

325-C-1

2009-0010

125 Auburn St.

CVS Expansion

Northgate Plaza

on Spreadsheet

add to file on G: Drive



CONTEXT: NORTHGATE RENOVATIONS: CVS & HR BLOCK

LANDSCAPE NOTES:

- THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS IN QUANTITIES AS SHOWN ON THIS PLAN. NO SUBSTITUTIONS WILL BE PERMITTED UNLESS APPROVED BY OWNER. ALL PLANTS SHALL BE NURSERY GROWN.
- ALL PLANTS SHALL BE NURSERY GROWN AND PLANTS AND WORKMANSHIP SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO ARRIVAL ON-SITE AND AFTER PLANTING.
- PLANT STOCK SHALL BE GROWN WITHIN THE HARDINESS ZONES 4 THRU 7 ESTABLISHED BY THE PLANT HARDINESS ZONE MAP, MISCELLANEOUS PUBLICATIONS NO. 814, AGRICULTURAL RESEARCH SERVICE, UNITED STATES DEPARTMENT AGRICULTURE, LATEST REVISION.
- ALL PLANTS MUST BE MOVED WITH THE ROOT SYSTEMS AS SOLID UNITS WITH BALLS OF EARTH FIRMLY WRAPPED WITH BURLAP. NO PLANT SHALL BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN. BEFORE PLANTING, ALL PLANTS SHALL BE FRESHLY DUG, ALL PLANTS THAT CANNOT BE PLANTED AT ONCE MUST BE HEELED-IN BY SETTING IN THE GROUND, AND COVERING THE BALLS WITH SOIL, AND THEN WATERING DURING TRANSPORT. ALL PLANT MATERIALS SHALL BE WRAPPED WITH WIND PROOF COVERING.
- PLANT MATERIAL SHALL BARE THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE ORIGINAL PLANTING GRADE PRIOR TO DIGGING.
- THE NUMBER OF EACH INDIVIDUAL PLANT TYPE AND SIZE PROVIDED IN THE PLANT LIST OR ON THE PLAN IS FOR THE CONTRACTOR'S CONVENIENCE ONLY. IF A DISCREPANCY EXISTS BETWEEN THE NUMBER OF PLANTS ON THE LABEL AND THE NUMBER OF SYMBOLS SHOWN ON THE DRAWINGS, THE GREATER NUMBER SHALL APPLY.
- NO SUBSTITUTION OF PLANT MATERIALS WILL BE ALLOWED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE OWNER'S REPRESENTATION.
- THE CONTRACTOR SHALL LOCATE, VERIFY AND MARK ALL EXISTING AND NEWLY INSTALLED UNDERGROUND UTILITIES PRIOR TO ANY LAWN WORK OR PLANTING. ANY CONFLICTS WHICH MIGHT OCCUR BETWEEN PLANTING AND UTILITIES SHALL IMMEDIATELY BE REPORTED TO THE OWNER SO THAT ALTERNATE PLANTING LOCATIONS CAN BE DETERMINED.
- ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED, SHALL RECEIVE FOUR (4) INCHES OF LOAM AND SEED. NO FILL SHALL BE PLACED IN ANY WETLAND AREA.
- THREE (3) INCH BARK MULCH IS TO BE USED AROUND THE TREE AND SHRUB PLANTING AS SPECIFIED IN THE DETAILS. WHERE BARK MULCH IS TO BE USED IN A CURBED ISLAND THE BARK MULCH SHALL MEET THE TOP INSIDE EDGE OF THE CURB. ALL OTHER AREAS SHALL RECEIVE FOUR (4) INCHES OF LOAM AND SEED.
- SEE PLANTING DETAILS FOR WEED BARRIER INFORMATION.
- SEE PLANTING DETAILS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- TREE STAKES SHALL REMAIN IN PLACE FOR NO LESS THAN 6 MONTHS AND NO MORE THAN 1 YEAR.
- PLANTING SHALL BE COMPLETED FROM APRIL 15TH THROUGH OCTOBER 1ST. NO PLANTING DURING JULY AND AUGUST UNLESS SPECIAL PROVISIONS ARE MADE FOR DROUGHT.
- PARKING AREA PLANTED ISLANDS TO HAVE MINIMUM OF 1"-0" TOPSOIL PLACED TO THE TOP OF CURB ELEVATION. REMOVE ALL CONSTRUCTION DEBRIS BEFORE PLACING TOPSOIL.
- TREES SHALL BE PRUNED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI A300 'TREES, SHRUBS AND OTHER WOOD PLANT MAINTENANCE STANDARD PRACTICES.
- ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN, IF NECESSARY DURING THE FIRST GROWING SEASON.
- EXISTING TREES SHOWN ON THE PLAN ARE TO REMAIN UNDISTURBED. ALL EXISTING TREES SHOWN TO REMAIN ARE TO BE PROTECTED WITH A 4'-0" SNOW FENCE PLACED AT THE DRIP LINE OF THE BRANCHES OR AT 8 FEET MINIMUM FROM THE TREE TRUNK. ANY EXISTING TREE SHOWN TO REMAIN, WHICH IS REMOVED DURING CONSTRUCTION, SHALL BE REPLACED IN KIND AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL GUARANTEE ALL PLANTINGS TO BE IN GOOD HEALTHY, FLOURISHING AND ACCEPTABLE CONDITION FOR A PERIOD OF (1) YEAR BEGINNING AT THE DATE OF ACCEPTANCE OF SUBSTANTIAL COMPLETION. ALL GRASSES, TREES AND SHRUBS THAT, IN THE OPINION OF THE LANDSCAPE ARCHITECT, SHOW LESS THAN 80% HEALTHY GROWTH AT THE END OF (1) YEAR PERIOD SHALL BE REPLACED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PLANTING AND LAWNS AGAINST DAMAGE FROM ONGOING CONSTRUCTION. THIS PROTECTION SHALL BEGIN AT THE TIME THE PLANT IS INSTALLED AND CONTINUE UNTIL THE FORMAL ACCEPTANCE OF ALL THE PLANTINGS.
- PRE PLANT MATERIAL AND ARRANGE FOR DELIVERY TO MEET PROJECT SCHEDULE AS REQUIRED IT MAY BE NECESSARY TO PRE-DIG CERTAIN SPECIES WELL IN ADVANCE OF ACTUAL PLANTING DETAILS.

PLANT SCHEDULE:

CODE	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
AK	ACER RUBRUM 'RED SUNSET'	RED SUNSET RED MAPLE	2 1/2" - 3" CALIPER	8 & 8
CC	CORYLUS COLORATA	TURKISH FLORIST	2 1/2" - 3" CALIPER	8 & 8
GTI	GLEDITSIA TRIACANTHOS 'TARTANLINE'	BOYLINE HONEY LOCUST	2 1/2" - 3" CALIPER	8 & 8
PC	PYRUS CALLERIANA 'CHANTICLEER'	CHANTICLEER PEAR	2 1/2" - 3" CALIPER	8 & 8
MC	MALUS CORALBURST	SHARON SERVICE BERRY	7-8 FT	8 & 8 (CLUMP)
AC	AMALANCHIERA CANADENSIS	HERITAGE RIVER BIRCH	1 1/2" - 1 1/2" CALIPER	8 & 8
BN	BETULA NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH	1 1/2" - 1 1/2" CALIPER	8 & 8
PS	PINUS STROBUS	WHITE PINE	6-7 FT	8 & 8

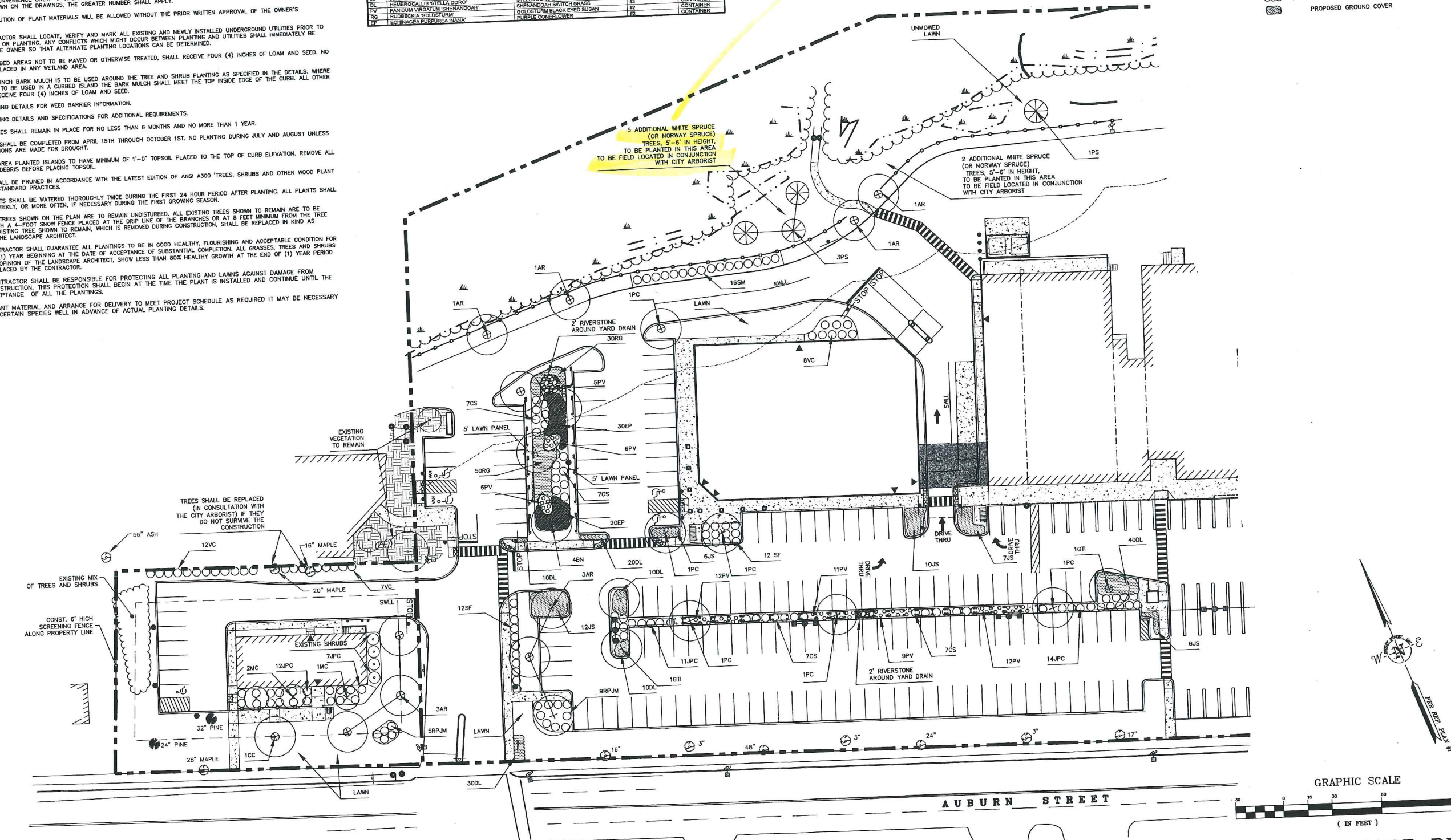
CODE	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SM	SYRINGA MEYERI 'PALBIN'	SWANE KOREAN LILAC	2 1/2" - 3" HT	CONTAINER
RM	RHOODODENDRON 'P.M'	P.M. RHODODENDRON	2 1/2" - 3" HT	CONTAINER
JPC	JUNIPERUS CHINENSIS 'PFITZERIANA'	COMPACT PFITZER JUNIPER	18-24" SPREAD	CONTAINER
VC	VIBURNUM CASSINOIDES	WITHERED VIBURNUM	2 1/2" - 3" HT	CONTAINER
FR	FROEBELIA SP.	FROEBEL SP.	18-24" HT	CONTAINER
CS	CORNUS SERICEA 'ALL MANS COMPACT'	ALL MANS COMPACT RED STEM DOGWOOD	8"	CONTAINER

