

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT

This is to certify that: Turnpike Properties, LLC.

Located At 108 INDUSTRIAL WAY

Job ID: 2011-10-2492-ALTCOMM

CBL: 326-B-001-001

has permission to Interior renovations for new cleanroom and revovation of pharmacy support space provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

11/23/2011

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY

PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Required Inspection:

1. Close In Elec/Plmb/Frame prior to insulate or gyp
2. Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life - www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2011-10-2492-ALTCOMM

Located At: 108 INDUSTRIAL
WAY

CBL: 326- B-001-001

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. The use of the front building on this property shall remain as medical supply and home care pharmacy. Any change of use shall require a separate permit application for review and approval.

Building

1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
2. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process

Fire

All construction shall comply with City Code Chapter 10.

Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit and on the same circuit as the lighting for the area they serve.

Fire extinguishers are required. Installation per NFPA 10.

The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.

A separate Fire Alarm Permit is required for new systems; or for work effecting more than 5 fire alarm devices; or replacement of a fire alarm panel with a different model.

A separate Suppression System Permit is required for all new suppression systems or sprinkler work effecting more than 20 heads.

Sprinkler protection shall be maintained. Where the system is to be shut down for maintenance or repair, the system shall be checked at the end of each day to insure the system has been placed back in service.

Non-combustible construction of this structure requires all construction to be Non-combustible.

Any cutting and welding done will require a Hot Work Permit from Fire Department.



Certificate of Design Application

From Designer:

PASCO ASSOCIATES ARCHITECTS INC

Date:

SEPT 19, 2011

Job Name:

NEW ENGLAND LIFE CARE CLEAN ROOM EXPANSION

Address of Construction:

108 INDUSTRIAL WAY

2009 INTERNATIONAL EXISTING BUILDING CODE

~~2003 International Building Code~~

Construction project was designed to the building code criteria listed below:

Building Code & Year 2009 IEBC Use Group Classification (s) (7690B)(2490 S-1)

Type of Construction II-B

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC N/A

Is the Structure mixed use? YES If yes, separated or non separated or non separated (section 302.3) NON-SEP.

Supervisory alarm System? N/A Geotechnical/Soils report required? (See Section 1802.2) _____

Structural Design Calculations

N/A Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

Wind loads (1603.1.4, 1609)

- ~~_____~~ Design option utilized (1609.1.1, 1609.6)
- ~~_____~~ Basic wind speed (1809.3)
- ~~_____~~ Building category and wind importance Factor, I_w (table 1604.5, 1609.5)
- ~~_____~~ Wind exposure category (1609.4)
- ~~_____~~ Internal pressure coefficient (ASCE 7)
- ~~_____~~ Component and cladding pressures (1609.1.1, 1609.6.2.2)
- ~~_____~~ Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

- ~~_____~~ Design option utilized (1614.1)
- ~~_____~~ Seismic use group ("Category")
- ~~_____~~ Spectral response coefficients, S_D & S_I (1615.1)
- ~~_____~~ Site class (1615.1.5)

- ~~_____~~ Live load reduction
- ~~_____~~ Roof *live* loads (1603.1.2, 1607.11)
- ~~_____~~ Roof snow loads (1603.7.3, 1608)
- ~~_____~~ Ground snow load, P_g (1608.2)
- ~~_____~~ If $P_g > 10$ psf, flat-roof snow load P_f
- ~~_____~~ If $P_g > 10$ psf, snow exposure factor, C_e
- ~~_____~~ If $P_g > 10$ psf, snow load importance factor, I_s
- ~~_____~~ Roof thermal factor, C_t (1608.4)
- ~~_____~~ Sloped roof snowload, P_s (1608.4)
- ~~_____~~ Seismic design category (1616.3)
- ~~_____~~ Basic seismic force resisting system (1617.6.2)
- ~~_____~~ Response modification coefficient, R_f and deflection amplification factor C_d (1617.6.2)
- ~~_____~~ Analysis procedure (1616.6, 1617.5)
- ~~_____~~ Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

- ~~_____~~ Flood Hazard area (1612.3)
- ~~_____~~ Elevation of structure

Other loads

- ~~_____~~ Concentrated loads (1607.4)
- ~~_____~~ Partition loads (1607.5)
- ~~_____~~ Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)

SEE SUMMARY DESIGNED ON DWG "N"



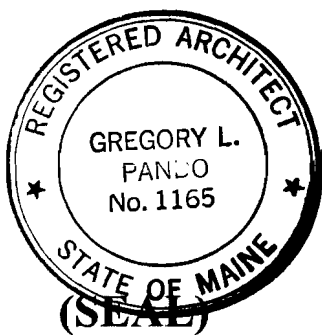
Accessibility Building Code Certificate

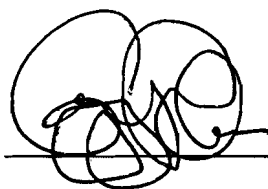
Designer: PANDO ASSOCIATES ARCHITECTS INC.

Address of Project: 108 INDUSTRIAL WAY.

Nature of Project: CLEAN ROOM EXPANSION

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: 

Title: PRESIDENT

Firm: PANDO ASSOCIATES ARCHITECTS INC.

Address: 481 YORK ST
CANTON, MA 02021

Phone: 781-828-8161

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design

Date: SEPT 19, 2011

From: PANDO ASSOC. ARCHITECTS INC

These plans and / or specifications covering construction work on:
NEW ENGLAND LIFE CARE CLEAN ROOM EXPANSION
108 INDUSTRIAL WAY

Have been designed and drawn up by the undersigned, a Maine registered Architect / ~~Engineer~~ according to the ~~2003 International Building Code~~ and local amendments.
2009 IEBC



Signature: [Handwritten Signature]

Title: PRESIDENT

Firm: PANDO ASSOC ARCHITECTS INC

Address: 481 YORK ST

CANTON, MA 02021

Phone: 781-828-8161

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

IM-

2011 2492

entered 10/20/11



General Building Permit Application


If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 108 INDUSTRIAL WAY		
Total Square Footage of Proposed Structure/Area EXISTING - 13,158 SF	Square Footage of Lot 84,942	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 3216 3001001	Applicant * must be owner, Lessee or Buyer* Name NEW ENGLAND LIFE CARE Address 108 INDUSTRIAL WAY City, State & Zip PORTLAND, ME	Telephone: (207) 878-1288
Lessee/DBA (if Applicable) NEW ENGLAND LIFE CARE Oct 4 2011 Dept. of Building Inspections City of Portland Maine	Owner (if different from Applicant) Name TURNPIKE PROPERTIES LLC Address 405 WESTERN AVE #517 City, State & Zip S. PORTLAND ME 04106	Cost Of Work: \$ 170,000.00 C of O Fee: \$ _____ Total Fee: \$ 1,700.00
Current legal use (i.e. single family) BUSINESS - Home Care Pharmacy - medical supply. If vacant, what was the previous use? N/A Proposed Specific use: NO CHANGE IN USE PROPOSED Is property part of a subdivision? N/A If yes, please name _____ Project description: CONSTRUCTION OF NEW CLEANROOM AND INTERIOR RENOVATION OF EXISTING PHARMACY SUPPORT SPACE.		
Contractor's name: ALLIANCE BUILDERS INC. Address: 800 TURNPIKE ST., SUITE 300, City, State & Zip NORTH ANDOVER MA 01845 Telephone: (978) 725-9592 Who should we contact when the permit is ready: MARK SMITH Telephone: (978) 986-5707 Mailing address: 800 TURNPIKE ST., SUITE 300, N. ANDOVER MA 01845		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

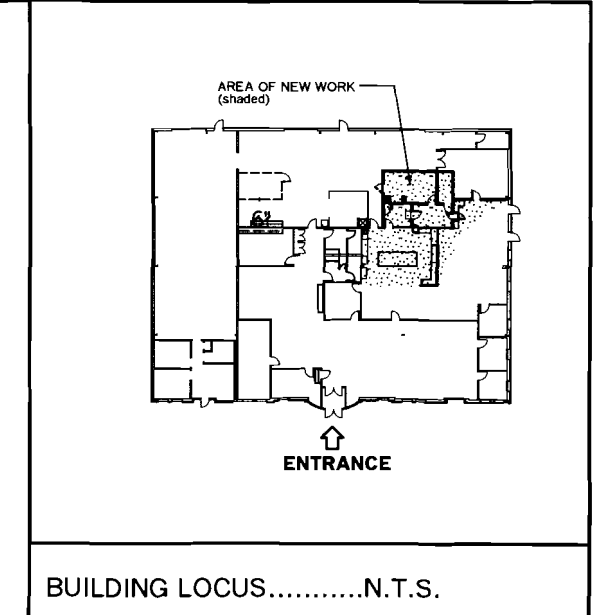
Signature:  Date: **10/12/2011**

This is not a permit; you may not commence ANY work until the permit is issue

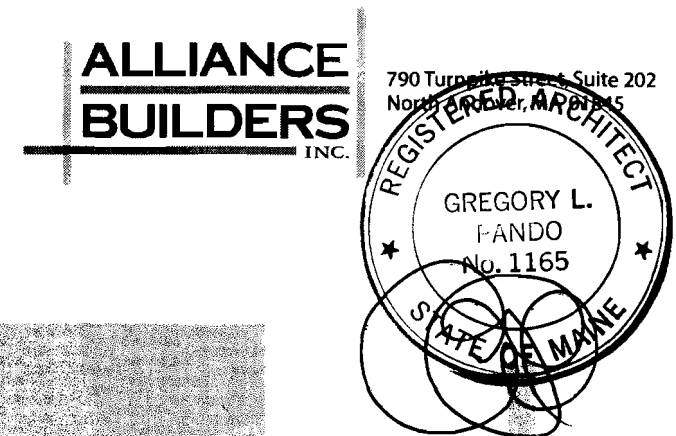
New England Life Care Clean Room Expansion

108 Industrial Way
Portland, ME 04101

For Permits:
September 19, 2011
Comm. No. 11116

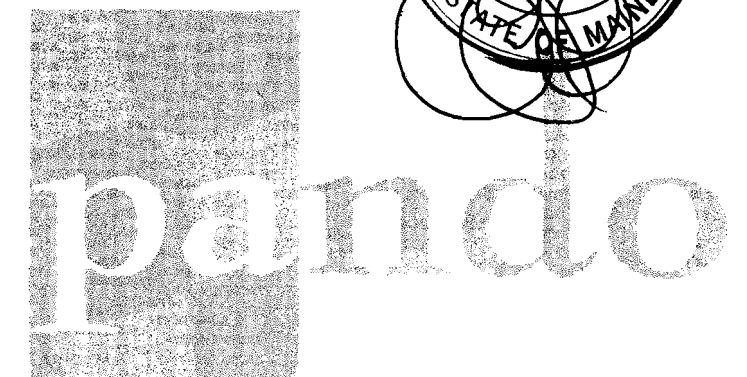


Alliance Builders, Inc.
790 Turnpike Street
Suite 202
North Andover, MA 01845
Tel: (978) 725-9592
Fax: (978) 470-1085



