

41 edgewood ave
portland, maine 04103
telephone 207 450 0750

e-mail matthewwinch@earthlink.net

Sue Wright House

899 Riverside St.
Portland, Maine

**First Floor
Demolition Plan**

Scale: 1/8" = 1'-0" Date: 08/03/10

Drawn By: MGW

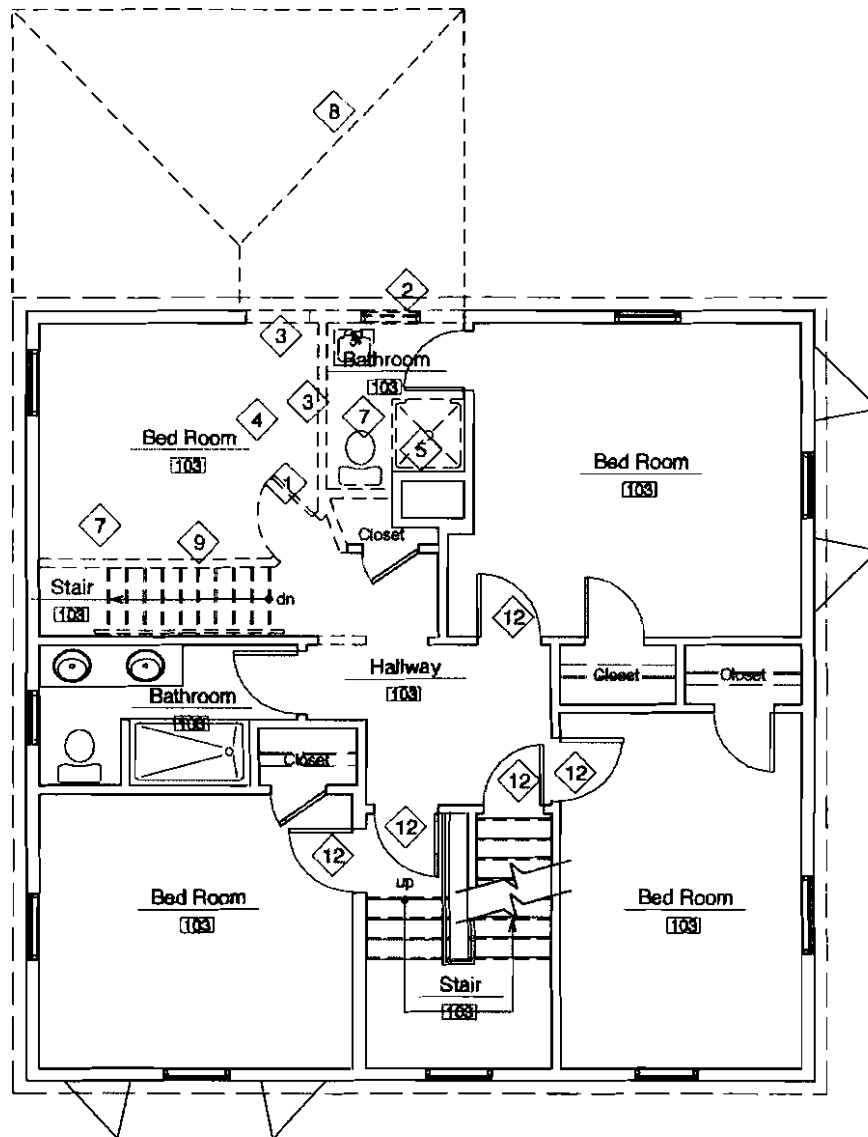
Project No: 2010-006

DWG NO:

DEMO-01

Demolition Notes

- | | | |
|---|---|--|
| 1 Remove existing door, frame and blocking. Prep opening for infill wall. | 5 Remove existing plumbing fixture. | 10 Remove porch rails and decking. |
| 2 Remove existing door or window. | 7 Remove existing lighting fixtures and ceiling material. | 11 Remove existing stair framing |
| 3 Remove existing wall. | 8 Remove existing roof framing, shingles and sheathing | 12 Remove existing door replace with 1 3/4" 20 minute door |
| 4 Remove existing carpet, backing and accessories. | 9 Remove existing electrical equipment | 13 |



10 2nd Floor Demo Plan



GARRISON
CONSULTING

41 edgewood ave
portland, maine 04103
telephone 207 450 0750

e-mail matthewwinch@earthlink.net

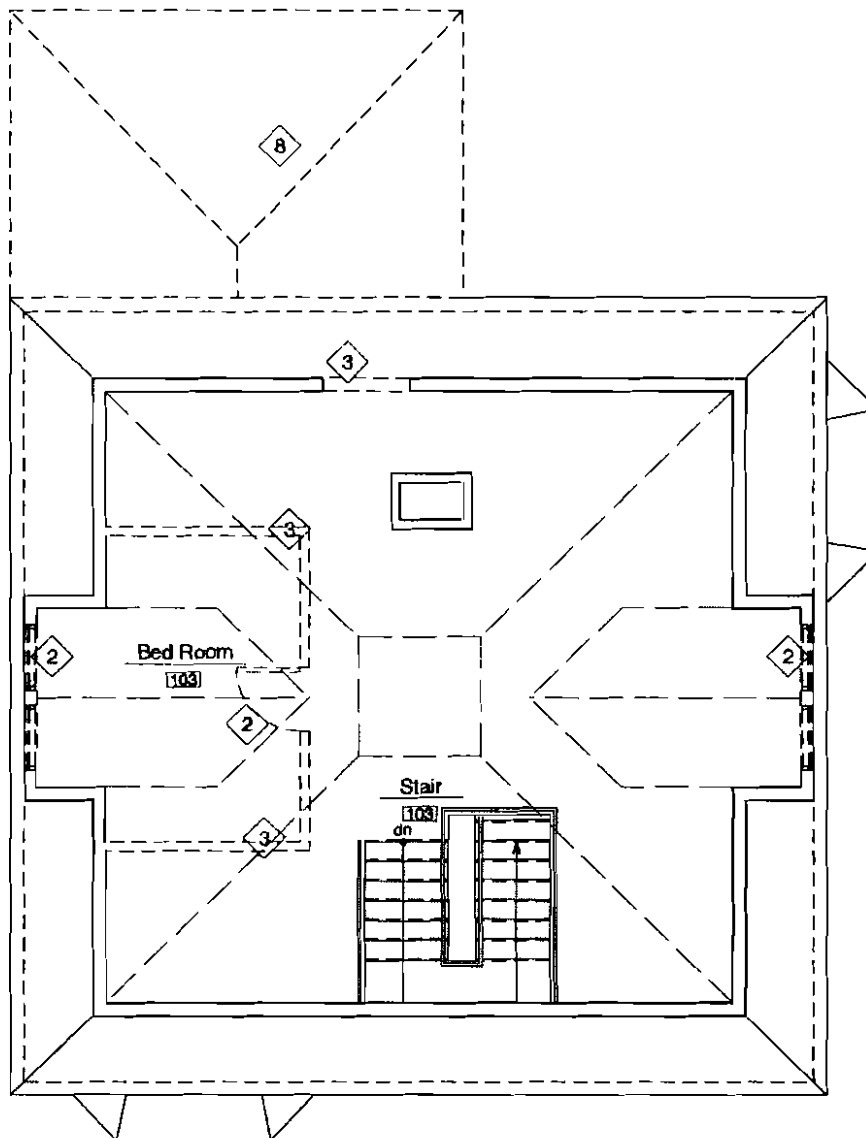
Sue Wright House
899 Riverside St.
Portland, Maine
**Second Floor
Demolition Plan**

Scale: 1/8" = 1'-0" Date: 08/03/10
Drawn By: MGW
Project No: 2010-006
DWG NO:

DEMO-02

Demolition Notes

- | | | |
|---|---|--|
| 1 Remove existing door, frame and blocking. Prep opening for infill wall. | 5 Remove existing plumbing fixture. | 10 Remove porch rails and decking. |
| 2 Remove existing door or window. | 7 Remove existing lighting fixtures and ceiling material. | 11 Remove existing stair framing |
| 3 Remove existing wall. | 8 Remove existing roof framing, shingles and sheathing | 12 Remove existing door replace with 1 3/4" 20 minute door |
| 4 Remove existing carpet, backing and accessories. | 9 Remove existing electrical equipment | 13 |



10 3rd Floor Demo Plan

0 4 12 24

GARRISON
CONSULTING

41 edgewood ave
portland, maine 04103
telephone 207 450 0750

e-mail matthewwinch@earthlink.net

Sue Wright House

899 Riverside St.
Portland, Maine

**Third Floor
Demolition Plan**

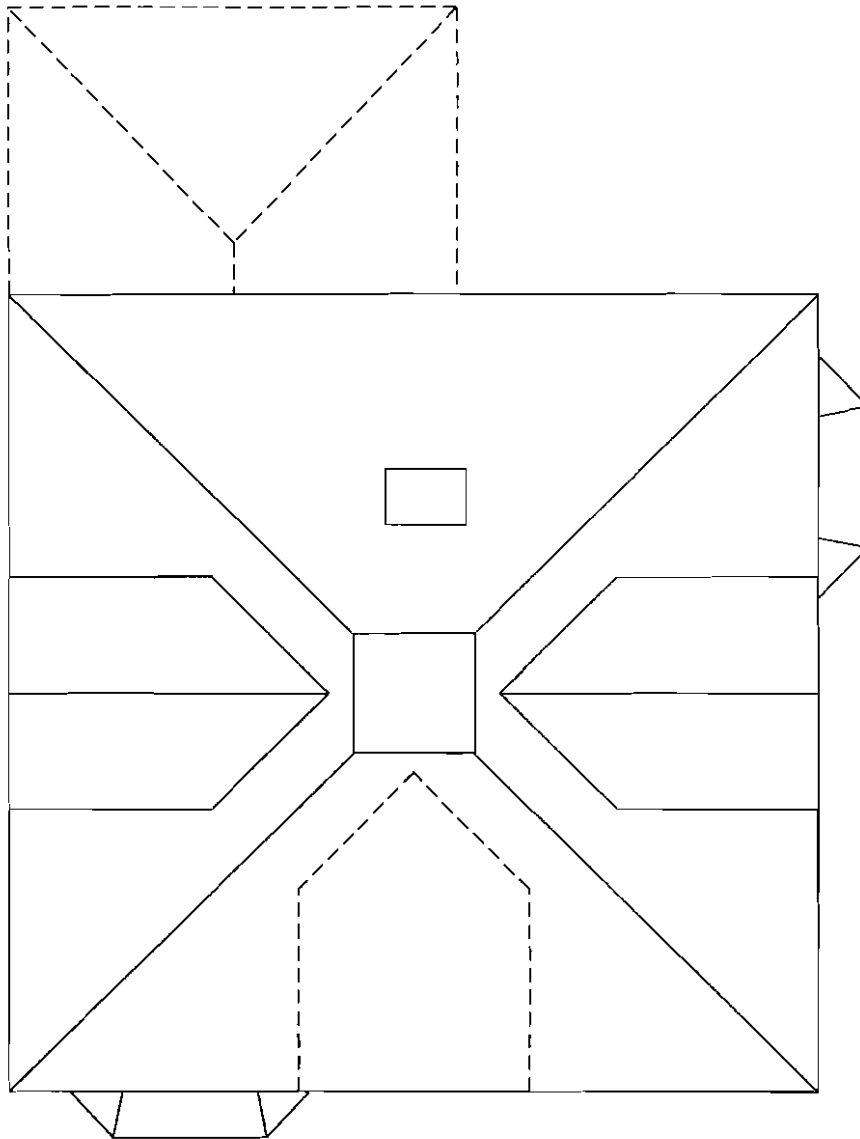
Scale: 1/8" = 1'-0" Date: 08/03/10

Drawn By: MGW

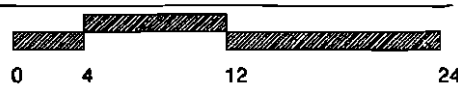
Project No: 2010-006

DWG NO:

DEMO-03



10 Roof Demo Plan



GARRISON
CONSULTING

41 edgewood ave
portland, maine 04103
telephone 207 450 0750

e-mail matthewwinch@earthlink.net

Sue Wright House

899 Riverside St.
Portland, Maine

**Roof
Demolition Plan**

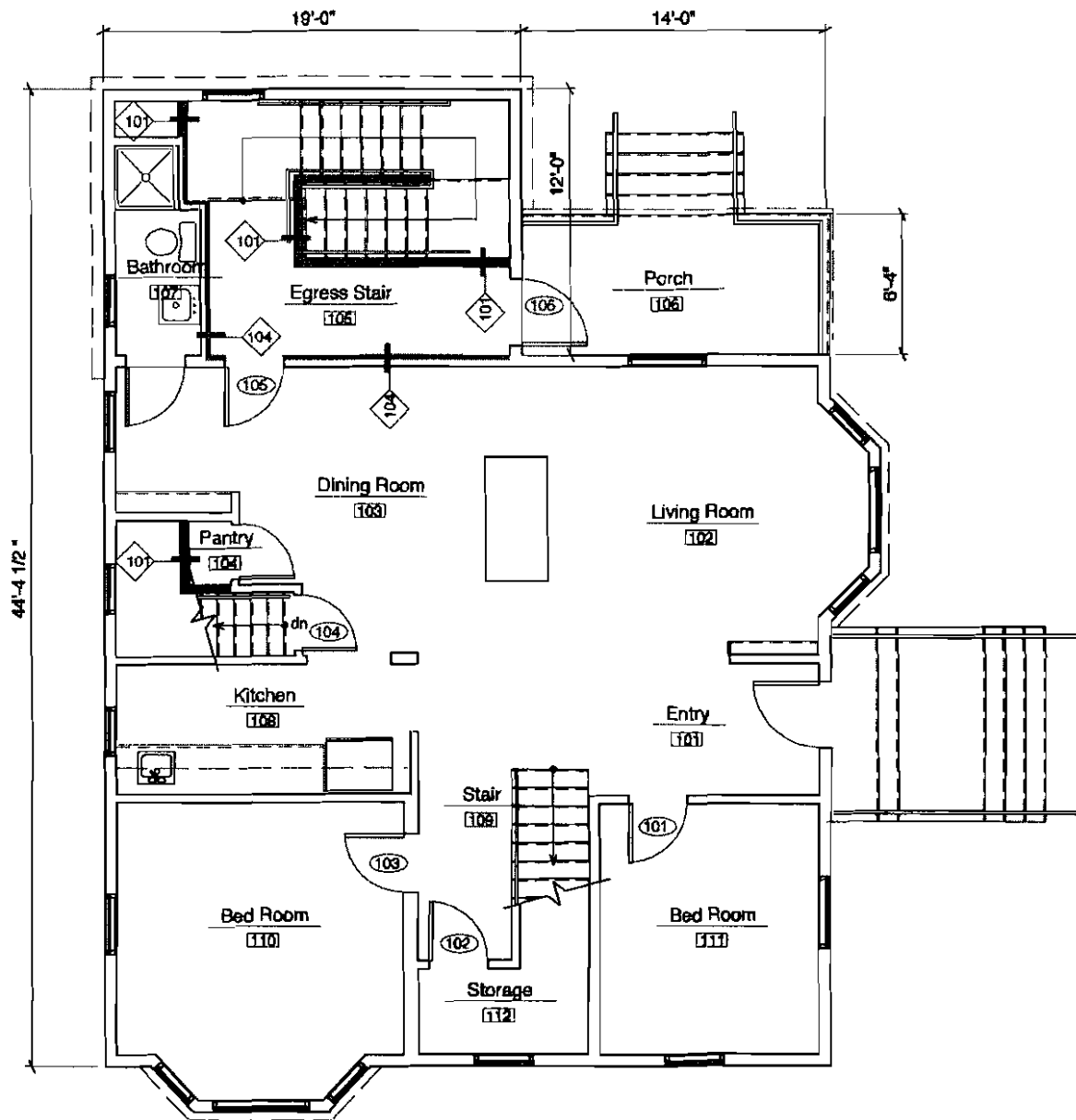
Scale: 1/8" = 1'-0" Date: 08/03/10

Drawn By: MGW

Project No: 2010-006

DWG NO:

EXTC-03



10 Proposed Floor Plan



GARRISON
CONSULTING

41 edgewood ave
portland, maine 04103
telephone 207 450 0750

e-mail matthewwinch@earthlink.net

Sue Wright House

899 Riverside St.
Portland, Maine

**Proposed
First Floor Plan**

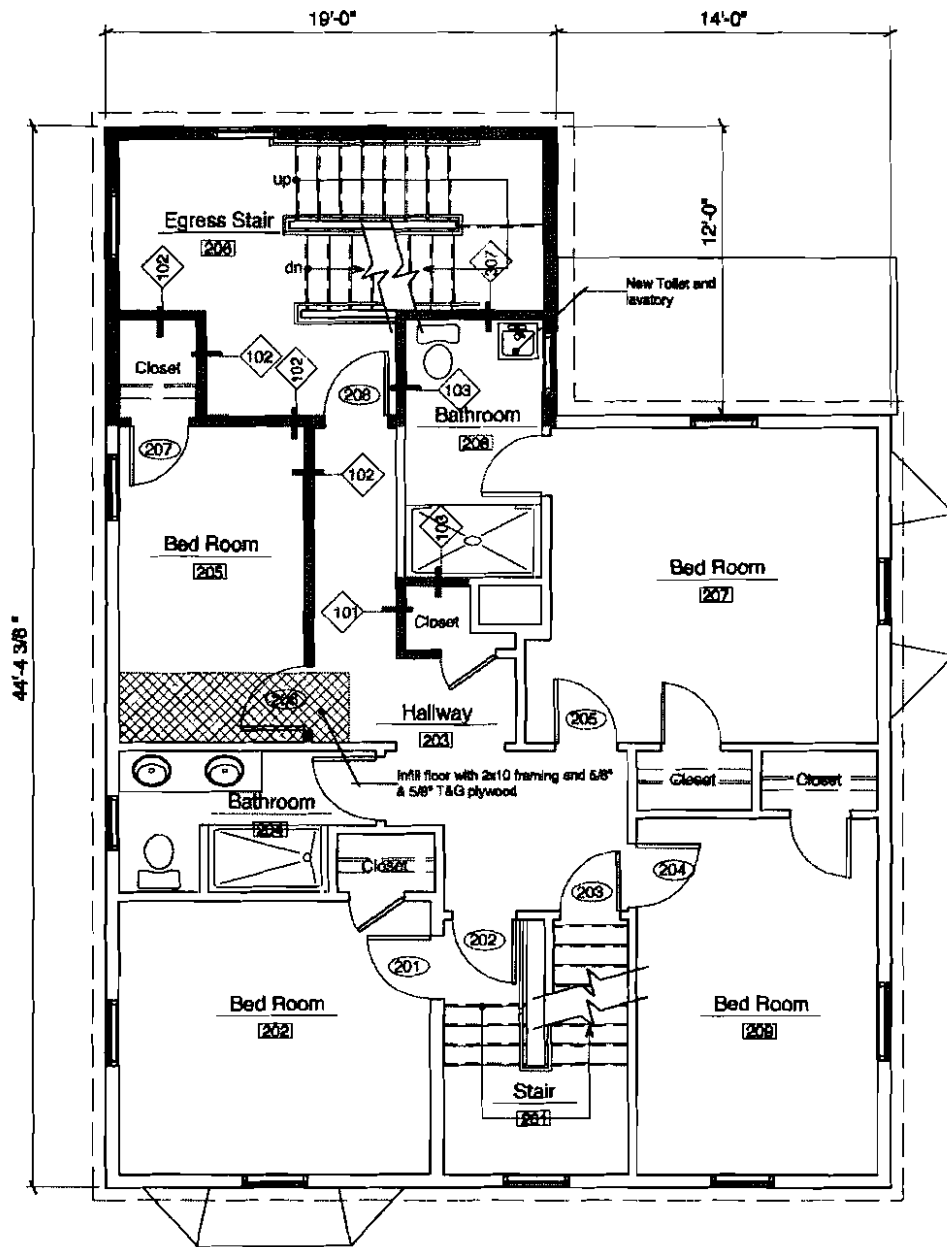
Scale: 1/8" = 1'-0" Date: 08/03/10

Drawn By: MGW

Project No: 2010-006

DWG NO:

SKA-01



10 Proposed Floor Plan



GARRISON
CONSULTING

41 edgewood ave
portland, maine 04103
telephone 207 450 0750

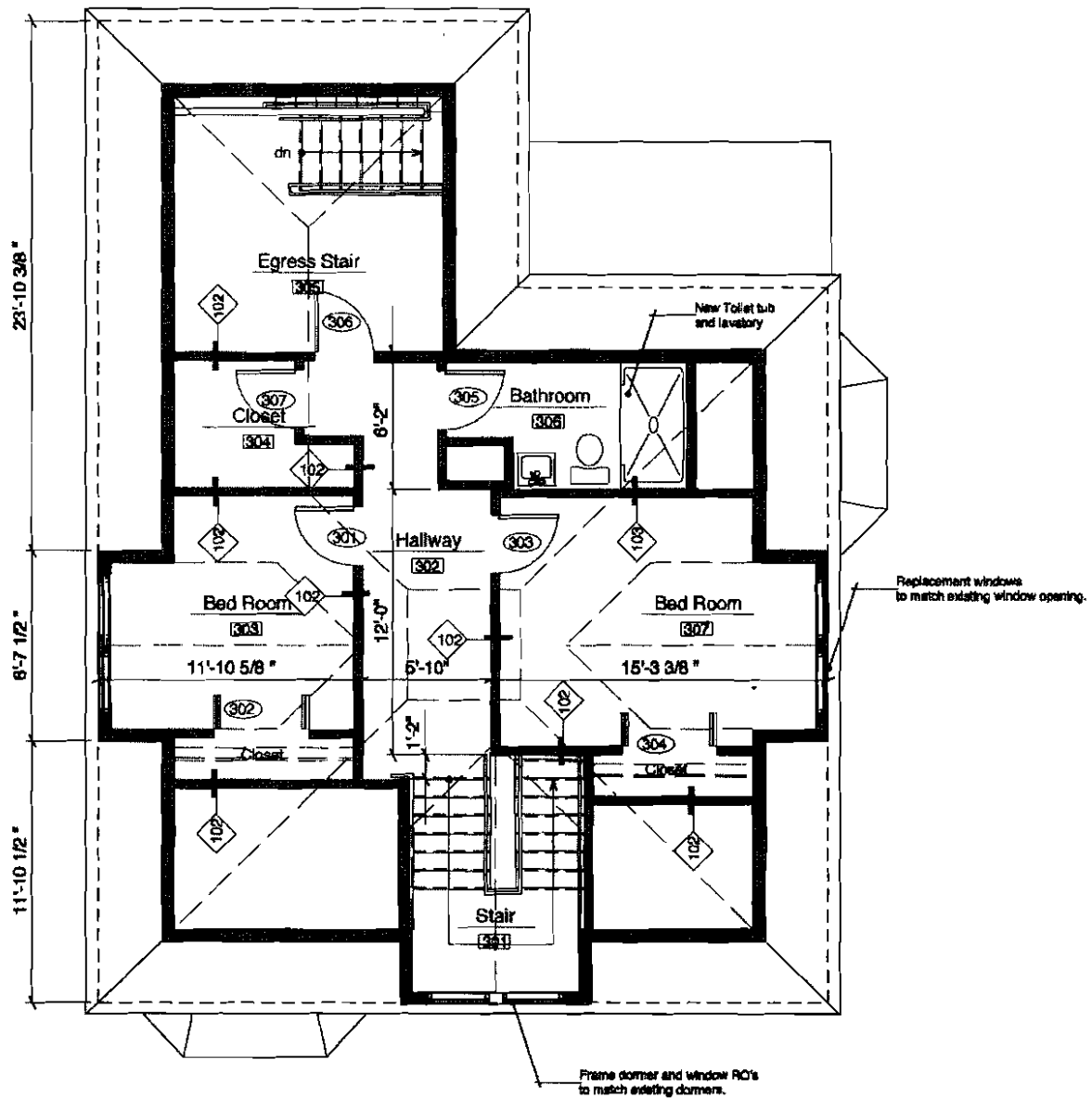
e-mail matthewwinch@earthlink.net

Sue Wright House
899 Riverside St.
Portland, Maine

**Proposed
Second Floor Plan**

Scale: 1/8" = 1'-0" Date: 08/03/10
Drawn By: MGW
Project No: 2010-006
DWG NO:

SKA-02



10 Proposed Floor Plan

0 4 12 24

GARRISON
CONSULTING

41 edgewood ave
portland, maine 04103
telephone 207 450 0750

e-mail matthewwinch@earthlink.net

Sue Wright House

899 Riverside St.
Portland, Maine

**Proposed
Third Floor Plan**

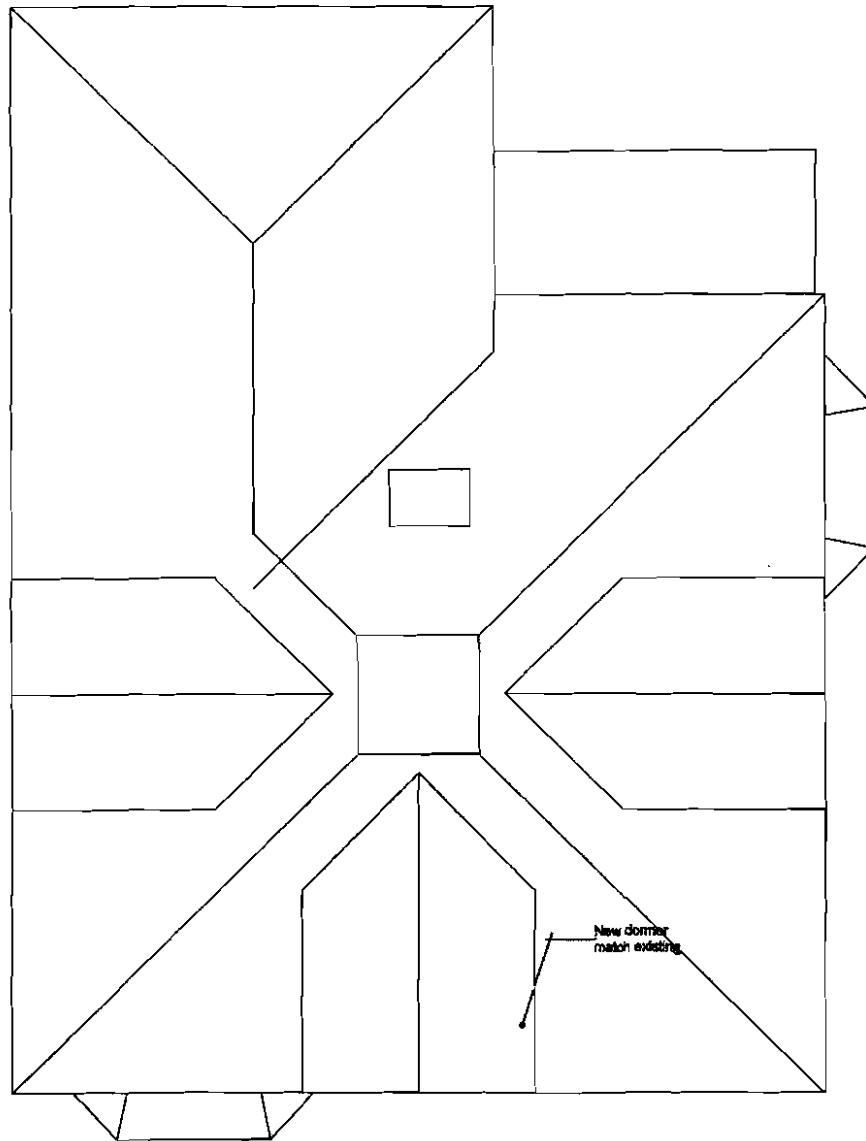
Scale: 1/8" = 1'-0" Date: 08/03/10

Drawn By: MGW

Project No: 2010-006

DWG NO:

SKA-03



10 Proposed Roof Plan



GARRISON
CONSULTING

41 edgewood ave
portland, maine 04103
telephone 207 450 0750

e-mail matthewwinch@earthlink.net

Sue Wright House

899 Riverside St.
Portland, Maine

**Proposed
Roof Plan**

Scale: 1/8" = 1'-0" Date: 08/03/10

Drawn By: MGW

Project No: 2010-006

DWG NO:

SKA-04

623	Partition type designation
Rating	NR (not rated), 1HR, 2HR, 3HR as applicable
UL	UL design number. See Fire Rating notes this sheet.
STC	STC design value for partition as applicable
Jamb	Jamb detail reference for this partition type

Partition Notes / Legend

1. Partition type designations refer to the following wall construction systems:

- 200 Series - 2x2 Wood stud construction
- 300 Series - 2x4 Wood stud construction
- 600 Series - 2x6 Wood stud construction
- 800 Series - 2x8 Wood stud construction
- C Series - Chasewall construction
- M Series - CMU construction
- S Series - Shaftwall construction

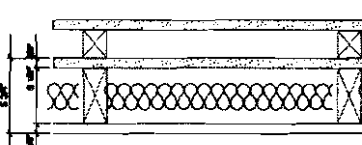
2. All GWB to be cut to fit around penetrations, pipes, ducts, conduit, cables, etc. All penetrations shall be sealed with acoustic sealant, unless noted otherwise.