CODE	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
JSP	JUNIPERUS SPREADER	SPIRA SPREADER JUNIPER	18-24" SPREAD	CONTAINER
SD	STELLARIA DORO DAYLILY	STELLA DORO DAYLILY	#2	CONTAINER
SH	SHENANDOAH SWITCH GRASS	SHENANDOAH SWITCH GRASS	#2	CONTAINER
PL	PANICUM VIRGATUM 'SHENANDOAH'	GOLDEN LAM BLACK EYED SUSAN	#2	CONTAINER
RJ	RUDIBECHIA GOLDSTURM	PURPLE CONEFLOWER	#2	CONTAINER
EP	ECHINACEA PURPUREA 'MINKA'	PURPLE CONEFLOWER	#2	CONTAINER

*these were to
buffer MS
Dr Phillippe*

LEGEND

- PROPERTY (LEASE) LINE
- 75' WETLAND BUFFER
- EDGE OF WETLAND
- EXISTING TREE LINE
- PROPOSED TREE LINE
- PROPOSED CONCRETE SIDEWALK/PAD
- PROPOSED SIGN
- PROPOSED BOLLARD
- PROPOSED LIGHT POLE BASE
- PROPOSED TREES
- PROPOSED SHRUBS
- PROPOSED GROUND COVER



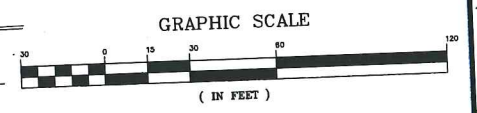
No.	Description	REVISIONS
1.	REVISED PER CITY STAFF COMMENTS	



DATE: AUGUST 18, 2009
 SCALE: AS SHOWN
 DESIGNED BY: SAM
 DRAWN BY: SAM
 APPROVED BY: GY/BLM
 PROJECT NO: 2042B
 FILE NO: 2042B-CONSIST.DWG

**NORTHGATE PLAZA
 AUBURN STREET
 PORTLAND, MAINE**

**APPLEDORE
 ENGINEERING**
 177 CORPORATE DRIVE
 PORTSMOUTH, NEW HAMPSHIRE 03801
 (603) 433-8818
 ae@appledoreeng.com



LANDSCAPE PLAN C-5

**TAX MAP 375
LOT C-1
SITE DATA**

LOCATION: PORTLAND, MAINE
ZONING DISTRICT: B-2 COMMUNITY BUSINESS ZONE
(A PORTION OF THE LOT IS IN THE SP-STREAM PROTECTION ZONE)
PERMITTED USE: GENERAL BUSINESS AND PROFESSIONAL OFFICES, RETAIL ESTABLISHMENTS, RESTAURANTS.
CONDITIONAL USE: DRIVE-THRU WHICH IS ADJACENT TO ANY RESIDENTIAL USE OR ZONE

DIMENSIONAL REQUIREMENTS:

	REQUIRED	COMMUNITY BUSINESS (B-2) PROVIDED
MINIMUM LOT AREA:	10,000 SF	575,009 SF
MINIMUM STREET FRONTAGE:	50 FT	±900 FT
FRONT SETBACK:	0 FT	±24 FT
SIDE SETBACK:	0 FT	±26 FT
REAR SETBACK:	20 FT	±82 FT
REAR ABUTTING RESIDENTIAL MAXIMUM LOT COVERAGE:	80 %	±77 %
MAXIMUM HEIGHT:	45 FT	<45 FT

* FRONT YARD SHALL NOT EXCEED THE AVERAGE DEPTH OF THE FRONT YARDS OF THE CLOSEST DEVELOPED LOTS ON EITHER SIDE. WHERE THE FRONT YARD EXCEEDS 10 FEET A PEDESTRIAN EDGE TREATMENT SHALL BE CONSTRUCTED.

PARKING REQUIREMENTS

TENANTS:	FLOOR AREA	REQUIREMENT:	REQUIRED:	PROVIDED:
SHAW'S	59,950 ± SF (1)	1/200 SF	300 SPACES	583 SPACES (3) (4)
STARBUCKS	1,870 ± SF	1/150 SF	13 SPACES	
OLYMPIA SPORTS	3,300 ± SF	1/200 SF	17 SPACES	
ROMARD'S HALLMARK	6,570 ± SF	1/200 SF	33 SPACES	
THE KENNEL SHOP	7,320 ± SF	1/200 SF	37 SPACES	
KEYBANK	1,780 ± SF	1/334 SF	6 SPACES	
VACANT (2)	7,165 ± SF	1/200 SF	36 SPACES	
UPS	3,270 ± SF	1/334 SF	10 SPACES	
TOWN AND COUNTRY	3,030 ± SF	1/334 SF	10 SPACES	
PROPOSED CVS	12,900 ± SF	1/200 SF	65 SPACES	
PROPOSED ATM	49 ± SF	1/334 SF	1 SPACE	
TOTAL:			528 SPACES	583 SPACES (3) (4)
BICYCLE SPACES:			42 SPACES (5)	22 SPACES
ADA ACCESSIBLE SPACES:			12 SPACES	13 SPACES

NOTES:
(1) SHAW'S CALCULATION ALSO INCLUDES THE 2,000 SF DEDUCTION ALLOWED UNDER SECTION 14-332Z(H)
(2) VACANT USE ASSUMED AS A RETAIL ESTABLISHMENT.
(3) PARKING PROVIDED IN NORTHGATE PLAZA ASSUMES SHARED PARKING BETWEEN LESSORS.
(4) TOTAL PARKING EXCLUDES 13 SPACES WHICH ARE DESIGNATED TO TAX MAP 375, LOT C-23 (H&R BLOCK) BY EASEMENT.
(5) TWO BICYCLE PARKING SPACES FOR EVERY TEN MOTOR VEHICLE PARKING SPACES FOR THE FIRST ONE HUNDRED REQUIRED MOTOR VEHICLE PARKING SPACES, PLUS ONE BICYCLE PARKING SPACE FOR EVERY TWENTY MOTOR VEHICLE PARKING SPACE OVER ONE HUNDRED. TWENTY-TWO BICYCLE SPACES HAVE BEEN PROVIDED WITHIN LIMIT OF WORK.

PARKING REQUIREMENTS FOR MEDICAL OFFICE BUILDING WITH PARKING EASEMENT ON SITE:

TENANTS:	FLOOR AREA	REQUIREMENT:	REQUIRED:	PROVIDED:
MEDICAL OFFICE	9,941 ± SF	1/400 SF	25 SPACES	
SPACES PROVIDED ON TAX MAP 375, LOT C-39				12 SPACES
PARKING PROVIDED ON SITE WITH EASEMENT				13 SPACES (1)
TOTAL:			25 SPACES	25 SPACES

NOTES:
(1) 13 SPACES ON NORTHGATE PLAZA ARE DESIGNATED TO TAX MAP 375, LOT C-39 BY EASEMENT.

**TAX MAP 375
LOT C-23
SITE DATA**

LOCATION: PORTLAND, MAINE
ZONING DISTRICT: R-P RESIDENTIAL PROFESSIONAL
PERMITTED USE: BUSINESS SERVICES AND PROFESSIONAL OFFICES

DIMENSIONAL REQUIREMENTS:

	REQUIRED	RESIDENTIAL PROFESSIONAL (R-P) PROVIDED
MINIMUM LOT AREA:	6,000 SF	23,480 SF
MINIMUM STREET FRONTAGE:	60 FT	190±FT
FRONT SETBACK:	20 FT*	50±FT
SIDE SETBACK:	12 FT	32±FT
REAR SETBACK:	20 FT	43±FT
REAR ABUTTING RESIDENTIAL MAXIMUM INTERIOR OPEN SPACE:	70 %	±53 %
MAXIMUM FLOOR AREA RATIO:	10% OF PARKING AREA	±0%
MAXIMUM HEIGHT:	45 FT	<45 FT

* FRONT YARD SHALL NOT EXCEED THE AVERAGE DEPTH OF THE FRONT YARDS OF THE CLOSEST DEVELOPED LOTS ON EITHER SIDE. WHERE THE FRONT YARD EXCEEDS 10 FEET A PEDESTRIAN EDGE TREATMENT SHALL BE CONSTRUCTED.

PARKING REQUIREMENTS

OFFICES: 1/400 SF	13 SPACES	13 SPACES (1)
5,200/400		
ADA ACCESSIBLE SPACES:	1 SPACE	2 SPACES
BICYCLE SPACES:	2 SPACES	0 SPACES

NOTE:
(1) TOTAL PARKING INCLUDES 5 SPACES LOCATED ON TAX MAP 375, LOT C-1 WHICH ARE DESIGNATED TO TAX MAP 375, LOT C-23 (H&R BLOCK) BY EASEMENT.

SITE NOTES:

- STRIPED PARKING AREAS AS SHOWN, INCLUDING PARKING SPACES, STOP BARS, HANDICAP SYMBOLS, PAINTED ISLANDS, CROSS WALKS, ARROWS, LEGENDS AND CENTERLINES (ALL MARKINGS EXCEPT CENTERLINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING WHITE TRAFFIC PAINT. CENTERLINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING YELLOW TRAFFIC PAINT. ALL TRAFFIC PAINT SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F").
- ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS, LATEST EDITIONS.
- SEE DETAILS FOR PARKING STALL MARKINGS, HANDICAP SYMBOLS, SIGNS AND SIGN POSTS.
- CENTERLINES SHALL BE FOUR (4) INCH WIDE YELLOW LINES. STOP BARS SHALL BE EIGHTEEN (18) INCHES WIDE.
- PAINTED ISLANDS SHALL BE FOUR (4) INCH WIDE DIAGONAL LINES AT 3'-0" O.C. BORDERED BY FOUR (4) INCH WIDE LINES.
- THE CONTRACTOR SHALL EMPLOY A LICENSED ENGINEER/SURVEYOR TO DETERMINE ALL LINES AND GRADES. DESIGN ENGINEER TO PROVIDE COORDINATES FOR EDGE OF PAVEMENT, PC'S & PT'S.
- CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINE WITH RS-1 EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
- ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND/OR CITY CODES & SPECIFICATIONS.
- WORK WITHIN AUBURN STREET SHALL BE COORDINATED WITH CITY OF PORTLAND AND THE MEDOT.
- CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MYLARS AND IN DIGITAL FORMAT (.DWG FILE) ON DISK TO THE OWNER AND ARCHITECT UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
- SEE ARCHITECTURAL DRAWINGS FOR ALL CONCRETE PADS & SIDEWALKS ADJACENT TO BUILDING.
- ALL WORK SHALL CONFORM TO THE CITY OF PORTLAND DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS.
- CONTRACTOR TO PROVIDE BACKFILL AND COMPACTION AT CURB LINE AFTER CONCRETE FORMS FOR SIDEWALKS AND PADS HAVE BEEN STRIPPED. COORDINATE WITH BUILDING CONTRACTOR.
- ALL LIGHT POLE BASES NOT PROTECTED BY A RAISED CURB SHALL BE PAINTED YELLOW.
- COORDINATE ALL WORK ADJACENT TO BUILDING WITH BUILDING CONTRACTOR.
- SNOW THAT CAN NOT BE ACCOMMODATED IN THE LOCATIONS SHOWN SHALL BE TAKEN OFF-SITE.

