

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT

This is to certify that TURNPILE PROPERTIES LLC

Located At 108 INDUSTRIAL WAY

Job ID: 2012-09-4884-ALTCOMM

CBL: 326-B-001-001

has permission to Install an emergency generator
provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer


Code Enforcement Officer / Plan Reviewer

10-17-12

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD**

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Footings/Setbacks prior to pouring concrete

Close In Elec/Plmb/Frame prior to insulate or gyp

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

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Director of Planning and Urban Development
Jeff Levine

Job ID: 2012-09-4884-ALTCOMM

Located At: 108 INDUSTRIAL
WAY

CBL: 326- B-001-001

Conditions of Approval:

Zoning


1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This emergency generator shall only be tested during daylight hours during the work week. There shall be no testing in evenings or on weekends.

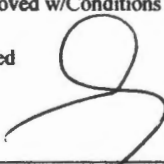
Building

Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-09-4884-ALTCOMM	Date Applied: 9/5/2012	CBL: 326- B-001-001	
Location of Construction: 108 INDUSTRIAL WAY	Owner Name: TURNPIKE PROPERTIES LLC	Owner Address: 405 WESTERN AVE # 517 SOUTH PORTLAND, ME 04106	Phone:
Business Name: New England Life Care	Contractor Name: Alliance Builders Inc. – Mark Smith	Contractor Address: 800 Turnpike ST Suite 300 NORTH ANDOVER MASSACHUSETTS 01845	Phone: (978) 886-5707
Lessee/Buyer's Name:	Phone:	Permit Type:	Zone: I-M
Past Use: Medical supply, warehouse & offices	Proposed Use: Same: Medical supply, warehouse & offices – to install an emergency generator	Cost of Work:	CEO District:
		Fire Dept: 10/16/12 <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: S-2/B Type: Elec. Signature: 
Proposed Project Description: Install new stand-by generator (gas)		Pedestrian Activities District (P.A.D.)	
Permit Taken By: Brad		Zoning Approval	

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetlands</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input checked="" type="checkbox"/> Site Plan Plan has Admin Authorization Maj ___ Min ___ MM Date: <u>OK with conditions</u> <u>9/5/12</u></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: </p>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



General Building Permit Application

Edward

9/5/12
8/30/12

(B)

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

~~2012-08-4881-UE~~ 2012-09-4881-Aitcomm

Location/Address of Construction: <u>108 INDUSTRIAL WAY, PORTLAND</u>			Total Square Footage of Proposed Structure/Area		Square Footage of Lot <u>1,95A</u>		<u>I-M</u>	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>326 B001</u>			Applicant * must be owner, Lessee or Buyer* Name <u>NEW ENGLAND LIFE CARE</u> Address <u>108 INDUSTRIAL WAY</u> City, State & Zip <u>PORTLAND ME 04103</u>			Telephone: <u>878-1288</u>		
Lessee/DBA (If Applicable)			Owner (if different from Applicant) Name <u>TURNPIKE PROPERTIES LLC</u> Address <u>405 WESTERN AVE #511</u> City, State & Zip <u>S. PORTLAND ME 04106</u>			Cost Of Work: \$ <u>42,000.00</u> C of O Fee: \$ _____ Total Fee: \$ <u>440.00</u>		
Current legal use (i.e. single family) <u>BUSINESS</u>			If vacant, what was the previous use? <u>warehouse & office</u>			Proposed Specific use: <u>NO CHANGE IN USE PROPOSED</u> <u>Home Care pharmacy med</u>		
Is property part of a subdivision? _____			If yes, please name _____			Project description: <u>INSTALLATION OF NEW STAND-BY GENERATOR</u> <u>(NATURAL GAS FIRED)</u>		
Contractor's name: <u>ALLIANCE BUILDERS INC.</u>			Address: <u>800 TURNPIKE ST, SUITE 300</u>			City, State & Zip: <u>NORTH ANDOVER MA 01845</u>		
Who should we contact when the permit is ready: <u>MARK SMITH</u>			Telephone: <u>(978) 886-5707</u>			Mailing address: <u>800 TURNPIKE ST., SUITE 300, NORTH ANDOVER MA 01845</u>		

RECEIVED
AUG 29 2012
City of Building Inspections
City of Portland Maine

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have the authority to make this application as his/her authorized agent. I agree to conform to all applicable laws of the City of Portland, Maine. If a permit for work described in this application is issued, I certify that the Code Official's authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the Code of Ordinances shall not be hindered.

admin. Auth - w/ permit 9/19/12 60

Sign _____ Date: 8/23/2012

you may not commence ANY work until the permit is issue



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Receipts Details:

Tender Information: Check , Check Number: 1951
Tender Amount: 440.00

Receipt Header:

Cashier Id: bsaucier
Receipt Date: 8/30/2012
Receipt Number: 47712

Receipt Details:

Referance ID:	7850	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	440.00	Charge Amount:	440.00
Job ID: Job ID: 2012-08-4851-UI - Install new stand-by generator (gas)			
Additional Comments: 108 industrial way			

Thank You for your Payment!

b. The following uses and activities shall also be exempt from the requirements of subsection (d)3 of this section:

- i. The noises of safety signals, warning devices, emergency pressure relief valves, and any other emergency devices.
- ii. Traffic noise on public roads or noise created by airplanes and railroads.
- iii. Noise created by refuse and solid waste collection, provided that the activity is conducted between 6:00 a.m. and 7:00 p.m.
- iv. Emergency construction or repair work by public utilities, at any hour.
- v. Noise created by any recreational activities which are permitted by law and for which a license or permit has been granted by the city, including but not limited to parades, sporting events, and fireworks displays.