Pando Associates Architects Inc.
Laurel Oak Farm - 481 York Street
Canton, Massachusetts 02021-2423

Tel: 781-828-8161 - Fax: 781-828-3902 - Web: pandoassociates.com



GENERAL NOTES:

- The contractor shall inspect the area of work prior to commencement of construction and familiarize himself with all existing conditions that may affect the timely completion of the work.
- Any conditions that have not been addressed in these notes or on the plans should be brought to the attention of the project manager for resolution prior to commencement of the work.
- The contractor shall be responsible for obtaining all necessary permits for construction of the work.
- The work described herein must be accomplished without interfering with tenant's operations. Identify items that can be prefabricated offsite and field installed.
- It is expected that the contractor will be required to work during normal business hours. Coordinate work schedule with the project manager.
- The contractor will maintain the area of work in a clean and neat condition. The area of work will be maintained broom clean and all debris removed on a daily basis and trucked from the site.
- All debris will be disposed of in accordance with all applicable laws.
- It is the intention of these drawings to indicate general relationships of materials and equipment. It is the responsibility of the contractor to construct the work in the best industry acceptable methods and materials.
- All dimensions shown are approximate. The contractor shall field verify all dimensions prior to beginning demolition and/or construction.
- The contractor shall note the location of all items that are attached to the walls in the area of the work. Items that interfere with the work will be removed by the contractor and replaced in the same location after completion of the work unless directed otherwise.
- All new materials to be installed shall match existing similar surfaces and materials in color, size, and finish.
- The contractor shall be responsible for the relocating of all electric, data, and alarm wiring and devices as required to complete the work.
- Existing materials and surfaces that are to remain shall be reworked as necessary to fit properly with the new construction.
- The project manager shall coordinate any trades not indicated on the plans with contractors performing the work indicated on the plans.
- Upon completion of the work, the contractor shall remove all temporary partitions, equipment, surplus materials and debris from the site and clean the area of the work as follows:
All walls shall be wiped clean with a damp cloth. All floors shall be damp mopped or vacuumed. Final touch-up of all new surfaces will be completed at this time at the direction of the project manager.

SUMMARY SHEET - 2009 IEBC BUILDING CODE

Existing occupancy: 75% B - 24% S-1
 Proposed Occupancy: Same: 76% B; 24% S-1;
 Year Building Was Constructed: 1999
 Number of Stories: One Height in feet: 21
 Type of Construction: II-B
 Area Per floor: 13,158 s.f.
 Percentage of Open Perimeter: 75%
 Percentage of Height Reduction:
 Completely Suppressed: YES
 Corridor Wall Rating: 0 hr
 Compartmentation: NO
 Required Door Closers: YES
 Fire resistance rating of Vertical Opening Enclosures: NA (One Storey Building)
 Dead Ends: NO
 Type of HVAC System: Split HVAC units serving one floor
 Elevator Controls: Not Applicable
 Automatic Fire Detection: NO, Type: ---
 Total floor area complies with more restrictive requirements of Table 503 for S-1 use group 13,158 sq. ft. < 17,500 Sq. ft. OK
 Fire Alarm System: NO, Type: ---
 Mixed Occupancies: YES
 Smoke Control: NO
 Adequate Exit routes: YES
 Maximum exit travel distance: 162 Feet
 Means of Egress Emergency Lighting: YES

COMPLIANCE METHOD - PRESCRIPTIVE COMPLIANCE METHOD SECTION 303

Section 303.1 Alterations, General. proposed alterations comply with the requirements of the code for new construction.

303.2 Flood hazard areas N/A

303.3.1 Design Live Load. The proposed alteration does NOT result in an increased design live load. No Structural elements are being altered.

303.4 Existing Structural Elements carrying lateral load
 Exception: all existing lateral load-carrying structural elements whose demand capacity ratio with the alteration is no more than 10% greater than its demand capacity ratio with the alteration ignored shall be permitted to remain unaltered.

303.5 Voluntary Seismic Improvements -None Planned

303.6 Means of Egress capacity Factors. Available Means of egress widths in this alteration far exceed the occupancy requirements under this code.

STANDARD ABBREVIATIONS

ACOUS	ACOUSTICAL	GA	GAUGE	S	SOUTH
A/C	AIR CONDITIONING	G.I.	GALVANIZED IRON	SAN.	SANITARY
A.F.F.	ABOVE FINISH FLOOR	GL.	GLASS	SCH.	SCHEDULE
AL	ALUMINUM	G.M.	GAS METER	SEC.	SECTION
ALT.	ALTERNATE	GYP.	GYP/SUM	SERV.	SERVICE
APPROX.	APPROXIMATELY	G.B.	GYP/SUM BOARD	SEW.	SEWER
ARCH.	ARCHITECT	GALV.	GALVANIZED	SHF.	SHEET
ASPH.	ASPHALT	GR.	GRADE	SHT'G.	SHEATING
A.C.	ASPHALT CONCRETE	G.L.B.	GLU-LAM BEAM	SID'G.	SIDING
A.B.	ANCHOR BOLT	H/C	HANDICAPPED	SIM.	SIMILAR
ADD.	ADDITION	HD.	HEAD	SPEC.	SPECIFICATIONS
APT.	APARTMENT	HDR.	HEADER	SO.	SQUARE
A	AREA	HTR.	HEATER	SHR.	SHEAR
@	AT	HT.	HEIGHT	STD'D.	STANDARD
AVE.	AVENUE	HG.	HEIGHT	STL.	STEEL
A.D.	AREA DRAIN	H.W.	HOT WATER	STR.	STRUCTURAL
AGGR.	AGGREGATE	H.C.	HOLLOW CORE	SYS.	SYSTEM
AC.	ACRE	HDWD.	HARDWOOD	S.S.	STAINLESS STEEL
	ANGLE	HDWR.	HARDWARE	SH.	SOLID CORE
BD.	BOARD	HM	HOLLOW METAL	SH.	SHELF
BLDG.	BUILDING	HR.	HOUR	S.S.K.	SERVICE SINK
BLK.	BLOCK	H.V.A.C.	HEATING, VENTILATION & AIR CONDITION	SUSP.	SUSPENDED
BLK'G	BLOCKING	H.D.O.	HEAVY DENSITY OVERLAYED	T	TREAD
B.O.J.	BOTTOM OF JOIST	INSUL.	INSULATION	T.O.S.	TOP OF STUD
BOTT.	BOTTOM	INST.	INSTALL	T & B.	TOP AND BOTTOM
B.W.	BOTH WAYS	INT.	INTERIOR	T.C.	TOP OF CURB
BR.	BRICK	INV.	INVERTER	TEL.	TELEPHONE
BRK.	BRICK	JST.	JOIST	T & G.	TOURNGE AND GROOVE
B.T.U.	BRITISH THERMAL UNITS	JNT.	JOINT	TK.	THICK
B.W.	BOTTOM OF WALL	JAN.	JANITOR	T.P.	TOP PLATE
B.C.	BOTTOM OF CURB	KIT.	KITCHEN	TYP.	TYPICAL
B.S.	BOTTOM OF STEP	LAM.	LAMINATE	TEMP.	TEMPORARY
CAB.	CABINET	LAV.	LAVATORY	TOT.	TOTAL
CL.K.G.	CAULKING	LQ.	LONG/LARGE	T.W.	TOP OF WALL
C.I.	CAST IRON	LT.	LIGHT	T.O.P.	TOP OF PAVEMENT
CLG.	CEILING	MAX.	MAXIMUM	U.O.N.	UNLESS OTHERWISE NOTED
CEM.	CEMENT	MIN.	MINIMUM	UNFIN.	UNFINISHED
CTR.	CENTER	MECH.	MECHANICAL	VER.	VERTICAL
C/C	CENTER TO CENTER	MFR.	MANUFACTURER	VEST.	VESTIBULE
CL.	CENTER LINE	M.H.	MAN HOLE	V.C.T.	VINYL COMPOSITION TILE
CER.	CERAMIC	MISC.	MISCELLANEOUS	V	VALVE
C.O.	CLEAN OUT	M.S.	MACHINE SCREW	V.T.R.	VENT TO ROOF
CLR.	CLEAR	M.B.	MACHINE BOLT	V.P.	VENT PIPE
CLO.	CLOSET	MATT.	MATERIAL	VENT.	VENTILATION
CLO.	CLOSET	MEMB.	MEMBRANE	VOL.	VOLUME
CTD.	COATED	MOD.	MODEL	VIT.	VITREOUS
COL.	COLUMN	MOZ.	MEZZANINE	W	WEST
COMP.	COMPOSITION/ COMPACT	MEZZ.	MISCELLANEOUS	W.	WITH
CONC.	CONCRETE	M.C.	CHANNEL	W.C.	WATER CLOSET
CONT.	CONTINUOUS			W.S.	WOOD SCREW
CONTR.	CONTRACTOR			WTH.	WIDTH
C.B.	CATCH BASIN			W.H.	WATER HEATER
CONN.	CONNECTION			W.S.	WEATHER STRIPPING
CTS.K.	COUNTER-SINK			WDW.	WINDOW
CTB.R.	COUNTER-BORE			W.T.S.	WROUGHT IRON
CORR.	CORRIDOR			NOM.	NOMINAL
				W.C.	WATER COOLER
E	EAST			W.C.	WATER COOLER
EA.	EACH			YD.	YARD
E.J.	EXPANSION JOINT				
EL.	ELEVATION	<N>	NEW		
ELEC.	ELECTRICAL	N.I.C.	NOT IN CONTRACT		
ELEV.	ELEVATOR	NO./#	NUMBER		
ENCL.	ENCLOSURE	N.T.S.	NOT TO SCALE		
E.W.	EACH WAY	NOM.	NOMINAL		
E.W.C.	ELECTRIC WATER COOLER	NAT.	NATURAL		
EQ.	EQUAL	N	NORTH		
EQUIP.	EQUIPMENT	OF.	OVERFLOW		
EXC.	EXCAVATE	O.F.S.	OUTSIDE FACE OF STUD		
<E>	EXISTING	O.F.SH.	OUTSIDE FACE OF SHEATING		
EXT.	EXTERIOR	OA.	OVERALL		
EXP.	EXPANSION	OPP.	OPPOSITE		
EMER.	EMERGENCY	O.C.	ON CENTER		
EXST.	EXISTING	O.H.	OVERHANG		
EXPO.	EXPOSED	O.F.C.	OUTSIDE FACE OF CONCRETE OPENING		
F	FOR	OPNG.	OPENING		
F.H.	FLAT HEAD	PL	PLATE/PROPERTY LINE		
F.A.	FIRE ALARM	PLAS.	PLASTER		
F.D.	FLOOR DRAIN	PWD/PLY.	PLYWOOD		
FDN.	FOUNDATION	PR.	PAIR		
F.E.	FIRE EXTINGUISHER	PC.	PIECE		
F.F.	FINISH FLOOR	PLB.	PLUMBING		
FIN.	FINISH	Lb.	POUND		
FL.	FLOOR	PREFAB.	PREFABRICATED		
FLSH.	FLASHING	R	RISER		
FLUOR.	FLUORESCENT	R.O.	ROUGH OPENING		
ft.	FOOT/FEET	RAD.	RADIUS		
FTG.	FOOTING	R.D.	ROOF DRAIN		
FRM'G.	FRAMING	REF.	REFERENCE		
FR.	FRAME	REFR.	REFRIGERATOR		
FURN.	FURNACE/FURNITURE	REQD.	REQUIRED		
FAB	FABRICATED	RM.	ROOM		
FX.	FIXTURE	REV.	REVISION		
F.R.	FIRE RATED	RET.	RETURN		
F.O.S.	FACE OF STUD	REG.	REGISTER		
F.C.O.	FLOOR CLEANOUT	R.TS.	RUBBER TOP-SET		
F.B.	FLAT BAR	R.H.	ROUND HEAD		
F.O.C.	FACE OF CONCRETE	R.W.L.	RAIN WATER LEADER		
FRPR.	FIRE-PROOF	REINF.	REINFORCE		
FURR.	FURRING				