LEGEND

- PROPERTY LINE
- - - 75' STREAM PROTECTION ZONE
- - - ABUTTER LOT LINE
- - - BUILDING SETBACK
- - - EDGE OF WETLAND
- - - EXISTING TREE LINE
- - - PROPOSED TREE LINE
- - - PROPOSED CONCRETE SIDEWALK/PAD
- - - PROPOSED SIGN
- - - PROPOSED BOLLARD
- - - PROPOSED LIGHT POLE BASE
- - - PROPOSED ACCESSIBLE PARKING SPACE
- - - PROPOSED VAN ACCESSIBLE PARKING SPACE
- - - PROPOSED CROSSWALK
- - - PROPOSED PAINTED ARROW
- - - PROPOSED BIKE RACK
- - - DOUBLE YELLOW LANE LINE
- - - PROPOSED CURB
- - - VERTICAL GRANITE CURB
- - - SLOPED GRANITE CURB
- - - DOOR LOCATION
- - - PROPOSED CURB STOP

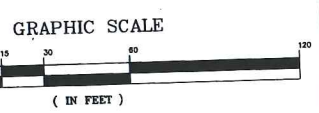
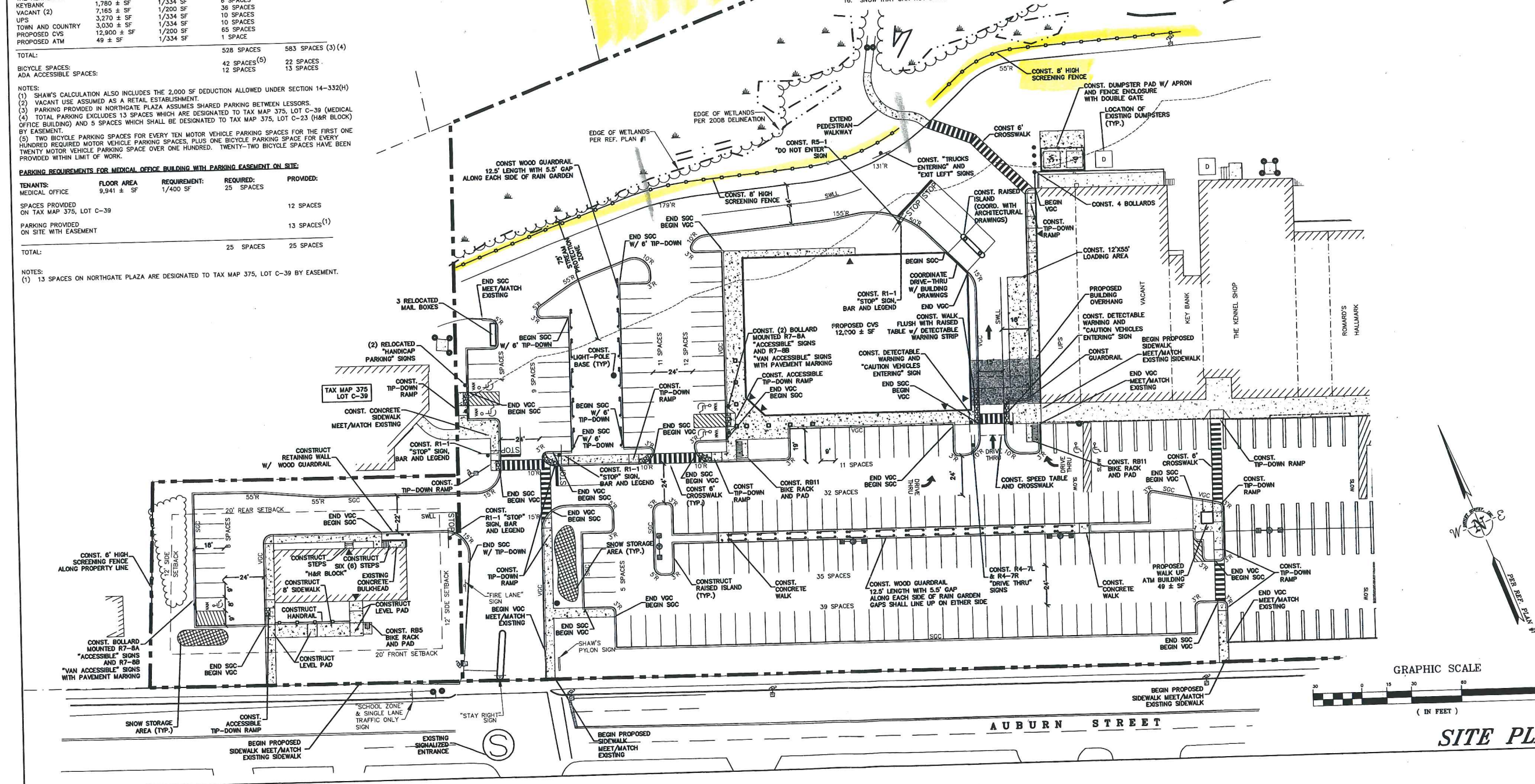
No.	Description	Appd	Date



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FILE NO.: 2042B-CONST.DWG

**NORTHGATE PLAZA
AUBURN STREET
PORTLAND, MAINE**

**APPLEDORE
ENGINEERING**
177 CORPORATE DRIVE
PORTSMOUTH, NEW HAMPSHIRE 03801
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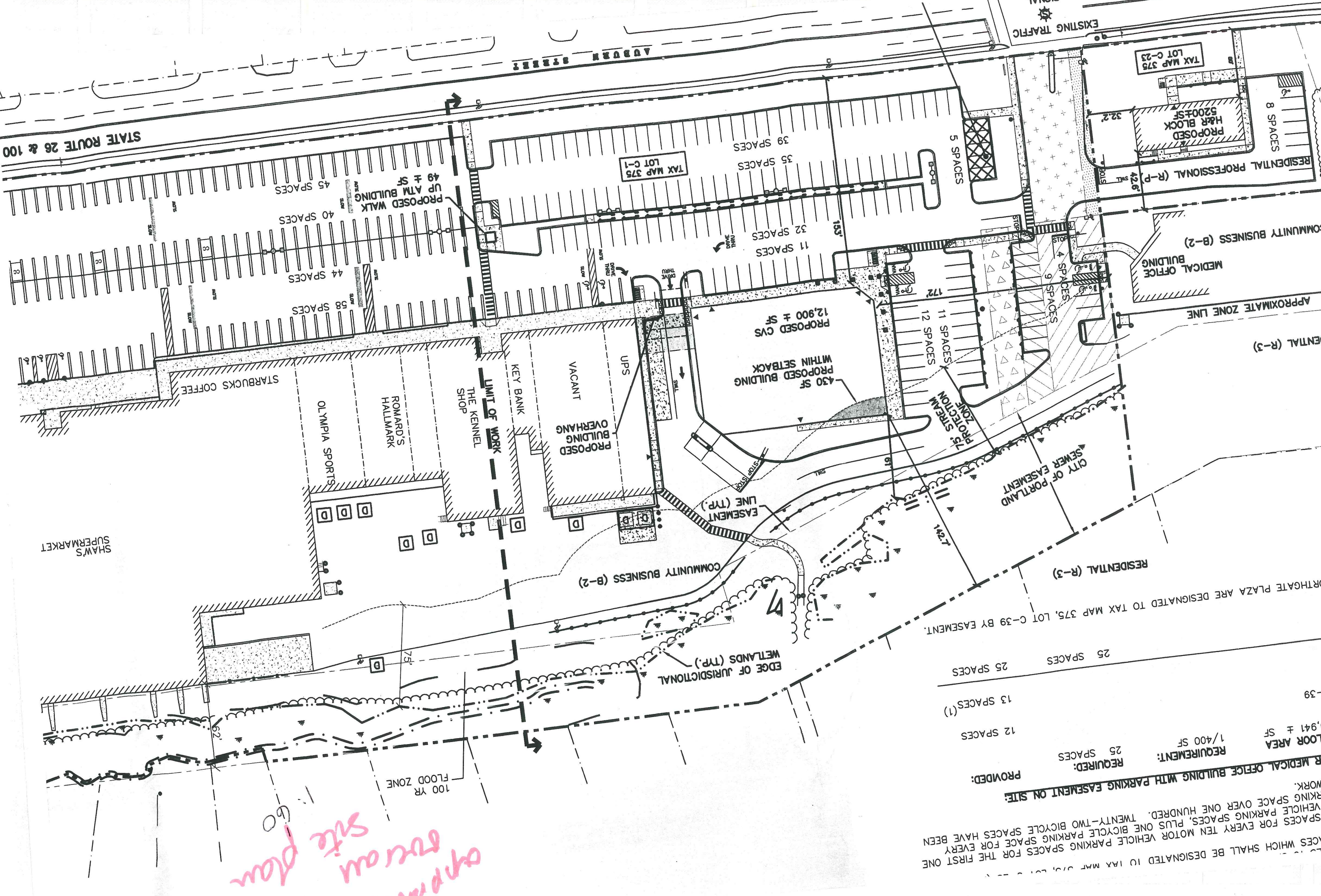


SITE PLAN C-2A

STATE ROUTE 26 & 100

AVENUE STREETS

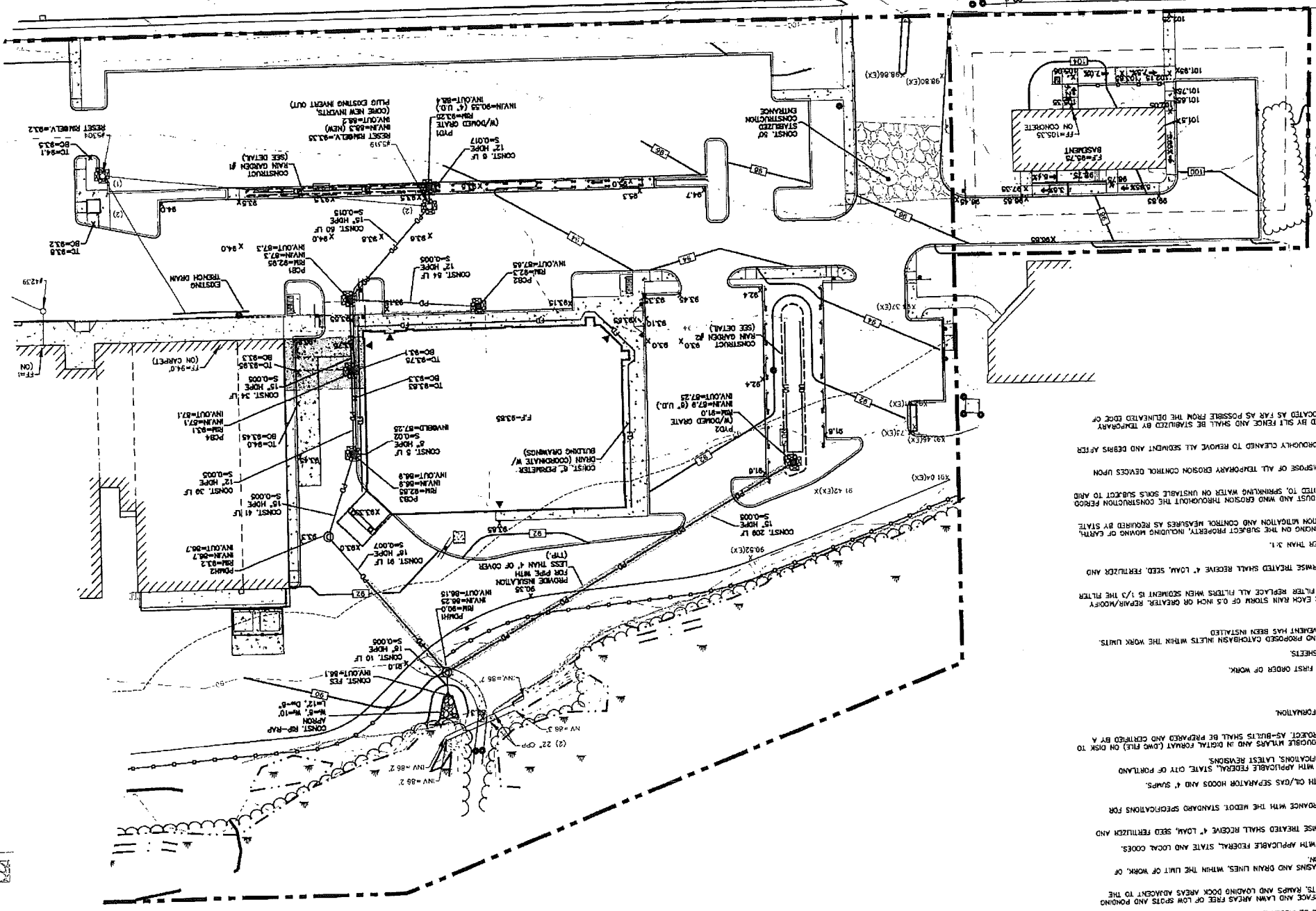
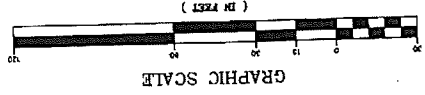
EXISTING TRAFFIC SIGNAL