- (b) *Electromagnetic interference:* There shall be no electromagnetic interference that adversely affects the operation of any equipment other than that belonging to the creator of such interference, or that does not conform to the regulations of the Federal Communications Commission.
- (c) *Vibrations:* Any use creating earthshaking vibrations shall be controlled in such a manner as to prevent transmission beyond lot lines of vibrations causing a displacement of .003 or greater on one (1) inch, as measured by a vibrograph or similar instrument at the property boundaries.
- (d) *Glare, heat:* Any use shall be in an enclosed structure in such a manner that glare and heat shall be imperceptible from neighboring properties.
- (e) *Discharge of toxic or noxious matter:* All discharges of toxic or noxious matter shall be made in accordance with



Administrative Authorization Application

Portland, Maine

Planning and Urban Development Department, Planning Division

PROJECT NAME: NEW ENGLAND LIFE CALL

PROJECT ADDRESS: ¹⁰⁸ 108 INDUSTRIAL CHART/BLOCK/LOT: 326/1001

APPLICATION FEE: _____ (\$50.00)

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of the Proposal/Development)

STANDARD GARAGE INSTALLATION

CONTACT INFORMATION:

OWNER/APPLICANT

CONSULTANT/AGENT

Name: Alliance Builders Inc

Name: _____

Address: 800 TUXPICA ST.

Address: _____

SUITE 300 NOLPH AVENUE MA

Work #: 978-725-9592

Work #: _____

Cell #: 978-886-5707

Cell #: _____

Fax #: 978-490-1085

Fax #: _____

Home #: _____

Home #: _____

E-mail: msmith@alliancebuilders.net

E-mail: _____

Criteria for an Administrative Authorization:

(see section 14-523(4) on pg .2 of this appl.)

Applicant's Assessment

Y(yes), N(no), N/A

- | | |
|---|--|
| a) Is the proposal within existing structures? | <u>NO -</u> |
| b) Are there any new buildings, additions, or demolitions? | <u>NO</u> |
| c) Is the footprint increase less than 500 sq. ft.? | <u>YES</u> |
| d) Are there any new curb cuts, driveways or parking areas? | <u>NO</u> |
| e) Are the curbs and sidewalks in sound condition? | <u>YES</u> |
| f) Do the curbs and sidewalks comply with ADA? | <u>N/A</u> |
| g) Is there any additional parking? | <u>NO</u> |
| h) Is there an increase in traffic? | <u>NO</u> |
| i) Are there any known stormwater problems? | <u>NO</u> |
| j) Does sufficient property screening exist? | <u>YES</u> |
| k) Are there adequate utilities? | <u>YES</u> |
| l) Are there any zoning violations? | <u>NO</u> |
| m) Is an emergency generator located to minimize noise? | <u>YES - PROVIDED IN FULL ACCOUNTING</u> |
| n) Are there any noise, vibration, glare, fumes or other impacts? | <u>NO</u> |

CITY STREET ENCL 52

Signature of Applicant:	Date: <u>8/29/2012</u>
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IMPORTANT NOTICE TO APPLICANT: The granting of an Administrative Authorization to exempt a development from site plan review does not exempt this proposal from other required approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (207)874-8703, to determine what other City permits, such as a building permit, will be required.

Administrative Authorization Decision

Name: New England Life Care
Address: 108 Industrial Way
Project Description: Standby Generator Installation

Criteria for an Administrative Authorizations:
(See Section 14-523 (4) on page 2 of this application)


Applicant's Assessment
Y(yes), N(no), N/A

Planning Division
Use Only

a) Is the proposal within existing structures?	No	No
b) Are there any new buildings, additions, or demolitions?	No	No
c) Is the footprint increase less than 500 sq. ft.?	Yes	Yes
d) Are there any new curb cuts, driveways or parking areas?	No	No
e) Are the curbs and sidewalks in sound condition?	Yes	Yes
f) Do the curbs and sidewalks comply with ADA?	n/a	n/a
g) Is there any additional parking?	No	No
h) Is there an increase in traffic?	No	No
i) Are there any known stormwater problems?	No	No
j) Does sufficient property screening exist?	Yes	Yes
k) Are there adequate utilities?	Yes	Yes
l) Are there any zoning violations?	No	No
m) Is an emergency generator located to minimize noise?	Yes	Yes
n) Are there any noise, vibration, glare, fumes or other impacts?	No	No

The Administrative Authorization for the standby generator at 108 Industrial Way was approved by Barbara Barhydt, Development Review Services Manager on September 13, 2012 with the following condition(s) of approval listed below:

1. **Standard Condition of Approval:** The applicant shall obtain all required City Permits, including building permits from the Inspection Division (874-8703) and any other permits required from the Department of Public Services (874-8801) prior to the start of any construction.
2. The periodic testing of the generator for maintenance purposes shall be conducted during business hours Monday through Friday and shall not be tested at night between 6 p.m. and 8 a.m. nor on weekends.