LIST OF DRAWINGS

- Cover Sheet
 Note Sheet
 D1.0 Demolition Floor Plan
 A1.0 New Clean Room Floor & Finish Plans
 A1.1 Pharmacy Security Perimeter
 A2.0 Enlarged Floor Plan & Schedules
 A3.0 Details
 A4.0 Reflected Ceiling Plan
 LS Life Safety Plan

SYMBOLS

MARK	SYMBOL
	SECTION
	DETAIL
	WALL
	NOTE
	DOOR, WINDOW
	ELEVATION

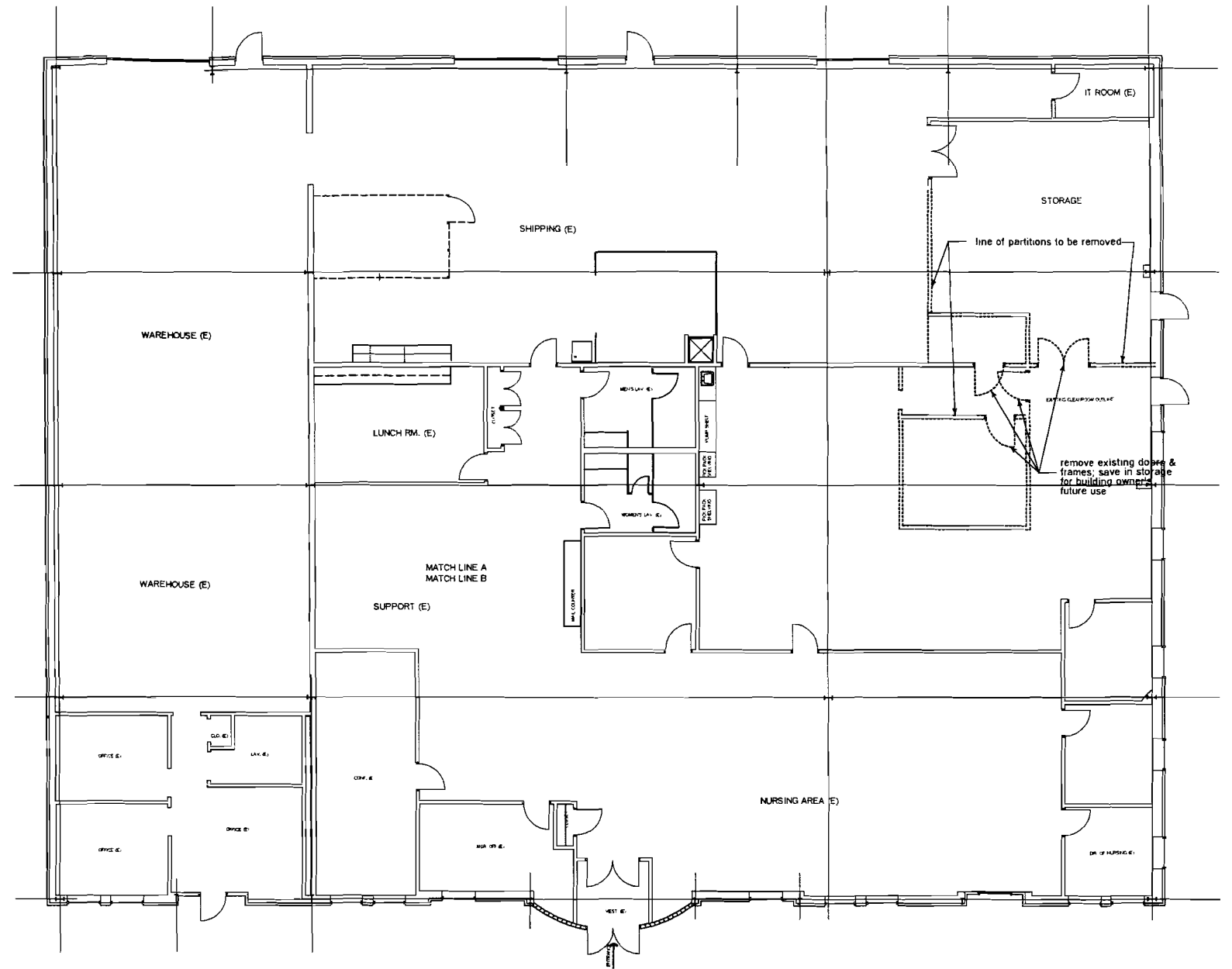


Sept. 19, 2011

<p>790 Turnpike Street, Suite 202 North Andover, MA 01845</p>	<p>laurel oak farm - 481 York Street Canton, MA 02021-2423 tel: 781-828-8161 fax: 781-828-3982 www.pandoassociates.com</p>	<p>Clean Room Expansion Notes</p> <p>New England Life Care</p> <p>108 Industrial Way, Portland, ME 04101</p>	Ch'ed By: GLP
			Drawn By: MB
© 2011 PANDO ASSOCIATES ARCHITECTS, INC. NO PORTION OF THIS DRAWING MAY BE COPIED OR REPRODUCED WITHOUT EXPRESS WRITTEN PERMISSION OF PANDO ASSOCIATES ARCHITECTS, INC.			Scale: 1/8" = 1'-0" Date: 20 July 2011 Job No: 11116 Dwg. No.
			N

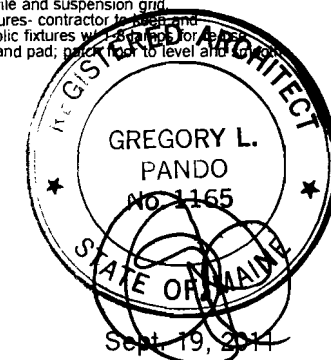
GENERAL NOTES:

1. The contractor shall inspect the area of work prior to commencement of construction and familiarize himself with all existing conditions that may affect the timely completion of the work.
2. Any conditions that have not been addressed in these notes or on the plans should be brought to the attention of the project manager for resolution prior to commencement of the work.
3. Coordinate Demolition and New Work among disciplines
4. Normal working hours shall be 8:00 to 5:00, Monday thru Friday except holidays. Coordinate work during non-normal hours with Project manager (PM) at least 72 hours in advance.
5. Existing facility to remain in-place and operational throughout construction. Coordinate construction activities and phasing with PM to minimize disruptions to owner's operations and access, and to ensure safety of people. Provide measures to prevent hazards to people, and damage to items to remain, including, but not limited to damage from dust and heat. Measures shall include but are not limited to:
 - Temporary polyethylene-on-stud-framing dust partitions with operable access door
 - Coordination of power shutdowns with PM
 - Protective coverings for equipment
 - Barrier walls and barricades
 - Temporary air conditioning for occupied enclosed spaces to maintain temperature
 - Coordination of the moving of existing HVAC equipment to ensure that required temperatures are maintained to allow proper operation of the facility
 - Other means coordinated with PM
6. The contractor shall provide dust and debris control at every specific work site and shall prevent contamination of areas not under construction. Use wheeled containers with tightly fitted lids to transport construction debris, unopened, thru non-work areas, to the exterior of the building. Prevent dust and debris from entering HVAC intakes
7. Prevent damage to materials and finishes to remain (paint, wall coverings, base, ceiling, chair rails, etc.). Repair damages from construction activities to existing items to remain, at no additional cost to owner, where such exposed materials or finishes to remain are damaged or left with holes by construction activities. Repair, replace or infill such materials and finishes to match existing in material, size, alignment, finish, color, texture and quality. Extend new finishes to logical edges (change of materials or corners). Patch repairs will not be accepted unless specifically noted. Submit samples of materials proposed for repairs to PM for written approval prior to ordering materials.
8. Remove completely materials as indicated on the drawing and as required for new construction. Edges and faces of demolished areas shall be repaired to accept neat installation of new construction or finishes. Where existing materials are to be replaced (walls, roofing, insulation, flooring, etc.) existing materials shall be repaired as recommended by manufacturer prior to installation of new materials.
9. Where holes in existing walls and slabs are created for conduit, duct, or pipe penetrations, coordinate size and location of such work with installers of such pipe, conduit, duct and equipment.
10. Opening created in slabs, partitions, or fire rated partitions by this work shall be repaired using techniques and materials to maintain fire rating of the wall, including but not limited to, smoke dampers, fire dampers, fire stopping, and fire safing. Penetrations of masonry walls and concrete floors shall be stopped to a minimum 2 hour rating.
11. Patch holes caused by the removal of equipment, piping, conduit, grills, etc. with materials matching existing slab or wall in structure, material, thickness, alignment, grades and quality.
12. Field verify existing dimensions prior to ordering or cutting materials.
13. Metal studs used for repairs of existing metal stud construction shall be minimum 20 GA. Galvanized.