Approved site plan
60

PROVIDED: 25 SPACES
 REQUIRED: 1/400 SF
 FLOOR AREA 9,941 ± SF
 C-39
 NORTHGATE PLAZA ARE DESIGNATED TO TAX MAP 375, LOT C-39 BY EASEMENT.
 RESIDENTIAL (R-3)
 CITY OF PORTLAND SEWER EASEMENT
 75' STREAM PROTECTION ZONE
 EASEMENT LINE (TYP.)
 EDGE OF JURISDICTIONAL WETLANDS (TYP.)
 100 YR FLOOD ZONE
 SHAW'S SUPERMARKET
 STARBUCKS COFFEE
 OLYMPIA SPORTS
 ROMARD'S HALLMARK
 THE KENNEL SHOP
 VACANT
 PROPOSED BUILDING OVERHANG
 UPS
 KEY BANK
 LIMIT OF WORK
 COMMUNITY BUSINESS (B-2)
 PROPOSED CVS 12,900 ± SF
 PROPOSED BUILDING WITHIN SETBACK 430 SF
 PROPOSED H&R BLOCK 5200 ± SF
 TAX MAP LOT C-1
 TAX MAP 375
 TAX MAP LOT C-23
 RESIDENTIAL (R-3)
 APPROXIMATE ZONE LINE
 MEDICAL OFFICE BUILDING
 COMMUNITY BUSINESS (B-2)
 RESIDENTIAL PROFESSIONAL (R-P)
 PROPOSED H&R BLOCK 5200 ± SF
 TAX MAP LOT C-23
 8 SPACES
 5 SPACES
 39 SPACES
 35 SPACES
 32 SPACES
 11 SPACES
 12 SPACES
 11 SPACES
 9 SPACES
 4 SPACES
 8 SPACES
 25 SPACES
 13 SPACES
 12 SPACES
 25 SPACES

GRADING, DRAINAGE & EROSION CONTROL PLAN



STRUCTURE TABLE

CB #5310	12\"/>
CB #5304	12\"/>
CB #4239	12\"/>

GRADING AND DRAINAGE NOTES

1. COMPACTION REQUIREMENTS BELOW PAVED OR CONCRETE AREAS
2. ALL STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HANCOR H-40, AOS N-12 OR APPROVED EQUAL) UNLESS OTHERWISE SPECIFIED.
3. SITE UTILITIES PLAN FOR ALL SITE UTILITY INFORMATION.
4. ADJUST ALL MANHOLES, CATCHBASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
5. COORDINATE WORK ADJACENT TO PROPOSED BUILDINGS WITH BUILDING CONTRACTOR.
6. ALL DRAIN PIPES WITH LESS THAN 4' OF COVER SHALL BE INSULATED.
7. CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND POONING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCES, EXITS, RAMPS AND LOADING DOCK AREAS ADJACENT TO THE BUILDING.
8. CONTRACTOR SHALL THOROUGHLY CLEAN ALL CATCHBASINS AND DRAIN LINES, WITHIN THE LIMIT OF WORK, OF SEDIMENT IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
9. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES.
10. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 4' LOAM, SEED, FERTILIZER AND MULCH.
11. ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE WEDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.
12. ALL PROPOSED CATCHBASINS SHALL BE EQUIPPED WITH OIL/GAS SEPARATOR HOODS AND 4' Sumps.
13. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE, CITY OF PORTLAND DEPARTMENT OF PUBLIC WORKS AND CONSTRUCTION SPECIFICATIONS, LATEST EDITIONS.
14. CONTRACTOR TO SUBMIT AS-BUILT PLANS OR REPRODUCIBLE MYLARS AND IN DIGITAL FORMAT (DWG FILE) ON DISK TO THE OWNER AND ARCHITECT UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
15. SET EXISTING CONDITIONS PLAN FOR BENCH MARK INFORMATION.

EROSION CONTROL NOTES

1. INSTALL EROSION CONTROL BARRIERS AS SHOWN AS FIRST ORDER OF WORK.
2. SEE GENERAL EROSION CONTROL NOTES ON DETAIL SHEETS.
3. PROVIDE INLET PROTECTION AND SILT FENCES AFTER EACH RAIN STORM OF 0.5 INCH OR GREATER. REPAIR/MOORRY MAINTAIN FOR THE DURATION OF THE PROJECT UNTIL PAVEMENT HAS BEEN INSTALLED.
4. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
5. INSPECT INLET PROTECTION AND SILT FENCES AFTER EACH RAIN STORM OF 0.5 INCH OR GREATER. REPAIR/MOORRY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT.
6. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 4' LOAM, SEED, FERTILIZER AND MULCH.
7. CONTRACTOR SHALL EXCEPT WORK ON ALL SLOPES STEEPER THAN 3:1.
8. PRIOR TO ANY WORK ON SOIL DISTURBANCE COMMENCEMENT AND STATION MARKING, INCLUDING MOVING OF STATE AND LOCAL PERMITS AND APPROVALS.
9. CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND EROSION THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL MEASURES SHALL INCLUDE, BUT NOT LIMITED TO, SPRINKLING WATER ON UNSTABLE SOILS SUBJECT TO AND COMPLETION OF CONSTRUCTION.
10. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
11. ALL CATCHBASIN SWAPS AND PIPING SHALL BE THOROUGHLY CLEANED TO REMOVE ALL SEDIMENT AND DEBRIS AFTER THE PROJECT HAS BEEN PAVED.
12. TEMPORARY SOIL STOCKPILE AREAS TO BE SURROUNDED BY SILT FENCE AND SHALL BE STABILIZED BY TEMPORARY WETLAND.

LEGEND

	75' WETLAND BUFFER
	CODE OF WETLAND
	EXISTING TREE LINE
	PROPOSED TREE LINE
	PROPOSED CONCRETE SIDEWALK
	EXISTING 10' CONTOUR
	FINISH GRADE
	EXISTING DRAINAGE
	PROPOSED INSULATED DRAINAGE
	PROPOSED DRAINAGE
	PROPOSED ROOF DRAIN
	SILT FENCE
	PROPOSED INLET PROTECTION
	PROPOSED CATCH BASIN
	PROPOSED MANHOLE
	EXISTING SPOT GRADE
	PROPOSED SPOT GRADE
	PROPOSED SILT FENCE

APPLIEDORE ENGINEERING
 177 CORPORATE DRIVE
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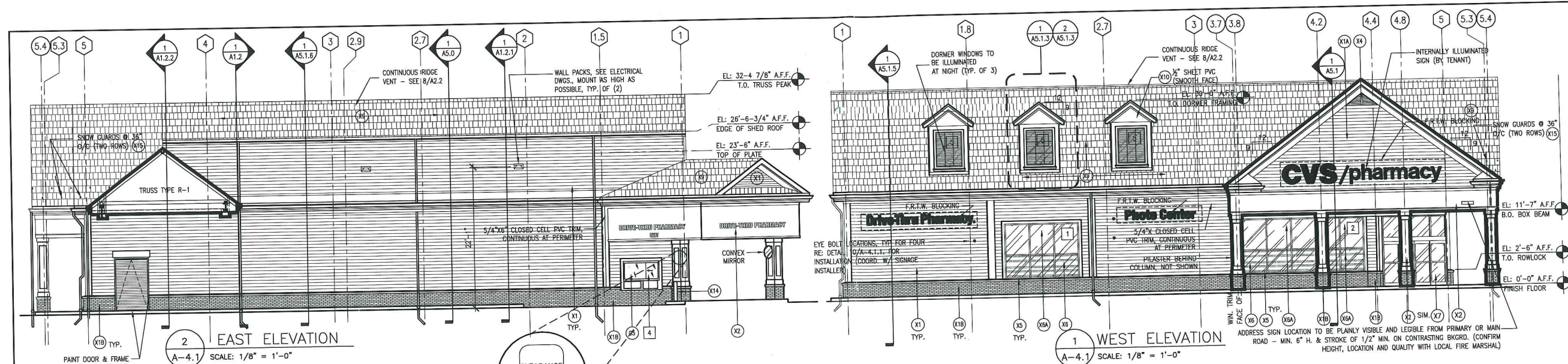
NORTHGATE PLAZA
AUBURN STREET
PORTLAND, MAINE

DATE: JANUARY 30, 2009
 SCALE: AS SHOWN
 DESIGNED BY: SAM
 DRAWN BY: SAM
 APPROVED BY: GT/BUM
 PROJECT NO.: 20428
 FILE NO.: 20428-SITE/DWG



No.	Description	App'd	Date
1.	REVISIONS		
2.	REVISION PER PER WORKSHOP	BLM	5/19/08
3.	REVISION PER CONDITION OF APPROVAL	BLM	6/12/08