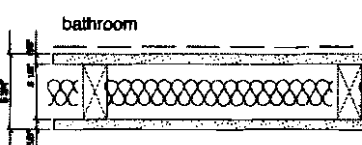
3. All partitions extending to underside of slab above shall fully follow the contour of structure.

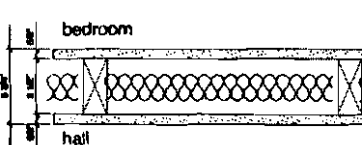
4. All sound insulated partitions shall extend to the underside of structure above, unless noted otherwise.

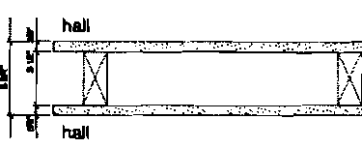
5. All sound insulated partitions shall be sealed with acoustic sealant under the shoe, head, and jamb, and at all GWB joints.

6. Refer to Room Finish Schedule for wall finish and base information.

104	
Rating 1hr	
UL 340	
STC 39	
Jamb	

103	
Rating 1hr	
UL 340	
STC 45	
Jamb	

102	
Rating 1hr	
UL 340	
STC 45	
Jamb	

101	
Rating 1hr	
UL 340	
STC 39	
Jamb	

GARRISON
CONSULTING

41 edgewood ave
portland, maine 04103
telephone 207 450 0750

e-mail: matthewwinch@earthlink.net

Sue Wright House

899 Riverside St.
Portland, Maine

**Partition
Types**

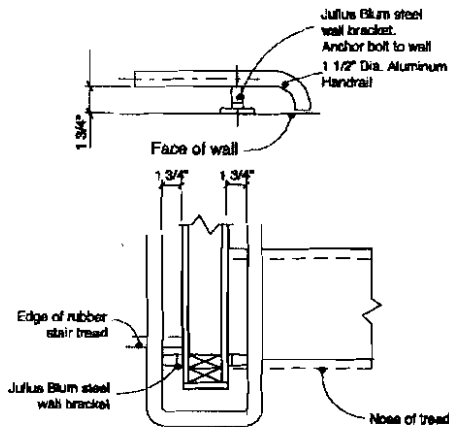
Scale: NTS Date: 08/03/10

Drawn By: MGW

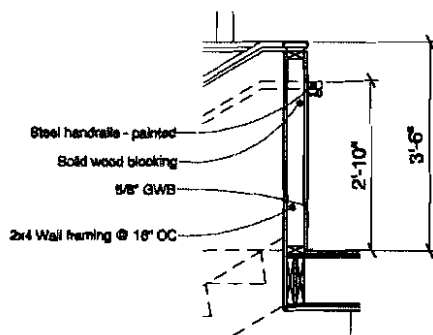
Project No: 2010-006

DWG NO:

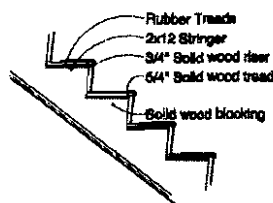
SKA-05



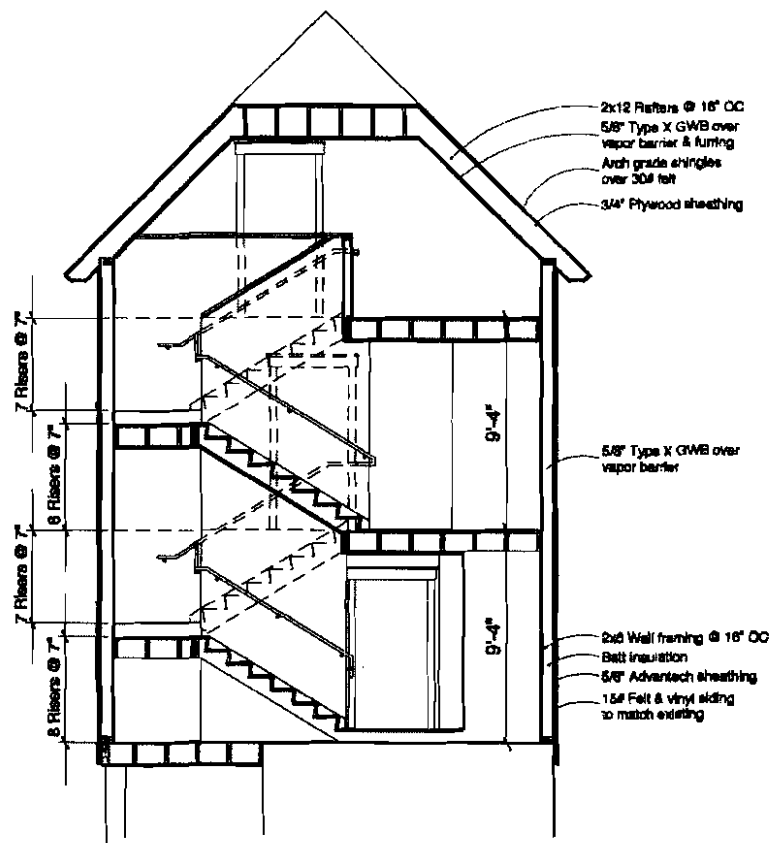
13 Proposed Rail Detail



12 Proposed Floor Plan



11 Proposed Tread/Riser Detail



10 Proposed Floor Plan

GARRISON
CONSULTING

41 edgewood ave
portland, maine 04103
telephone 207 450 0750

e-mail matthewwinch@earthlink.net

Sue Wright House

899 Riverside St.
Portland, Maine

**Stair
Sections & Details**

Scale: 1/8" = 1'-0" Date: 08/03/10

Drawn By: MGW

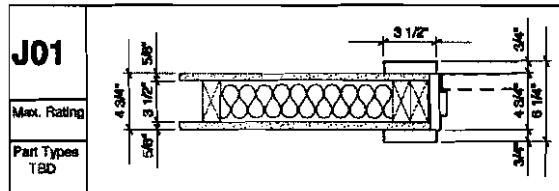
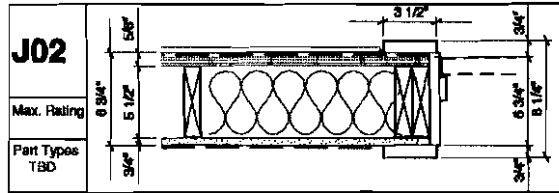
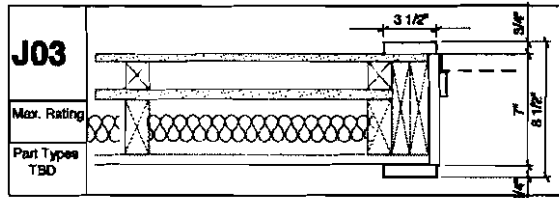
Project No: 2010-006

DWG NO:

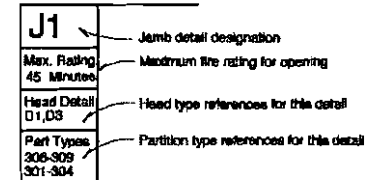
SKA-06

FRAME & DOOR SCHEDULE

DOOR NO.	LOCATION	LABEL	FRAME							DOOR		THRESHOLD	UNDERCUT	HARDWARE	SECURITY	REMARKS
			MATERIAL	TYPE	JAMB OPENING			DETAIL		TYPE	MATERIAL					
					WIDTH	HEIGHT	DEPTH	HEAD	JAMB							
101	Bed Room	20 Min	WD	F1	2'-8"	6'-8"	4 1/2"	H1	J01	D1	WD	-	1/2"	HW1	-	Replace existing door with 20 minute wood re-frame opening as req'd.
102	Storage	20 Min	WD	F1	2'-8"	6'-8"	4 1/2"	H1	J01	D1	WD	-	1/2"	HW1	-	Replace existing door with 20 minute wood re-frame opening as req'd.
103	Bed Room	20 Min	WD	F1	2'-8"	6'-8"	4 1/2"	H1	J01	D1	WD	-	1/2"	HW1	-	Replace existing door with 20 minute wood re-frame opening as req'd.
104	Stair	20 Min	WD	F1	2'-8"	6'-8"	4 1/2"	H1	J01	D1	WD	Alum	1/2"	HW3	-	Replace existing door with 20 minute wood re-frame opening as req'd.
105	Egress Stair	20 Min	WD	F1	2'-10"	8'-8"	8 1/2"	H2	J02	D1	WD	Alum	1/2"	HW2	-	Replace existing door with 60 minute wood re-frame opening as req'd.
106	Porch	20 Min	WD	F1	2'-10"	8'-8"	8 5/8"	H3	J03	D1	FG	Alum	1/2"	HW2	-	Replace existing door with 60 minute wood re-frame opening as req'd.
201	Bed Room	20 Min	WD	F1	2'-8"	6'-8"	4 1/2"	H1	J01	D1	WD	-	1/2"	HW1	-	Replace existing door with 20 minute wood re-frame opening as req'd.
202	Hallway	20 Min	WD	F1	2'-8"	6'-8"	4 1/2"	H1	J01	D1	WD	-	1/2"	HW1	-	Replace existing door with 20 minute wood re-frame opening as req'd.
203	Stair	20 Min	WD	F1	2'-8"	6'-8"	4 1/2"	H1	J01	D1	WD	-	1/2"	HW1	-	Replace existing door with 20 minute wood re-frame opening as req'd.
204	Bed Room	20 Min	WD	F1	2'-8"	6'-8"	4 1/2"	H1	J01	D1	WD	-	1/2"	HW1	-	Replace existing door with 20 minute wood re-frame opening as req'd.
205	Bed Room	20 Min	WD	F1	2'-8"	6'-8"	4 1/2"	H1	J01	D1	WD	-	1/2"	HW1	-	Replace existing door with 20 minute wood re-frame opening as req'd.
206	Bed Room	20 Min	WD	F1	2'-8"	6'-8"	4 1/2"	H1	J01	D1	WD	-	1/2"	HW1	-	Replace existing door with 20 minute wood re-frame opening as req'd.
208	Egress Stair	20 Min	WD	F1	2'-10"	8'-8"	8 1/2"	H2	J02	D1	WD	Alum	1/2"	HW2	-	Replace existing door with 60 minute wood re-frame opening as req'd.
301	Bed Room	20 Min	WD	F1	2'-8"	6'-8"	4 1/2"	H1	J01	D1	WD	-	1/2"	HW1	-	Replace existing door with 20 minute wood re-frame opening as req'd.
303	Bed Room	20 Min	WD	F1	2'-8"	6'-8"	4 1/2"	H1	J01	D1	WD	-	1/2"	HW1	-	Replace existing door with 20 minute wood re-frame opening as req'd.
305	Bathroom	20 Min	WD	F1	2'-8"	6'-8"	4 1/2"	H1	J01	D1	WD	-	1/2"	HW1	-	Replace existing door with 20 minute wood re-frame opening as req'd.
307	Closet	20 Min	WD	F1	2'-8"	6'-8"	4 1/2"	H1	J01	D1	WD	-	1/2"	HW1	-	Replace existing door with 20 minute wood re-frame opening as req'd.
308	Egress Stair	20 Min	WD	F1	2'-10"	8'-8"	8 1/2"	H2	J02	D1	WD	Alum	1/2"	HW2	-	Replace existing door with 60 minute wood re-frame opening as req'd.



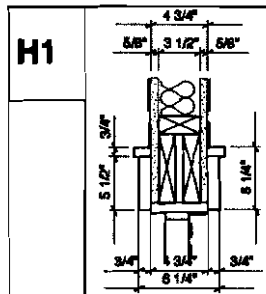
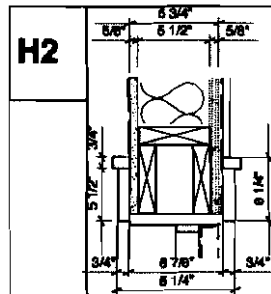
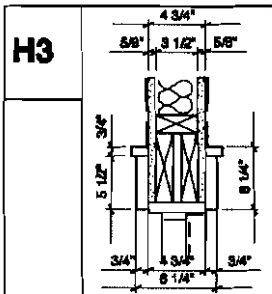
- All doors in sound insulated partitions shall be sound gasketed, unless noted otherwise.
- All frames in sound insulated partitions shall be sealed with acoustic sealant between the wall sheathing and the frame backband, unless noted otherwise.
- Refer to jamb designation on Door Schedule for details, materials, and dimensions, typ.
- Refer to Door Schedule for additional information.



GLAZING LEGEND

- Glazing Type One - Single Pane, Single Pane Storm Panel
- Glazing Type Two - Single Tempered Pane, Plexiglass Panel
- Glazing Type Three - Laminated Glass, Tempered Glass Storm Panel
- Glazing Type Four - Tempered Glass

Frame / Door Notes



GARRISON
CONSULTING

41 edgewood ave
portland, maine 04103
telephone 207 450 0750

e-mail matthewwinch@earthlink.net

Sue Wright House
899 Riverside St.
Portland, Maine

**Door
Schedule**

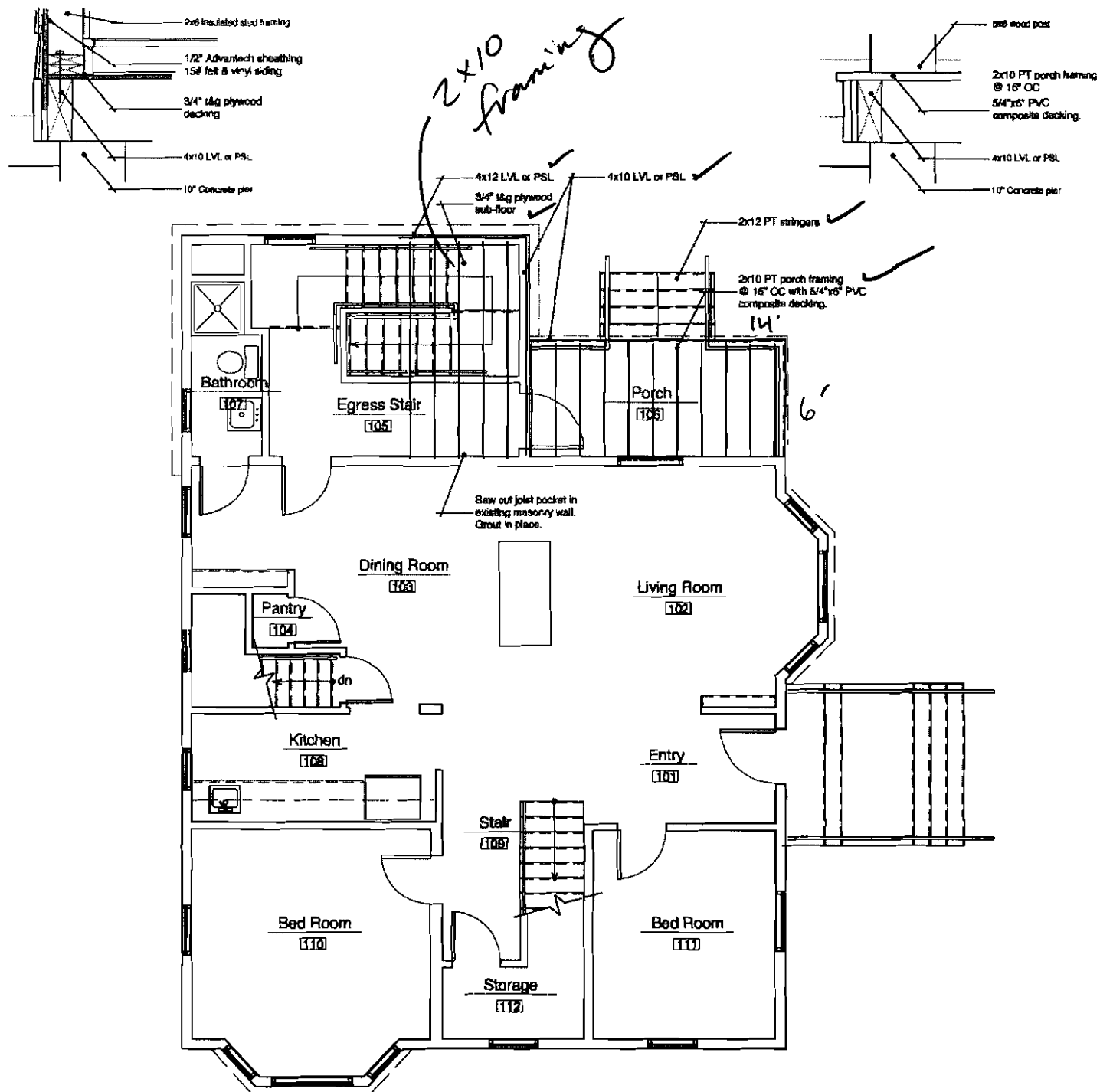
Scale: NTS Date: 08/03/10

Drawn By: MGW

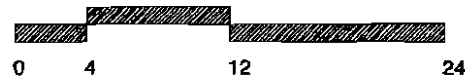
Project No: 2010-006

DWG NO:

SKA-07



10 Proposed Floor Framing Plan



GARRISON
CONSULTING

41 edgewood ave
portland, maine 04103
telephone 207 450 0750

e-mail matthewwinch@earthlink.net

Sue Wright House

899 Riverside St.
Portland, Maine

**Proposed
First Floor Plan**

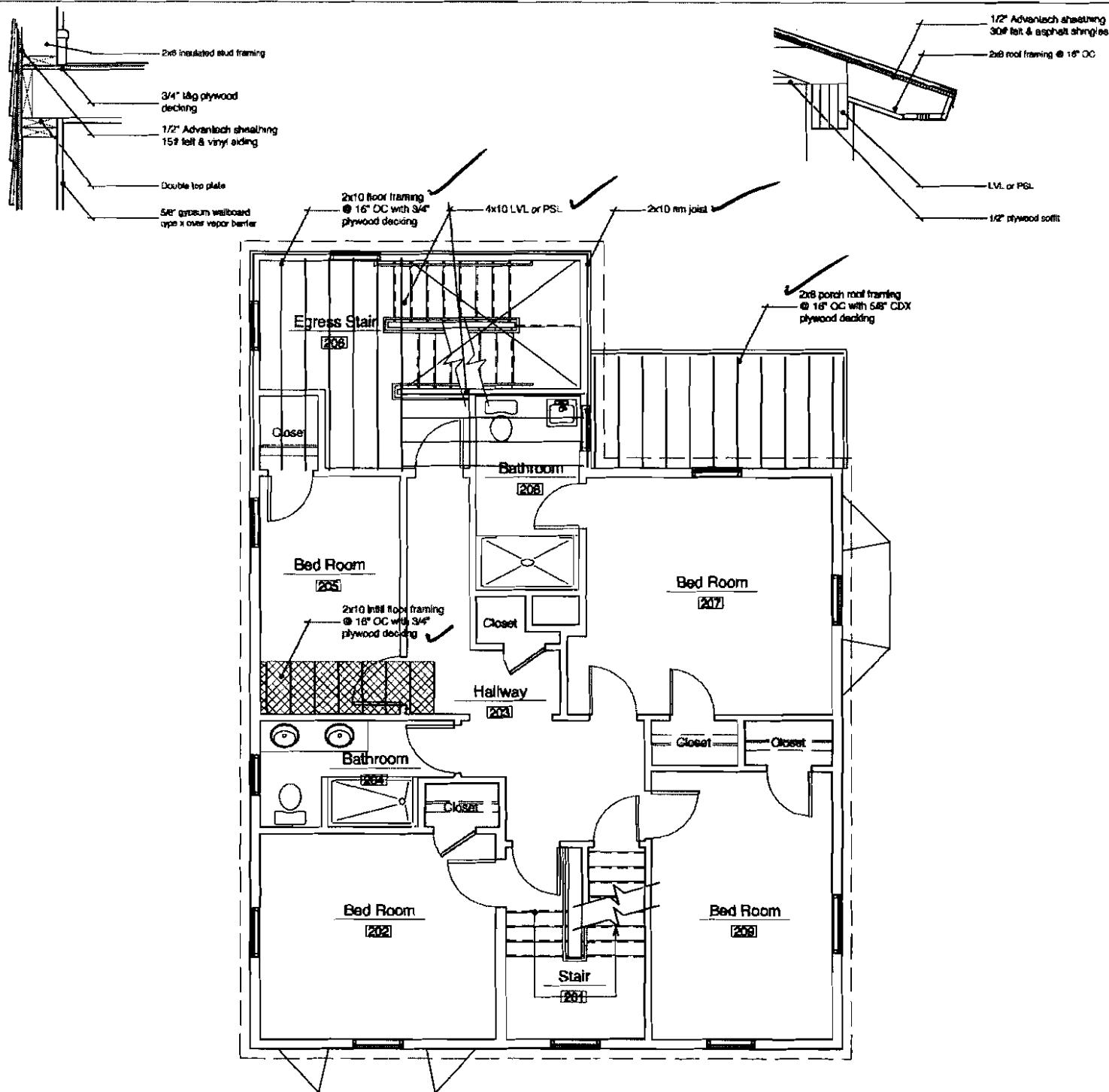
Scale: 1/8" = 1'-0" Date: 08/03/10

Drawn By: MGW

Project No: 2010-006

DWG NO:

FRA-01



10 Proposed Floor Framing Plan

GARRISON
CONSULTING

41 edgewood ave
portland, maine 04103
telephone 207 450 0750

e-mail matthewwinch@earthlink.net

Sue Wright House

899 Riverside St.
Portland, Maine

**Proposed
Second Floor Plan**

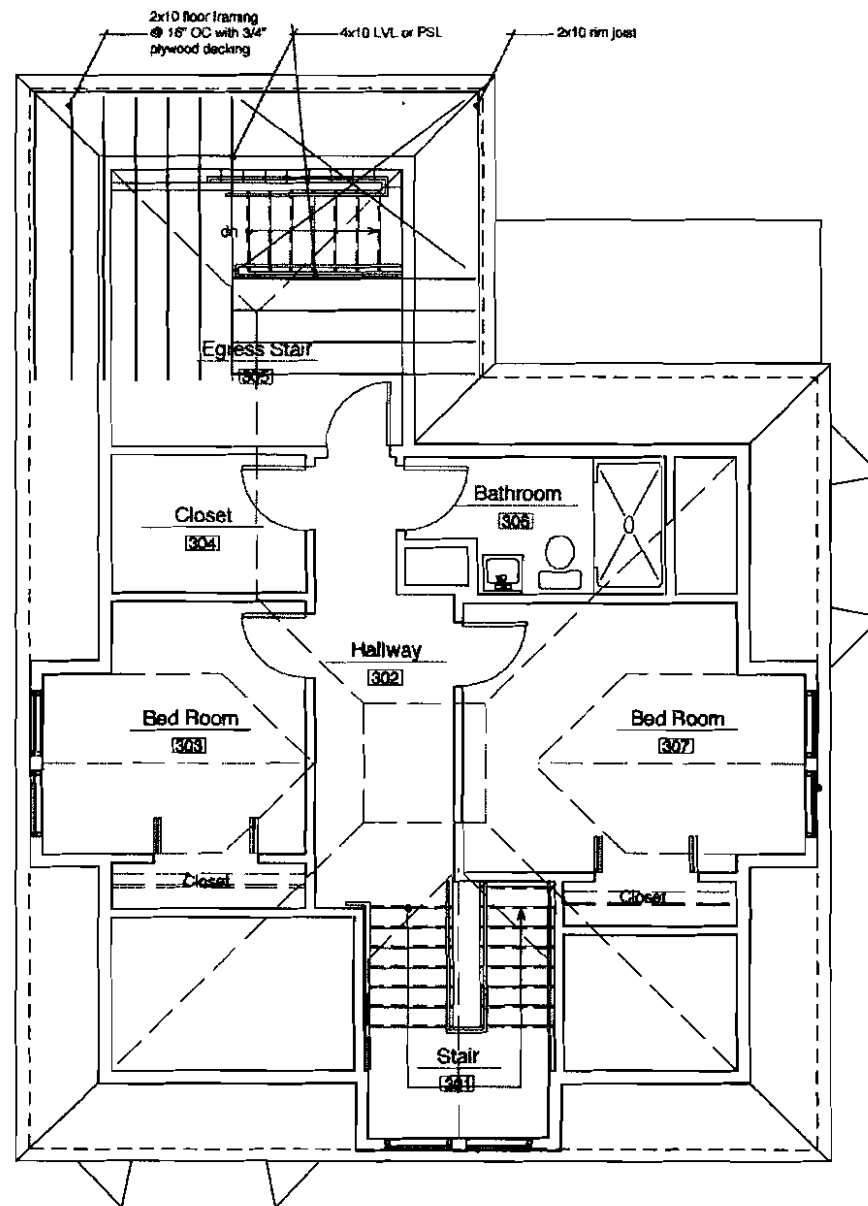
Scale: 1/8" = 1'-0" Date: 08/03/10

Drawn By: MGW

Project No: 2010-006

DWG NO:

FRA-02



10 Proposed Floor Framing Plan



GARRISON
CONSULTING

41 edgewood ave
portland, maine 04103
telephone 207 450 0750

e-mail matthewwinch@earthlink.net

Sue Wright House

899 Riverside St.
Portland, Maine

**Proposed
Third Floor Framing Plan**

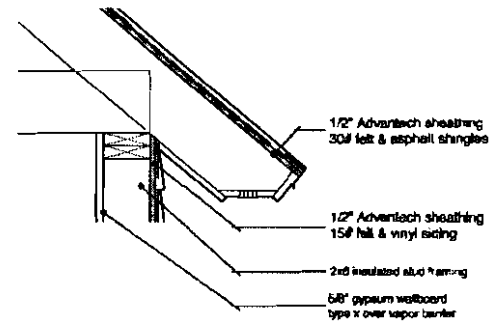
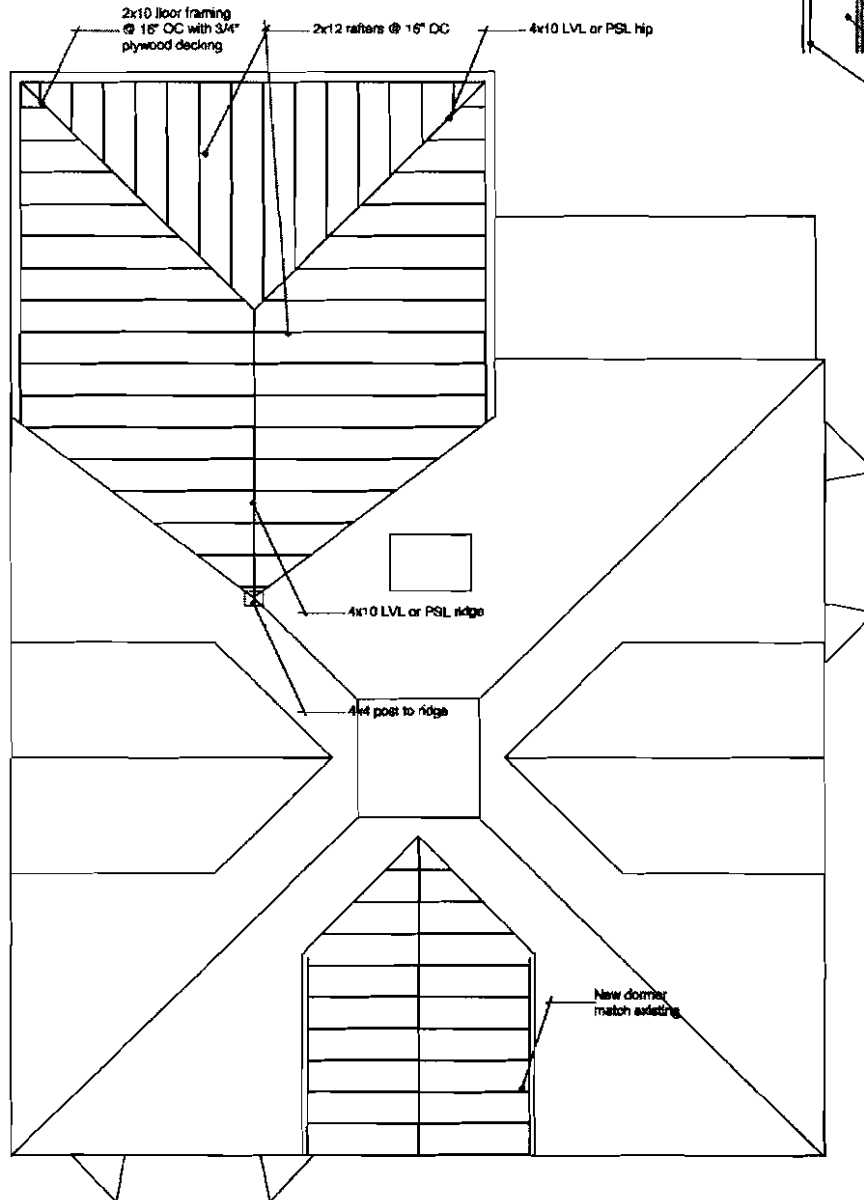
Scale: 1/8" = 1'-0" Date: 08/03/10

Drawn By: MGW

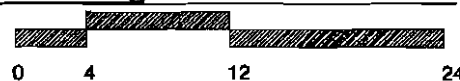
Project No: 2010-006

DWG NO:

FRA-03



10 Proposed Roof Framing Plan



GARRISON
CONSULTING

41 edgewood ave
portland, maine 04103
telephone 207 450 0750

e-mail matthewwinch@earthlink.net

Sue Wright House

899 Riverside St.
Portland, Maine

**Proposed
Roof Framing Plan**

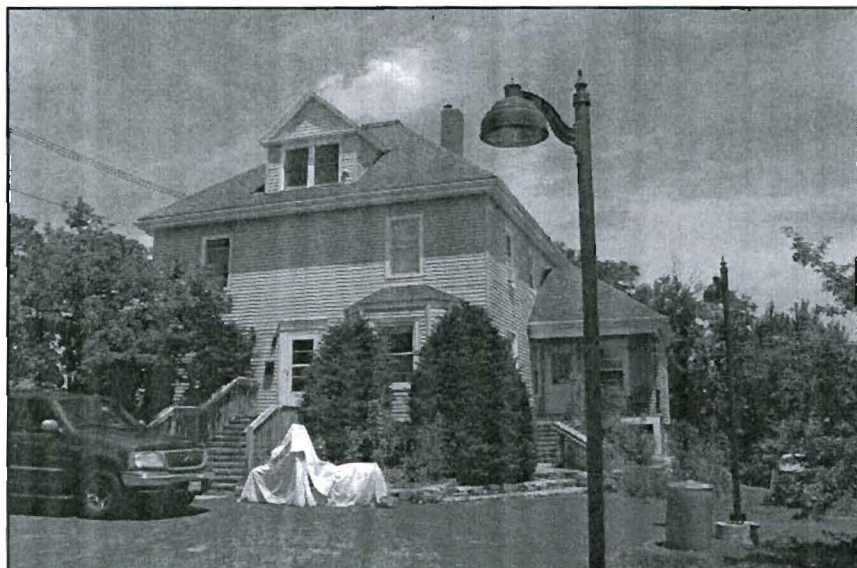
Scale: 1/8" = 1'-0" Date: 08/03/10

Drawn By: MGW

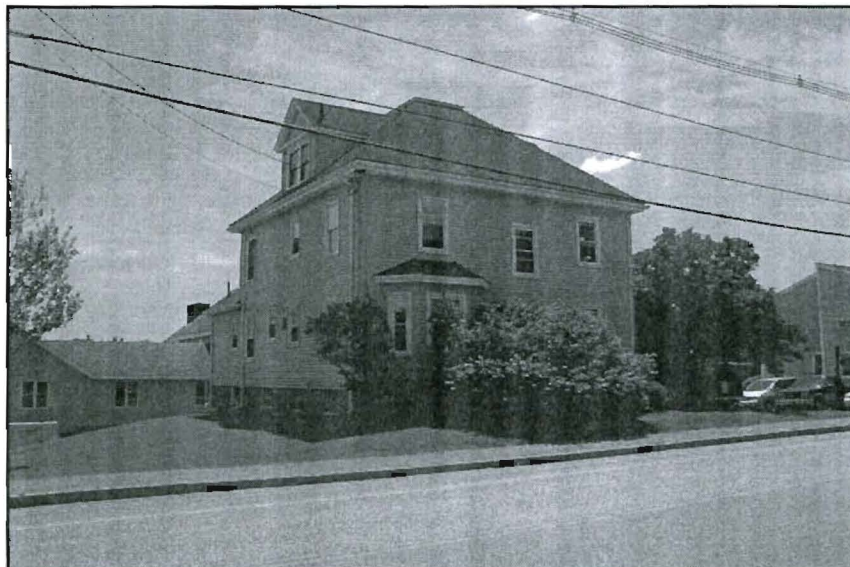
Project No: 2010-006

DWG NO:

FRA-04



View of front door (top)
View from Riverside St (bottom)



View looking south from Riverside St (top)
View of the north side of the residence (bottom)



View of the back side of the Residence

EDGEFIELD LODGE, CASCO
10 CANDLEWYCK ROAD, PORTLAND
98 RACKLEFF STREET, PORTLAND
899 RIVERSIDE STREET, PORTLAND
18 SONNET LANE, PORTLAND
342 WOODFORDS STREET, PORTLAND

WARRANTY DEED
Maine Statutory Short Form

No 82135 R 11161 Ps 333

KNOW ALL PERSONS BY THESE PRESENTS, that SPURWINK ASSOCIATES LIMITED PARTNERSHIP (f/k/a SPURWINK ASSOCIATES), a Maine limited partnership with a place of business in Portland, in the County of Cumberland and State of Maine, for consideration paid, GRANTS with WARRANTY COVENANTS TO:

THE SPURWINK SCHOOL, a not-for-profit corporation with a place of business in Portland, County of Cumberland, State of Maine, whose mailing address is 899 Riverside Street, Portland, Maine:

Parcel One - Edgefield Lodge, Casco: Two (2) certain lots or parcels of land with the buildings thereon, situated on the easterly side of the highway leading through Casco Village to Spurr's Corner, so-called, in the Town of Casco, County of Cumberland and State of Maine, being more particularly bounded and described on Exhibit A annexed hereto and made a part hereof.

Being a portion of the premises conveyed to Spurwink Associates by warranty deed of Richard M. Smith and Harvey J. Berman dated December 5, 1983 and recorded in the Cumberland County Registry of Deeds in Book 6342, Page 331.

Parcel Two - 10 Candlewyck Road, Portland: A certain lot or parcel of land with the buildings thereon, situated on Candlewyck Road, in the City of Portland, County of Cumberland and State of Maine, being more particularly bounded and described on Exhibit B annexed hereto and made a part hereof.

Being a portion of the premises conveyed to Spurwink Associates by warranty deed of Harvey J. Berman, et al. dated December 5, 1983 and recorded in said Registry of Deeds in Book 6342, Page 329.

Parcel Three - 98 Rackleff Street, Portland: A certain lot or parcel of land with the buildings thereon, situated on the southerly side of Rackleff Street, in the City of Portland, County of Cumberland and State of Maine, being more particularly bounded and described on Exhibit C annexed hereto and made a part hereof.

Being a portion of the premises conveyed to Spurwink Associates by warranty deed of Harvey J. Berman, et al. dated December 5, 1983 and recorded in said Registry of Deeds in Book 6342, Page 329.

Parcel Four - 899 Riverside Street, Portland: Two (2) certain lots or parcels of land with the buildings thereon, situated on the southeasterly side of Riverside Street, in the City of Portland, County of Cumberland and State of Maine, being more particularly bounded and described on Exhibit D annexed hereto and made a part hereof.

MAINE REAL ESTATE TAX PAID

82135 B

Being a portion of the premises conveyed to Spurwink Associates by warranty deed of The Spurwink Riverside Corporation dated December 5, 1983 and recorded in said Registry of Deeds in Book 6342, Page 336.

Parcel Five - 18 Sonnet Lane, Portland: A certain lot or parcel of land with the buildings thereon, situated on the southerly side of Sonnet Lane, in the City of Portland, County of Cumberland and State of Maine, being more particularly bounded and described on Exhibit E annexed hereto and made a part hereof.

Being the same premises conveyed to Spurwink Associates by warranty deed of Janice M. Hawkins-Donovan dated February 20, 1990 and recorded in said Registry of Deeds in Book 9092, Page 15.

Parcel Six - 342 Woodfords Street, Portland: A certain lot or parcel of land with the buildings thereon, situated on Woodfords Street, in the City of Portland, County of Cumberland and State of Maine, being more particularly bounded and described on Exhibit F annexed hereto and made a part hereof.

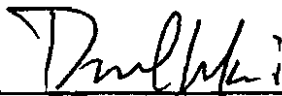
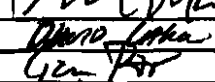
Being a portion of the premises conveyed to Spurwink Associates by warranty deed of Harvey J. Berman, et al. dated December 5, 1983 and recorded in said Registry of Deeds in Book 6342, Page 329.

IN WITNESS WHEREOF, the said SPURWINK ASSOCIATES LIMITED PARTNERSHIP has caused this instrument to be signed this 13th day of December, 1993.

SIGNED, SEALED AND DELIVERED
IN THE PRESENCE OF



SPURWINK ASSOCIATES LIMITED
PARTNERSHIP

By 
Its 

STATE OF MAINE
COUNTY OF CUMBERLAND

December 13, 1993

Personally appeared the above-named David Lakavi, in his said capacity, and acknowledged the foregoing to be his free act and deed, and the free act and deed of said corporation, before me.


Notary Public/Attorney at Law


Printed Name

EXHIBIT D899 Riverside Street, Portland, Maine

A certain lot or parcel of land located in the City of Portland, County of Cumberland, and State of Maine, bounded and described as follows:

Beginning at a stone monument in the southeasterly side of Riverside Street, which monument marks the southwesterly corner of land conveyed by Jefferson H. Hodges, et al. to Richard M. Smith by deed dated July 12, 1960, and recorded in the Cumberland County Registry of Deeds, Book 2553, Page 229; THENCE, southeasterly along line of land formerly of said Smith and now of Spurwink Associates 417.8 feet to the southeasterly corner thereof; THENCE, continuing southeasterly along line of land conveyed by Jefferson H. Hodges, et al. to Riverside Industrial Park, Inc. by deed dated February 24, 1964 and recorded in said Registry in Book 2806, Page 441, 138.06 feet, more or less, to a fence which marked the line of land formerly of Lydia J. Stevens; THENCE, southwesterly 404.13 feet to an angle in said fence; THENCE, northwesterly 551.63 feet by line of said fence and over a stone monument to the southeasterly side of Riverside Street; THENCE, northeasterly by said Riverside Street 408.84 feet, more or less, to the stone monument at the point of beginning. Containing 5.16 acres, more or less.

Also, a certain lot or parcel of land with the buildings thereon situated on the southeasterly side of Riverside Street in the City of Portland, County of Cumberland and State of Maine, bounded and described as follows:

Beginning at a stone monument in the southeasterly side of Riverside Street, said stone monument being distant 408.84 feet, northeasterly from the northwesterly corner of the land conveyed to Jefferson H. Hodges and Edith G. Hodges by Arthur H. Jones by deed dated January 22, 1942, and recorded in Book 1667, Page 123; THENCE, North 36° 23' East along the southeasterly sideline of Riverside Street, a distance of 414.43 feet, to an iron; THENCE, South 42° 32' East, a distance of 425.4 feet to a point; THENCE, South 36° 18' West a distance of 353.3 feet to a point; THENCE, North 51° 03' West a distance of 417.8 feet, more or less, to the monument in the southeasterly sideline of Riverside Street and the point of beginning.

Together with the benefit of the rights reserved as set forth in the deed to Corley Family Realty Limited Partnership dated September 30, 1988, and recorded in Book 8467, Page 86, that no building or paving shall be constructed or placed within 30 feet of the southwesterly sideline of Spurwink Associates' remaining land and landscaping shall substantially adhere to the plans of Corley Family Realty Limited Partnership, approved by Spurwink Associates. This condition shall run with the land and shall bind Spurwink Associates and Corley Family Realty Limited Partnership herein, their respective successors and assigns, and all parties claiming by, through, or under them, so long as Spurwink Associates maintains the same buffer in which no building or paving shall be constructed or placed within 30 feet of Corley Family Realty Limited Partnership's northeasterly sideline.

cepting that certain lot or parcel of land conveyed to Corley Realty Limited Partnership by deed dated September 30, 1988, recorded in Book 8497, Page 86, and bounded and described as follows:

A certain lot or parcel of land situated on the southeast side of Riverside Street, in the City of Portland, County of Cumberland and State of Maine:

Beginning at a point on the southeast sideline of Riverside Street marking the westerly corner of land herein described and the northerly corner of land now or formerly of Eve Mitchell, said point being North 50° 22' 1.2" West 11.47 feet from a granite monument; THENCE, North 38° 26' 30" East along the southeasterly side of said Riverside Street 408.84 feet to an angle point; THENCE, North 36° 47' 33.6" East along the southeasterly side of said Riverside Street 14.12 feet to a point marking the northerly corner of land herein described and land of Spurwink Associates; THENCE, South 51° 33' 30" East 421 feet along land of Spurwink Associates to a point marking and easterly corner of land herein described and land now or formerly of the City of Portland; THENCE, South 36° 18' West 29.17 feet along land now or formerly of the City of Portland to an iron pipe marking a corner of land herein described; THENCE, South 51° 03' East 138.06 feet along land of the City of Portland to an iron pipe marking the easterly corner of land herein described and land now or formerly of Riverside Industrial Park; THENCE, South 39° 36' 30" West 404.13 feet along land of Riverside Industrial Park to an iron pipe marking the southerly corner of land herein described and land now or formerly of Mount Holyoke College; THENCE, North 50° 22' 1.2" West 540.16 feet along land now or formerly of Mount Holyoke College and Eve Mitchell to a granite monument; THENCE, North 50° 22' 1.2" West 11.47 feet along land now or formerly of Eve Mitchell to the southeast sideline of Riverside Street and the point of beginning, containing 5.377 acres.

From: "Matthew G. Winch" <matthewwinch@earthlink.net>
To: Jeanie Bourke <JMB@portlandmaine.gov>
Date: 10/12/2010 11:29 AM
Subject: 899 Riverside - Sue Wright House
Attachments: FRA01 Sue Wright 100710.pdf; FRA03 Sue Wright 100710.pdf; SKA03 Sue Wright 100710.pdf; SKA02 Sue Wright 100710.pdf; SKA01 Sue Wright 100710.pdf; SKA06 Sue Wright 100710.pdf; Part.007

Hi Jeanie -

Have attached updated drawings that address the questions you posed from our conversation last week. These questions were part of items you felt needed clarification from our building permit submittal to the City on August 3, 2010.

SKA-01 - Added a note specifying Tempered Glass on the stairway window. Also added a dimension of the stair width.

SKA-02 - Added a note specifying Tempered Glass on the stairway window. Also added a dimension of the stair width.

SKA-03 - Reconfigured the location of the bathroom to eliminate any questionable headroom concerns. Original proposed location may have necessitated another costly dormer. Have also added a couple of elevations of the bathroom. Also added a dimension of the stair width.

SKA-06 - Added notes and dimensions for tread depth, a dimension showing we are clear of 6'-8" headroom concerns. Also added a note on the Stair Section that shows min R-21 in the stairway walls.

FRA-01 - Added a couple of notes showing the sizing of precast piers to support the new porch and the expanded stair tower area. Also added a note or two to further clarify framing. Don't see it necessary to create a foundation plan.

FRA-03 - Added a note clarifying the hip roof framing and the post that supports it inside the existing structure.

Lastly, we decided to keep the Use Group I1 as per the original submittal. We need to maintain the higher NFPA Life Safety standard per the State Fire Marshall's Office anyway, and the features that Life Safety requires are fairly consistent with the I1.

Best,
Matthew

~~D4~~ FRA-04 - Dormer over new stair

RECEIVED
OCT 12 2010
Dept. of Building Inspections
City of Portland Maine

Little Princess Spraca

1"=20'

SWING SET

ADMINISTRATIVE BUILDING

25.0'

Front yard
Set Back

ADMINISTRATIVE BUILDING

Subject
Structure

PROPANE TANK

SUE WRIGHT
HOUSE

(2) REDSPICE PEAR
TREES (2 1/2" cal.) WILL
BE LOCATED ALONG
RIVERSIDE STREET.
SPECIFIC LOCATION OF
PLANTINGS WILL BE
COORDINATED WITH
CITY ARBORIST IN
THE FIELD.

STREET

LOAM & SEED ALL
DISTURBED AREAS
TYP.

CMP #90

RIVERSIDE

(5) TH

(1) RS

ADDITION 1

(1) TD

(1) RS

BULK HEAD

(6) TH

THE SPURWINK
INSTITUTE

LOAM &
SEED

(2) AL (1) RS

(5) TD (1) RS

ADDITION 2

(3) SJ

(2) JC

(5) SJ

(6)

(3)

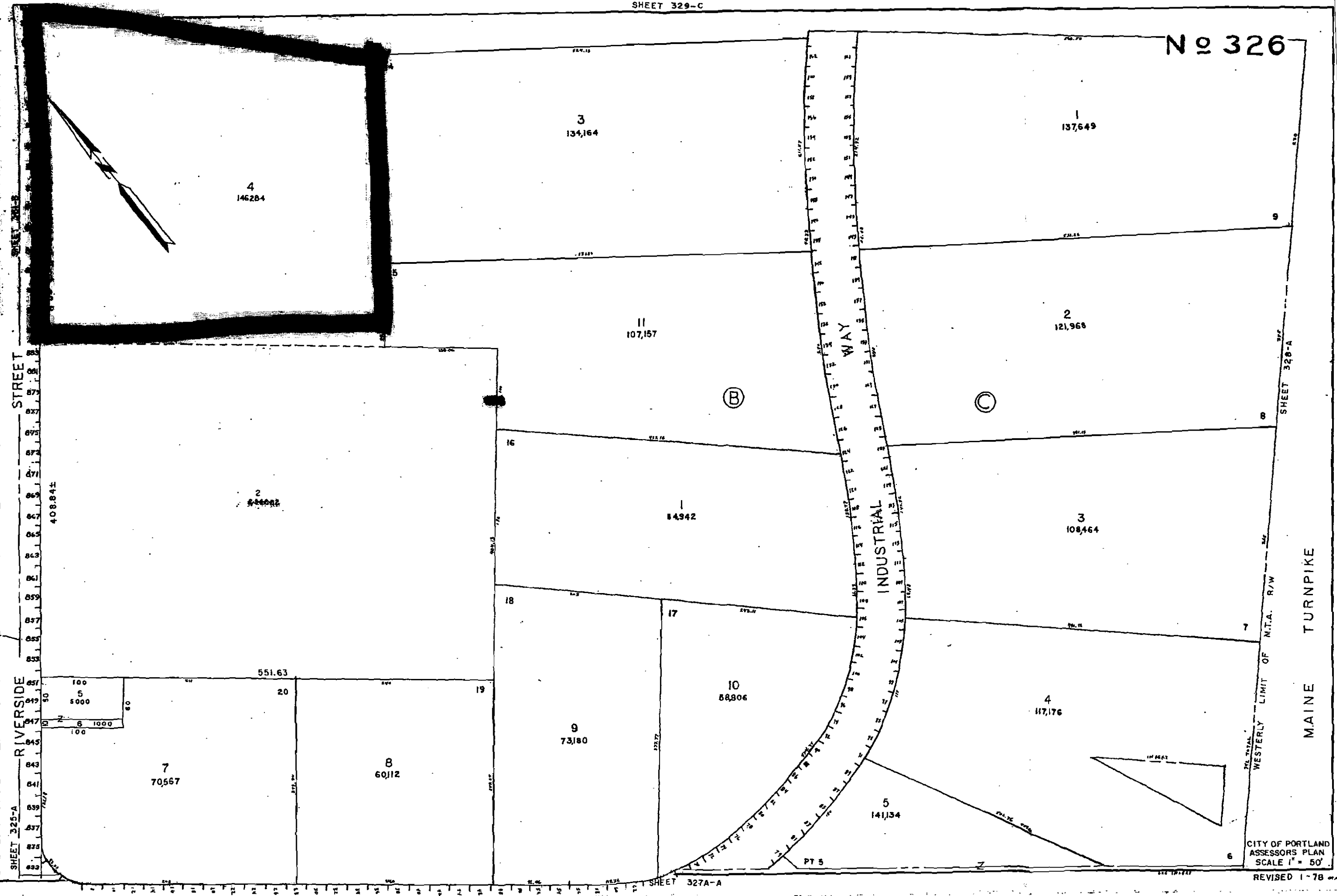
(3) SY

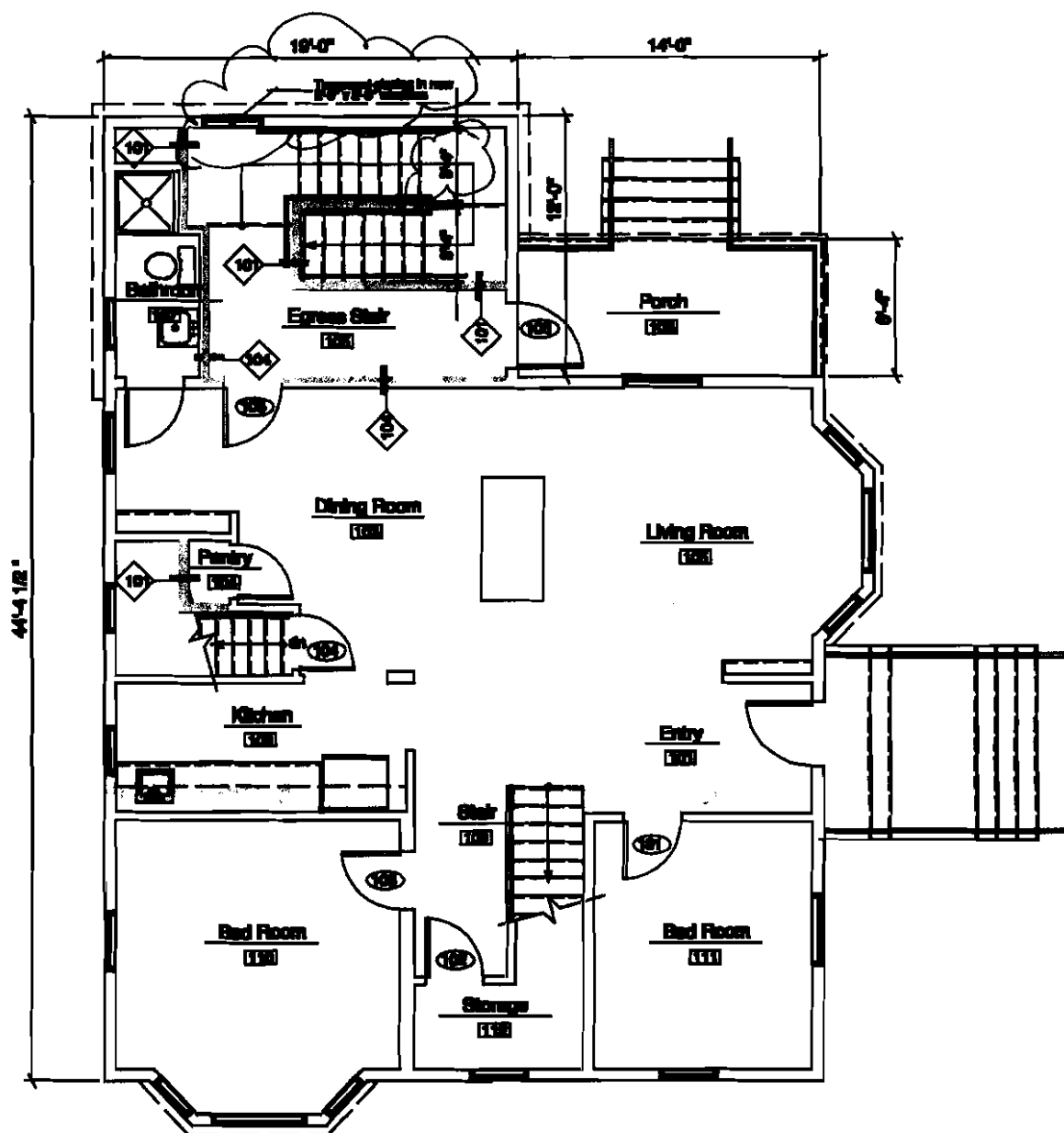
(4) SJ

(11) JS

CMP #89

Prope
14.25





10 Proposed Floor Plan

GARRISON
CONSULTING

41 original sets
printed, under 04/05
telephone 207 463 0700
e-mail info@garrisonconsulting.com