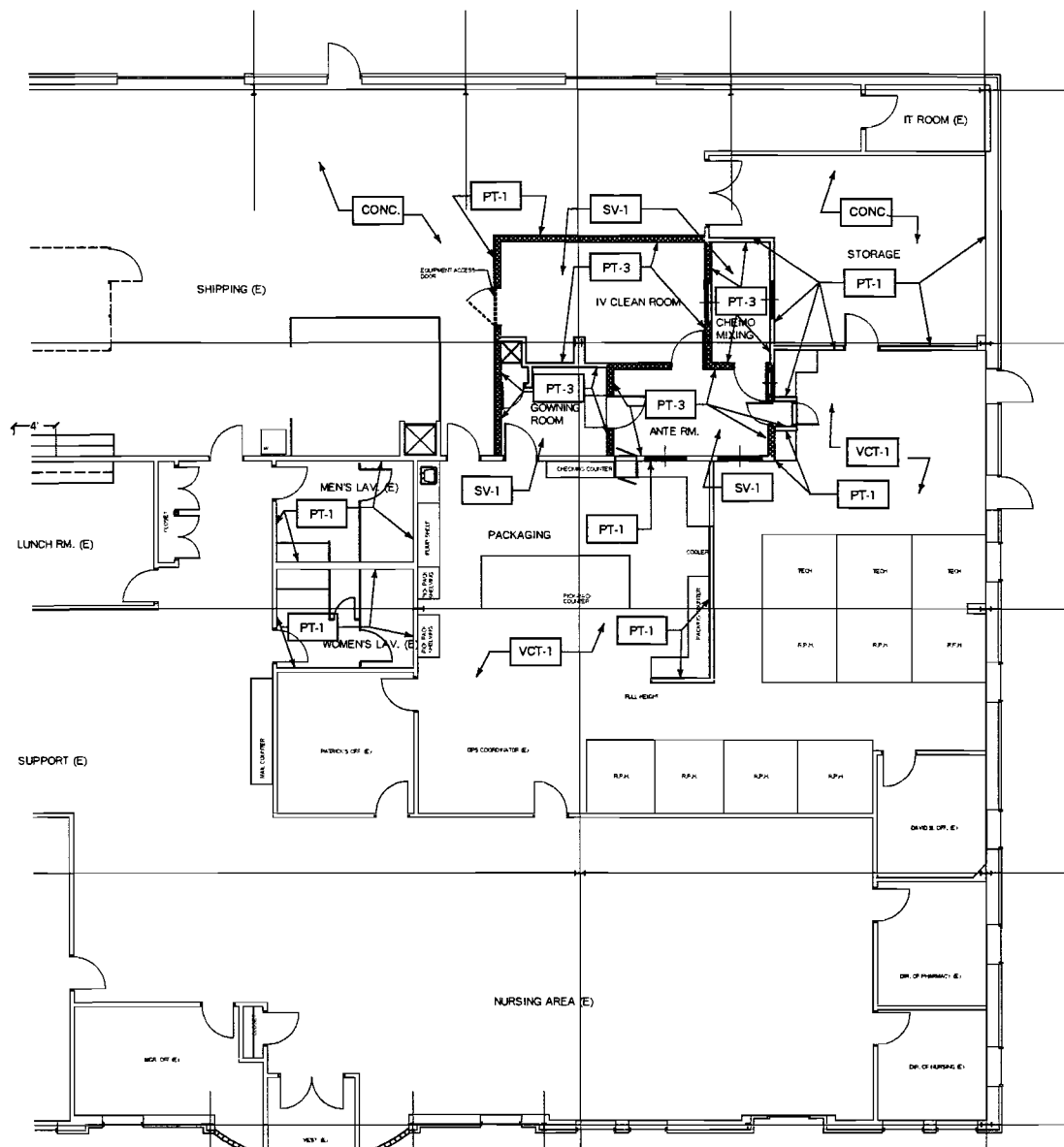


Demolition Notes:

1. Remove all ceiling tile and suspension grid
2. remove all light fixtures- contractor to disconnect and set aside all parabolic fixtures with brackets for reuse
3. Remove all carpet and pad; patch floor to level and finish as necessary.

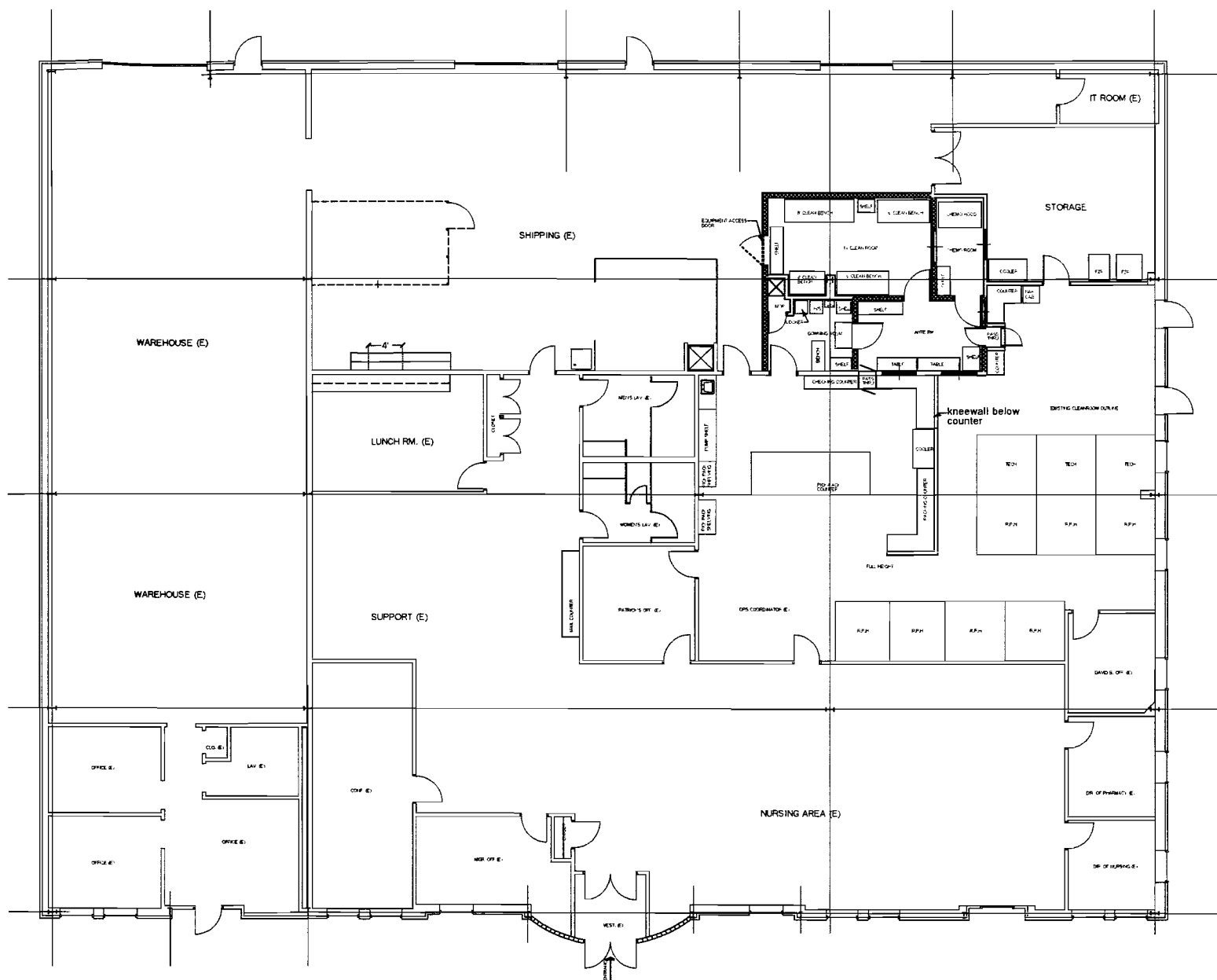


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Finish Plan

Scale: 1/8" = 1'-0"



Floor Plan

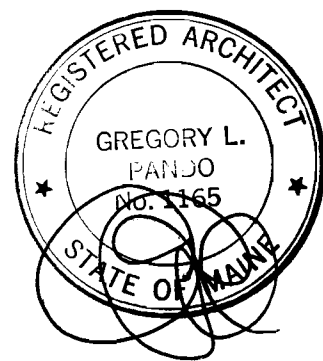
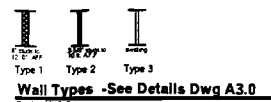
Scale: 1/8" = 1'-0"

FINISH SCHEDULE

ROOM NAME	FLOOR	BASE	WALLS	TRIM	CEILING	
					TILE	HGT.
PACKAGING	VCT-1	VB-1	PT-1	PT-2	ACT-3	--
GOWNING	SV-1	SV-1	PT-3	PT-2	ACT-2	?
MOP SINK	SV-1	SV-1	PT-3	PT-2	ACT-2	?
ANTE ROOM	SV-1	SV-1	PT-3	PT-2	ACT-2	?
CLEAN ROOM	SV-1	SV-1	PT-3	PT-2	ACT-2	?
CHEMO MIXING	SV-1	SV-1	PT-3	PT-2	ACT-2	?
STORAGE	conc.	Exist'g	PT-1	PT-2	--	Exist'g
MEN'S LAV.	Exist'g	--	PT-1	PT-2	--	Exist'g
WOMEN'S LAV.	Exist'g	--	PT-1	PT-2	--	Exist'g