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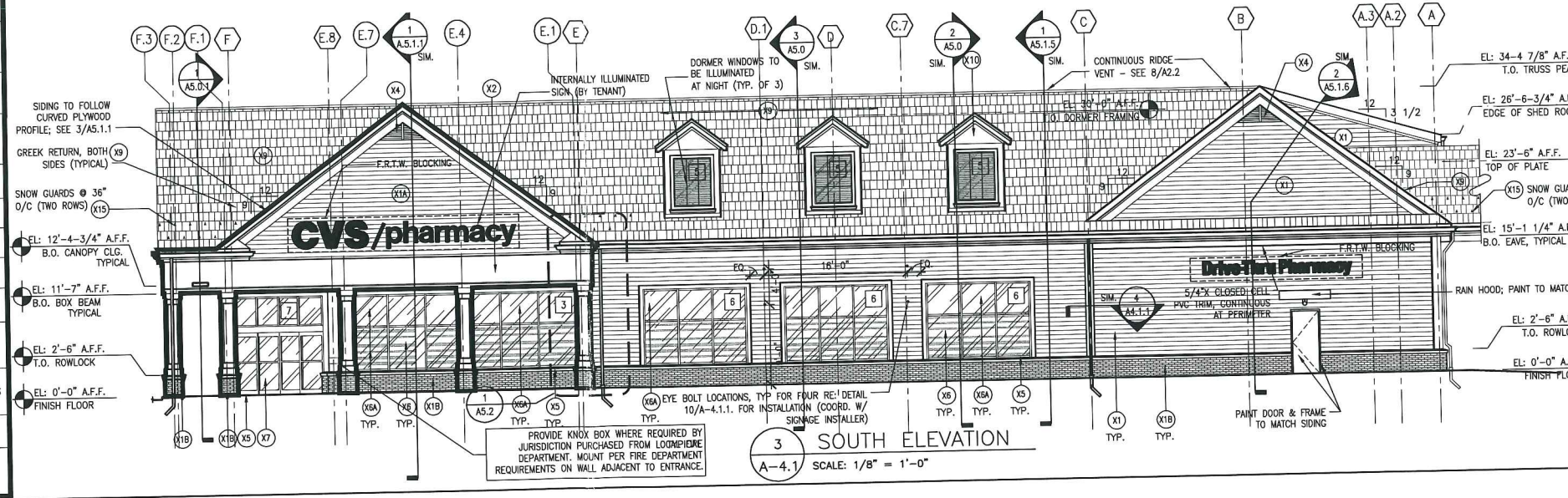
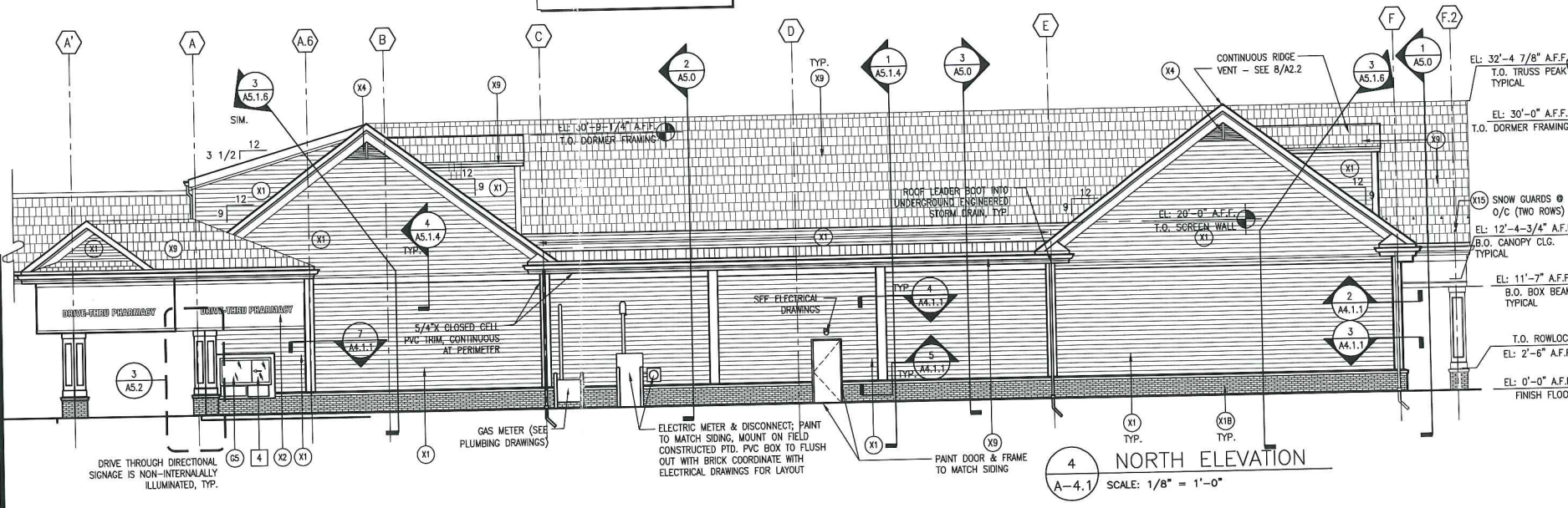
EXTERIOR ELEVATIONS NOTES:

- TYPICAL WERZALIT SIDING SYSTEM: PROVIDE CLAPBOARDS W/ 6" T.I.W. W/ ALL INTEGRAL FLASHINGS, INSIDE & OUTSIDE CORNER TRIM, ACCESSORIES, TERMINATIONS, FASTENERS AND ALL APPURTENANCES AS PER MFG'S STANDARD DETAILS, PRINTED INSTRUCTIONS, RECOMMENDATIONS AND INDUSTRY STANDARDS FOR COMPLIANCE TO WARRANTY REQUIREMENTS.
- J-CHANNELS SHALL BE USED. CONSULT MANUFACTURER FOR PROPER TERMINATION OF EXPOSED CUT ENDS, ALL JOINTS SHALL BE STAGGERED, NO VISUAL JOINT PATTERN SHALL BE EVIDENT, PROVIDE PAINTABLE SEALANT AT JUNCTURE BET. SIDING AND TRIM, (MAX 1/4")
- G.C. TO PROVIDE COLOR SAMPLES OF ALL PAINTED SIDING AND TRIM PRIOR TO START OF WORK (AND ORDERING OF SIDING)
- EXTERIOR TRIM FOR THE BUILDING SHALL BE CLOSED CELL PVC TRIM. WHERE THE DRAWINGS DENOTE "WOOD" AS OPPOSED TO "PVC", PROVIDE SAME PVC TRIM. ALL PVC IS DISTRIBUTED BY THE SHANNON CORPORATION, 329 B BOSTON POST ROAD SUDBURY, MA 01776; PH: 978-443-4911; FAX: 978-443-5804; E-MAIL: SHANCORP@AOL.COM
- ALL JOINTS IN SHEET PVC SHALL BE FLUSH FILLED AND SANDED TO ELIMINATE SEAM.
- ALL PVC TRIM ABUTTING WERZALIT SIDING SHALL BE 5/4" UNLESS NOTED OTHERWISE

SIGNAGE NOTES:

- ALL BUILDING SIGNAGE SUPPLIED AND INSTALLED BY CVS
- COORDINATE EXTERIOR SIGNAGE REQUIREMENTS & RESTRICTIONS WITH LOCAL CODES.
- SEE SIGNAGE SHEET AB.1 FOR ADDITIONAL NOTES & DETAILS

TAG	MATERIAL/MFG.	COLOR/NO.	NOTES
X1	"WERZALIT" RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	AMERICANA 6" EXPOSURE, TRADITION (SMOOTH SURFACE); SEE NOTE #4. PROVIDE PAINTED SAMPLE TO ARCHITECT
X1A	"WERZALIT" RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE 319-79	HERITAGE 6" EXPOSURE, TRADITION (SMOOTH SURFACE); SEE NOTE #4. PROVIDE PAINTED SAMPLE TO ARCHITECT
X1B	EXTERIOR FACE BRICK	CVS RED	MORTAR COLOR - NATURAL GREY
X1C	EXTERIOR CEDAR CLAPBOARD SIDING SYSTEM	PRIME & PAINT TO MATCH EXISTING	EXPOSURE TO MATCH EXISTING
X1D	C.M.U. BLOCK (SPLIT FACED, SINGLE SCORE)	NATURAL GSF 000" (TO MATCH EXISTING)	MANUFACTURED BY GENEST CONCRETE, SANFORD, ME (BUTCH KENEY: 207-324-3250 X155)
X1E	EXTERIOR FACE BRICK	TO MATCH EXISTING EXTERIOR FACE BRICK	COORDINATE WITH GENEST CONCRETE, SANFORD, ME (BUTCH KENEY: 207-324-3250 X155)
X1F	WOOD CROWN MOULDING	TO MATCH EXISTING	PROVIDE IN CLOSED CELL PVC IF AVAILABLE
X2	CLOSED CELL PVC TRIM	SMOOTH FACE; PAINT BENJAMIN MOORE 319-79 (TYPICAL AT ALL PVC TRIM)	PROVIDE PAINT SAMPLE TO ARCHITECT; SEE NOTE #4
X3	CLOSED CELL SHEET PVC CLADDING	5/4" ABUTTING WOOD SIDING; OTHERWISE 1"	PROVIDE PAINT SAMPLE TO ARCHITECT; SEE NOTE #4
X4	FYPON DECORATION	BENJAMIN MOORE 319-79	TRIANGULAR LOUVER FTRLV 60 X 23 BY "FYPON MOULDED MILLWORK", GABLE DECORATION, PROVIDE MAN. WITH ALL NECESSARY DIMENSIONS FOR SIZE
X5	WIND/DOOR STOREFRONT "KAWNEER" TRIFAB II	VALSPAR IND. COATING #391A226, COLONIAL WHITE	#451-T SERIES FLUOROPEN FINISH Tel. 1-800-366-3698
X6	1" INSULATED FLOAT GLASS	OPAQUE SUBOURED GREY SPANDREL	STOREFRONT WINDOWS
X6A	1" INSULATED FLOAT GLASS	CLEAR	STOREFRONT WINDOWS
X7	1/4" LAM SAFETY GLASS	CLEAR	DOORS & SIDELIGHTS
X8	PREFINISHED METAL COPING CAP	COLOR TO MATCH ADJACENT VENEER MASONRY	---
X9	FIBERGLASS ASPHALT ARCHITECTURAL ROOF SHINGLE.	PEWTER BLEND G.C. TO SUBMIT SAMPLES	GAF TIMBERLINE 30 YEAR - ARCHITECTURAL SHINGLE OR APPROVED EQUAL
X10	EXTERIOR PAINTED SURFACE BENJAMIN MOORE	ATRIUM WHITE #319-79	PROVIDE PAINT SAMPLE TO ARCHITECT; COLOR TO MATCH FACTORY FINISHED WINDOW FRAME ALL EXTERIOR SURFACES NOT FACTORY PRIMED & PAINTED TO REMOVE X10
X14	EXTERIOR PIPE BOLLARDS BENJAMIN MOORE	SAFETY YELLOW 4208-9400	DEVFLEX WB ACRYLIC, 4208- SERIES, HIGH PERFORMANCE
X15	STAINLESS STEEL SNOW GUARDS	ZALESKI SNOW GUARDS, MODEL #8 (STAINLESS STEEL)	PROVIDE TWO ROWS (STAGGERED), @ 36" O/C