Barbara Barhydt
Development Review Services Manager
Date of Approval: September 13, 2012

Barbara Barhydt - New England Life Care, 108 Industrial Way

From: "Mark Smith" <msmith@alliancebuilders.net>
To: "Barbara Barhydt" <bab@portlandmaine.gov>
Date: Wednesday, September 05, 2012 1:35 PM
Subject: New England Life Care, 108 Industrial Way
Attachments: C.1 - 108 Industrial Way.pdf

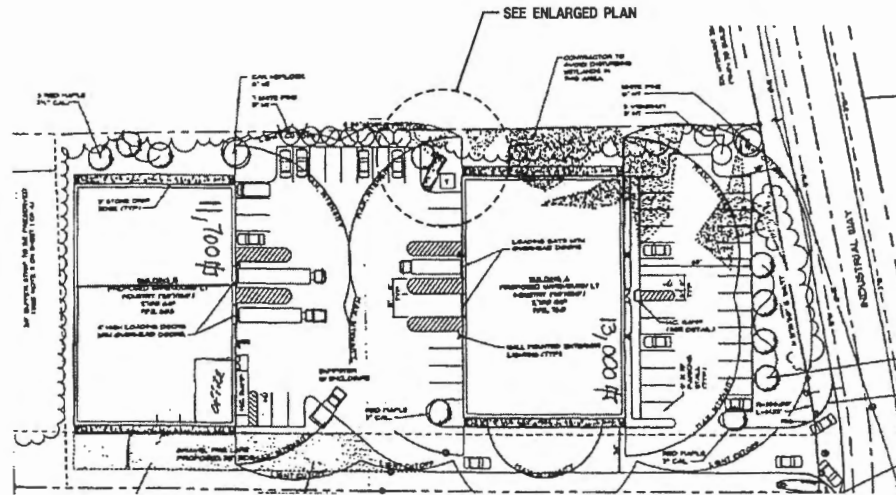
Barbara –

In response to your voice mail from earlier today, we have attached a copy of the site plan that was submitted to the Building Department at the time we submitted the review application to your office (the building department had indicated that we did not need to submit an additional copy of the plan to your office.)

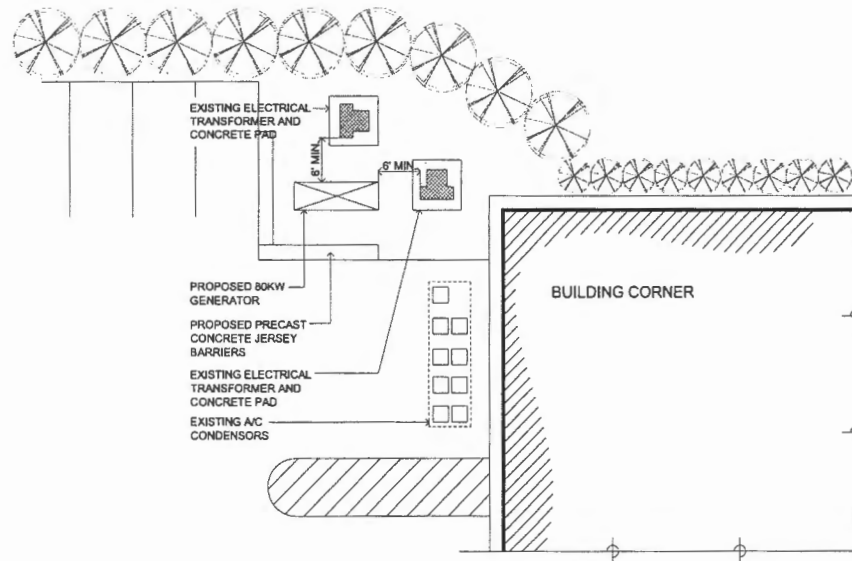
As you will see, we are proposing to install a stand-by generator behind the rear corner of the existing building adjacent to the existing CMP transformers. The proposed generator will be provided with a factory installed acoustical enclosure.

Please feel free to contact me directly should you have any questions regarding this project – I can be reached at my cell at 978-886-5707.

Mark A. Smith
Alliance Builders, Inc.
800 Turnpike Street, Suite 300
North Andover, MA 01845
(O) (978) 725-9592
(F) (978) 470-1085
(C) (978) 886-5707
msmith@alliancebuilders.net



SITE PLAN



ENLARGED PLAN

NEW ENGLAND LIFE CARE
PROPOSED GENERATOR INSTALLATION

108 INDUSTRIAL WAY
PORTLAND, MAINE 04103

ALLIANCE
BUILDERS

800 Tunpike Street, Suite 300
North Andover, MA 01845

DATE: 10/11/11
SCALE: 1/8" = 1'-0"

PROPOSED
SITE PLAN

C.1