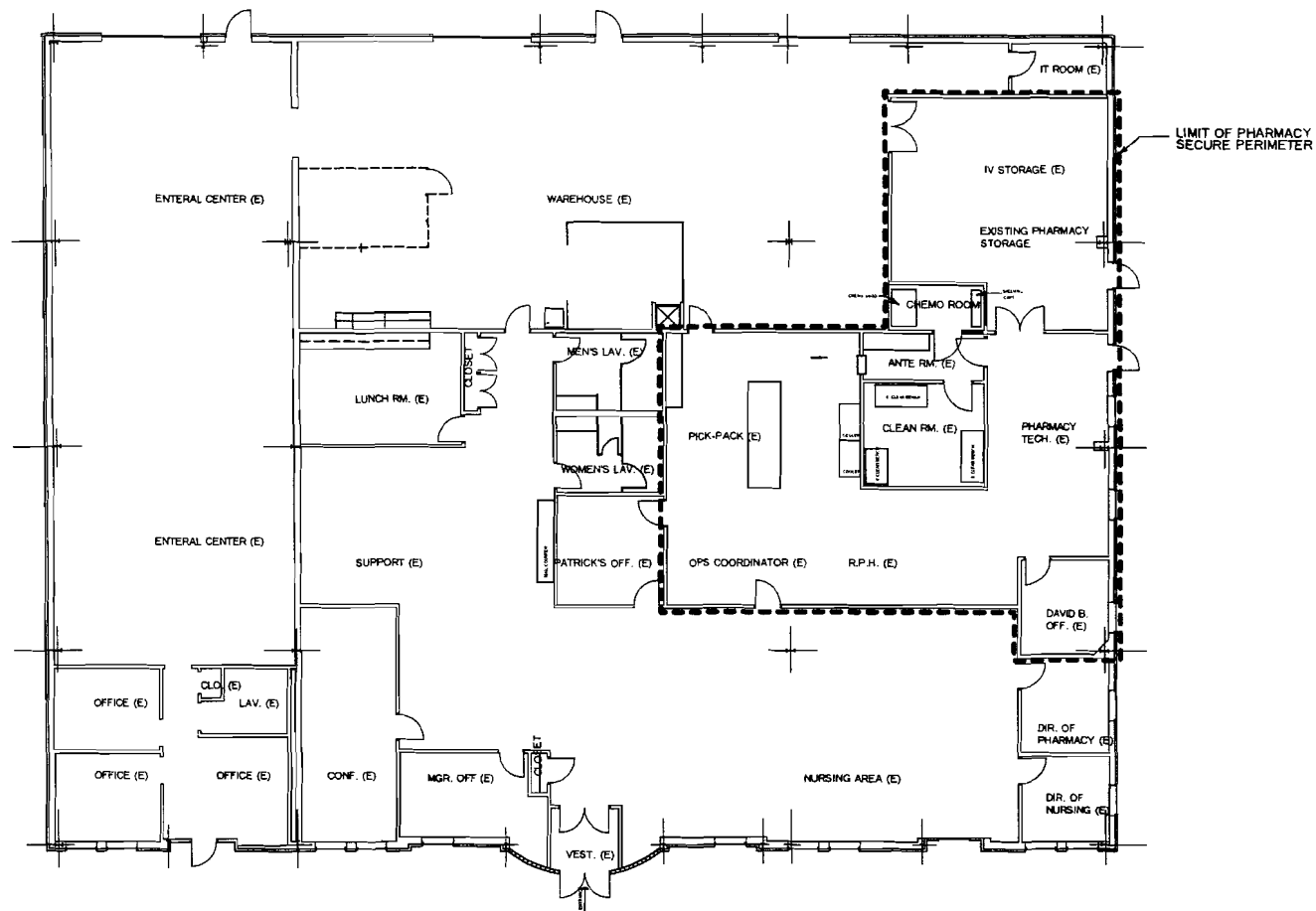
FINISH KEY

KEY	MANUFACTURER	PRODUCT	COLOR	REMARKS
SV-1	ARMSTRONG	MEDINTECH	TBD	SHEET VINYL FLOORING W/ 6" FLASH COVE
VCT-1	ARMSTRONG		TBD	VINYL COMPOSITION TILE W/ 4" VINYL BASE
VB-1	ARMSTRONG		TBD	4" VINYL BASE
PT-1	SHERWIN WILLIAMS			2 COATS LATEX: FINISH -
PT-2	SHERWIN WILLIAMS			TRIM PAINT: FINISH - SEMI-GLOSS
PT-3	SHERWIN WILLIAMS	B-70W211		WATER BASED EPOXY WALL PAINT W/ GLOSS HARDENER
ACT-1	USG	ACT	--	2' x 4' LAY-IN CEILING TILE
ACT-2	USG	CLIMAPLUS	CLEANROOM	VINYL COATED 2' x 4' LAY-IN CEILING TILE; USE USG 'DOWN-DXWCE' FACTORY GASKETTED, SNAP TOGETHER GRID
ACT-3	---	ACT	--	2' x 4' LAY-IN CEILING TILE - MATCH EXISTING

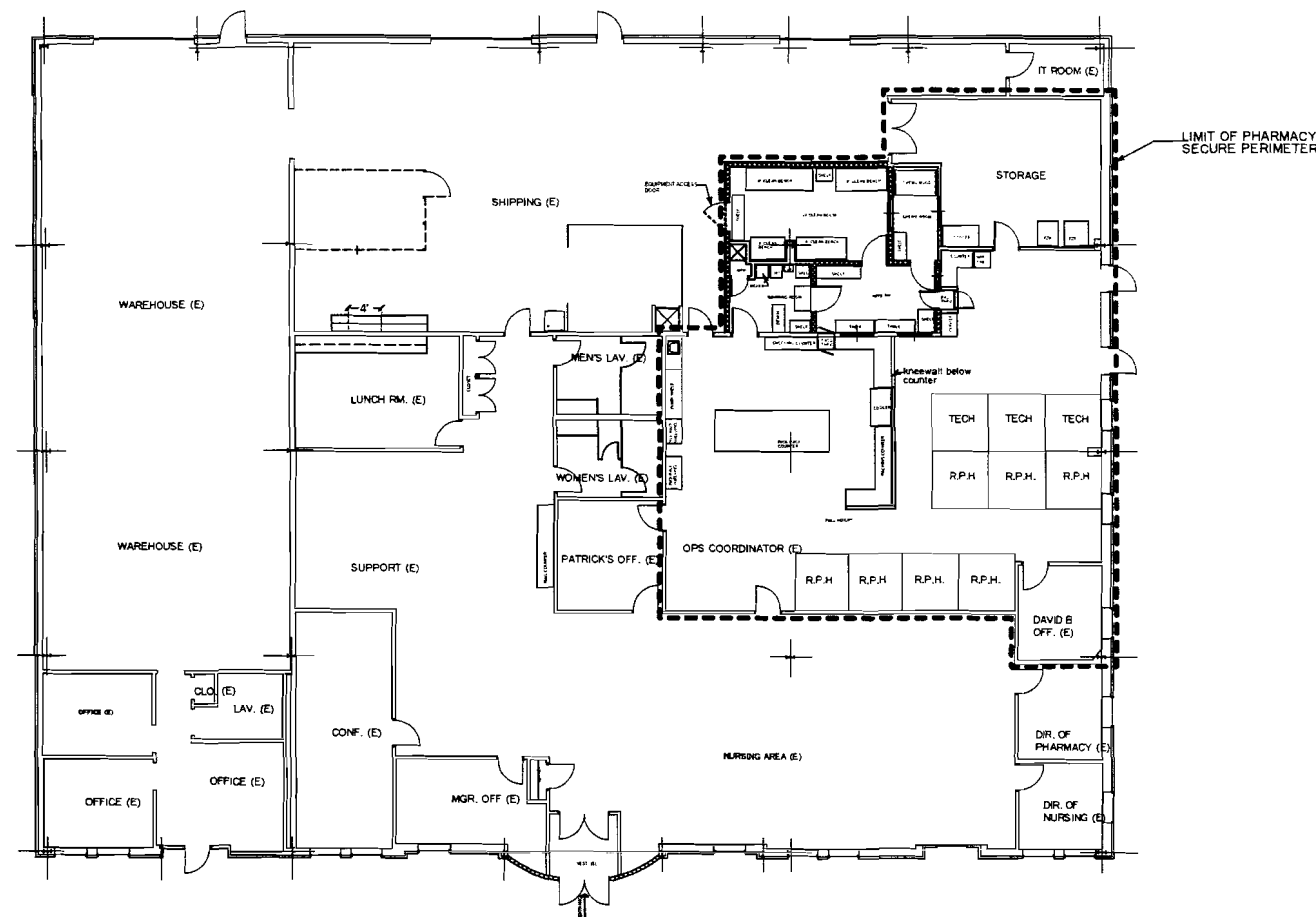


Sept. 19, 2011

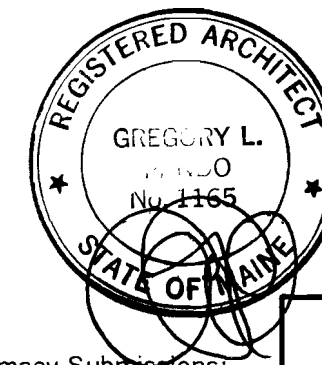
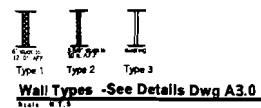
ALLIANCE BUILDERS <small>790 Turnpike Street, Suite 202 North Andover, MA 01845</small>	pando <small>associates architects, inc.</small> <small>www.pandoassociates.com</small>	Clean Room Expansion Floor Plan & Finish Plan New England Life Care 108 Industrial Way, Portland, ME 04101	Che'ed By: GLP Drawn By: MM Scale: 1/8" = 1'-0" Date: 20 July 2011 Job No: 11114 Dwg. No.
			A 1.0



Existing Conditions
Scale: 3/32" = 1'-0"



Proposed Floor Plan
Scale: 3/32" = 1'-0"



Board of Pharmacy Submissions:
Sep 19, 2011

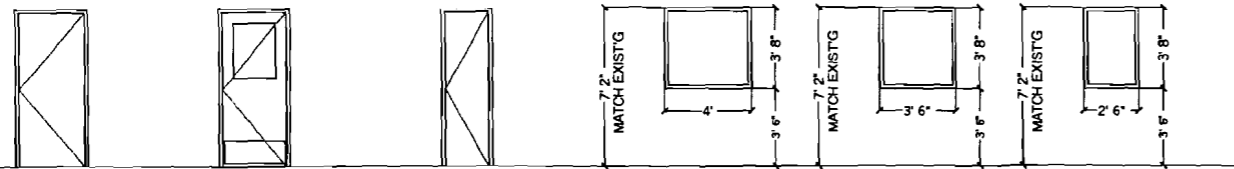
ALLIANCE BUILDERS <small>790 Tumpike Street, Suite 202 North Andover, MA 01845</small>	pando <small>associates architects, inc.</small> <small>790 Tumpike Street - 481 York Street Canton, MA 02021-2423 Tel: 781-828-8161 Fax: 781-828-3982 www.pandoassociates.com</small>	Proposed Compounding Suite Improvements <small>New England Life Care</small> 108 Industrial Way, Portland, ME 04101	Che'ed By: G.L.P. Drawn By: MM Scale: 3/32" = 1'-0" Date: 20 July 2011 Job No: 11116 Dwg. No: A1.1
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DOOR & WINDOW SCHEDULE

NO.	SIZE	MATERIAL	ELEV.	NOTES
D1	Existing to Remain			
D2	3'-6" x 7'-0" x 1-3/4"	HM	D2	BEVELED NEOPRENE STOPS, DROP DOWN SEALS; PANIC EXIT HARDWARE ONLY (ALARMED)
D3	3'-0" x 7'-0" x 1-3/4" (Match exist'g)	HM	D3	
D4	2'-0" x 7'-0" x 1-3/4" (Match exist'g)	HM	D4	
D5	2'-0" x 6'-8" x 1-3/4" (Match exist'g)	HM	D4	
W1	48" w x 44" h	1/4" TEMPERED SAFETY GLASS		GLAZE FROM CLEAN ROOM SIDE
W2	42" w x 44" h	1/4" TEMPERED SAFETY GLASS		GLAZE FROM CLEAN ROOM SIDE
W3	30" w x 44" h	1/4" TEMPERED SAFETY GLASS		GLAZE FROM CLEAN ROOM SIDE

DOOR & WINDOW SCHEDULE

- DOOR AND WINDOW OPENINGS IN CLEANROOM TO BE CONSTRUCTED WITH DRYWALL RETURNS AND SIZED TO PROVIDE A FLUSH FIT WITH JAMBS. ABSOLUTELY NO UNFINISHED OR EXPOSED DRYWALL EDGES ARE ALLOWED IN THE CLEANROOM. CLEANROOM DOORS AND WINDOWS TO BE CAULKED WITH SILICONE AFTER INSTALLATION.
- DOOR SUBMITTALS TO BE REVIEWED AND APPROVED PRIOR TO ORDERING.
- ALL STOREFRONT, WINDOW & SIDELIGHT GLAZING TO BE TEMPERED SAFETY GLASS AT 1/4" THICKNESS. FIRE RATING PER LOCAL CODE COMPLIANCE IS THE RESPONSIBILITY OF THE GC.