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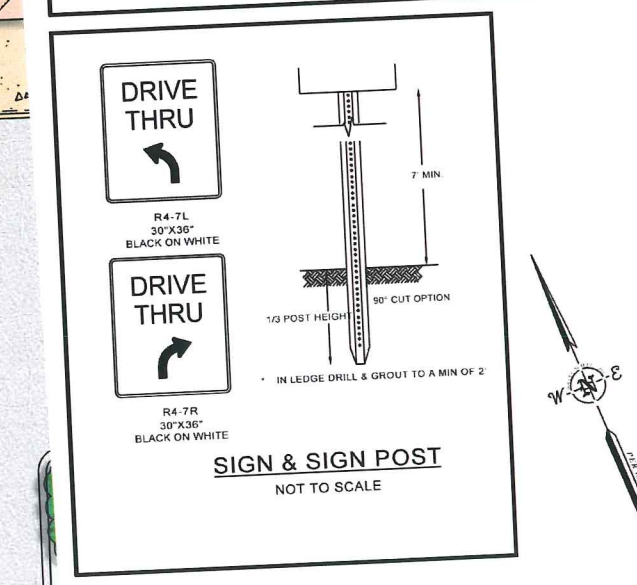
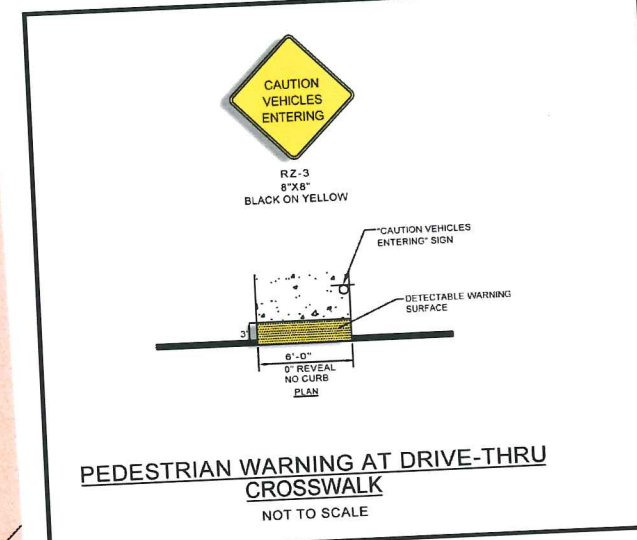
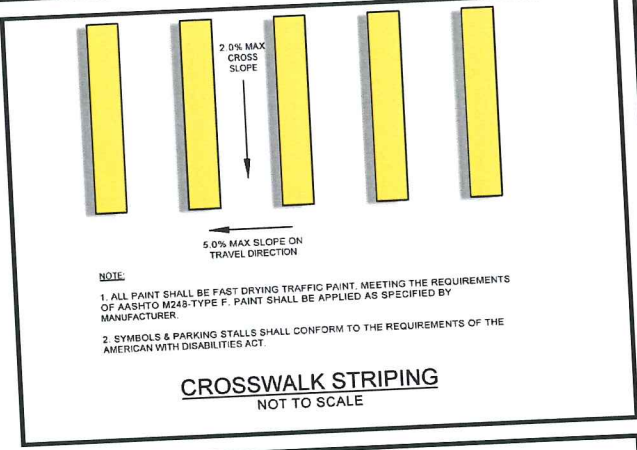
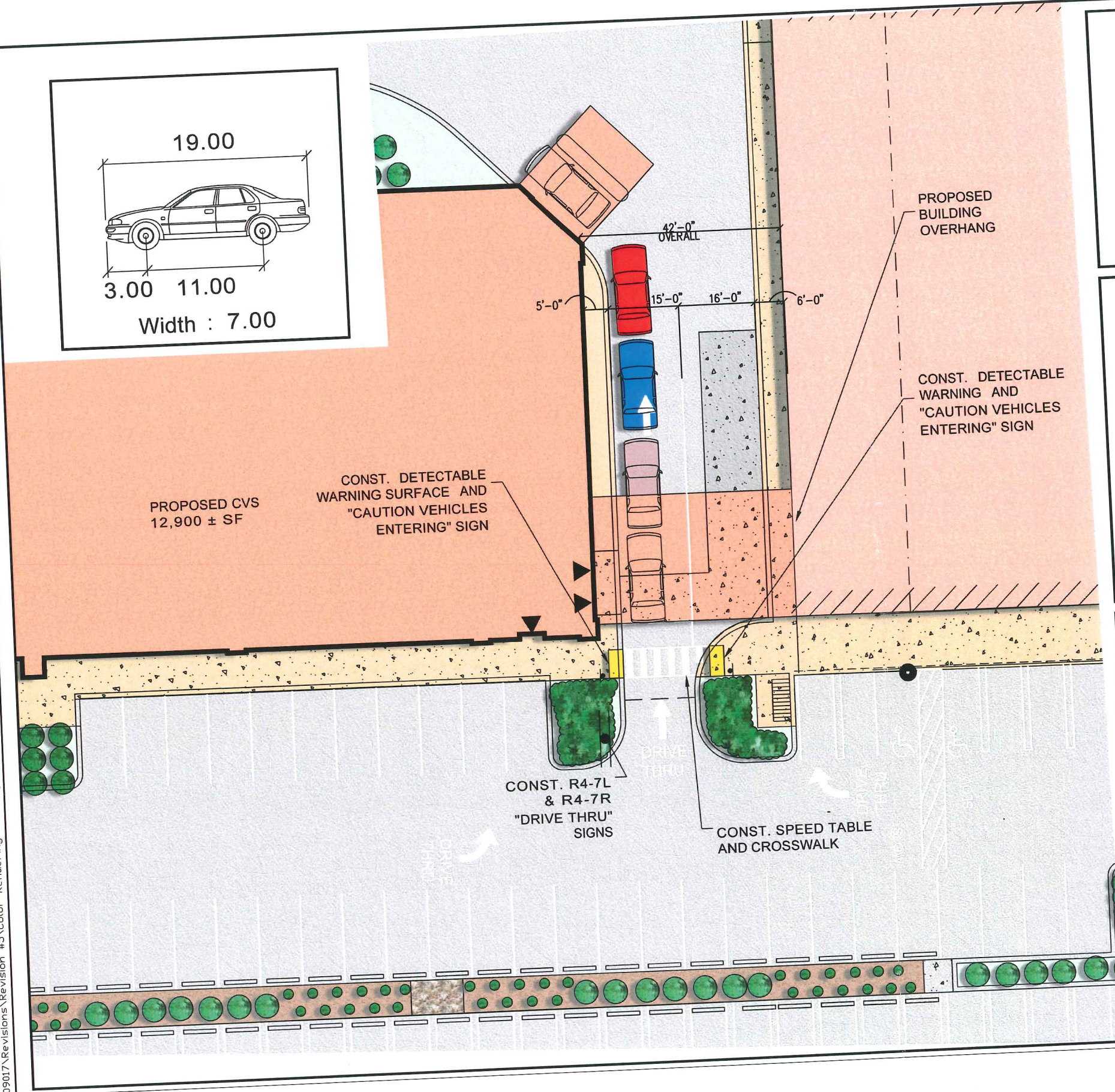
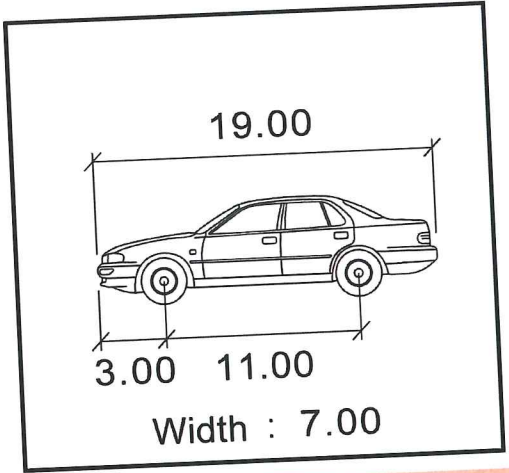
CONSULTANT:
 SEAL:

CVS/
pharmacy
 NEW
 STORE NUMBER: 329
 NORTHGATE PLAZA
 91 AUBURN STREET
 PORTLAND, MAINE

DEVELOPER:
 A & D REALTY, LLC
 5 MILITIA DRIVE
 LEXINGTON, MA 02421

REVISIONS:
 DRAWING BY: RTK
 DATE: 8/7/09
 JOB NUMBER: 209017
 TITLE: EXTERIOR ELEVATIONS
 SHEET NUMBER: A-4.1
 COMMENTS:
 ISSUED FOR CONSTRUCTION

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DRIVE-THRU / CROSSWALK

No.	Description	Appd.	Date

DATE: JUNE 8, 2009
SCALE: AS SHOWN
DESIGNED BY: SAM
DRAWN BY: SAM
APPROVED BY: GYBELA
PROJECT NO.: 2042B
FILE NO.: 2042B-SITE DWG

**NORTHGATE PLAZA
AUBURN STREET
PORTLAND, MAINE**

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1 OF 1

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CONSULTANT:

SEAL:

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pharmacy
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STORE NUMBER: 329
NORTHGATE PLAZA
91 AUBURN STREET
PORTLAND, MAINE

DEVELOPER:
A & D REALTY, LLC
5 MILITIA DRIVE
LEXINGTON, MA 02421

REVISIONS:

DRAWING BY: 3/2
DATE: 20
JOB NUMBER: 20
TITLE:

DRIVE-THRU/CROSSWALK
SHEET NUMBER:

SHEET 1
COMMENTS:
ISSUED FOR APPROVAL

*superseded - as app.
by PB in June 2009*



CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: eng. app 6.9.09
 This amendment 4.27.10