Sue Wright House
888 Riverside St.
Portland, Maine

**Proposed
First Floor Plan**

Scale: 1/8" = 1'-0" Date: 08/03/10

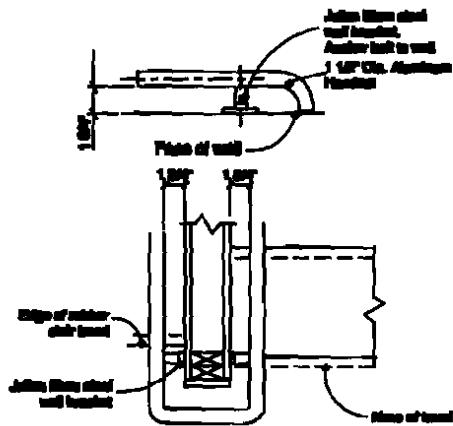
Drawn By: MGW

Project No: 2010-008

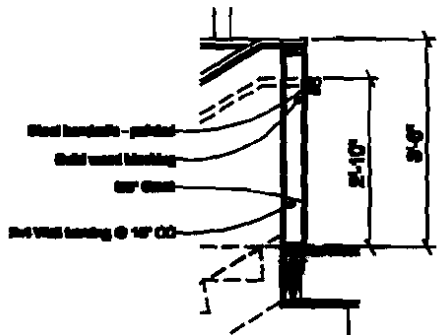
DWG NO:

SKA-01

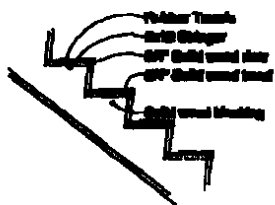
RECEIVED
OCT 12 2010
Dept. of Building Inspections
City of Portland Maine



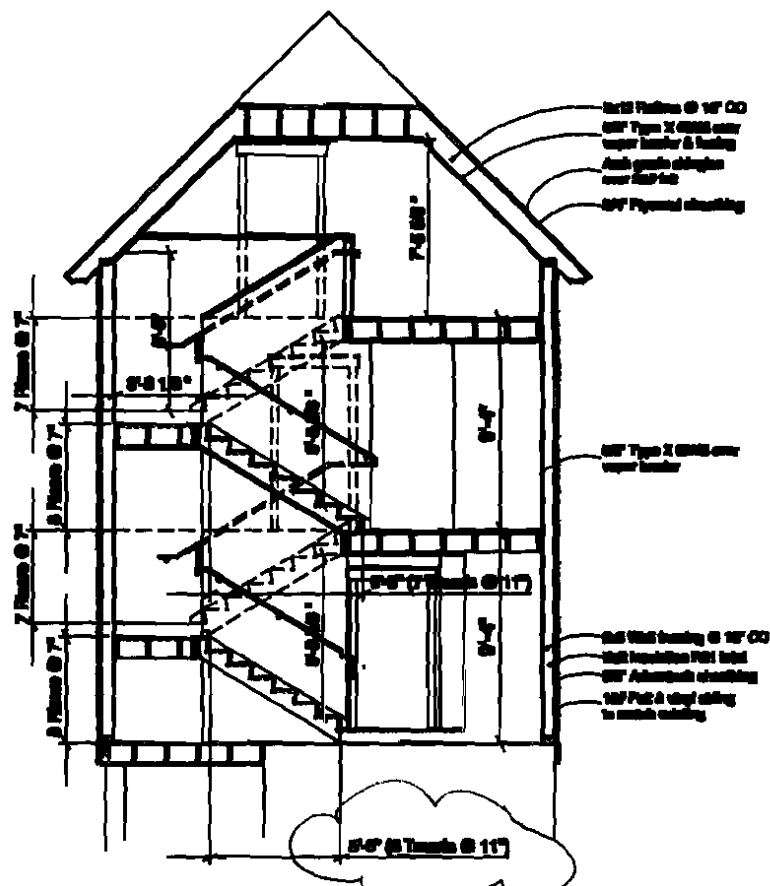
13 Proposed Rail Detail



12 Proposed Floor Plan



11 Proposed Tread/Riser Detail



10 Proposed Stair Section

GARRISON
CONSULTING

45 Ridgeway Ave.
Portland, Maine 04103
Telephone 207-463-0300
e-mail: garrison@bushb.com

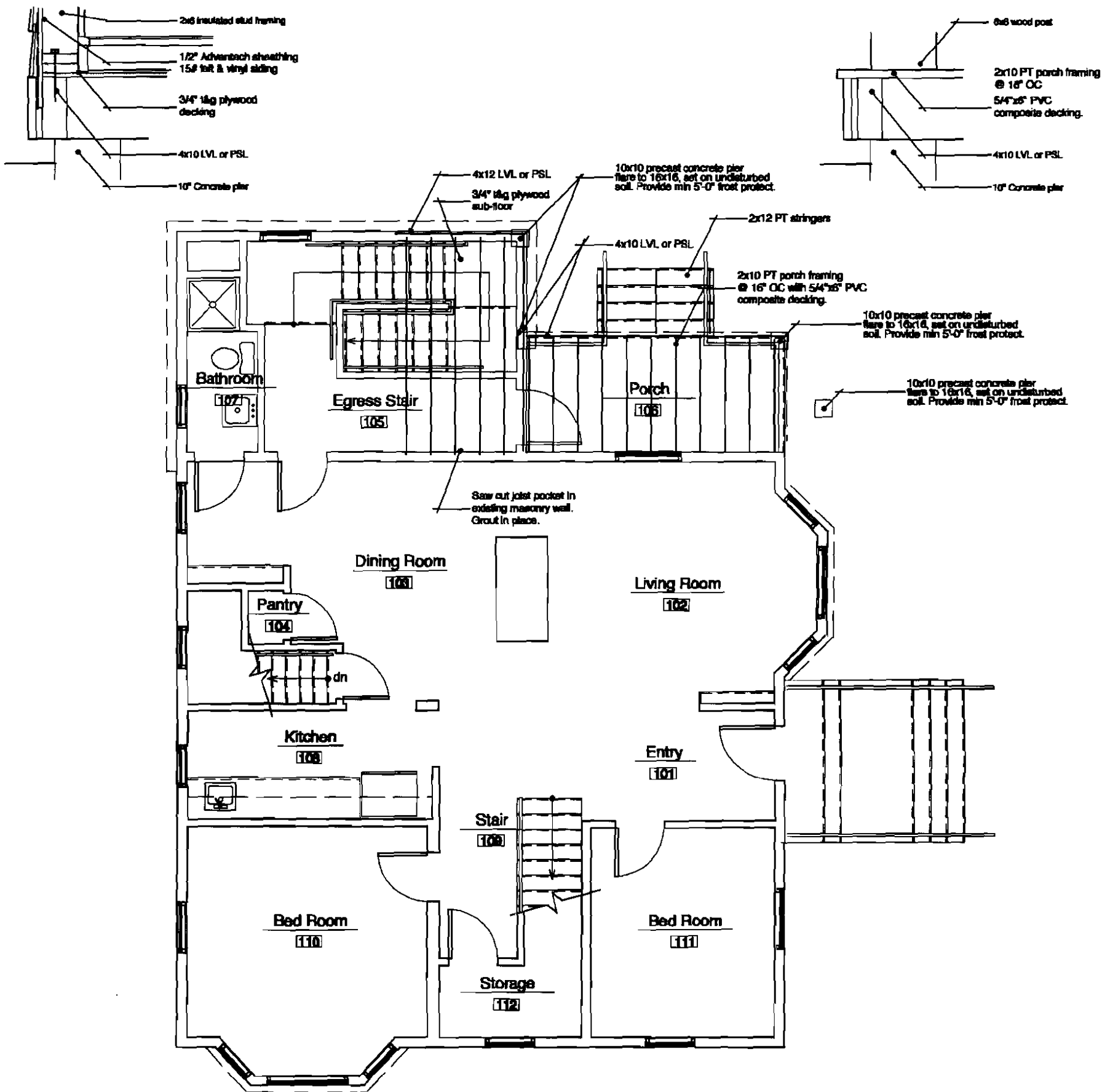
Sue Wright House
899 Riverside St.
Portland, Maine

**Stair
Sections & Details**

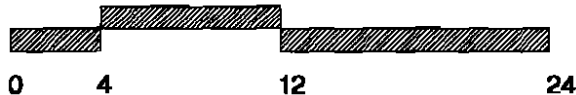
Scale: 1/8" = 1'-0" Date: 10/08/10
Drawn By: MGW
Project No: 2010-008
DWG NO:

SKA-06

RECEIVED
OCT 12 2010
Dept. of Building Inspections
City of Portland Maine



10 Proposed Floor Framing Plan



GARRISON
CONSULTING

41 edgewood ave
portland, maine 04103
telephone 207 450 0750

e-mail matthewwinch@earthlink.net

Sue Wright House

889 Riverside St.
Portland, Maine

**Proposed
First Floor Plan**

Scale: 1/8" = 1'-0" Date: 08/03/10

Drawn By: MGW

Project No: 2010-006

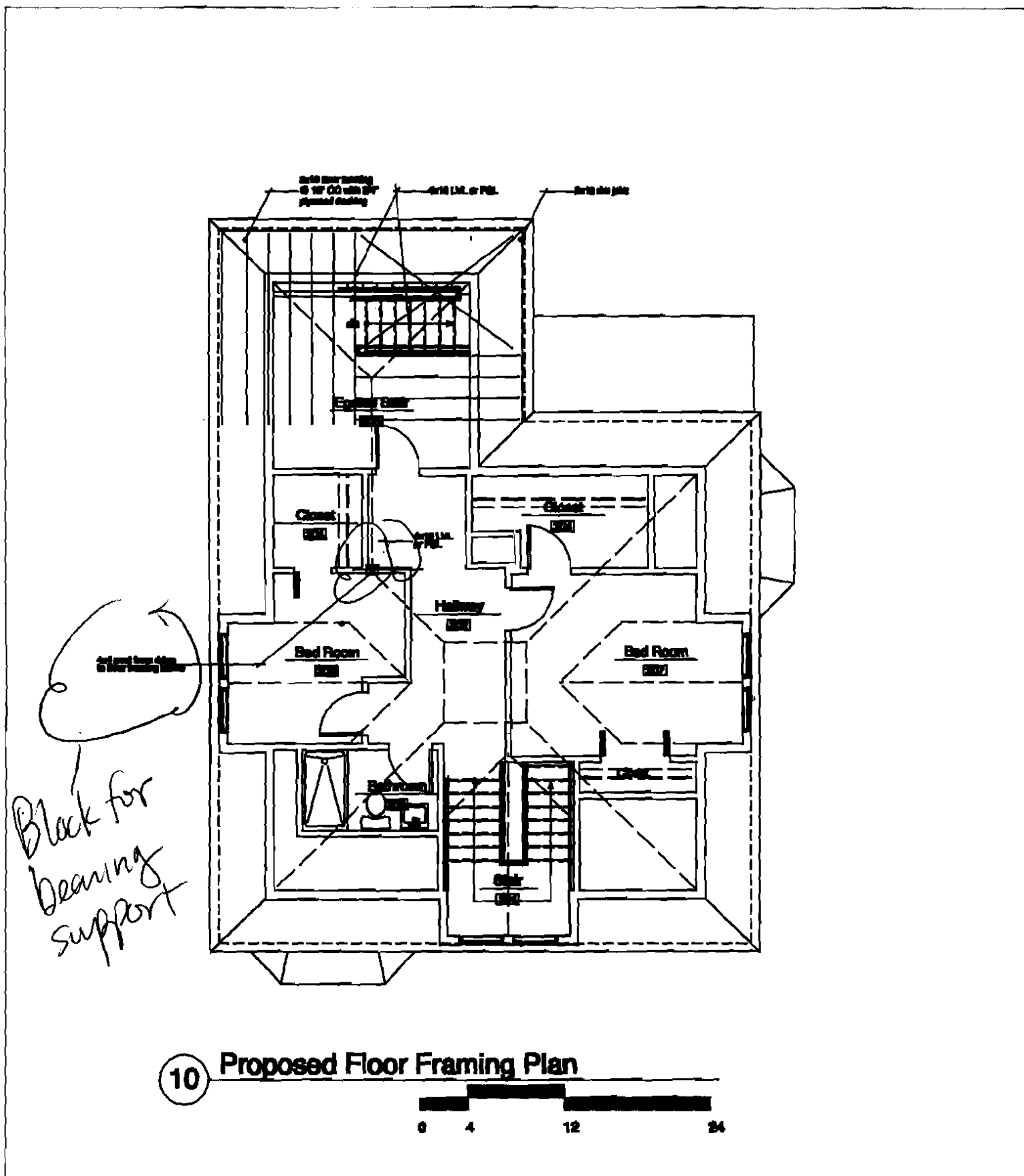
DWG NO:

FRA-01

Dept. of Building Inspection
City of Portland Maine

OCT 12 2010

RECEIVED



GARRISON
CONSULTING

41 Ridgeway Ave.
Portland, Maine 04103
Telephone 607-433-0700
e-mail: garrison@earthlink.net

Sue Wright House

899 Riverside St.
Portland, Maine

**Proposed
Third Floor Framing Plan**

Scale: 1/8" = 1'-0" Date: 08/03/10

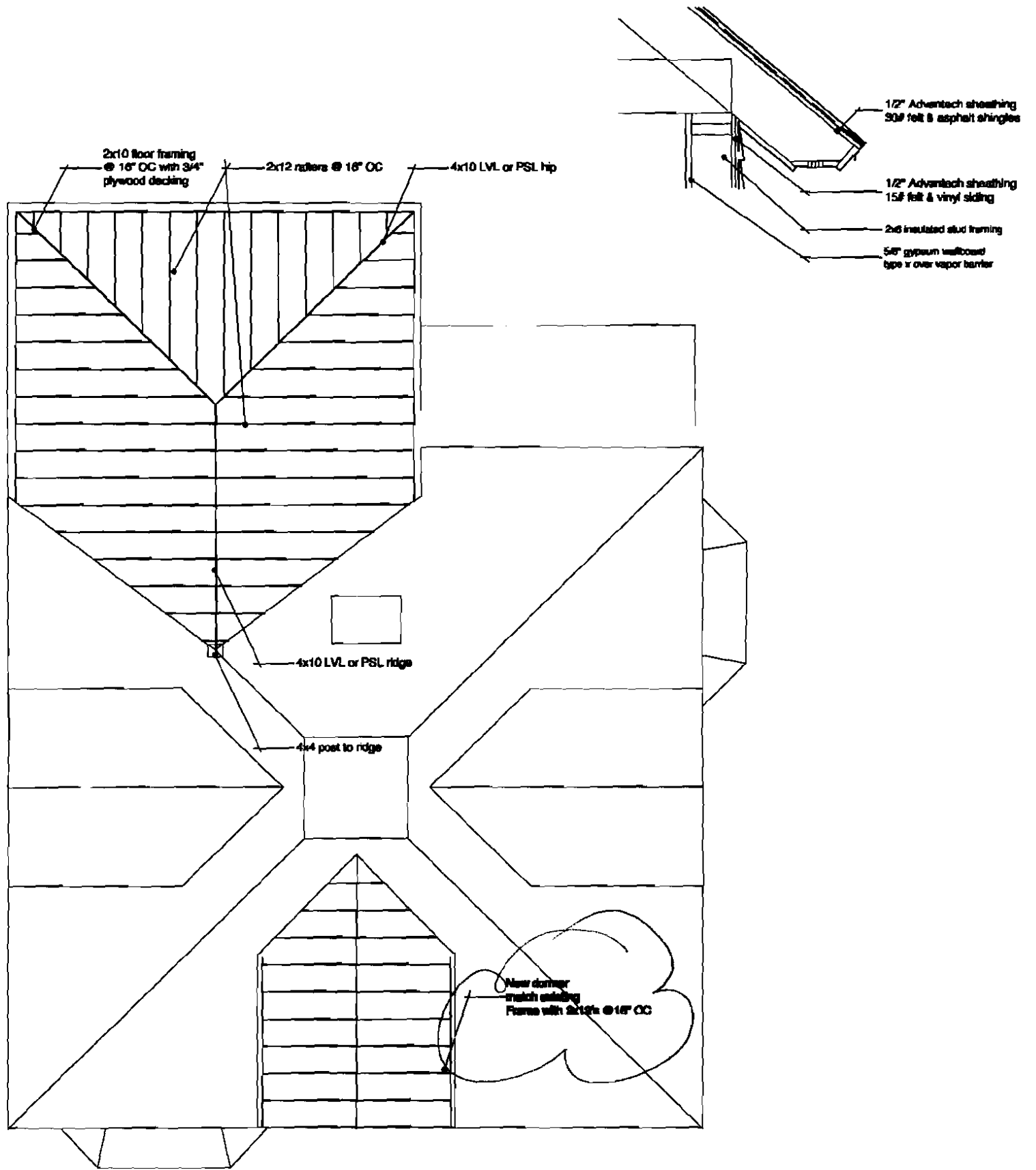
Drawn By: MGW

Project No: 2010-008

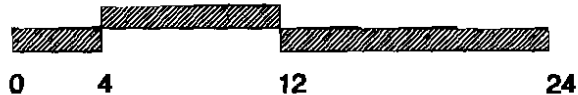
DWG NO:

FRA-03

RECEIVED
OCT 12 2010
Dept. of Building Inspections
City of Portland Maine



10 Proposed Roof Framing Plan



GARRISON
CONSULTING

41 edgewood ave
portland, maine 04103
telephone 207 450 0750

e-mail: matthewwinch@earthlink.net

Sue Wright House

899 Riverside St.
Portland, Maine

**Proposed
Roof Framing Plan**

Scale: 1/8" = 1'-0" Date: 08/03/10

Drawn By: MGW

Project No: 2010-006

DWG NO:

FRA-04

RECEIVED
OCT 12 2010
Dept. of Building Inspections
City of Portland Maine



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

Issued to Spurwink School /TBD

LOCATION

899 RIVERSIDE ST

CBL 326 B004002

Date of Issue

06/23/2011

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 10-094 has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

Spurwink School-Group Home

Use Group I-1

Type 5B

IBC-2003

Limiting Conditions:

The building use is already legally non-conforming therefore the occupant load shall not exceed 8 residents, not including staff.

This certificate supersedes
certificate issued

Approved:

(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

Location of Construction: 899 RIVERSIDE ST	Owner Name: SPURWINK SCHOOL	Owner Address: 899 RIVERSIDE ST	Phone:
Business Name:	Contractor Name: TBD	Contractor Address:	Phone
Lessee/Buyer's Name	Phone:	Permit Type: Institutional	

7) All construction shall comply with City Code Chapter 10.

Comments:

10/6/2010-jmb: Spoke to Matthew W. For details from Tammy and additional including, pier location for new entry deck, new foundation carrying the side egress stair enclosure, tread depth, headroom, new front dormer framing, tempered windows in the new stairwells, r-value in exterior walls, headroom in 3rd fl bath, ridge post load path and use classification for building code I-1 vs R-4. CO required for occupancy of the 3rd floor.

10/14/2010-jmb: Received revisions on 10/12, reviewed for compliance, ok to issue

6 - And lastly a \$75.00 check. The 1961 Certificate of Occupancy needs to be updated for the new use of the third floor. There is an administrative fee to do this.

Check to be delivered Wednesday.

With completion of the above we would like to request a formal copy of the completed Certificate of Occupancy. Should you wish to verify any of the electrical items please let us know so we can schedule a final walk-through.

EASTERN FIRE SERVICES INCORPORATED



**FIRE SPRINKLER * FIRE ALARM
CLEAN AGENT * GAS DETECTION**

WWW.EFP-EFS.COM

AUBURN PHONE (207) 795-6314 • AUBURN FAX (207) 782-0566
BANGOR PHONE (207) 942-8014 • BANGOR FAX (207) 942-3202
170 KITTYHAWK AVE. • P. O. BOX 1582 • AUBURN, ME 04211-1582

6/23/11

R. P. Morrison
Attention: Roland Morrison
Fax 207-892-7901

RE: Susan Wright House, sprinkler system compliance
899 Riverside Drive; Portland, Maine

Dear Roland,

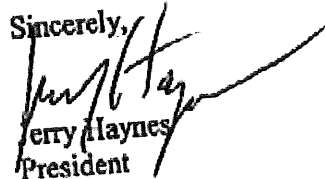
As requested I am sending this letter of confirmation that the installation/modification of the sprinkler system at 899 Riverside Drive in Portland has been completed in accordance with the approved plans.

The following information is pertinent to this work:

1. City of Portland Job ID 3011-04-846-FAFS
2. State of Maine Fire Sprinkler Permit # 9477
3. Installation Standard NFPA 13D
4. On June 23, 2011 the flow alarm and valve anti-tamper signals were satisfactorily tested through to the alarm system and remote monitoring.
5. On June 23, 2011 the sprinkler system was activated and left in a full on state.

Don't hesitate to contact me if you have any questions or concerns.

Sincerely,


Jerry Haynes
President

DEAN & ALLYN, INC.

1621

FIRE PROTECTION - SPECIAL HAZARD

A CONTRACT FOR AUTOMATIC SPRINKLER EQUIPMENT INSPECTION ☒

B CONTRACT FOR TESTING FIRE ALARM / DETECTION EQUIPMENT ☐

C COMBINED CONTRACT FOR THE ABOVE PROGRAMS A & B ☐

AGREEMENT made this 1st day of August 2011 between Dean & Allyn, Inc., hereinafter called the CONTRACTOR, and _____

Spurwink Services

899 Riverside Street

located at Portland, ME 04103

hereinafter called the SUBSCRIBER, for the above indicated contract option.
WITNESSETH, that:

Subscriber owns and/or occupies premises located at see attached Spurwink Locations listing
in the city of Various, state of Maine, wherein there is now installed certain automatic sprinkler and/or fire alarm and detection equipment, to wit:

Quarterly inspection/testing of dry pipe sprinkler system(s), per attached specifications;

Quarterly inspection/testing of wet pipe sprinkler system(s), per attached specifications.

Scope of Work

Contractor shall inspect and/or test the equipment described herein in accordance with the contract option selected above and the Contractor's then current Report Form, all in accordance with the terms and conditions contained herein and on the reverse side hereof.

Number of Inspections

The Contractor shall inspect and/or test said installation 4 times per year at regular intervals.

Term

The term of this Agreement shall be one (1) year from date hereof and shall be automatically renewed each year thereafter until the same shall be terminated by either party on at least thirty (30) days written notice being given to the other party prior to the anniversary date thereof. Contractor's then current charges shall apply for each renewal period.

Cost of Inspection and Payment

The Subscriber shall pay to Contractor within 30 days after the first inspection has been made the sum of see attachment A
four thousand two hundred twelve and 00/100 Dollars (\$ 4212.00/year). If the Subscriber fails to pay the full amount due, Contractor may, at its option, terminate this contract and, in any event, will not be obligated to perform any additional work until payment of the amount past due has been received by Contractor.

Report of Inspection

Notice of this agreement and copies of all Reports of Inspection and/or test will be forwarded by the Contractor to _____, the insurance authority having jurisdiction and to the Subscriber. Notice of termination or change in number of inspections per year by the Contractor shall be given to the insurance authority.

Limitation of Liability

The Contractor makes NO WARRANTIES, EXPRESS OR IMPLIED, INCLUDING, WITHOUT LIMITATION, WARRANTIES OF MERCHANTABILITY AND WARRANTIES OF FITNESS FOR A PARTICULAR PURPOSE. No promise not contained herein or affirmation of fact made by any employee, agent or representative of the Contractor shall constitute a warranty by the Seller or give rise to any liability or obligation.

Contractor's liability to Subscriber for personal injury, death, or property damage arising from performance under this contract shall be limited to the contract price. Subscriber shall hold Contractor harmless from any and all third party claims for personal injury, death or property damage arising from Subscriber's failure to maintain the systems or keep them in operative condition, whether based upon contract, warranty, tort, strict liability or otherwise. In no event shall the Contractor be liable for any special, indirect, incidental, consequential or liquidated, penal or any economic loss damages of any character, including but not limited to loss of use of the Subscriber's property, lost profits or lost production, whether claimed by the Subscriber or by any third party, irrespective of whether claims or actions for such damages are based upon contract, warranty, negligence, tort, strict liability or otherwise.

DEAN & ALLYN, INC.

FIRE PROTECTION - SPECIAL HAZARD

116 Lewiston Road / P.O. BOX 709 / Gray, ME 04039
Tel: 207/657 - 5646 Fax: 207/657 - 5647

ACCEPTED BY:

SUBSCRIBER (Company Name) Spurwink Services

BY (Sign Name) [Signature]

BY (Print Name) John McAniff

TITLE CFO

DATE SIGNED 7/28/11

WITNESS _____

CONTACT PHONE #: _____

DEAN & ALLYN, INC.

FIRE PROTECTION - SPECIAL HAZARD

TERMS AND CONDITIONS

REPORTS

The inspection and /or test shall be completed on the Contractor's then current Report form which shall be given to the Subscriber, with a copy to the insurance authority having jurisdiction, if requested. The Report and recommendations by the Contractor are only advisory in nature and are intended to assist Subscriber in reducing the possibility of loss to property by indicating obvious defects or impairments noted to the system and equipment inspected and/or tested which require prompt consideration. They are not intended to imply that all other defects, hazards or aspects of the system and equipment are under control at the time of inspection. Final responsibility for the condition and operation of the sprinkler system and/or fire alarm and detection system equipment lies with the Subscriber.

FIRE ALARM AND DETECTION SYSTEMS

In the event that the subscriber elects to have the fire alarm and detection system tested, it is understood that a random sampling of detection devices will be tested during each visit so that the entire system will have been tested at the end of each contract year. Prior to any tests, all persons who would automatically receive an alarm shall be notified, so that an unnecessary response shall not take place. Schematics and/or wiring diagrams must be provided by the contract subscriber.

EMERGENCY SERVICE

Emergency service requested by the Subscriber will be furnished at extra charge.

ADDITIONAL EQUIPMENT

In the event additional equipment is installed after the date of this contract, the annual inspection charge shall be increased in accordance with contractor's prevailing rates as of the first inspection of such additional equipment.

WORK NOT INCLUDED

The inspection and testing provided under this agreement does not include any maintenance, repairs, alterations, replacement of parts or any field adjustments whatsoever. Should any such work be requested by Subscriber they will be as an addition to this Agreement. The contractor shall furnish the Subscriber with an estimated price before the additional work is performed.

ACCEPTANCE OF TERMS

No changes or modifications are to be made without the express written consent of an executive officer of the contractor. Contractor is not bound by any provisions printed or otherwise at variance with this agreement that may appear on any acknowledgement or other form used by subscriber, such provisions being hereby expressly rejected.

ENTRY

Contractor may enter Subscriber's premises at all reasonable times to perform the inspections required by this contract.

WATER SUPPLY

Contractor shall not be liable or responsible for the adequacy or condition of the water supply.

ASSIGNMENT

This contract shall constitute a personal agreement between Contractor and Subscriber and shall be assignable by either party only with the written consent of the other.

Attachment A

Dean & Allyn, Inc. agrees to invoice Spurwink Services in quarterly installments of \$1053.00 subsequent to each inspection performance unless at any time payment or payment arrangements satisfactory to Dean & Allyn, Inc. have not been made within 30 days of any invoice date.

Any failure to meet Dean & Allyn, Inc.'s net (30) requirement, on any invoice, may result in all subsequent services requiring full payment in advance.