D2
equipment access door

D3
34" x 12" kick plate, S.S., both sides
22" x 30" impact vision panels, tempered glass

D4

W1

W2

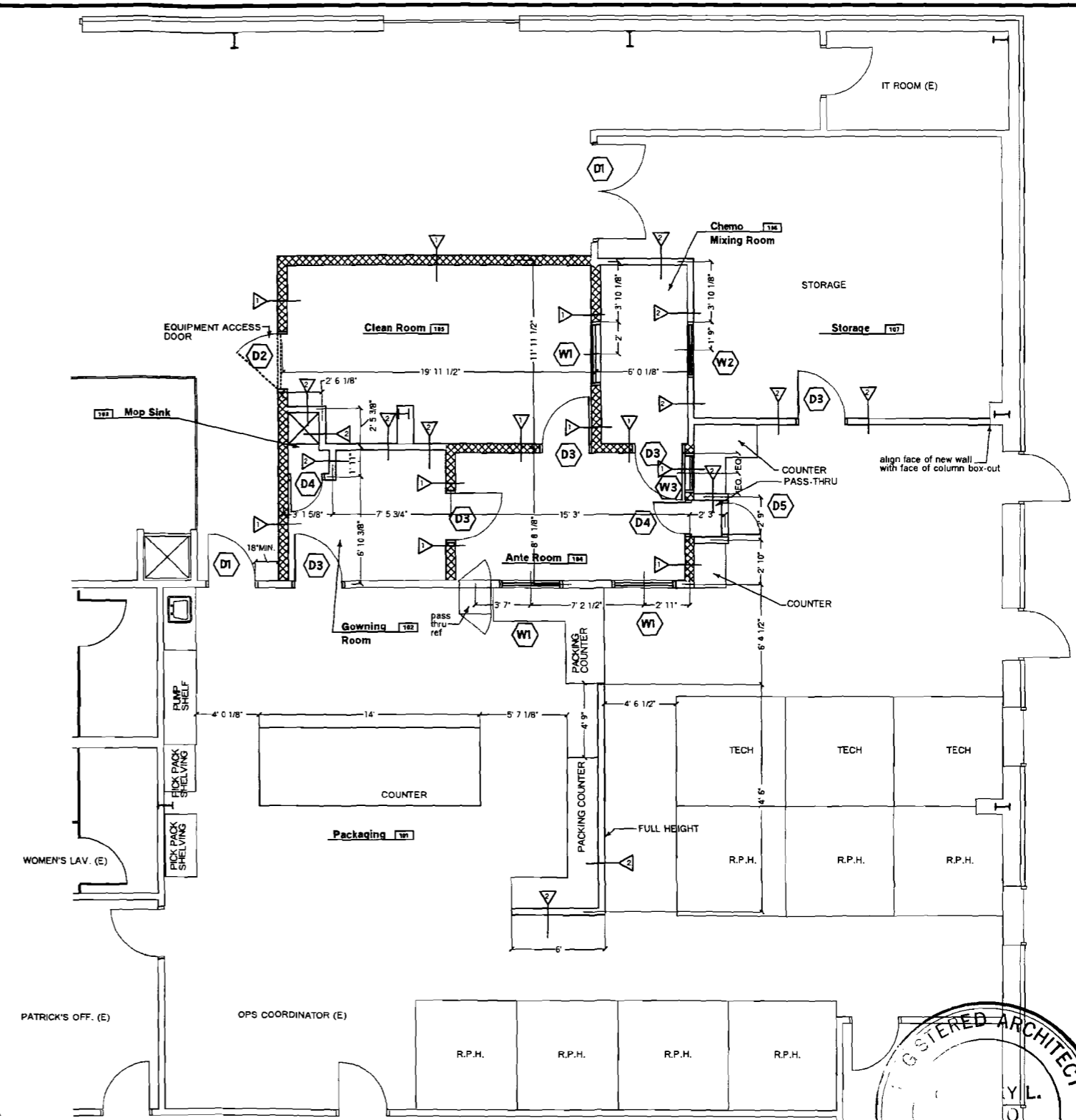
W3

- Welded 2" Hollow Metal Frame.
- Gasketed stops located on Lab side of frame
- Fixed tempered safety glazing - clear

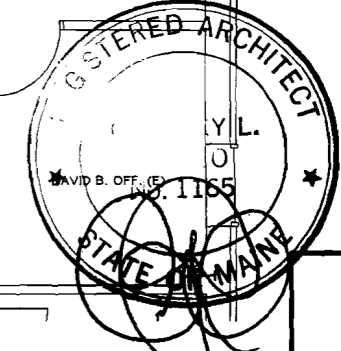


Wall Types - See Details Dwg A3.0
Scale: N.T.S.

HARDWARE SET
All Finishes US26D
All Hardware ADA Compliant



Floor Plan
Scale: 1/4" = 1'-0"



Sept. 19, 2011

ALLIANCE BUILDERS
790 Turnpike Street, Suite 202
North Andover, MA 01845

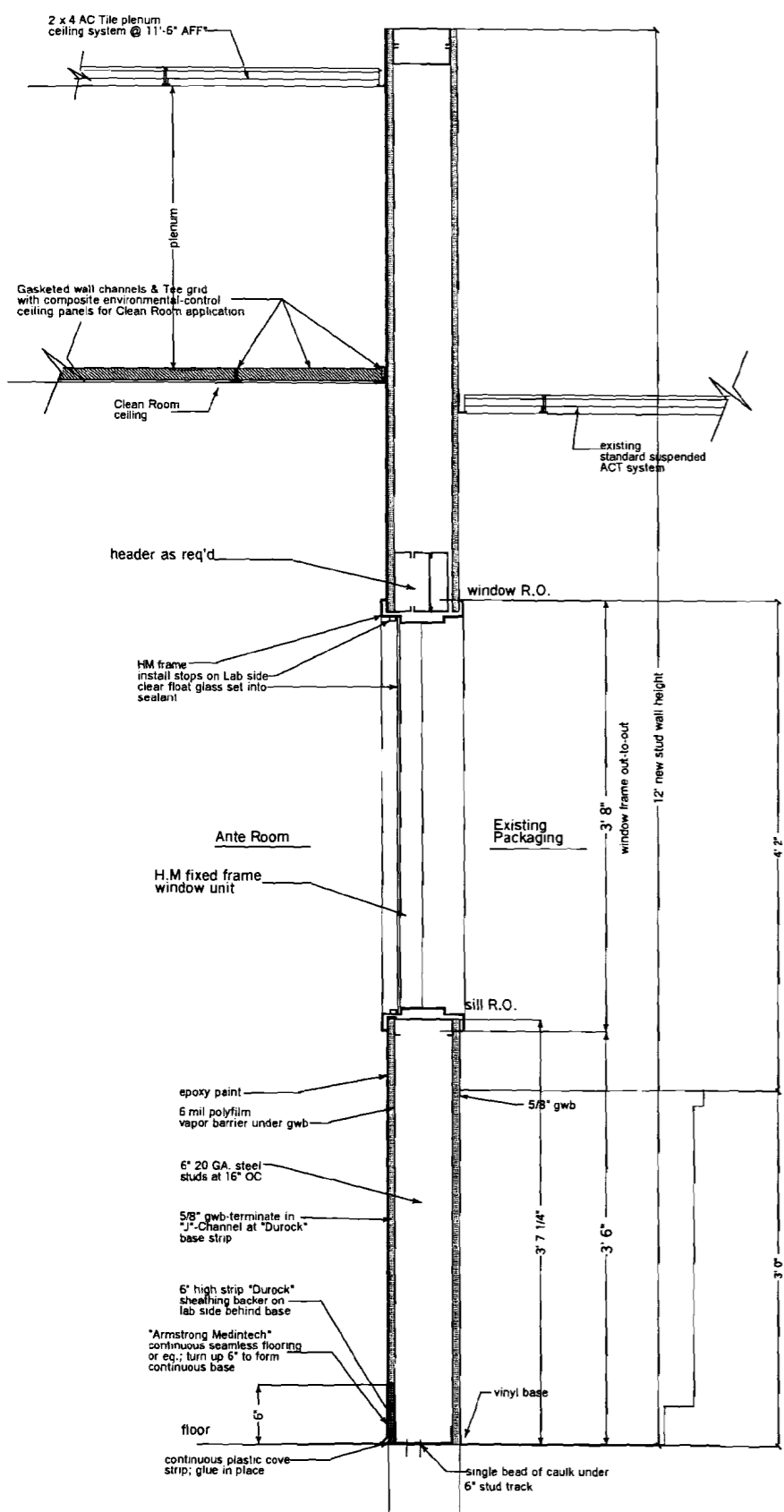
pando associates architects, inc.
laurel oak farm - 481 York Street
Canton, MA 02021-2423
Tel: 781-828-0161
Fax: 781-828-3193
www.pandoassociates.com

**Clean Room Expansion
Enlarged Floor Plan & Schedules**

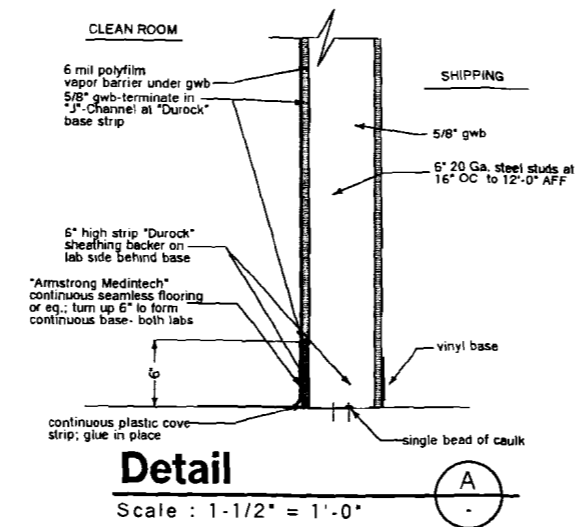
Checked By: GLP
Drawn By: MM
Scale: 1/4" = 1'-0"
Date: 28 July 2011
Job No.: 11116
Dwg. No.:

New England Life Care
108 Industrial Way, Portland, ME 04101

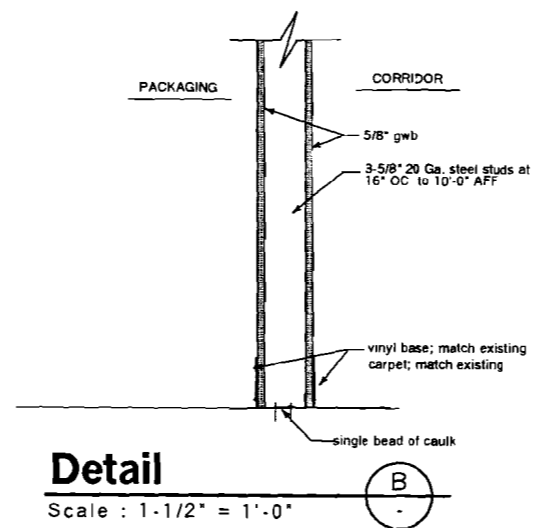
A 2.0



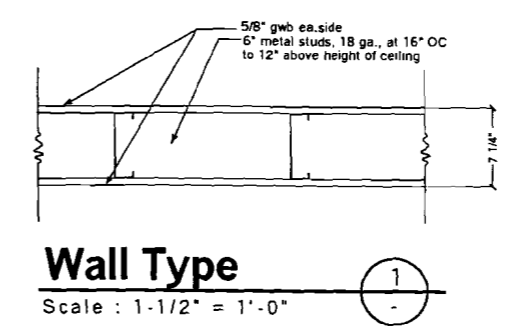
Detail
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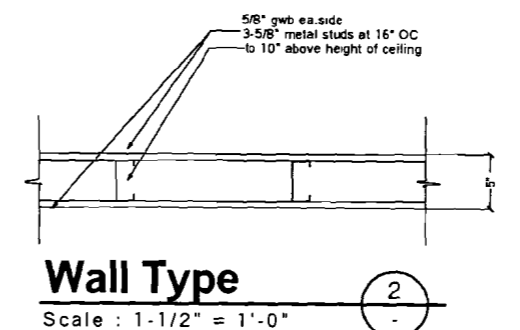
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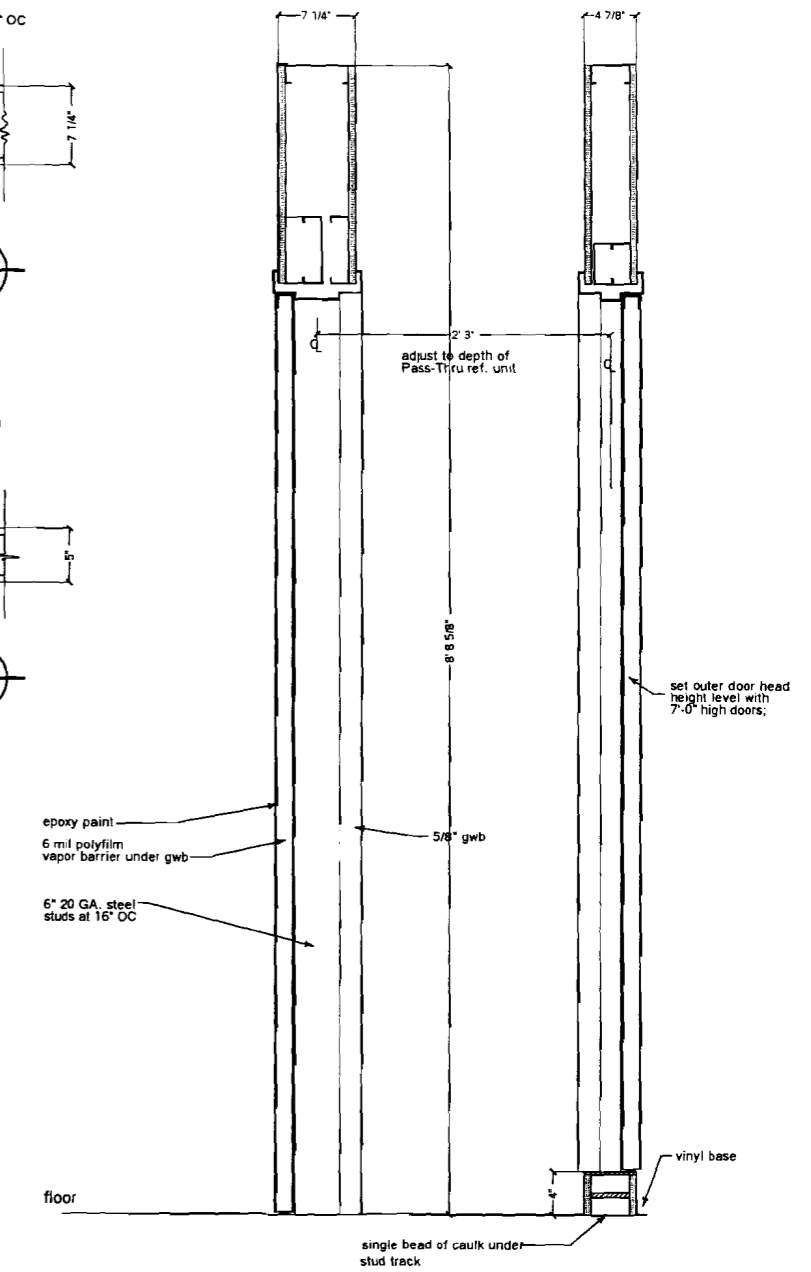
Detail
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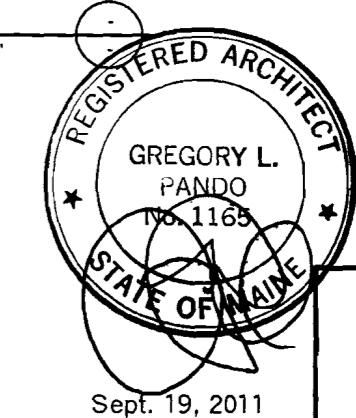
Wall Type
Scale : 1-1/2" = 1'-0" (1)



Wall Type
Scale : 1-1/2" = 1'-0" (2)

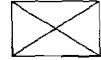
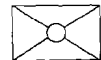


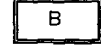


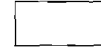



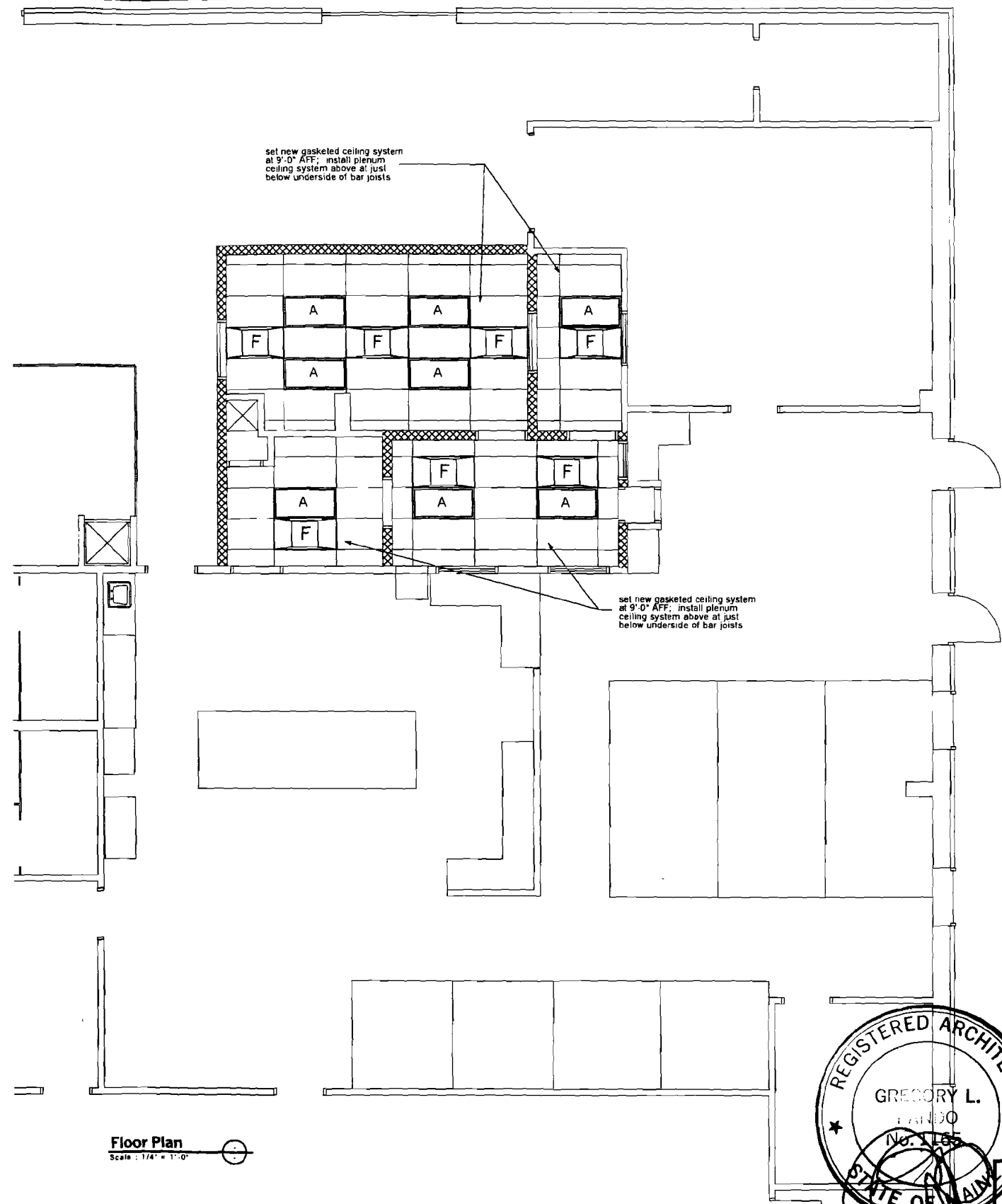
Detail
Scale : 1-1/2" = 1'-0"



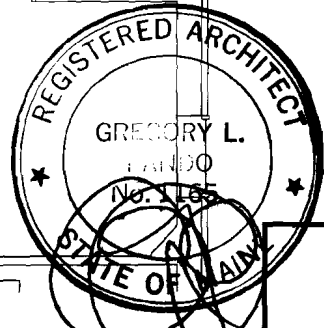
ALLIANCE BUILDERS INC. 790 Turnpike Street, Suite 202 North Andover, MA 01845	pando associates architects, inc. Laurel Oak Farm - 481 York Street Canton, MA 02021-2423 Tel: 781-828-8161 Fax: 781-828-3982 www.pandoassociates.com	Clean Room Expansion Details New England Life Care 108 Industrial Way, Portland, ME 04101	Checked By: GLP Drawn By: MM Scale: 1/8" = 1'-0" Date: 20 July 2011 Job No: 11118 Dwg. No. A3.0
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Ceiling Legend

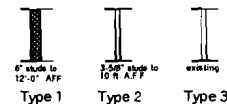
-  HOOD
-  HOOD WITH EXHAUST
-  HVAC CEILING RETURN
-  2' x 4' FLUORESCENT CLEANROOM LIGHT 160W
-  2' x 4' FLUORESCENT RE-USE existing fixtures
-  2' x 4' FAN POWERED HEPA FILTER
-  1.5" GASKETED TEE SPRINKLER HEAD BY OTHERS
-  VINYL FACED BLANK TILE, ALL EDGES SEALED W/ 1 1/2" GASKETED GRID SYSTEM; SEE PLAN FOR HEIGHT
-  AC tile to match existing



1. Temporarily suspend existing ceiling mounted devices scheduled to remain (lights, speakers, smoke detectors, etc.) where existing ceilings are indicated to be removed. See electrical drawings for additional work.
2. Remove and save for reinstallation, existing air diffusers, return air grills and other miscellaneous ceiling mounted accessories scheduled for re-use.
3. Where other work allows remove only ceiling tiles and leave grid in place. Replace tiles damaged during work.
4. Where damage occurs to existing ceiling grid or panels indicated to be reinstalled, new components shall be provided. Ensure that all ceiling panels in a space are either all new or all existing. Ensure that all grid in a space is either all new or all existing. Contractor may accomplish the goal by removing an existing small ceiling surface, salvaging its parts, reinstalling its parts in damaged areas and providing all new ceiling and/or grid in the area from which the components were salvaged. Location for such salvage area shall be coordinated by Physical Plant.
5. Existing building is sprinklered. Sprinkler system shall remain active at all times. Damaged sprinkler heads shall be replaced with like kind at no additional cost to owner.
6. Contractor shall adjust sprinklers as required to allow for installation of new ceiling. All sprinklers in ceiling tiles shall be centered in tiles. All sprinklers in hard ceiling shall be visually aligned. Sprinkler heads shall be removed only to allow installation of pipe extensions and new suspended acoustical ceiling. Sprinkler system shall remain active at all other times. Damaged sprinkler heads shall be replaced with like kind at no additional cost to owner. Provide pipe extensions to allow for reinstallation of existing sprinkler heads in new ceiling. All new piping shall be Schedule 40 steel. Contractor shall coordinate with architectural drawings to determine new ceiling height. Contractor shall locate system valves, shut-off and drain system during this part of construction. Contractor shall coordinate with owner to determine limits of down-time for sprinkler system. All sprinkler work shall be performed in accordance with NFPA 13 and all applicable local and state codes by a sprinkler contractor licensed in the state of Massachusetts.










Sept. 19, 2011



Wall Types -See Details Dwg A3.0
Scale: N.T.S.

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Life Safety Equipment Schedule

-  Fire Alarm Pull Station 48" Aff
-  Fire Alarm Strobe
-  Fire Alarm Horn & Strobe 80" Aff
-  emergency battery unit
-  emergency lights
-  exit sign : wall mounted, ceiling mounted
-  F.E. fire extinguisher
- X** subscript to indicate existing equipment
- N** subscript to indicate New equipment

Fire Department General Notes

Non- Separated Mixed Use B, S-1 With Accessory A Areas
 Two Exits required > 2 provided
 Maximum length of travel permitted in sprinklered building is 250 ft.
 Actual Maximum length of travel is 162 ft. OK

Applicant:
 New England Life Care
 108 Industrial Way
 Portland ME
 (207)854-1233

Architect:
 Pando Associates Architects Inc
 481 York Street
 Canton, MA 02021
 781-828-8161

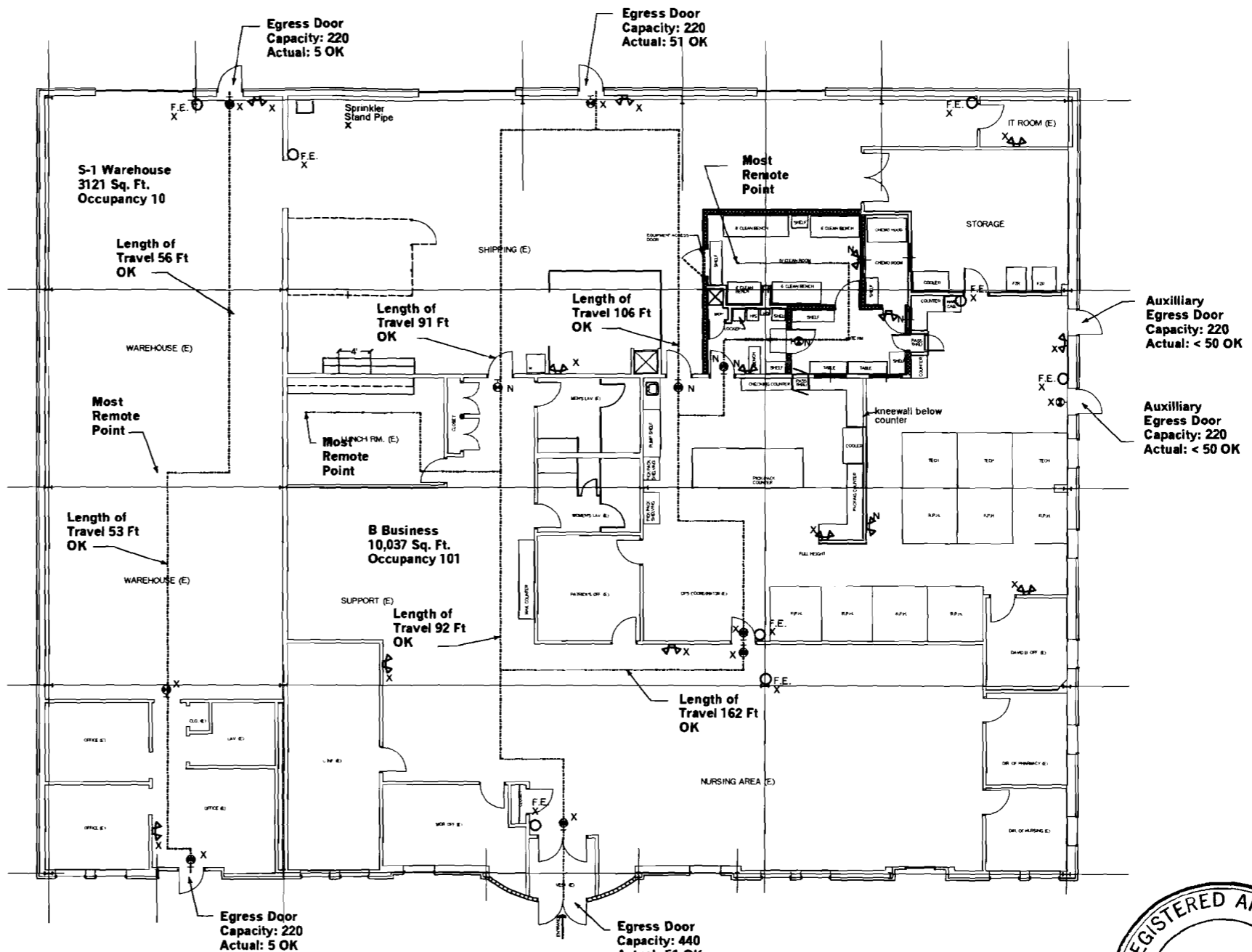
Existing and Proposed Use: 76% B 24% S-1 (Ordinary Hazard)
 Existing Sq. Ft. 13,158

Existing Suppression System - No Changes

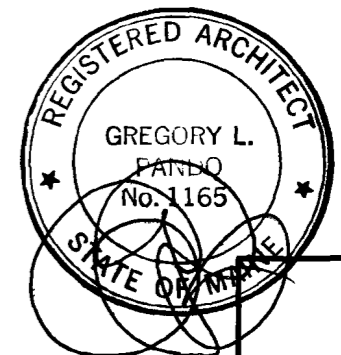
Fire Resistance Rating of means of Egress 0 hours.

NFPA CODE SUMMARY:

- Chapter 39 Existing Business Occupancies
- 39.1.2.1.1 Multiple occupancies comply with 6.1.14 and 39.1.2
- 39.1.6 Minimum Construction requirements - None
- 39.2 Means of Egress- One story -OK
- 39.2.2.2 Doors - OK
- 39.2.2.3 Stairs - N/A
- 39.2.3 Capacity of Means of Egress - See Plan - OK
- 39.2.4 No of Exits - See Plan - OK
- 39.2.5 Arrangement of Means of Egress - See Plan - OK
- 39.2.6 Travel Distance - See Plan - OK
- 39.2.7 Exit Discharge- OK
- 39.2.8 Illumination of Means of Egress - See Plan - OK
- 39.2.9 Emergency Lighting - See Plan - OK
- 39.2.10 Marking of Means of Egress -See Plan - OK
- 39.3 Protection N/A
- 39.4 Special Provisions - N/A



Floor Plan
 Scale: 1/8" = 1'-0"



Sept. 19, 2011

<p>ALLIANCE BUILDERS INC. 790 Turnpike Street, Suite 202 North Andover, MA 01845</p>	<p>pando associates architects, inc. 3211 PANDO ASSOCIATES ARCHITECTS, INC. IS A PORTION OF THE SHARING MAY BE COVERED OR APPROVED WITHOUT BEING A MEMBER OR EMPLOYEE OF PANDO ASSOCIATES ARCHITECTS, INC.</p>	<p>108 Industrial Way - 481 York Street Canton, MA 02021-3423 tel: 781-828-8161 fax: 781-828-3982 www.pandoassociates.com</p>	<p>Life Safety Plan</p> <p>New England Life Care</p> <p>108 Industrial Way, Portland, ME 04101</p>
<p>Checked By: GLP Drawn By: MM Scale: 1/8" = 1'-0" Date: 28 July 2011 Job No: 11116 Dwg. No.</p>			<p>LS</p>