These terms will remain in effect for the duration of the inspection contract dated August 1, 2011 in the annual amount of \$4212.00

Dean & Allyn
INCORPORATED

FIRE PROTECTION • SPECIAL HAZARD

**SPECIFICATIONS FOR FIRE PROTECTION SYSTEM
INSPECTIONS AND TESTS**

DRY PIPE SPRINKLER SYSTEMS

QUARTERLY

Make a thorough visual inspection of all system components, where possible. This is to include checking the pipe for mechanical damage, loose hangers, and leaks. Sprinkler heads will be visually checked for obvious mechanical damage, leaks, corrosion, loading, obstruction, proper position, and any other obvious factors which may impair the sprinkler operation. A full flow test will be made through the system main drain, when possible, with the static and residual flow pressures being properly recorded. Priming water level will be checked and adjusted as needed. Air pressure will be checked and adjusted as needed. Air compressor, if applicable, will be tested for proper operation, condition and automatic sequencing. The oil level and belt condition will also be checked. Condensation will be drained from the air reservoir. All alarms will be tested to verify proper operation, including the water motor gong, electric alarms/bells, and low air signals. The fire department connections will be checked, including caps, gaskets, clappers, and ball drip valves. Ball drip valves will be cleaned out on the fall inspection as needed, and the sprinkler systems auxiliary drains will be drained of water as needed.

ANNUALLY

In addition to the above, a standard trip test of the dry pipe valve will be performed. The interior condition of the valve, clapper, latching devices, velocity check valve, and facings will be checked and cleaned as needed. The quick opening device, if applicable, will be tested. After verification of operation and condition, the valve will be restored to normal condition and tagged with its results.

NOTE

This contract does not include less frequent checks suggested by NFPA #13 and #25, such as: a full trip test performed at least once every (3) years; checking for proper pitch on the piping, recommended every (5) years; or an internal pipe exam, recommended every (5) years.

DEAN & ALLYN

INCORPORATED

FIRE PROTECTION • SPECIAL HAZARD

SPECIFICATIONS FOR FIRE PROTECTION SYSTEM INSPECTIONS AND TESTS

WET PIPE SPRINKLER SYSTEMS

QUARTERLY

Make a thorough visual inspection of all system components, where possible. This is to include checking pipe for mechanical damage, loose hangers, and leaks. Sprinkler heads will be visually checked for obvious mechanical damage, leaks, corrosion, loading, obstruction, proper position, and any other obvious factors, which may impair the sprinkler operation. A full flow test will be made through the system main drain, when possible, with the static and residual flow pressures being properly recorded. The system shall be tested by flowing through the inspectors test connection, to insure all local and supervisory alarms operate properly as well as checking the purity of the system water. The condition and position of all control valves will be checked. The condition of the fire department connection will be checked including caps, gaskets, clappers, and ball drips. We will check the mechanical condition and operation of all related system components, including the alarm valve clapper, pilot valve and retard chamber.

ANNUALLY

In addition to the above, all sprinkler system control valves will be operated, tested for proper operation, and lubricated. If requested, all backflow preventers installed on the fire system(s) will be tested for proper operation at an additional charge. The fall inspection will include the cleaning and lubrication of all fire department connection ball drips. All antifreeze systems will also be checked to insure that they are set to the proper temperature for the area being protected prior to cold weather.

NOTE

This contract does not include less frequent checks suggested by NFPA #13 and #25, such as: an internal pipe exam, recommended every (5) years; gauge replacement, recommended every (5) years.

Spurwink Locations Listing

<u>Locations</u>		<u>Management Company</u>
20 Spurwink Lane	Cornville	Boulos
31 Spurwink Lane	Cornville	Boulos
319 Foss Rd	Limerick	Dirigo
1247 North Rd	Yarmouth	Dirigo
10 Samuel Rd	Raymond	Boulos
675 Old Portland Rd	Brunswick	Dirigo
41 Chloe Lane	Brunswick	Dirigo
38 Chloe Lane	Brunswick	Dirigo
31 Chloe Lane	Brunswick	Dirigo
37 Chloe Lane	Brunswick	Dirigo
587 Ocean Ave	Portland	Dirigo
17 Bishop St	Portland	Dirigo
342 Woodfords	Portland	Dirigo
899 Riverside Dr	Portland (2 buildings)	Dirigo
31 Spurwink Dr	Chelsea	Boulos
212 Bolton Hill Rd	Augusta	Boulos
196 Bolton Hill Rd	Augusta	Boulos
204 Bolton Hill Rd	Augusta	Boulos
220 Danville Corner Rd	Auburn	Boulos
180 Danville Corner Rd	Auburn	Boulos

Dirigo Management Maintenance Contact is Glen Mains.
 Email: Glen@dirigomgmt.com.
 Phone: 207-871-1080

Boulos Property Management Contact is Kim Nelson
 Email: knelson@boulos.com
 Phone: 207-871-1290

CUNNINGHAM

Security Systems

10 Princes Point Road • Yarmouth, Maine 04096
(207) 846-3350 • Fax (207) 846-6080 • (800) 210-0257

June 30, 2011

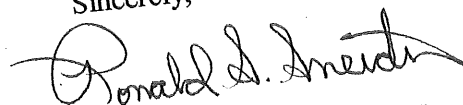
Attn: Captain Keith Gautreau
Fire Prevention Bureau
Portland Fire Department
380 Congress Street
Portland, ME 04101
Fax#: (207) 874-8410

Dear Captain Gautreau,

This letter is to inform you that on June 8, 2011, we added additional strobes, horn/strobes, pull stations and smoke detectors to the existing fire alarm system at Spurwink Services Sue Wright building located at 899 Riverside Street in Portland, ME. These devices were installed to NFPA 72 standards and test signals were sent from these devices to our Central Monitoring Station. These devices were found to be fully functional at that time.

Should you have any questions or comments regarding this matter, please feel free to contact me at (207) 846-3350.

Sincerely,



Ronald S. Snider, Manager

cc: Acct. File

Planning • Installation • Monitoring • Service
Visit our web site at: www.cunninghamsecurity.com

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0945	Issue Date:	CBL: 326 B004002
-----------------------	-------------	---------------------

Location of Construction: 899 RIVERSIDE ST	Owner Name: SPURWINK SCHOOL	Owner Address: 899 RIVERSIDE ST	Phone:
Business Name:	Contractor Name: TBD	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone: IM

Past Use: Spurwink School -Group Home "Sue Wright House"	Proposed Use: Spurwink School -Group Home "Sue Wright House" - Stair Renovations, & Additions to conform to Current Health, Welfare & Life Safety Building Codes	Permit Fee: \$870.00	Cost of Work: \$85,000.00	CEO District: 5
--	---	-------------------------	------------------------------	--------------------

Proposed Project Description: Stair Renovations & Additions to conform to Current Health, Welfare & Life Safety Building Codes	FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied w/conditions Signature: <i>KG</i>	INSPECTION: Use Group: I-1 Type: S13 Signature: <i>IMB 10/14/10</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: Idobson	Date Applied For: 08/03/2010	Zoning Approval
-----------------------------	---------------------------------	------------------------

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED

OCT 15 2010

City of Portland

Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>8/18/10</i> <i>APN</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ABU</i>
---	---	---

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



August 3, 2010

Jeannie Bourke
City of Portland Maine
Code Enforcement Officer
389 Congress Street
Portland, Maine 04101

Re: Spurwink Services, 899 Riverside Street – Sue Wright House

Dear Ms Bourke:

Attached please find a Building Permit Application for the Sue Wright House at 899 Riverside Street on the Spurwink Services campus. We are submitting this permit application to increase the volume of the facility as part of our effort to bring Sue Wright House into conformance with the requirements of the State Fire Marshall's Office, NFPA 101 - Life Safety Code Handbook and Federal Fair Housing requirements.

Presently Sue Wright House is approved as an Existing Non-Conforming use as a Community Living Arrangement for (8) persons of need plus the house parents / family in the IM Zone. This approved use dates back to 1960 when Spurwink began providing children of need with care. As part of ongoing regulatory review of the program itself, the State requires periodic review from the State Fire Marshall's office to ensure the facility meets the provisions of a continually evolving building code. During their most recent visit, the State Fire Marshall noted that Sue Wright house no longer meets the standards for Means of Escape in the Residential Care Occupancy chapter for Small Facilities. Specifically noted were NFPA Life Safety code sections 33.2, 33.2.2.2 & 33.2.3 among others.

We have reviewed this project with Marge Schmuckal Zoning Administrator and were able to determine that this work did not need to be reviewed by the Zoning Board of Appeals due to the fact improvements are being made to meet health welfare and safety needs.

This submission outlines how we propose to adapt Sue Wright House to meet the current code standards as stipulated by the State Fire Marshall's Office (see attached eMail from Richard McCarthy) as they relate to Residential Care Occupancy – Small Facilities.

To summarize this proposal, Spurwink would build a new 1-hr enclosed stairway to provide safe evacuation from the facility. This new stair would be built within the existing footprint of the residence and spring upward from the existing 1-story mud-room located in the rear of the building. To alleviate safety concerns we also propose to extend a new porch off the back of the residence to help redirect rainwater and winter snow. Finally this submittal identifies some interior renovation to provide improved accommodation for the residents in the house.

We look forward to presenting this request to you in person at the next ZBA meeting.

Sincerely,

A handwritten signature in dark ink, appearing to read "M.G. Winch", is written over a rectangular area with a light gray grid pattern.

Matthew G Winch
Principal

From: "McCarthy, Richard" <Richard.McCarthy@maine.gov>
Subject: **FW:**
Date: July 15, 2010 4:16:02 PM EDT
To: "Matthew G. Winch" <matthewwinch@earthlink.net>

here is what was sent to Dan

Richard McCarthy CFI II / CFPE
Office of the State Fire Marshal
Senior Plans Examiner
Office (207)626-3886
Fax (207)287-6251
richard.mccarthy@maine.gov

From: McCarthy, Richard
Sent: Thursday, July 15, 2010 3:50 PM
To: 'Dan Bonner'
Subject: RE:

Dan,

I have done a preliminary review of The Sue Wright House located in Portland. I agree that the current stair does not meet the NFPA 101 requirements for a means of escape. You would be required to provide a code compliant means of escape for this facility to be compliant. This review is only for the means of escape and a full review will be required and permits from both the city and our office obtained before any work is started.

Richard McCarthy CFI II / CFPE
Office of the State Fire Marshal
Senior Plans Examiner
Office (207)626-3886
Fax (207)287-6251
richard.mccarthy@maine.gov

From: Dan Bonner [mailto:dbonner@spurwink.org]
Sent: Thursday, July 15, 2010 11:53 AM
To: McCarthy, Richard
Subject:

Here you go, and thanks for the help.

Daniel M Bonner. LMSW.
Vice President of Operations.

spurwink services.
Going the distance. Changing lives
899 Riverside Street.
Portland, Me 04103
207-871-1200
www.spurwink.org

CONFIDENTIALITY NOTICE: This communication (including all attachments) is intended solely for the use of the person or persons to whom it is addressed, and should be treated as a confidential communication of Spurwink Services. It may include information that is privileged and/or confidential under both State and Federal Law. If you are not the intended recipient, or agent of the recipient, you are notified that any further use, dissemination, copy, distribution, printing or disclosure of this communication is strictly prohibited. If you have received this communication in error, please notify the originator and delete it from your system (do not retain any copies), return the original transmittal to us by mail without making a copy, and reply to the sender to advise us that this communication was misdirected. Your cooperation in protecting confidential information is appreciated.

(COPY)

CITY OF PORTLAND, MAINE
Department of Building Inspection



Certificate of Occupancy

LOCATION 899 Riverside St.

Date of Issue October 11, 1961

Issued to Richard M Smith
899 Riverside St.

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. 60/970, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES
Entire

APPROVED OCCUPANCY
In residence School for mentally
disturbed children.

Limiting Conditions:
No more than eight children.
Third floor not to be used.

This certificate supersedes
certificate issued

Approved:

Carl Smith

(Date)

Inspector

Albert J. Sears
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

alterations, modifications or additions shall be made to it, except as provided in this division.

(b) A building whose use is wholly nonconforming shall not be altered so as to increase the cubical content or the degree of nonconformity.

(c) No alterations, modifications or additions shall be made so as to increase the cubical content or the degree of nonconforming use, nor shall a nonconforming use be extended to any other part of such building, unless such part was clearly arranged and designed for such nonconforming use prior to June 5, 1957, or such extension of a nonconforming use is solely for the purpose of bringing the use into compliance with health or safety codes, or to correct a condition that may not technically be in violation but which is determined by the board of appeals to constitute a health or safety problem. In either case, the expansion shall be limited to the minimum necessary to accomplish that purpose.

(d) Alteration, modification or addition may be made to a building which is lawfully nonconforming as to space and bulk or any dimensional requirement where the proposed changes in existing exterior walls and/or roofs would be within the space occupied by the existing shell of the building, and would not create any new nonconformity nor increase any existing nonconformity. This subsection shall not apply to buildings located within shoreland zones and existing on June 15, 1992, which are nonconforming only as to setbacks from wetlands, tributary streams or other water bodies, which shall be regulated in accordance with subsection (f) of this section.

(e) Except as expressly provided herein, any alteration, modification or addition permitted under this section shall be in compliance with all other applicable sections of this chapter. Nothing within this section shall be construed to permit an increase in the number of nonconforming units in a building which is nonconforming as to the number of dwelling units or will become nonconforming as a result of such alteration, modification or addition.

(f) *Expansions.* A non-conforming structure may be added to or expanded after obtaining a permit from the same permitting authority as that for a new structure, if such addition or expansion does not increase the non-conformity of the structure and is in accordance with the sections below.



Certificate of Design Application

Design Designer:

Matthew G. L. Winkler

Date:

8/3/10

Building Name:

899 RIVERSIDE ST. SUE WRIGHT HOME

Address of Construction:

899 RIVERSIDE ST.

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2003 / NPPA 101, 2006 Use Group Classification (s) II (IBC) Existing Res. Bldg
 Type of Construction Type 5 Core Facility (Single Family)
NPPA, 2006
 Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC YES (Existing)
 Is the Structure mixed use? No If yes, separated or non separated or non separated (section 302.3) ---
 Supervisory alarm System? YES Geotechnical/Soils report required? (See Section 1802.2) No

Structural Design Calculations

Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use

Loads Shown

Wind loads (1603.1.4, 1609)

Design option utilized (1609.1.1, 1609.6)

Basic wind speed (1809.3)

Building category and wind importance Factor, I_w
 (table 1604.5, 1609.5)

Wind exposure category (1609.4)

Internal pressure coefficient (ASCE 7)

Component and cladding pressures (1609.1.1, 1609.6.2.2)

Main force wind pressures (7603.1.1, 1609.6.2.1)

Earthquake design data (1603.1.5, 1614-1623)

Design option utilized (1614.1)

Seismic use group ("Category")

Spectral response coefficients, S_D & S_1 (1615.1)

Site class (1615.1.5)

Live load reduction

Roof live loads (1603.1.2, 1607.11)

Roof snow loads (1603.7.3, 1608)

Ground snow load, P_g (1608.2)

If $P_g > 10$ psf, flat-roof snow load, p_f

If $P_g > 10$ psf, snow exposure factor, C_e

If $P_g > 10$ psf, snow load importance factor, I_s

Roof thermal factor, C_t (1608.4)

Sloped roof snowload, P_s (1608.4)

Seismic design category (1616.3)

Basic seismic force resisting system (1617.6.2)

Response modification coefficient, R , and

deflection amplification factor, C_d (1617.6.2)

Analysis procedure (1616.6, 1617.5)

Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

Flood Hazard area (1612.3)

Elevation of structure

Other loads

Concentrated loads (1607.4)

Partition loads (1607.5)

Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



Certificate of Design

ate:

8/3/10

om:

Matthew Wink

These plans and / or specifications covering construction work on:

899 Riverside St, Sue Wright House Process
Stair / Renovations

have been designed and drawn up by the undersigned, a Maine registered Architect /
Engineer according to the **2003 International Building Code** and local amendments.



Signature:

Matthew Wink

Title:

Principal

Firm:

Capri Consulting, Inc.

Address:

41 Edgewood Ave
Portland ME 04103

Phone:

(207) 450-0750

For more information or to download this form and other permit applications visit the Inspections Division
on our website at www.portlandmaine.gov



Accessibility Building Code Certificate

Designer: Matthew G. White

Address of Project: 899 RIVERSIDE ST

Nature of Project: ADDITIONS & RENOVATIONS TO ADO
CODC RENO EXPRESS STAIR

ie technical submissions covering the proposed construction work as described above have been signed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: Matthew G. White

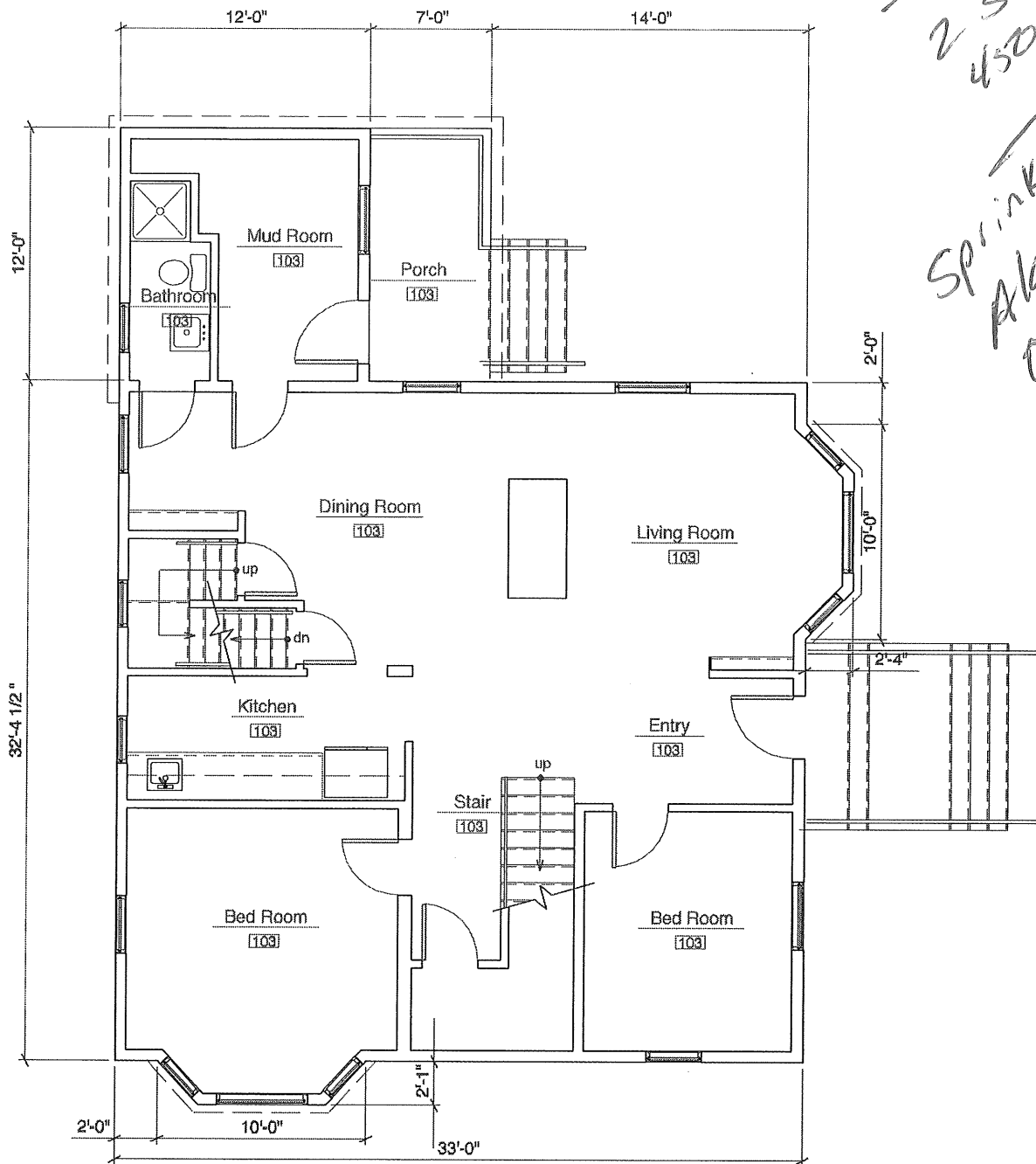
Title: Principal

Firm: Carrison Consulting

Address: 41 E. CORCORAN AVE
PORTLAND ME 04103

Phone: (207) 450-0750

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



10 Existing Floor Plan

Use Type
I-1 SB
2 stories
4500 SF max
Yok
Sprinkler +
Alarm system
OK for 3
504.2

GARRISON
CONSULTING

41 edgewood ave
portland, maine 04103
telephone 207 450 0750

e-mail matthewwinch@earthlink.net

Sue Wright House

899 Riverside St.
Portland, Maine

**Existing Conditions
First Floor Plan**

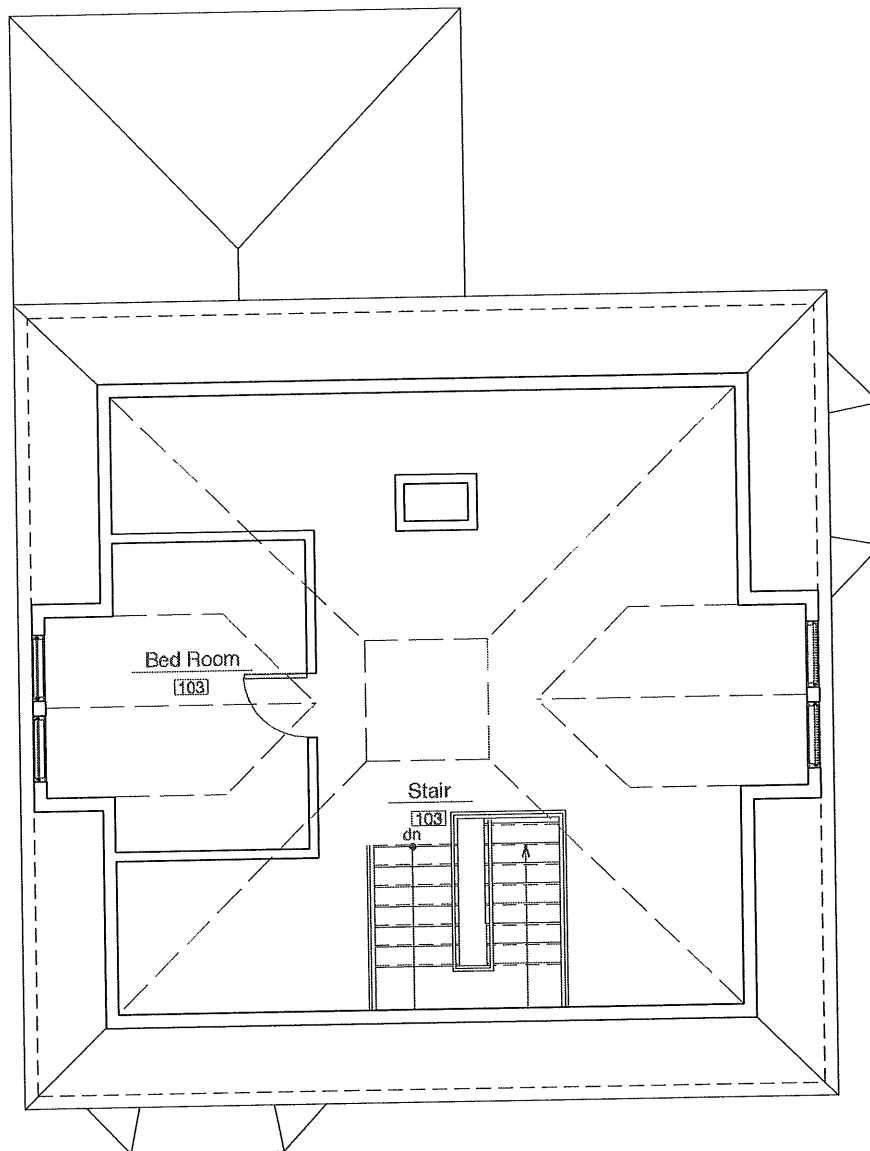
Scale: 1/8" = 1'-0" Date: 08/03/10

Drawn By: MGW

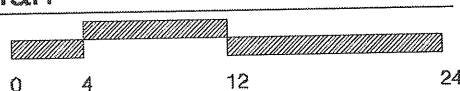
Project No: 2010-006

DWG NO:

EXTC-01



10 Existing Floor Plan



GARRISON
CONSULTING

41 edgewood ave
portland, maine 04103
telephone 207 450 0750

e-mail matthewwinch@earthlink.net

Sue Wright House

899 Riverside St.
Portland, Maine

Existing Conditions
Second Floor Plan

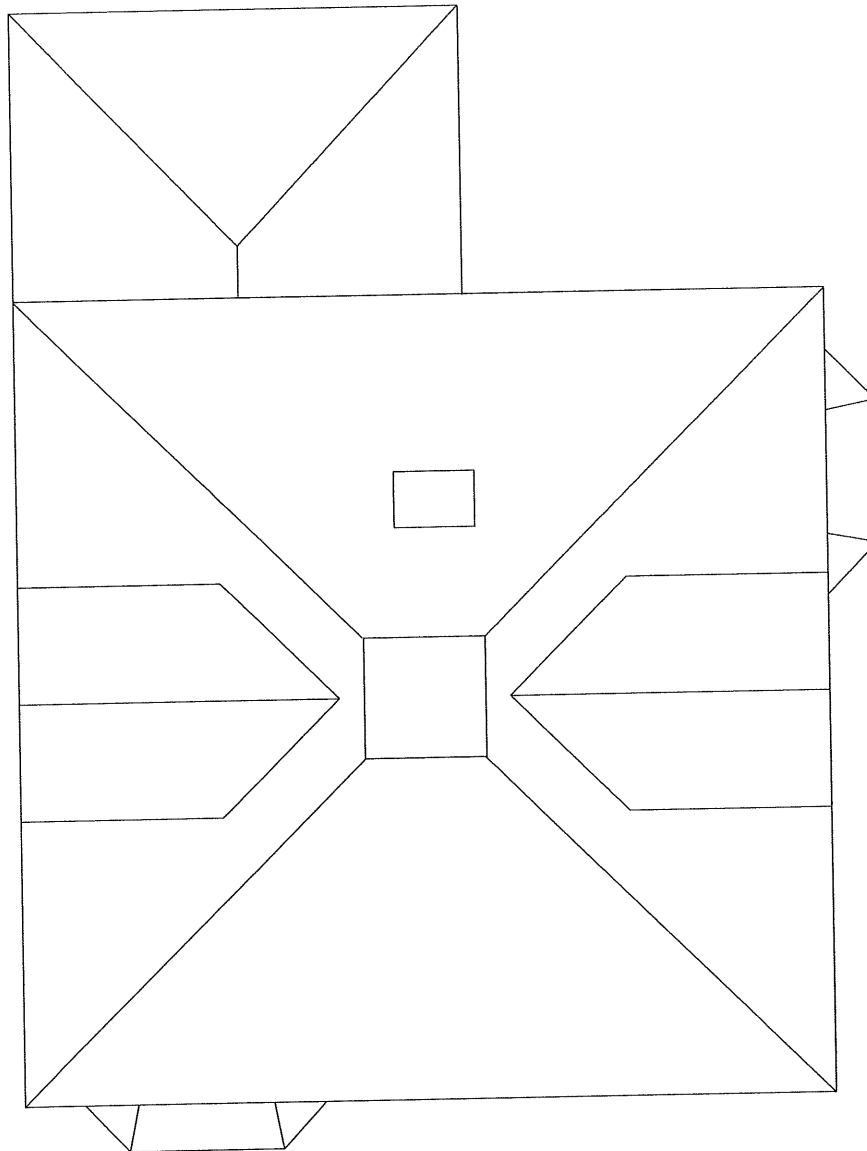
Scale: 1/8" = 1'-0" Date: 08/03/10

Drawn By: MGW

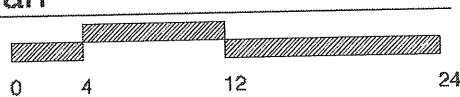
Project No: 2010-006

DWG NO:

EXTC-03



10 Existing Roof Plan



GARRISON
CONSULTING

41 edgewood ave
portland, maine 04103
telephone 207 450 0750

e-mail matthewwinch@earthlink.net

Sue Wright House

899 Riverside St.
Portland, Maine

**Existing Conditions
Second Floor Plan**

Scale: 1/8" = 1'-0" Date: 08/03/10

Drawn By: MGW

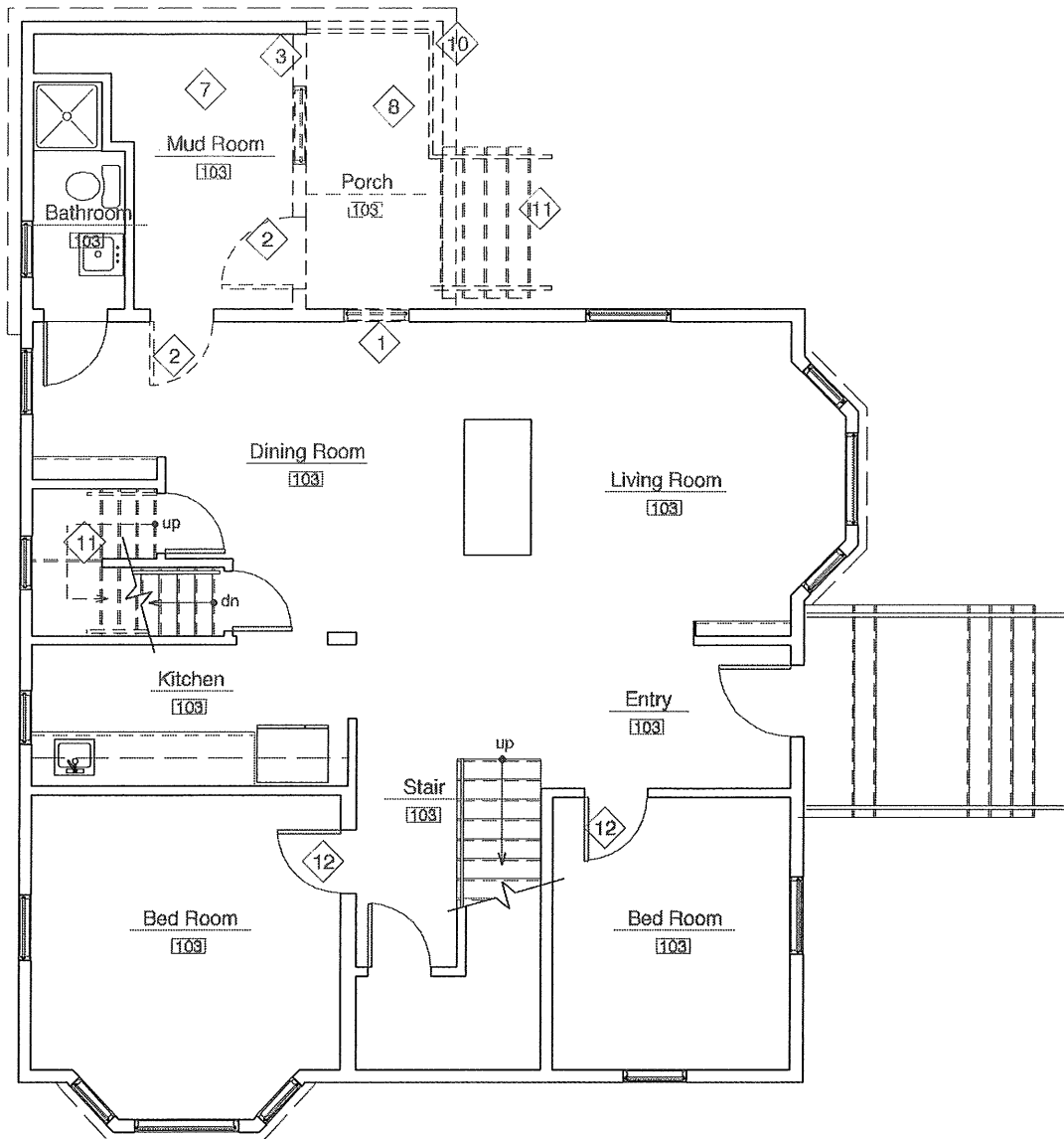
Project No: 2010-006

DWG NO:

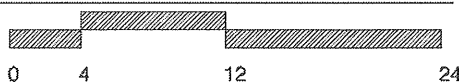
EXTC-03

Demolition Notes

- | | | |
|---|---|--|
| 1 Remove existing door, frame and blocking. Prep opening for infill wall. | 5 Remove existing plumbing fixture. | 10 Remove porch rails and decking. |
| 2 Remove existing door or window. | 7 Remove existing lighting fixtures and ceiling material. | 11 Remove existing stair framing |
| 3 Remove existing wall. | 8 Remove existing roof framing, shingles and sheathing | 12 Remove existing door replace with 1 3/4" 20 minute door |
| 4 Remove existing carpet, backing and accessories. | 9 Remove existing electrical equipment | 13 |



10 1st Floor Demo Plan



GARRISON
CONSULTING

41 edgewood ave
portland, maine 04103
telephone 207 450 0750

e-mail matthewwinch@earthlink.net

Sue Wright House

899 Riverside St.
Portland, Maine

**First Floor
Demolition Plan**

Scale: 1/8" = 1'-0" Date: 08/03/10

Drawn By: MGW

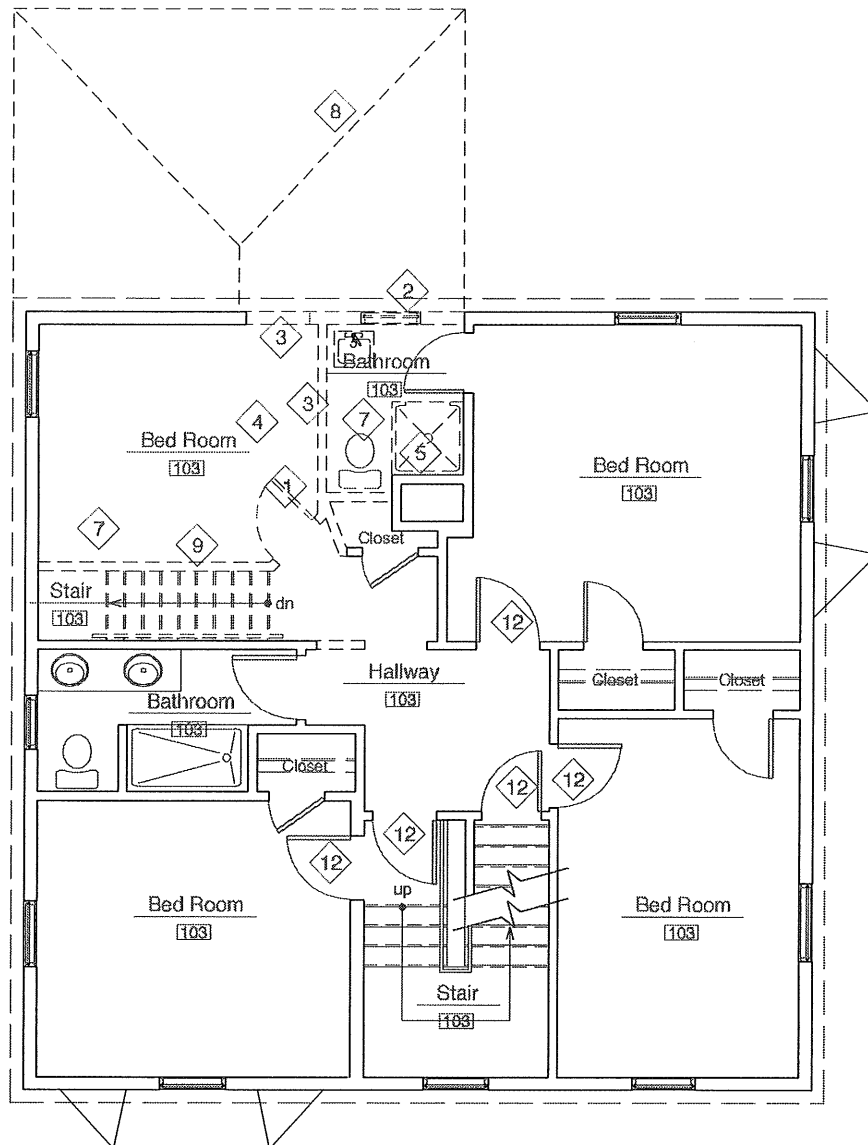
Project No: 2010-006

DWG NO:

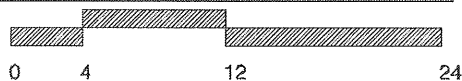
DEMO-01

Demolition Notes

- | | | |
|---|---|--|
| 1 Remove existing door, frame and blocking. Prep opening for infill wall. | 5 Remove existing plumbing fixture. | 10 Remove porch rails and decking. |
| 2 Remove existing door or window. | 7 Remove existing lighting fixtures and ceiling material. | 11 Remove existing stair framing |
| 3 Remove existing wall. | 8 Remove existing roof framing, shingles and sheathing | 12 Remove existing door replace with 1 3/4" 20 minute door |
| 4 Remove existing carpet, backing and accessories. | 9 Remove existing electrical equipment | 13 |



10 2nd Floor Demo Plan



GARRISON
CONSULTING

41 edgewood ave
portland, maine 04103
telephone 207 450 0750

e-mail matthewwinch@earthlink.net

Sue Wright House

899 Riverside St.
Portland, Maine

**Second Floor
Demolition Plan**

Scale: 1/8" = 1'-0" Date: 08/03/10

Drawn By: MGW

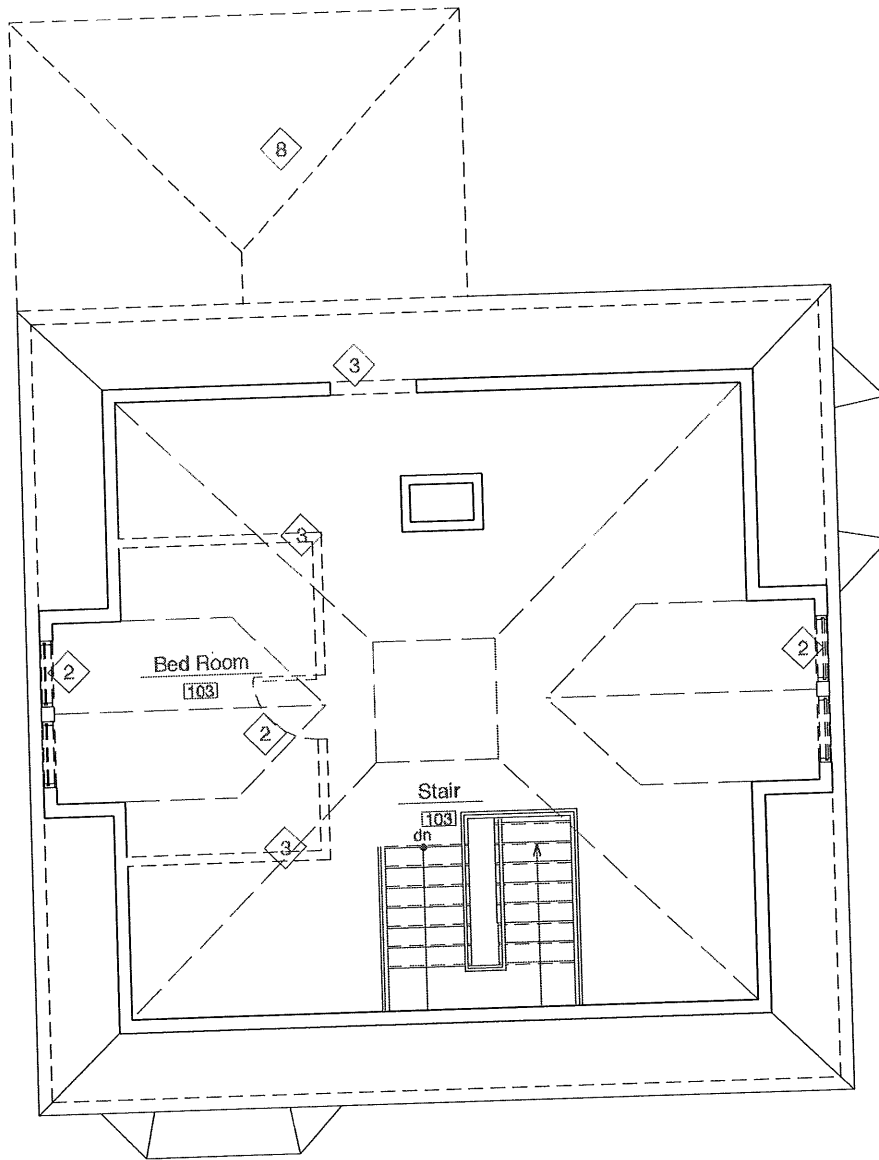
Project No: 2010-006

DWG NO:

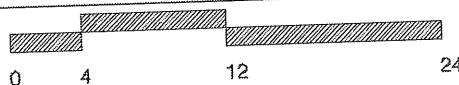
DEMO-02

Demolition Notes

- | | | |
|---|---|--|
| 1 Remove existing door, frame and blocking. Prep opening for infill wall. | 5 Remove existing plumbing fixture. | 10 Remove porch rails and decking. |
| 2 Remove existing door or window. | 7 Remove existing lighting fixtures and ceiling material. | 11 Remove existing stair framing |
| 3 Remove existing wall. | 8 Remove existing roof framing, shingles and sheathing | 12 Remove existing door replace with 1 3/4" 20 minute door |
| 4 Remove existing carpet, backing and accessories. | 9 Remove existing electrical equipment | 13 |



10 3rd Floor Demo Plan



GARRISON
CONSULTING

41 edgewood ave
portland, maine 04103
telephone 207 450 0750

e-mail matthewwinch@earthlink.net

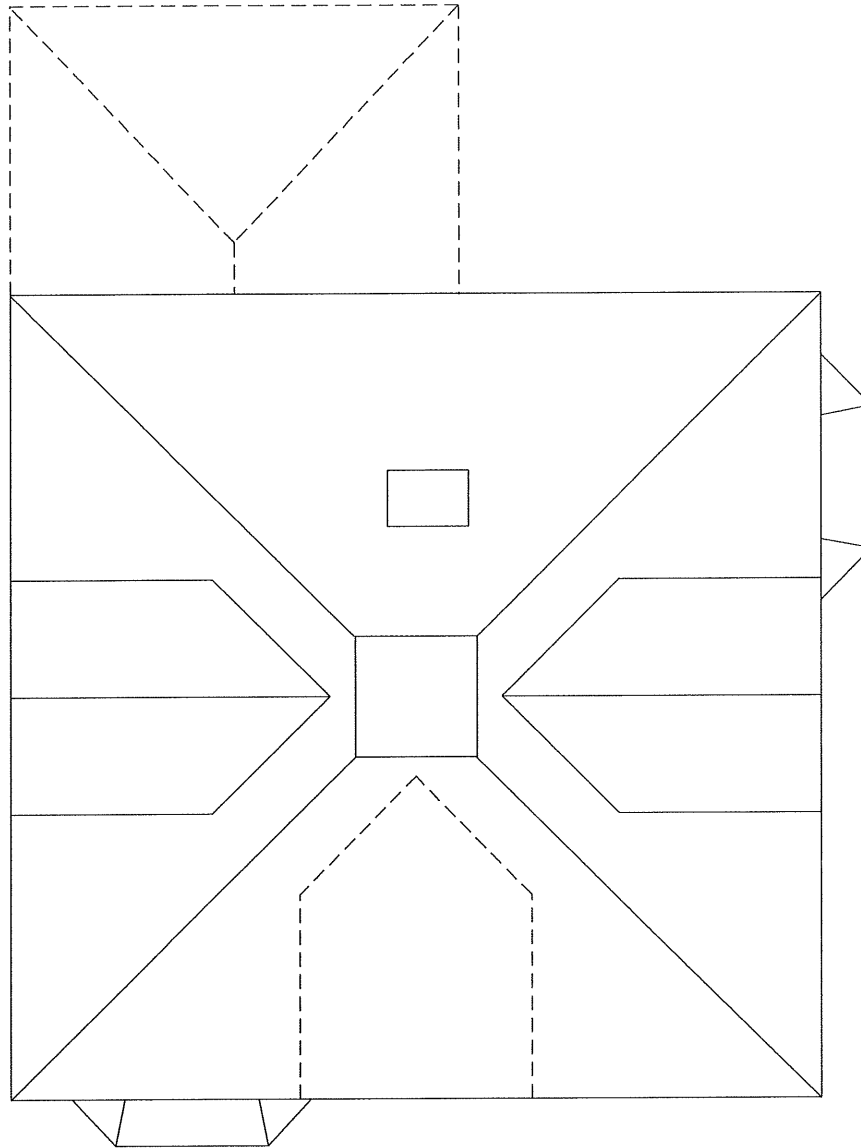
Sue Wright House

899 Riverside St.
Portland, Maine

**Third Floor
Demolition Plan**

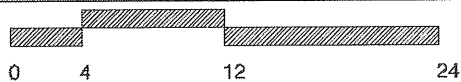
Scale: 1/8" = 1'-0" Date: 08/03/10
Drawn By: MGW
Project No: 2010-006
DWG NO:

DEMO-03



10

Roof Demo Plan



GARRISON
CONSULTING

41 edgewood ave
portland, maine 04103
telephone 207 450 0750

e-mail matthewwinch@earthlink.net

Sue Wright House

899 Riverside St.
Portland, Maine

**Roof
Demolition Plan**

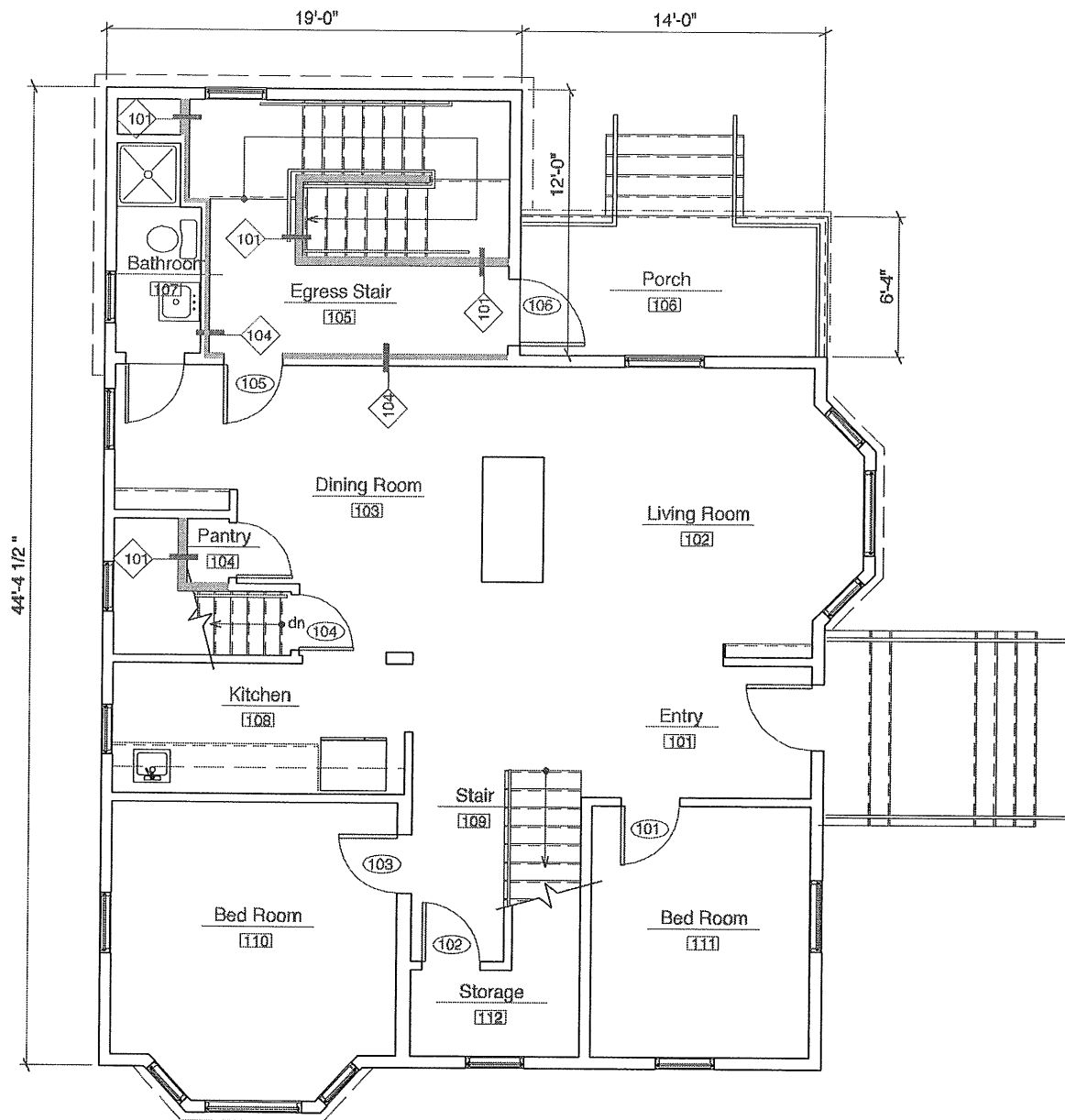
Scale: 1/8" = 1'-0" Date: 08/03/10

Drawn By: MGW

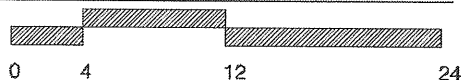
Project No: 2010-006

DWG NO:

EXTC-03



10 Proposed Floor Plan



GARRISON
CONSULTING

41 edgewood ave
portland, maine 04103
telephone 207 450 0750

e-mail matthewwinch@earthlink.net

Sue Wright House

899 Riverside St.
Portland, Maine

**Proposed
First Floor Plan**

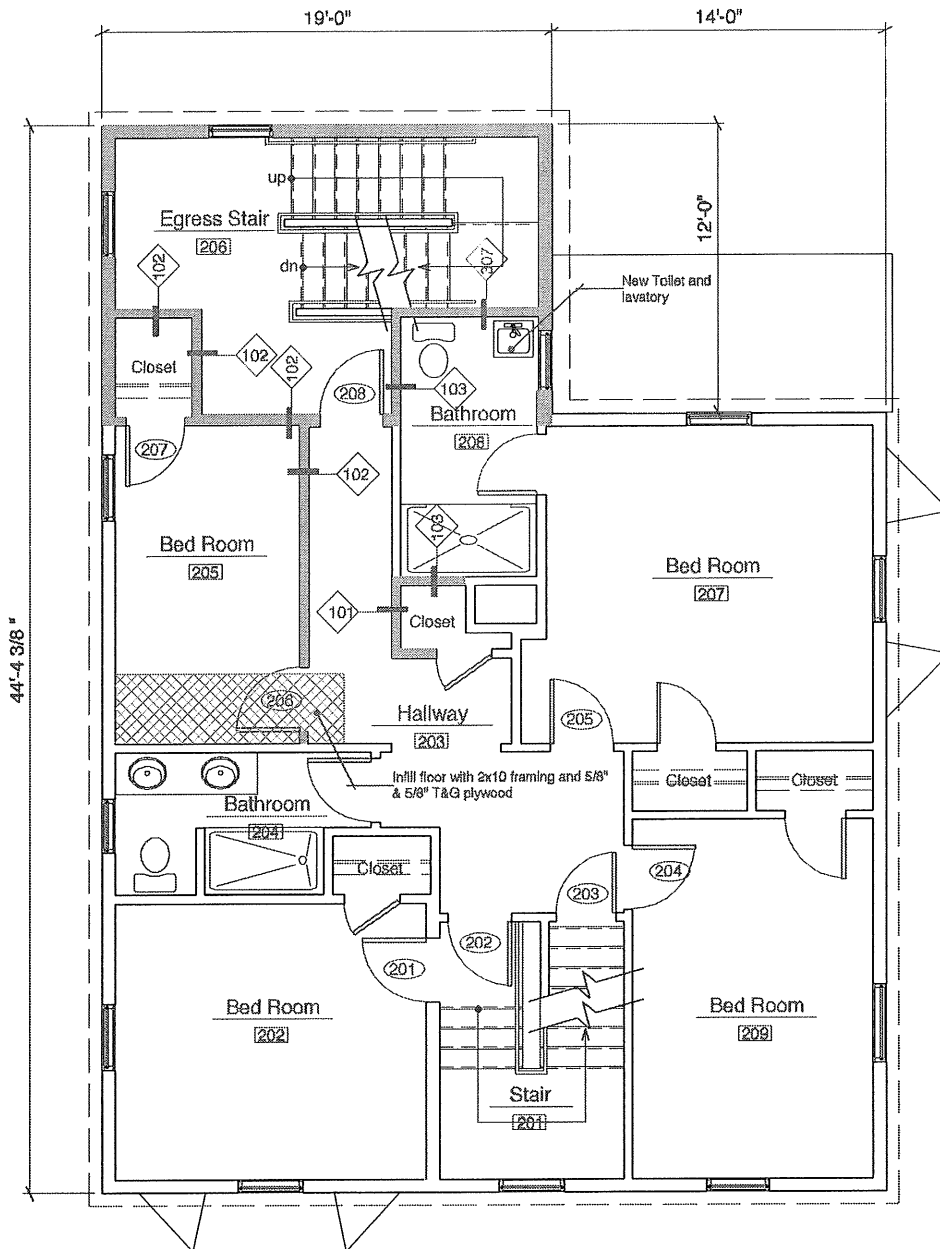
Scale: 1/8" = 1'-0" Date: 08/03/10

Drawn By: MGW

Project No: 2010-006

DWG NO:

SKA-01



10 Proposed Floor Plan



GARRISON
CONSULTING

41 edgewood ave
portland, maine 04103
telephone 207 450 0750

e-mail matthewwinch@earthlink.net

Sue Wright House

899 Riverside St.
Portland, Maine

**Proposed
Second Floor Plan**

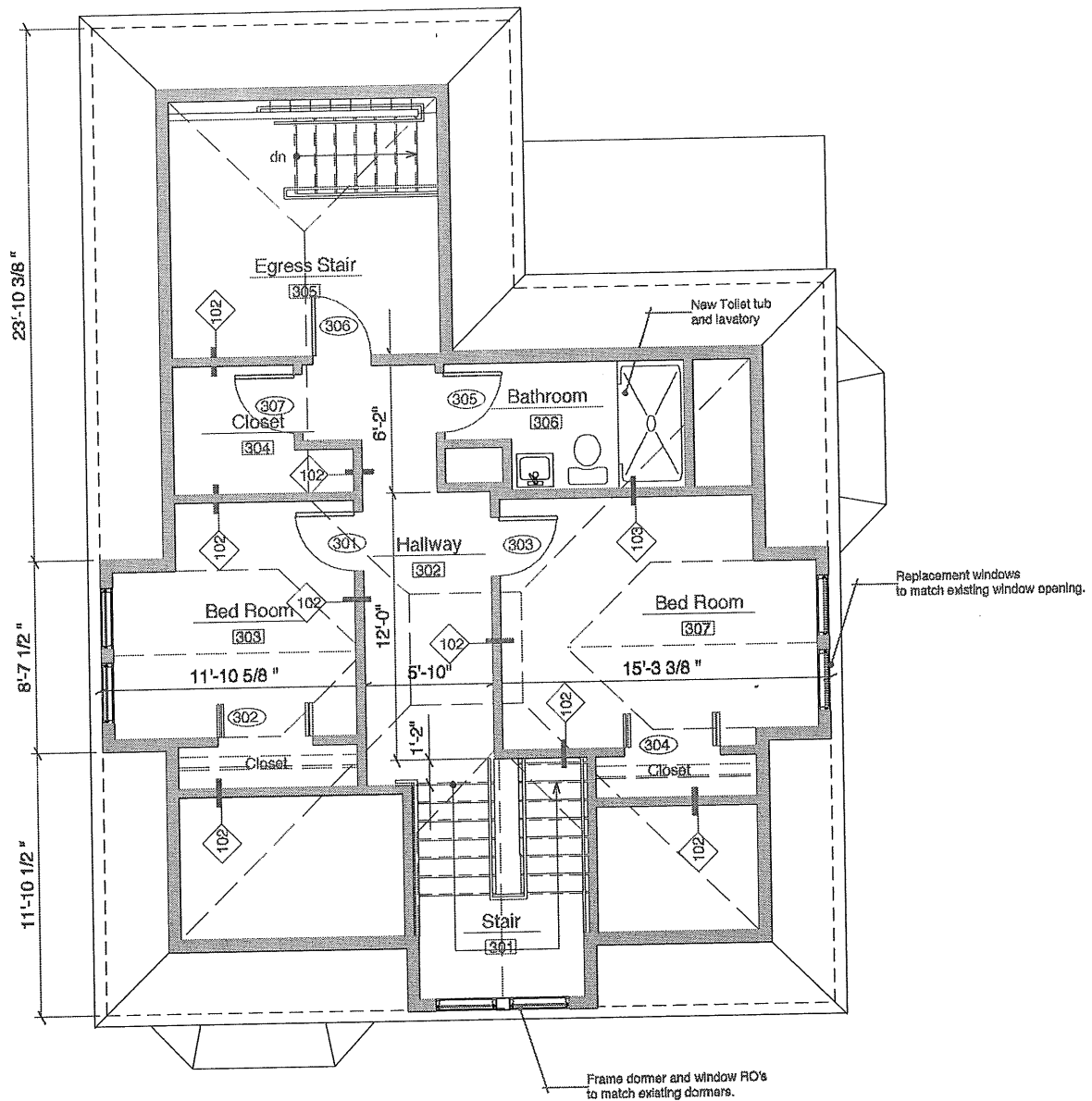
Scale: 1/8" = 1'-0" Date: 08/03/10

Drawn By: MGW

Project No: 2010-006

DWG NO:

SKA-02



10 Proposed Floor Plan

GARRISON
CONSULTING

41 edgewood ave
portland, maine 04103
telephone 207 450 0750

e-mail matthewwinch@earthlink.net

Sue Wright House

899 Riverside St.
Portland, Maine

**Proposed
Third Floor Plan**

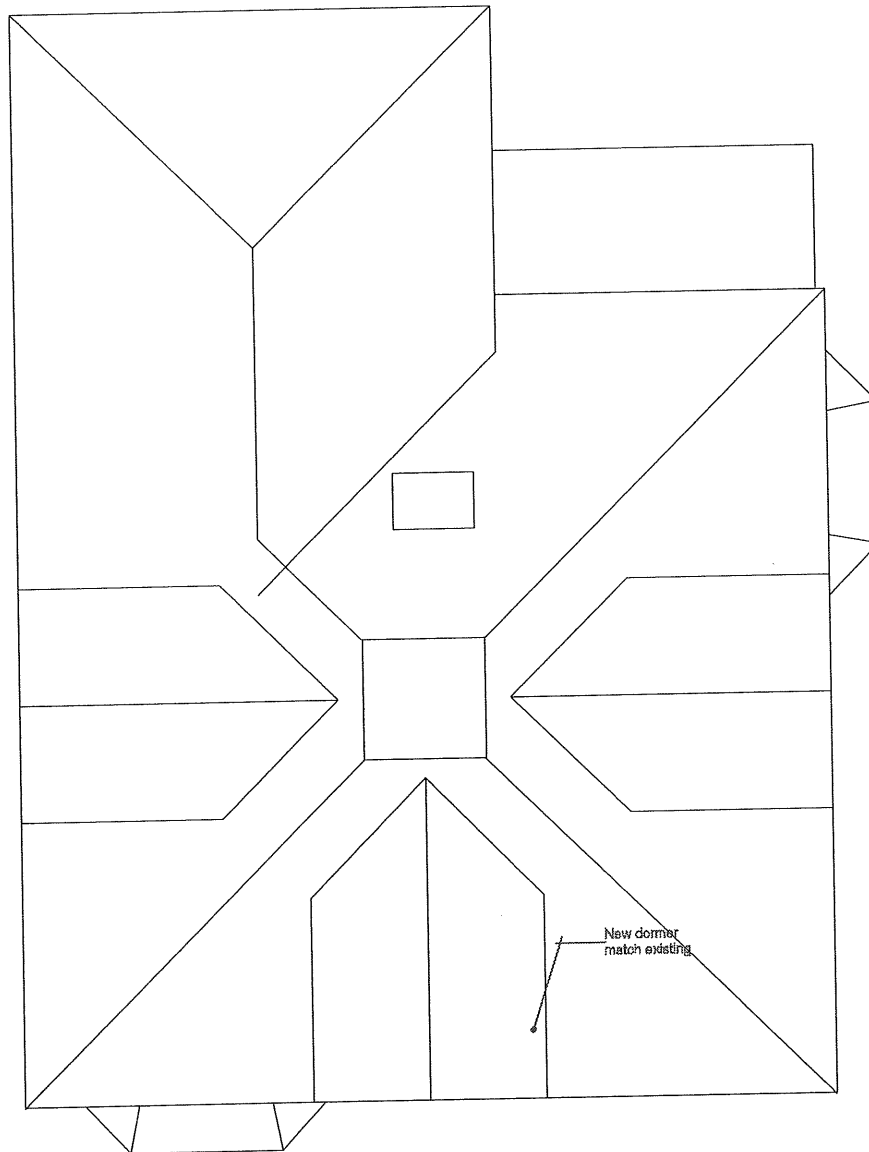
Scale: 1/8" = 1'-0" Date: 08/03/10

Drawn By: MGW

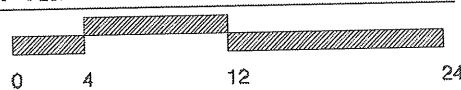
Project No: 2010-006

DWG NO:

SKA-03



10 Proposed Roof Plan



GARRISON
CONSULTING

41 edgewood ave
portland, maine 04103
telephone 207 450 0750

e-mail matthewwinch@earthlink.net

Sue Wright House

899 Riverside St.
Portland, Maine

**Proposed
Roof Plan**

Scale: 1/8" = 1'-0" Date: 08/03/10

Drawn By: MGW

Project No: 2010-006

DWG NO:

SKA-04

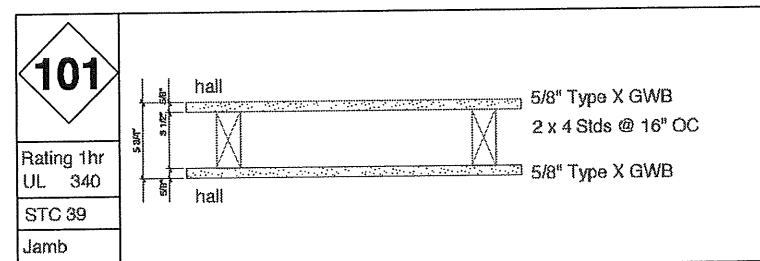
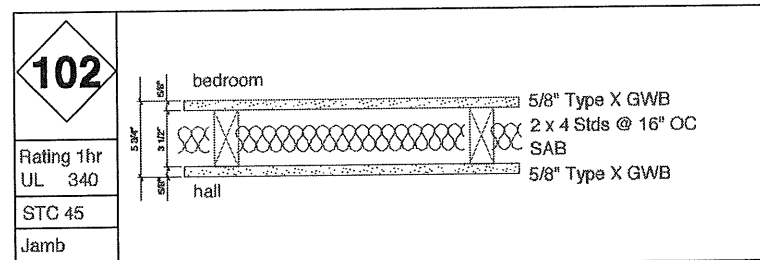
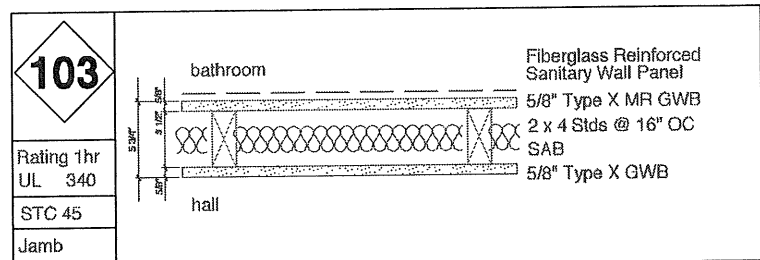
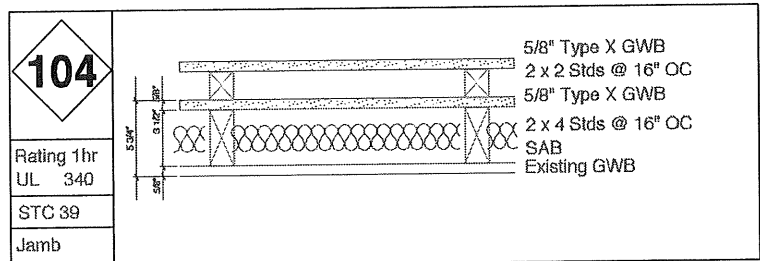
623	Partition type designation
Rating	NR (not rated), 1HR, 2HR, 3HR as applicable
UL	UL design number. See Fire Rating notes this sheet.
STC	STC design value for partition as applicable
Jamb	J1

Partition Notes / Legend

1. Partition type designations refer to the following wall construction systems:

- 200 Series - 2x2 Wood stud construction
- 300 Series - 2x4 Wood stud construction
- 600 Series - 2x6 Wood stud construction
- 800 Series - 2x8 Wood stud construction
- C Series - Chasewall construction
- M Series - CMU construction
- S Series - Shaftwall construction

2. All GWB to be cut to fit around penetrations, pipes, ducts, conduit, cables, etc. All penetrations shall be sealed with acoustic sealant, unless noted otherwise.
3. All partitions extending to underside of slab above shall fully follow the contour of structure.
4. All sound insulated partitions shall extend to the underside of structure above, unless noted otherwise.
5. All sound insulated partitions shall be sealed with acoustic sealant under the shoe, head, and jamb, and at all GWB joints.
6. Refer to Room Finish Schedule for wall finish and base information.



GARRISON
CONSULTING

41 edgewood ave
portland, maine 04103
telephone 207 450 0750

e-mail matthewwinch@earthlink.net

Sue Wright House

899 Riverside St.
Portland, Maine

**Partition
Types**

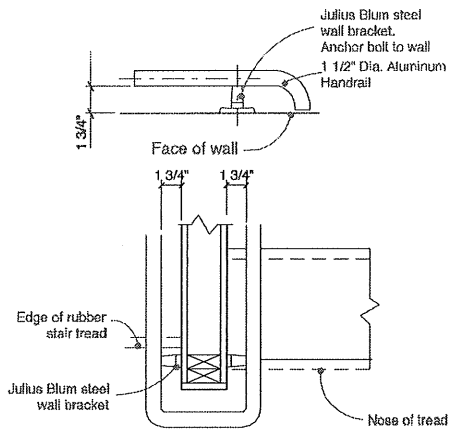
Scale: NTS Date: 08/03/10

Drawn By: MGW

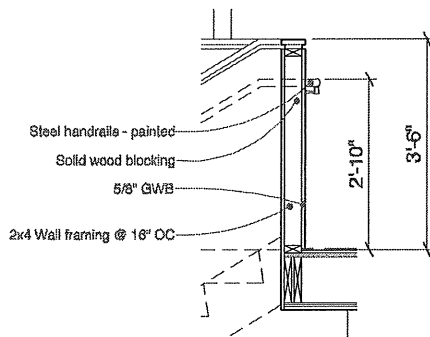
Project No: 2010-006

DWG NO:

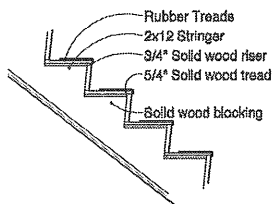
SKA-05



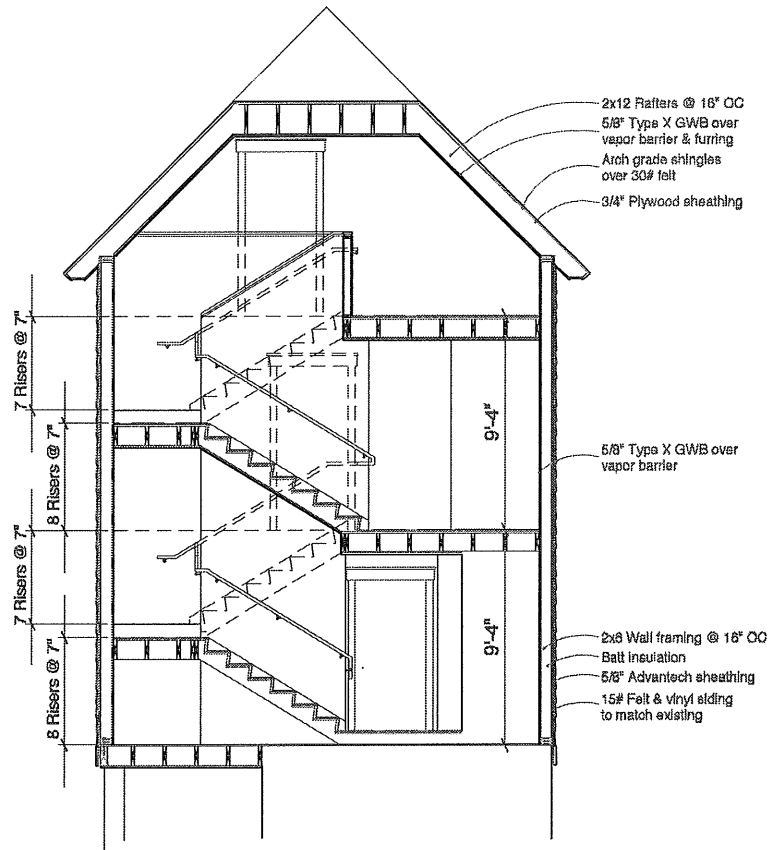
13 Proposed Rail Detail



12 Proposed Floor Plan

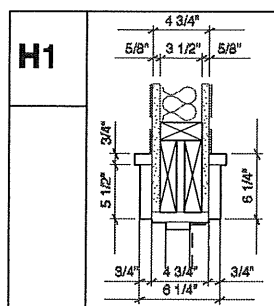


11 Proposed Tread/Riser Detail



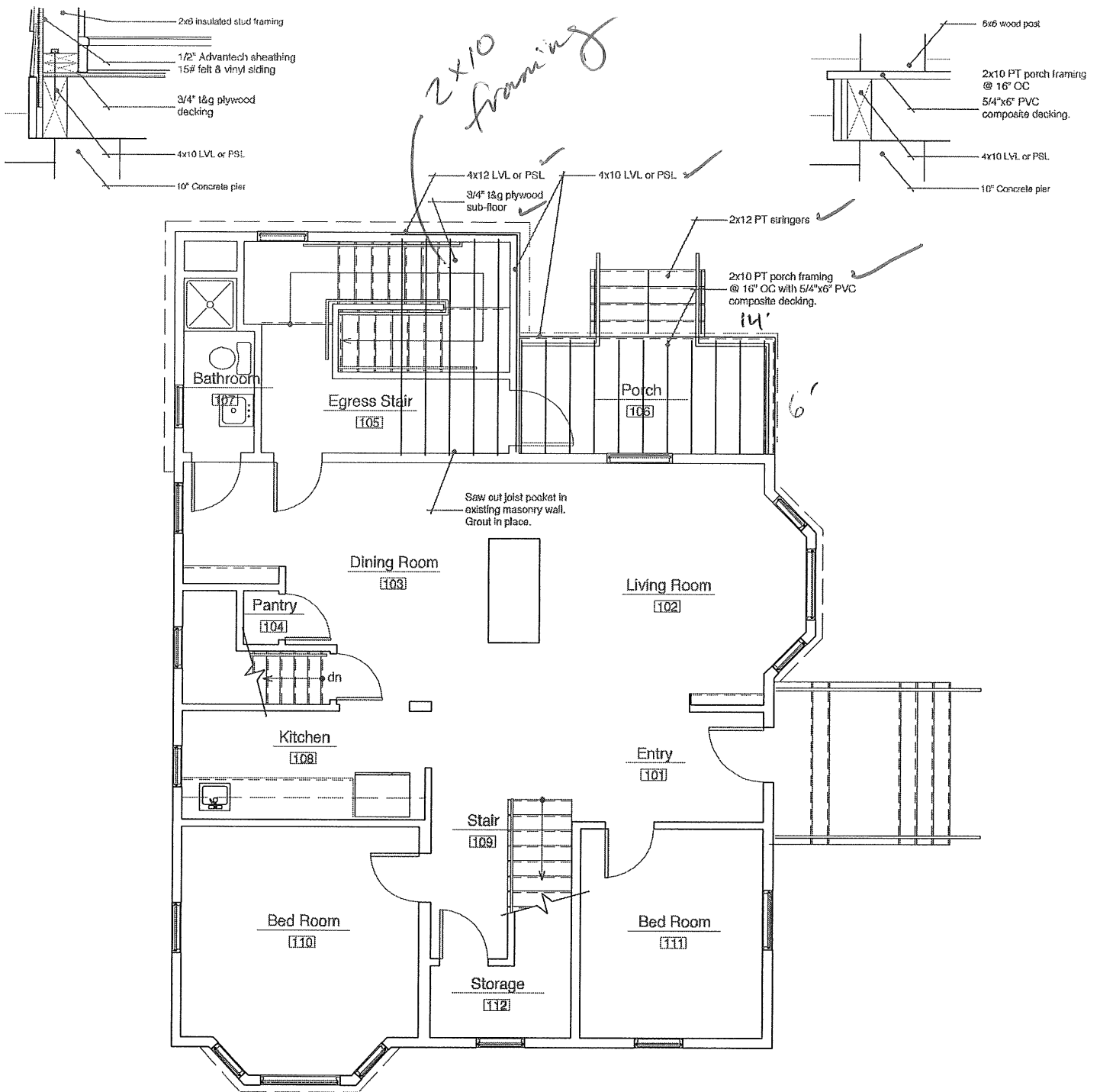
10 Proposed Floor Plan

FRAME & DOOR SCHEDULE																
DOOR NO.	LOCATION	LABEL	FRAME						DOOR		THRESHOLD	UNDERCUT	HARDWARE	SECURITY	REMARKS	
			MATERIAL	TYPE	JAMB OPENING			DETAIL		TYPE						MATERIAL
					WIDTH	HEIGHT	DEPTH	HEAD	JAMB							
101	Bed Room	20 Min	WD	F1	2'-8"	6'-8"	4 1/2"	H1	J01	D1	WD	-	1/2"	HW1	-	Replace existing door with 20 minute wood re-frame opening as req'd
102	Storage	20 Min	WD	F1	2'-8"	6'-6"	4 1/2"	H1	J01	D1	WD	-	1/2"	HW1	-	Replace existing door with 20 minute wood re-frame opening as req'd
103	Bed Room	20 Min	WD	F1	2'-8"	6'-8"	4 1/2"	H1	J01	D1	WD	-	1/2"	HW1	-	Replace existing door with 20 minute wood re-frame opening as req'd
104	Stair	20 Min	WD	F1	2'-8"	6'-8"	4 1/2"	H1	J01	D1	WD	Alum	1/2"	HW3	-	Replace existing door with 60 minute wood re-frame opening as req'd
105	Egress Stair	60 Min	WD	F1	2'-10"	6'-8"	8 1/2"	H2	J02	D1	WD	Alum	1/2"	HW2	-	Replace existing door with 60 minute wood re-frame opening as req'd
106	Porch	60 Min	WD	F1	2'-10"	6'-8"	6 5/8"	H3	J03	D1	FG	Alum	1/2"	HW2	-	Replace existing door with 60 minute wood re-frame opening as req'd
201	Bed Room	20 Min	WD	F1	2'-8"	6'-8"	4 1/2"	H1	J01	D1	WD	-	1/2"	HW1	-	Replace existing door with 20 minute wood re-frame opening as req'd
202	Hallway	20 Min	WD	F1	2'-8"	6'-8"	4 1/2"	H1	J01	D1	WD	-	1/2"	HW1	-	Replace existing door with 20 minute wood re-frame opening as req'd
203	Stair	20 Min	WD	F1	2'-8"	6'-6"	4 1/2"	H1	J01	D1	WD	-	1/2"	HW1	-	Replace existing door with 20 minute wood re-frame opening as req'd
204	Bed Room	20 Min	WD	F1	2'-8"	6'-8"	4 1/2"	H1	J01	D1	WD	-	1/2"	HW1	-	Replace existing door with 20 minute wood re-frame opening as req'd
205	Bed Room	20 Min	WD	F1	2'-8"	6'-8"	4 1/2"	H1	J01	D1	WD	-	1/2"	HW1	-	Replace existing door with 20 minute wood re-frame opening as req'd
206	Bed Room	20 Min	WD	F1	2'-8"	6'-8"	4 1/2"	H1	J01	D1	WD	-	1/2"	HW1	-	Replace existing door with 20 minute wood re-frame opening as req'd
208	Egress Stair	60 Min	WD	F1	2'-10"	6'-8"	8 1/2"	H2	J02	D1	WD	Alum	1/2"	HW2	-	Replace existing door with 60 minute wood re-frame opening as req'd
301	Bed Room	20 Min	WD	F1	2'-8"	6'-8"	4 1/2"	H1	J01	D1	WD	-	1/2"	HW1	-	Replace existing door with 20 minute wood re-frame opening as req'd
303	Bed Room	20 Min	WD	F1	2'-8"	6'-8"	4 1/2"	H1	J01	D1	WD	-	1/2"	HW1	-	Replace existing door with 20 minute wood re-frame opening as req'd
305	Bathroom	20 Min	WD	F1	2'-8"	6'-6"	4 1/2"	H1	J01	D1	WD	-	1/2"	HW1	-	Replace existing door with 20 minute wood re-frame opening as req'd
307	Closet	20 Min	WD	F1	2'-8"	6'-8"	4 1/2"	H1	J01	D1	WD	-	1/2"	HW1	-	Replace existing door with 20 minute wood re-frame opening as req'd
306	Egress Stair	60 Min	WD	F1	2'-10"	6'-8"	8 1/2"	H2	J02	D1	WD	Alum	1/2"	HW2	-	Replace existing door with 60 minute wood re-frame opening as req'd

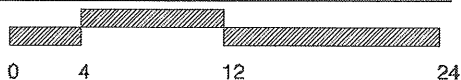


- | | |
|---|---|
| J1 | Jamb detail designation |
| Max. Rating
45 Minutes | Maximum fire rating for opening |
| Head Detail
D1,D3 | Head type references for this detail |
| Part Types
306-309
301-304 | Partition type references for this detail |

Frame / Door Notes



10 Proposed Floor Framing Plan



GARRISON
CONSULTING

41 edgewood ave
portland, maine 04103
telephone 207 450 0750

e-mail matthewwinch@earthlink.net

Sue Wright House

899 Riverside St.
Portland, Maine

**Proposed
First Floor Plan**

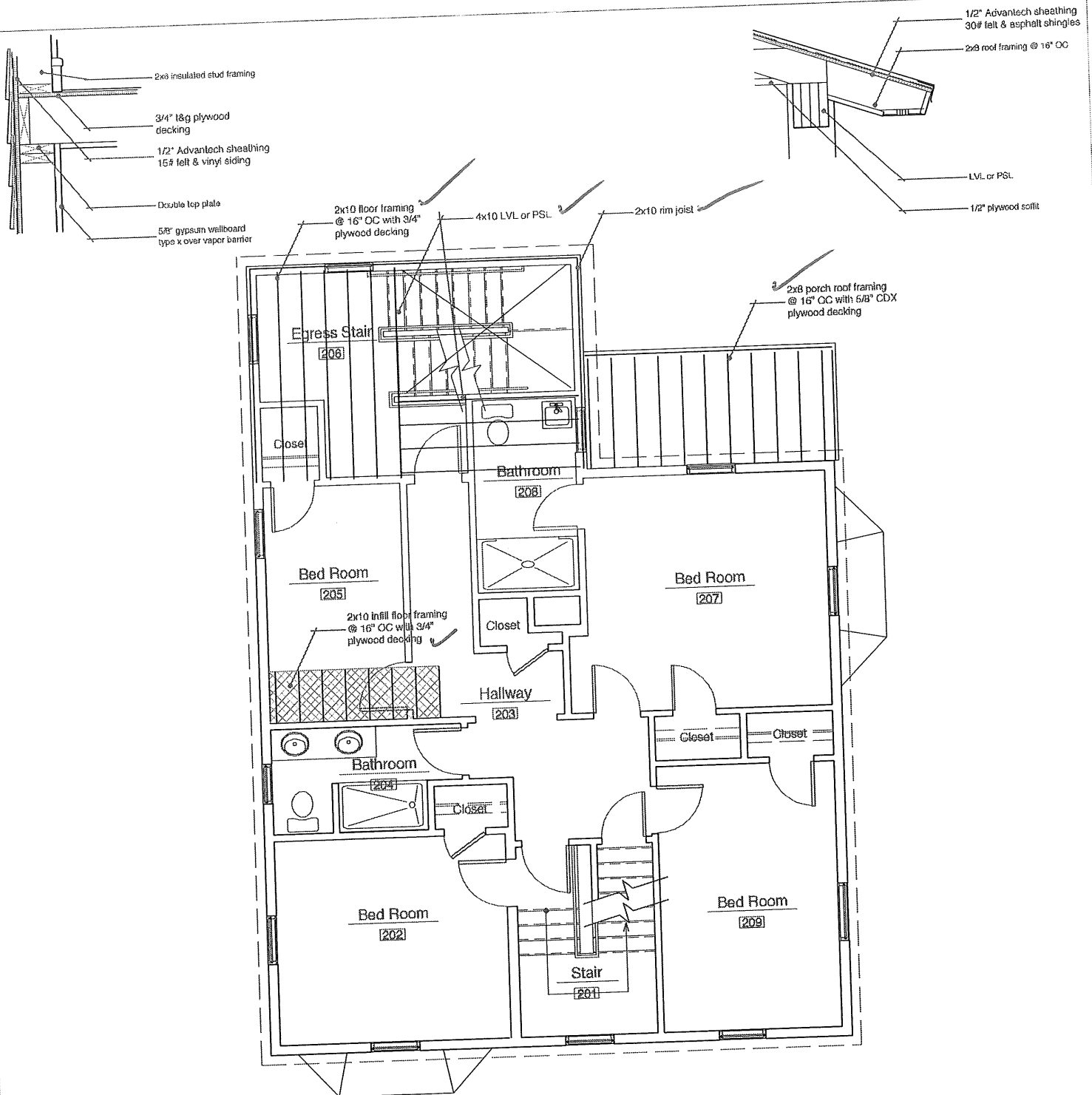
Scale: 1/8" = 1'-0" Date: 08/03/10

Drawn By: MGW

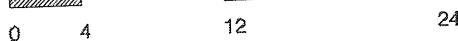
Project No: 2010-006

DWG NO:

FRA-01



10 Proposed Floor Framing Plan



GARRISON
CONSULTING

41 edgewood ave
portland, maine 04103
telephone 207 450 0750

e-mail matthewwinch@earthlink.net

Sue Wright House

899 Riverside St.
Portland, Maine

**Proposed
Second Floor Plan**

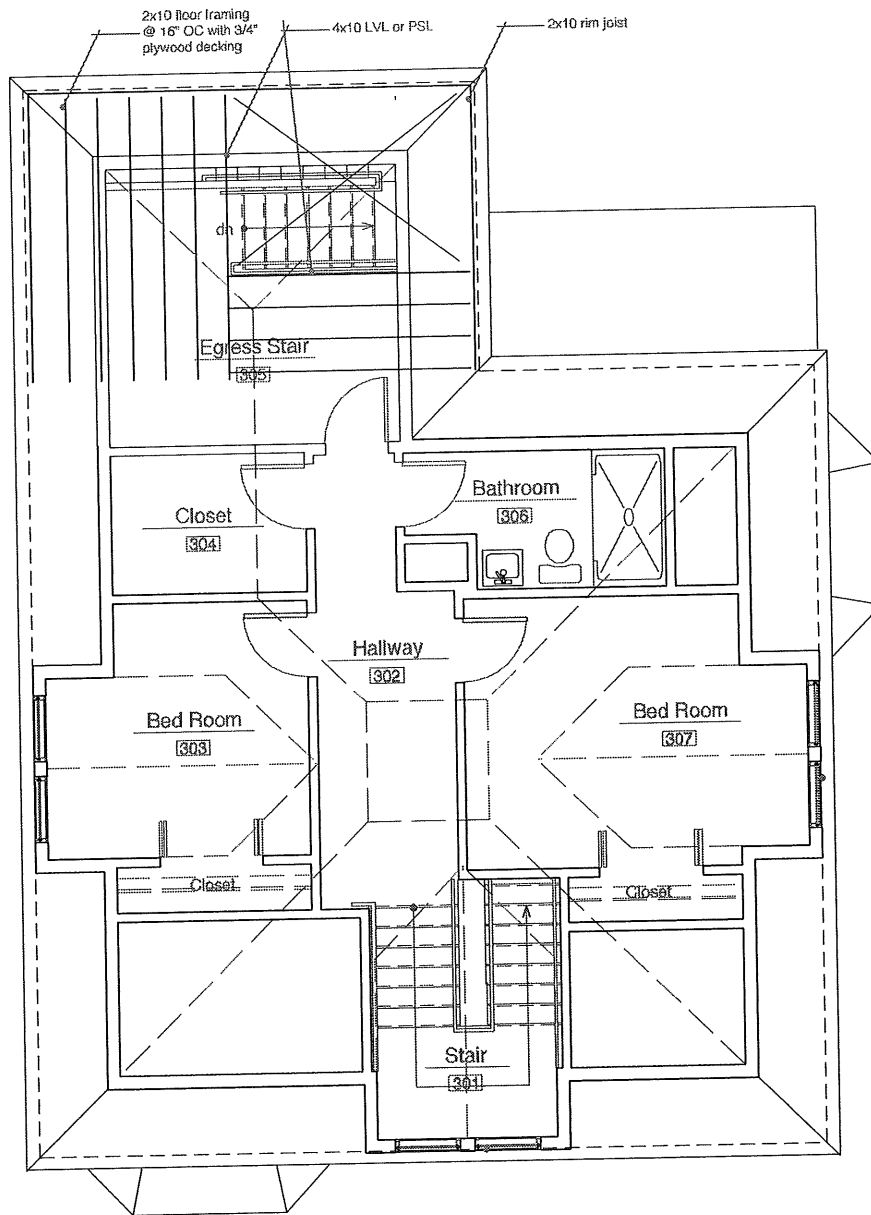
Scale: 1/8" = 1'-0" Date: 08/03/10

Drawn By: MGW

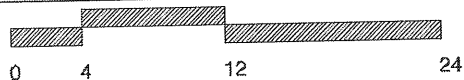
Project No: 2010-006

DWG NO:

FRA-02



10 Proposed Floor Framing Plan



GARRISON
CONSULTING

41 edgewood ave
portland, maine 04103
telephone 207 450 0750

e-mail matthewwinch@earthlink.net

Sue Wright House

899 Riverside St.
Portland, Maine

**Proposed
Third Floor Framing Plan**

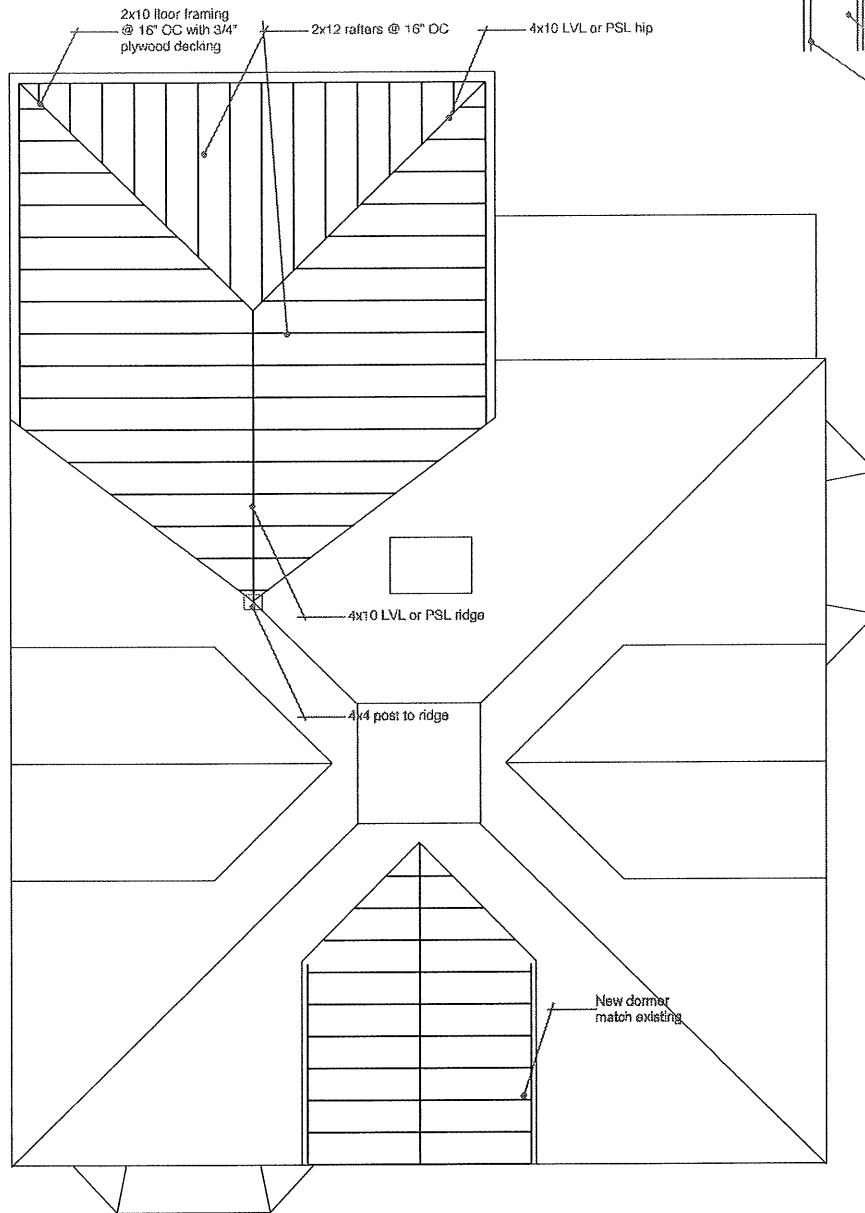
Scale: 1/8" = 1'-0" Date: 08/03/10

Drawn By: MGW

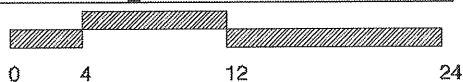
Project No: 2010-006

DWG NO:

FRA-03



10 Proposed Roof Framing Plan



GARRISON
CONSULTING

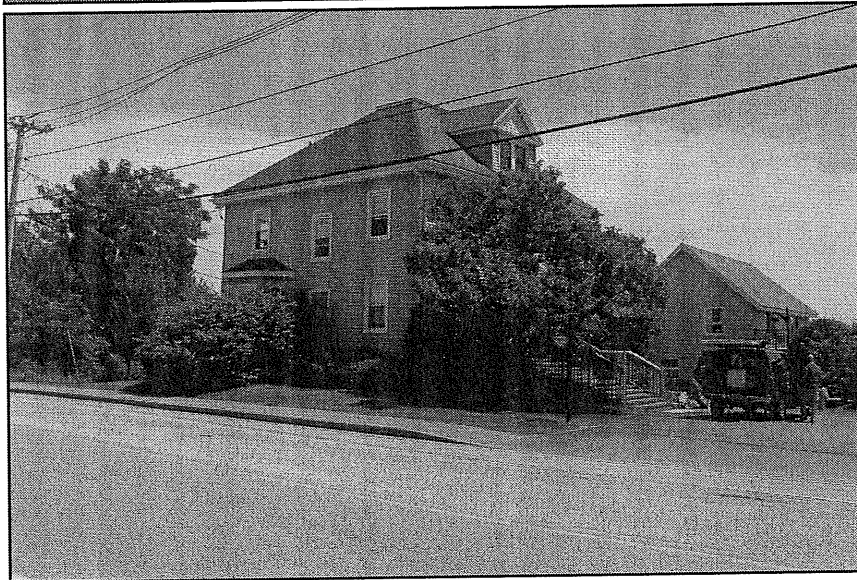
41 edgewood ave
portland, maine 04103
telephone 207 450 0750

e-mail matthewwinch@earthlink.net

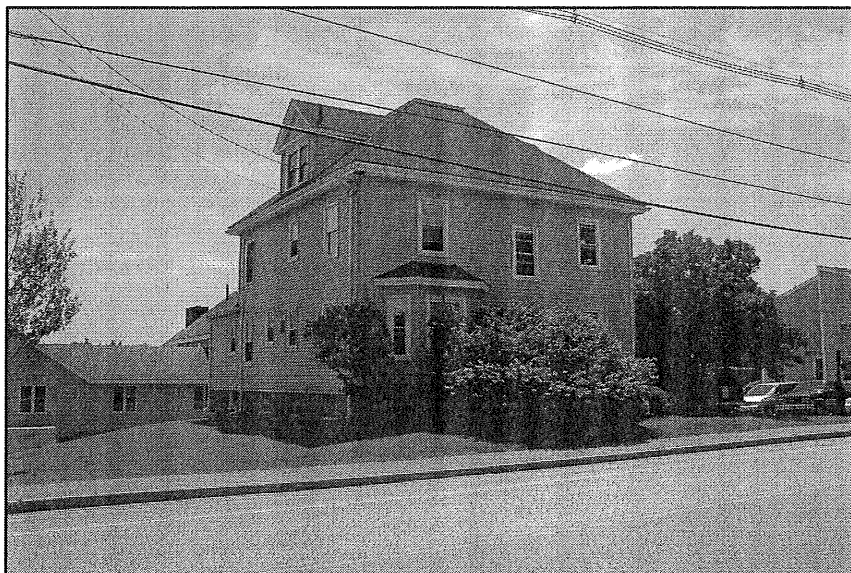
Sue Wright House
899 Riverside St.
Portland, Maine
**Proposed
Roof Framing Plan**

Scale: 1/8" = 1'-0" Date: 08/03/10
Drawn By: MGW
Project No: 2010-006
DWG NO:

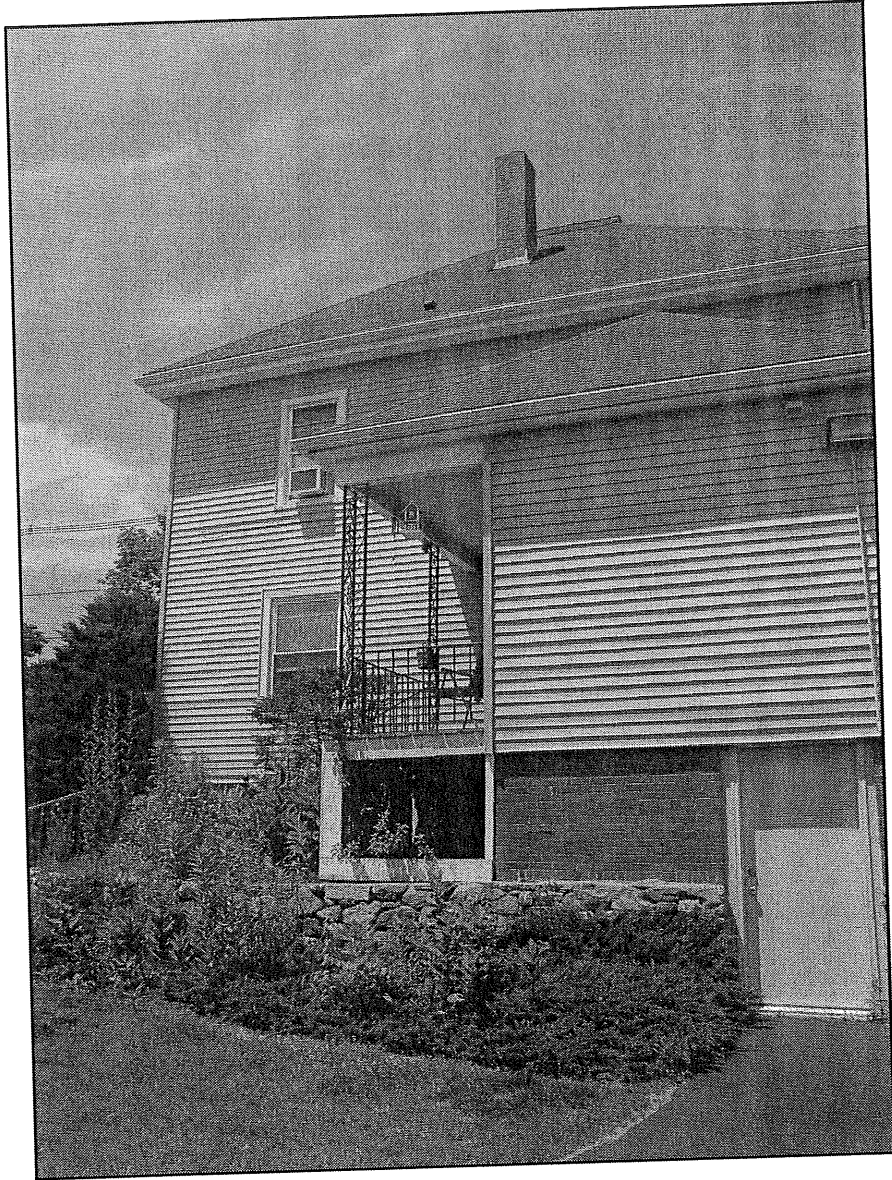
FRA-04



View of front door (top)
View from Riverside St (bottom)



View looking south from Riverside St (top)
View of the north side of the residence (bottom)



View of the back side of the Residence

EDGEFIELD LODGE, CASCO
10 CANDLEWYCK ROAD, PORTLAND
98 RACKLEFF STREET, PORTLAND
899 RIVERSIDE STREET, PORTLAND
18 SONNET LANE, PORTLAND
342 WOODFORDS STREET, PORTLAND

WARRANTY DEED
Maine Statutory Short Form

No 82135 Bk 11161 Pg 333

KNOW ALL PERSONS BY THESE PRESENTS, that SPURWINK ASSOCIATES LIMITED PARTNERSHIP (f/k/a SPURWINK ASSOCIATES), a Maine limited partnership with a place of business in Portland, in the County of Cumberland and State of Maine, for consideration paid, GRANTS with WARRANTY COVENANTS TO:

THE SPURWINK SCHOOL, a not-for-profit corporation with a place of business in Portland, County of Cumberland, State of Maine, whose mailing address is 899 Riverside Street, Portland, Maine:

Parcel One - Edgefield Lodge, Casco: Two (2) certain lots or parcels of land with the buildings thereon, situated on the easterly side of the highway leading through Casco Village to Spurr's Corner, so-called, in the Town of Casco, County of Cumberland and State of Maine, being more particularly bounded and described on Exhibit A annexed hereto and made a part hereof.

Being a portion of the premises conveyed to Spurwink Associates by warranty deed of Richard M. Smith and Harvey J. Berman dated December 5, 1983 and recorded in the Cumberland County Registry of Deeds in Book 6342, Page 331.

Parcel Two - 10 Candlewyck Road, Portland: A certain lot or parcel of land with the buildings thereon, situated on Candlewyck Road, in the City of Portland, County of Cumberland and State of Maine, being more particularly bounded and described on Exhibit B annexed hereto and made a part hereof.

Being a portion of the premises conveyed to Spurwink Associates by warranty deed of Harvey J. Berman, et al. dated December 5, 1983 and recorded in said Registry of Deeds in Book 6342, Page 329.

Parcel Three - 98 Rackleff Street, Portland: A certain lot or parcel of land with the buildings thereon, situated on the southerly side of Rackleff Street, in the City of Portland, County of Cumberland and State of Maine, being more particularly bounded and described on Exhibit C annexed hereto and made a part hereof.

Being a portion of the premises conveyed to Spurwink Associates by warranty deed of Harvey J. Berman, et al. dated December 5, 1983 and recorded in said Registry of Deeds in Book 6342, Page 329.

Parcel Four - 899 Riverside Street, Portland: Two (2) certain lots or parcels of land with the buildings thereon, situated on the southeasterly side of Riverside Street, in the City of Portland, County of Cumberland and State of Maine, being more particularly bounded and described on Exhibit D annexed hereto and made a part hereof.

MAINE REAL ESTATE TAX PAID

82/35 B

Being a portion of the premises conveyed to Spurwink Associates by warranty deed of The Spurwink Riverside Corporation dated December 5, 1983 and recorded in said Registry of Deeds in Book 6342, Page 336.

Parcel Five - 18 Sonnet Lane, Portland: A certain lot or parcel of land with the buildings thereon, situated on the southerly side of Sonnet Lane, in the City of Portland, County of Cumberland and State of Maine, being more particularly bounded and described on Exhibit E annexed hereto and made a part hereof.

Being the same premises conveyed to Spurwink Associates by warranty deed of Janice M. Hawkins-Donovan dated February 20, 1990 and recorded in said Registry of Deeds in Book 9092, Page 15.

Parcel Six - 342 Woodfords Street, Portland: A certain lot or parcel of land with the buildings thereon, situated on Woodfords Street, in the City of Portland, County of Cumberland and State of Maine, being more particularly bounded and described on Exhibit F annexed hereto and made a part hereof.

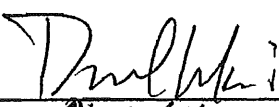
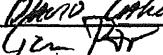
Being a portion of the premises conveyed to Spurwink Associates by warranty deed of Harvey J. Berman, et al. dated December 5, 1983 and recorded in said Registry of Deeds in Book 6342, Page 329.

IN WITNESS WHEREOF, the said SPURWINK ASSOCIATES LIMITED PARTNERSHIP has caused this instrument to be signed this 13th day of December, 1993.

SIGNED, SEALED AND DELIVERED
IN THE PRESENCE OF



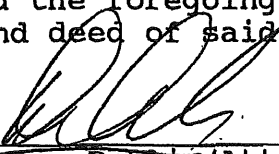
SPURWINK ASSOCIATES LIMITED
PARTNERSHIP

By 
Its 

STATE OF MAINE
COUNTY OF CUMBERLAND

December 13, 1993

Personally appeared the above-named David Lakavi, in his said capacity, and acknowledged the foregoing to be his free act and deed, and the free act and deed of said corporation, before me.


Notary Public/Attorney at Law



Printed Name

EXHIBIT D899 Riverside Street, Portland, Maine

A certain lot or parcel of land located in the City of Portland, County of Cumberland, and State of Maine, bounded and described as follows:

Beginning at a stone monument in the southeasterly side of Riverside Street, which monument marks the southwesterly corner of land conveyed by Jefferson H. Hodges, et al. to Richard M. Smith by deed dated July 12, 1960, and recorded in the Cumberland County Registry of Deeds, Book 2553, Page 229; THENCE, southeasterly along line of land formerly of said Smith and now of Spurwink Associates 417.8 feet to the southeasterly corner thereof; THENCE, continuing southeasterly along line of land conveyed by Jefferson H. Hodges, et al. to Riverside Industrial Park, Inc. by deed dated February 24, 1964 and recorded in said Registry in Book 2806, Page 441, 138.06 feet, more or less, to a fence which marked the line of land formerly of Lydia J. Stevens; THENCE, southwesterly 404.13 feet to an angle in said fence; THENCE, northwesterly 551.63 feet by line of said fence and over a stone monument to the southeasterly side of Riverside Street; THENCE, northeasterly by said Riverside Street 408.84 feet, more or less, to the stone monument at the point of beginning. Containing 5.16 acres, more or less.

Also, a certain lot or parcel of land with the buildings thereon situated on the southeasterly side of Riverside Street in the City of Portland, County of Cumberland and State of Maine, bounded and described as follows:

Beginning at a stone monument in the southeasterly side of Riverside Street, said stone monument being distant 408.84 feet, northeasterly from the northwesterly corner of the land conveyed to Jefferson H. Hodges and Edith G. Hodges by Arthur H. Jones by deed dated January 22, 1942, and recorded in Book 1667, Page 123; THENCE, North 36° 23' East along the southeasterly sideline of Riverside Street, a distance of 414.43 feet, to an iron; THENCE, South 42° 32' East, a distance of 425.4 feet to a point; THENCE, South 36° 18' West a distance of 353.3 feet to a point; THENCE, North 51° 03' West a distance of 417.8 feet, more or less, to the monument in the southeasterly sideline of Riverside Street and the point of beginning.

Together with the benefit of the rights reserved as set forth in the deed to Corley Family Realty Limited Partnership dated September 30, 1988, and recorded in Book 8467, Page 86, that no building or paving shall be constructed or placed within 30 feet of the southwesterly sideline of Spurwink Associates' remaining land and landscaping shall substantially adhere to the plans of Corley Family Realty Limited Partnership, approved by Spurwink Associates. This condition shall run with the land and shall bind Spurwink Associates and Corley Family Realty Limited Partnership herein, their respective successors and assigns, and all parties claiming by, through, or under them, so long as Spurwink Associates maintains the same buffer in which no building or paving shall be constructed or placed within 30 feet of Corley Family Realty Limited Partnership's northeasterly sideline.

excepting that certain lot or parcel of land conveyed to Corley Realty Limited Partnership by deed dated September 30, 1988, recorded in Book 8497, Page 86, and bounded and described as follows:

A certain lot or parcel of land situated on the southeast side of Riverside Street, in the City of Portland, County of Cumberland and State of Maine:

Beginning at a point on the southeast sideline of Riverside Street marking the westerly corner of land herein described and the northerly corner of land now or formerly of Eve Mitchell, said point being North $50^{\circ} 22' 1.2''$ West 11.47 feet from a granite monument; THENCE, North $38^{\circ} 26' 30''$ East along the southeasterly side of said Riverside Street 408.84 feet to an angle point; THENCE, North $36^{\circ} 47' 33.6''$ East along the southeasterly side of said Riverside Street 14.12 feet to a point marking the northerly corner of land herein described and land of Spurwink Associates; THENCE, South $51^{\circ} 33' 30''$ East 421 feet along land of Spurwink Associates to a point marking and easterly corner of land herein described and land now or formerly of the City of Portland; THENCE, South $36^{\circ} 18'$ West 29.17 feet along land now or formerly of the City of Portland to an iron pipe marking a corner of land herein described; THENCE, South $51^{\circ} 03'$ East 138.06 feet along land of the City of Portland to an iron pipe marking the easterly corner of land herein described and land now or formerly of Riverside Industrial Park; THENCE, South $39^{\circ} 36' 30''$ West 404.13 feet along land of Riverside Industrial Park to an iron pipe marking the southerly corner of land herein described and land now or formerly of Mount Holyoke College; THENCE, North $50^{\circ} 22' 1.2''$ West 540.16 feet along land now or formerly of Mount Holyoke College and Eve Mitchell to a granite monument; THENCE, North $50^{\circ} 22' 1.2''$ West 11.47 feet along land now or formerly of Eve Mitchell to the southeast sideline of Riverside Street and the point of beginning, containing 5.377 acres.

From: "Matthew G. Winch" <matthewwinch@earthlink.net>
To: Jeanie Bourke <JMB@portlandmaine.gov>
Date: 10/12/2010 11:29 AM
Subject: 899 Riverside - Sue Wright House
Attachments: FRA01 Sue Wright 100710.pdf; FRA03 Sue Wright 100710.pdf; SKA03 Sue Wright 100710.pdf; SKA02 Sue Wright 100710.pdf; SKA01 Sue Wright 100710.pdf; SKA06 Sue Wright 100710.pdf; Part.007

Hi Jeanie -

Have attached updated drawings that address the questions you posed from our conversation last week. These questions were part of items you felt needed clarification from our building permit submittal to the City on August 3, 2010.

SKA-01 - Added a note specifying Tempered Glass on the stairway window. Also added a dimension of the stair width.

SKA-02 - Added a note specifying Tempered Glass on the stairway window. Also added a dimension of the stair width.

SKA-03 - Reconfigured the location of the bathroom to eliminate any questionable headroom concerns. Original proposed location may have necessitated another costly dormer. Have also added a couple of elevations of the bathroom. Also added a dimension of the stair width

SKA-06 - Added notes and dimensions for tread depth, a dimension showing we are clear of 6'-8" headroom concerns. Also added a note on the Stair Section that shows min R-21 in the stairway walls.

FRA-01 - Added a couple of notes showing the sizing of precast piers to support the new porch and the expanded stair tower area. Also added a note or two to further clarify framing. Don't see it necessary to create a foundation plan.

FRA-03 - Added a note clarifying the hip roof framing and the post that supports it inside the existing structure.

Lastly, we decided to keep the Use Group I1 as per the original submittal. We need to maintain the higher NFPA Life Safety standard per the State Fire Marshall's Office anyway, and the features that Life Safety requires are fairly consistent with the I1.

Best,
Matthew

DF FRA-04 - Dormer over new stair

RECEIVED
OCT 12 2010
Dept. of Building Inspections
City of Portland Maine

1"=20'

Front yard
Set Back

Subject Structure

(2) REDSPIRE PEAR TREES (2 1/2" cal.) WILL BE LOCATED ALONG RIVERSIDE STREET. SPECIFIC LOCATION OF PLANTINGS WILL BE COORDINATED WITH CITY ARBORIST IN THE FIELD.

STREET

RIVERSIDE

LOAM & SEED ALL DISTURBED AREAS TYP.

LOAM & SEED 7

ADDITION #2

THE SPURWINK INSTITUTE

Prop
14.25

Nº 326

SHEET 361-B

STREET

RIVERSIDE

SHEET 325-A

SHEET 328-A

MAINE TURNPIKE

CITY OF PORTLAND
ASSESSORS PLAN
SCALE 1" = 50'

REVISED 1-78

4
146,284

3
134,164

1
137,649

11
107,157

2
121,968

2
84,402

1
84,942

3
108,464

551.63

20

19

7
70,567

8
60,112

9
73,180

10
58,806

4
117,176

5
141,134

PT 5

SHEET 327A-A