EXTERIOR VIEWS

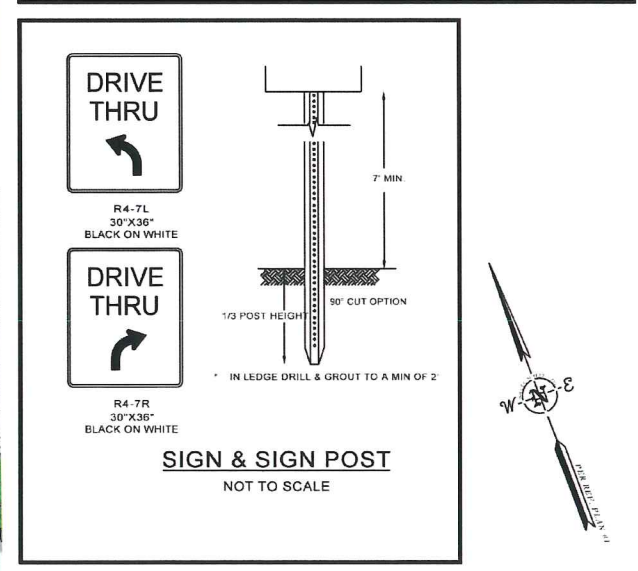
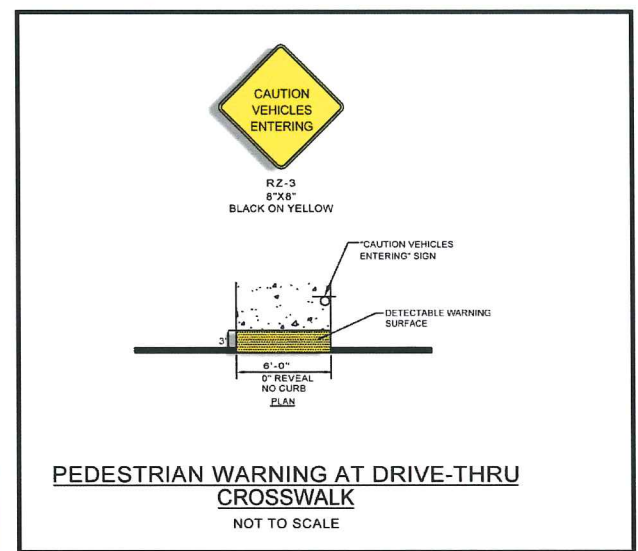
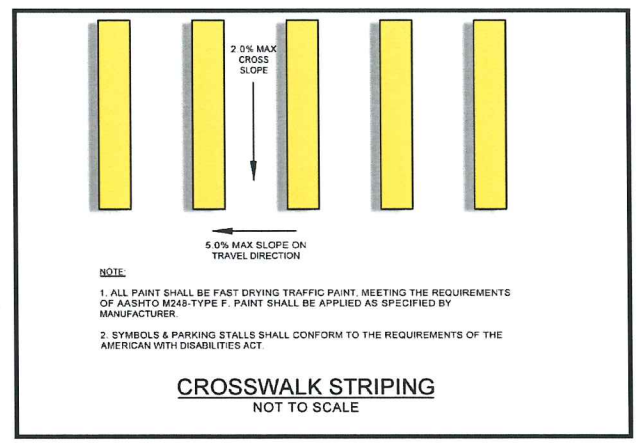
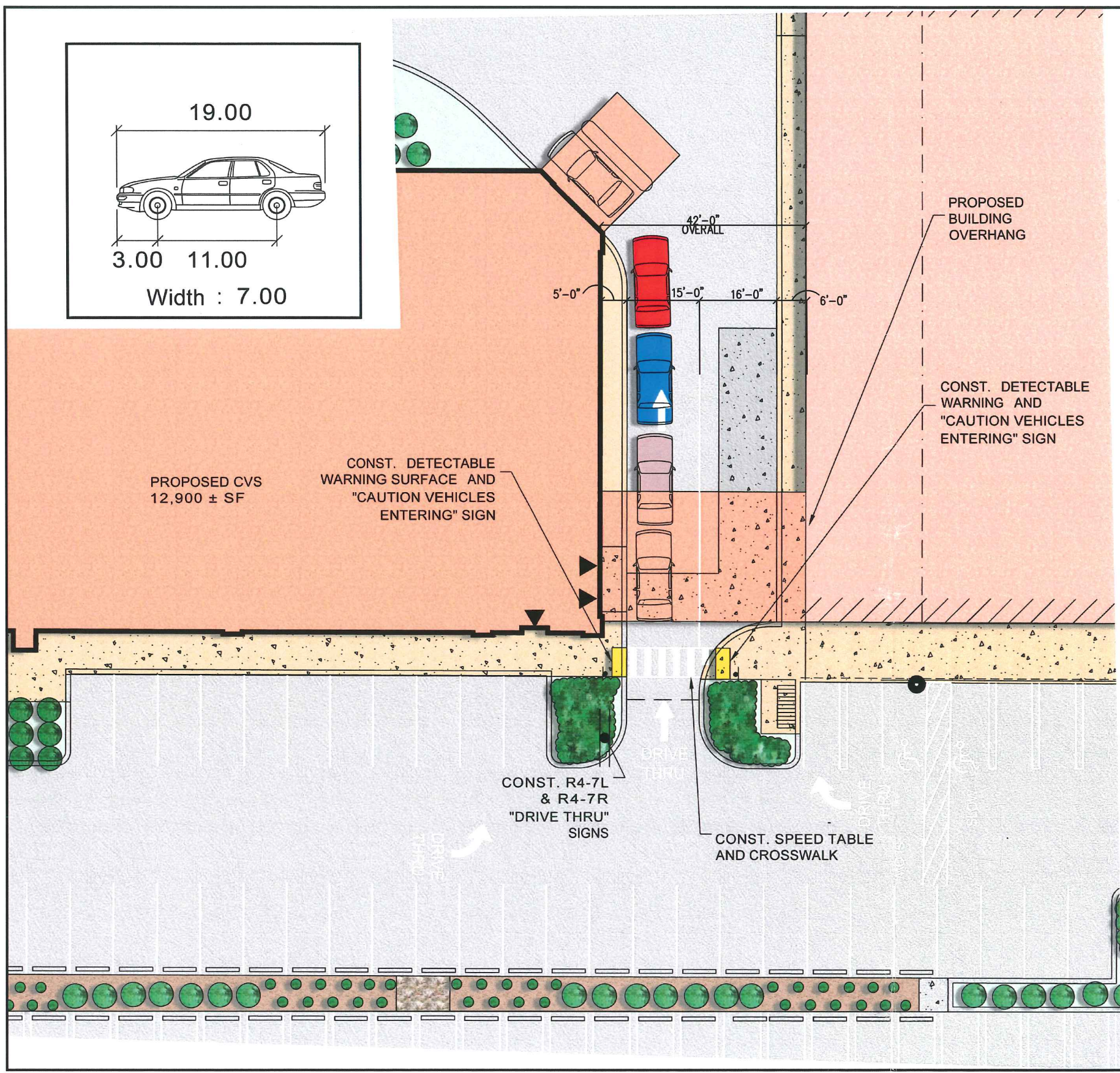
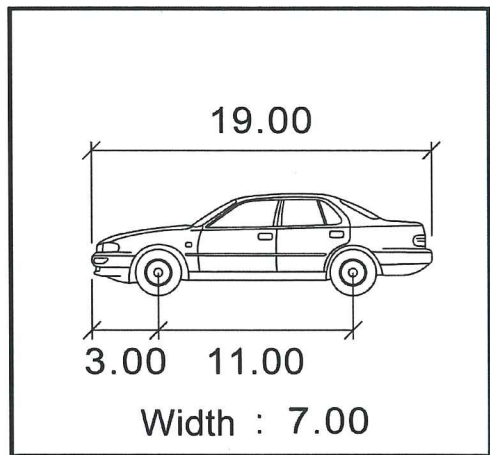
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 PORTLAND, ME

NORTHGATE PLAZA
 PORTLAND, ME

SCALE: NO SCALE
 26 MARCH 2010

1 OF 1
 DRAWN BY: SDM
 PROJECT NO: 209017

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 142 Crescent Street Brockton, MA 02302
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DRIVE-THRU / CROSSWALK

superseded - as app by PB June 2009

No.	Description	Appd.	Date

DATE: JUNE 8, 2009
SCALE: AS SHOWN
DESIGNED BY: SAM
DRAWN BY: SAM
APPROVED BY: OYBLM
PROJECT NO.: 2042B
FILE NO.: 2042B-SITE.DWG

**NORTHGATE PLAZA
AUBURN STREET
PORTLAND, MAINE**

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CONSULTANT:

SEAL:

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RELO
STORE NUMBER: 329
NORTHGATE PLAZA
91 AUBURN STREET
PORTLAND, MAINE

DEVELOPER:
A & D REALTY, LLC
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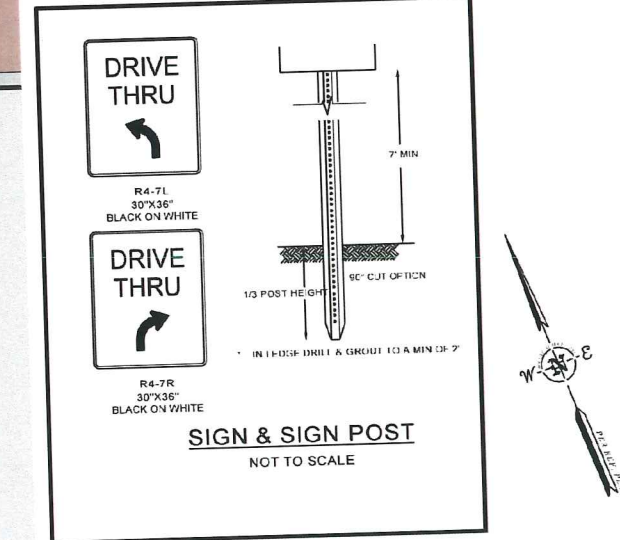
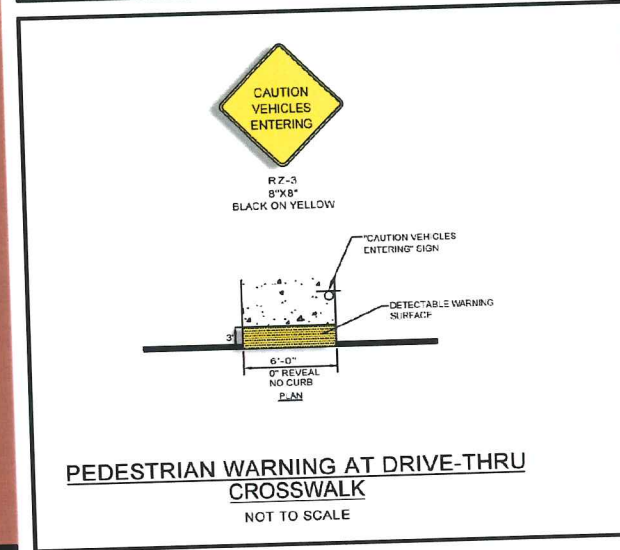
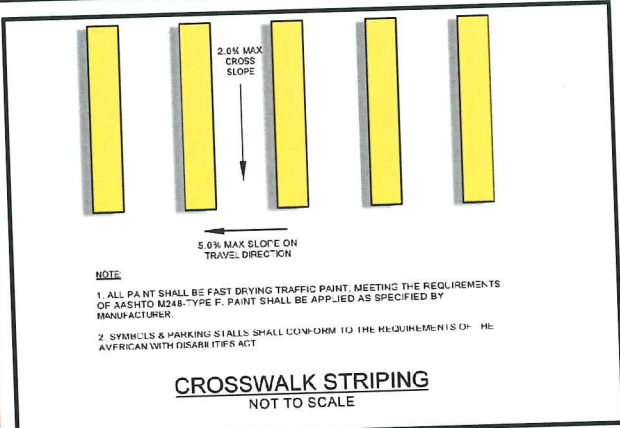
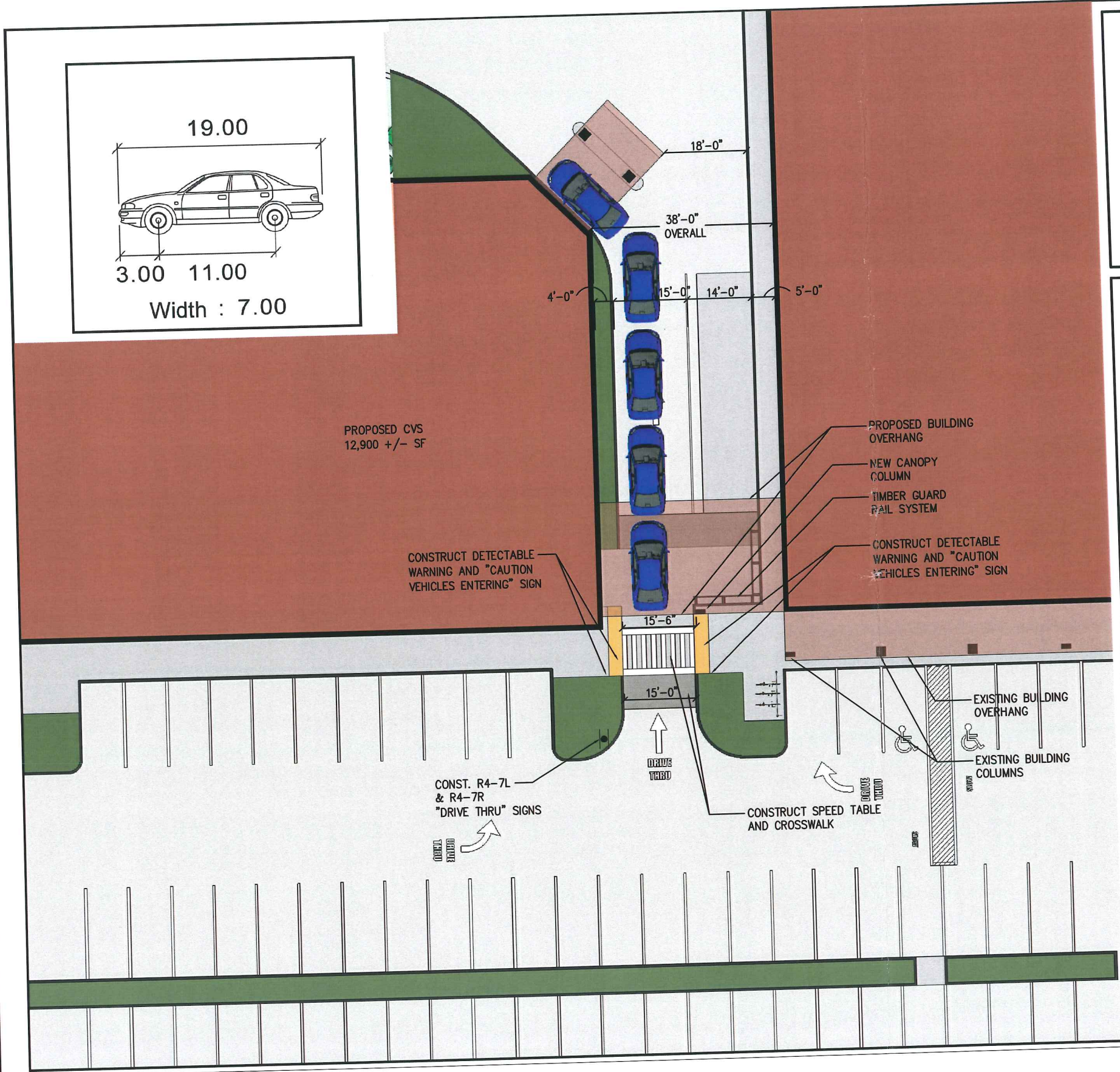
REVISIONS:

DRAWING BY: DSG
DATE: 3/24/10
JOB NUMBER: 209017
TITLE: DRIVE-THRU/CROSSWALK

SHEET 1 of 2
COMMENTS:
ISSUED FOR APPROVAL

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DRIVE-THRU / CROSSWALK

No.	Description	Appd	Date

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 06/09/10
This amend. approved 4.27

NORTHGATE PLAZA
AUBURN STREET
PORTLAND, MAINE

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RELO
STORE NUMBER: 320
NORTHGATE PLAZA
91 AUBURN STREET
PORTLAND, MAINE

DEVELOPER:
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LEXINGTON, MA 02421

REVISIONS:

No.	Description	Appd	Date

DRAWING BY: DSG
DATE: 3/24/10
JOB NUMBER: 209017
TITLE: PROPOSED DRIVE-THRU/CROSSWALK
SHEET NUMBER: 1 OF 1

SHEET 2 of 2
COMMENTS:
ISSUED FOR APPROVAL



**CITY OF PORTLAND
APPROVED SITE PLAN**
 Subject to Dept. Conditions
 Date of Approval: orig app 6-9-09
 This amendment approved
EXTERIOR VIEWS 4.27.10

**TAX MAP 375
LOT C-1
SITE DATA**

LOCATION: PORTLAND, MAINE

ZONING DISTRICT: B-2 COMMUNITY BUSINESS ZONE
(A PORTION OF THE LOT IS IN THE SP-STREAM PROTECTION ZONE)

PERMITTED USE: GENERAL BUSINESS AND PROFESSIONAL OFFICES, RETAIL ESTABLISHMENTS, RESTAURANTS.

CONDITIONAL USE: DRIVE-THRU WHICH IS ADJACENT TO ANY RESIDENTIAL USE OR ZONE

DIMENSIONAL REQUIREMENTS:

	REQUIRED	COMMUNITY BUSINESS (B-2)	PROVIDED
MINIMUM LOT AREA:	10,000 SF	575,009 SF	10,000 SF
MINIMUM STREET FRONTAGE:	50 FT	1,900 FT	50 FT
MINIMUM YARD SETBACK:	0 FT	±24 FT	0 FT
FRONT SETBACK:	0 FT	±28 FT	0 FT
SIDE SETBACK:	0 FT	±82 FT	0 FT
REAR SETBACK:	20 FT	±82 FT	20 FT
REAR ABUTTING RESIDENTIAL:	80 %	±77 %	80 %
MAXIMUM LOT COVERAGE:	45 %	<45 FT	45 %
MAXIMUM HEIGHT:			

* FRONT YARD SHALL NOT EXCEED THE AVERAGE DEPTH OF THE FRONT YARDS OF THE CLOSEST DEVELOPED LOTS ON EITHER SIDE. WHERE THE FRONT YARD EXCEEDS 10 FEET A PEDESTRIAN EDGE TREATMENT SHALL BE CONSTRUCTED.

PARKING REQUIREMENTS

TENANTS:	FLOOR AREA	REQUIREMENT:	REQUIRED:	PROVIDED:
SHAW'S	58,950 ± SF (1)	1/200 SF	300 SPACES	583 SPACES (3) (4)
STARBUCKS	1,870 ± SF	1/150 SF	13 SPACES	
OLYMPIA SPORTS	3,300 ± SF	1/200 SF	17 SPACES	
ROMARD'S HALLMARK	6,570 ± SF	1/200 SF	33 SPACES	
THE KENNEL SHOP	7,320 ± SF	1/200 SF	37 SPACES	
KEYBANK	1,780 ± SF	1/334 SF	5 SPACES	
VACANT (2)	7,185 ± SF	1/200 SF	36 SPACES	
UPS	3,270 ± SF	1/334 SF	10 SPACES	
TOWN AND COUNTRY	3,030 ± SF	1/334 SF	10 SPACES	
PROPOSED CVS	12,900 ± SF	1/200 SF	65 SPACES	
PROPOSED ATM	49 ± SF	1/334 SF	1 SPACE	
TOTAL:			528 SPACES	583 SPACES (3) (4)
BICYCLE SPACES:			42 SPACES (5)	22 SPACES
ADA ACCESSIBLE SPACES:			12 SPACES	13 SPACES

NOTES:
(1) SHAW'S CALCULATION ALSO INCLUDES THE 2,000 SF DEDUCTION ALLOWED UNDER SECTION 14-332(4)
(2) VACANT USE ASSUMED AS A RETAIL ESTABLISHMENT.
(3) PARKING PROVIDED IN NORTHGATE PLAZA ASSUMES SHARED PARKING BETWEEN LESSORS.
(4) TOTAL PARKING EXCLUDES 13 SPACES WHICH ARE DESIGNATED TO TAX MAP 375, LOT C-39 (MEDICAL OFFICE BUILDING) AND 5 SPACES WHICH SHALL BE DESIGNATED TO TAX MAP 375, LOT C-23 (H&R BLOCK) BY EASEMENT.
(5) TWO BICYCLE PARKING SPACES FOR EVERY TEN MOTOR VEHICLE PARKING SPACES FOR THE FIRST ONE HUNDRED REQUIRED MOTOR VEHICLE PARKING SPACES, PLUS ONE BICYCLE PARKING SPACE FOR EVERY TWENTY MOTOR VEHICLE PARKING SPACE OVER ONE HUNDRED. TWENTY-TWO BICYCLE SPACES HAVE BEEN PROVIDED WITHIN LIMIT OF WORK.

PARKING REQUIREMENTS FOR MEDICAL OFFICE BUILDING WITH PARKING EASEMENT ON SITE:

TENANTS:	FLOOR AREA	REQUIREMENT:	REQUIRED:	PROVIDED:
MEDICAL OFFICE	9,941 ± SF	1/400 SF	25 SPACES	12 SPACES
TOTAL:			25 SPACES	25 SPACES

NOTES:
(1) 13 SPACES ON NORTHGATE PLAZA ARE DESIGNATED TO TAX MAP 375, LOT C-39 BY EASEMENT.

**TAX MAP 375
LOT C-23
SITE DATA**

LOCATION: PORTLAND, MAINE

ZONING DISTRICT: R-P RESIDENTIAL PROFESSIONAL

PERMITTED USE: BUSINESS SERVICES AND PROFESSIONAL OFFICES

DIMENSIONAL REQUIREMENTS:

	REQUIRED	RESIDENTIAL PROFESSIONAL (R-P)	PROVIDED
MINIMUM LOT AREA:	8,000 SF	23,480 SF	8,000 SF
MINIMUM STREET FRONTAGE:	60 FT	190±FT	60 FT
MINIMUM LOT WIDTH:	80 FT	186±FT	80 FT
MINIMUM YARD SETBACK:	20 FT*	50±FT	20 FT
FRONT SETBACK:	12 FT	32±FT	12 FT
SIDE SETBACK:	20 FT	43±FT	20 FT
REAR SETBACK:	70 %	±53 %	70 %
MAXIMUM IMPERVIOUS SURFACE:	10% OF PARKING AREA	±22 %	10% OF PARKING AREA
MINIMUM INTERIOR OPEN SPACE:	55 %	±22 %	55 %
MAXIMUM FLOOR AREA RATIO:	45 FT	<45 FT	45 FT
MAXIMUM HEIGHT:			

* FRONT YARD SHALL NOT EXCEED THE AVERAGE DEPTH OF THE FRONT YARDS OF THE CLOSEST DEVELOPED LOTS ON EITHER SIDE. WHERE THE FRONT YARD EXCEEDS 10 FEET A PEDESTRIAN EDGE TREATMENT SHALL BE CONSTRUCTED.

PARKING REQUIREMENTS

OFFICES:	1/400 SF	13 SPACES	13 SPACES (1)
ADA ACCESSIBLE SPACES:	1 SPACE	2 SPACES	2 SPACES
BICYCLE SPACES:	2 SPACES	5 SPACES	5 SPACES

NOTE:
(1) TOTAL PARKING INCLUDES 5 SPACES LOCATED ON TAX MAP 375, LOT C-1 WHICH ARE DESIGNATED TO TAX MAP 375, LOT C-23 (H&R BLOCK) BY EASEMENT.

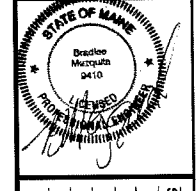
- SITE NOTES:**
- STRIPE PARKING AREAS AS SHOWN, INCLUDING PARKING SPACES, STOP BARS, HANDICAP SYMBOLS, PAINTED ISLANDS, CROSS WALKS, ARROWS, LEGENDS AND CENTERLINES SHALL BE CONSTRUCTED USING WHITE TRAFFIC PAINT. CENTERLINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING YELLOW TRAFFIC PAINT. ALL TRAFFIC PAINT SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F".
 - ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS, LATEST EDITIONS.
 - SEE DETAILS FOR PARKING STALL MARKINGS, HANDICAP SYMBOLS, SIGNS AND SIGN POSTS.
 - CENTERLINES SHALL BE FOUR (4) INCH WIDE YELLOW LINES. STOP BARS SHALL BE EIGHTEEN (18) INCHES WIDE.
 - PAINTED ISLANDS SHALL BE FOUR (4) INCH WIDE DIAGONAL LINES AT 3"-0" O.C. BORDERED BY FOUR (4) INCH WIDE LINES.
 - THE CONTRACTOR SHALL EMPLOY A LICENSED ENGINEER/SURVEYOR TO DETERMINE ALL LINES AND GRADES. DESIGN ENGINEER TO PROVIDE COORDINATES FOR EDGE OF PAVEMENT, P.C.'S & P.T.'S.
 - CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINE WITH RS-1 EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
 - ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND/OR CITY CODES & SPECIFICATIONS.
 - WORK WITHIN AUBURN STREET SHALL BE COORDINATED WITH CITY OF PORTLAND AND THE MEDOT.
 - CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MYLARS AND IN DIGITAL FORMAT (.DWG FILE) ON DISK TO THE OWNER AND ARCHITECT UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
 - SEE ARCHITECTURAL DRAWINGS FOR ALL CONCRETE PADS & SIDEWALKS ADJACENT TO BUILDING.
 - ALL WORK SHALL CONFORM TO THE CITY OF PORTLAND DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS.
 - CONTRACTOR TO PROVIDE BACKFILL AND COMPACTION AT CURB LINE AFTER CONCRETE FORMS FOR SIDEWALKS AND PADS HAVE BEEN STRIPPED. COORDINATE WITH BUILDING CONTRACTOR.
 - ALL LIGHT POLE BASES NOT PROTECTED BY A RAISED CURB SHALL BE PAINTED YELLOW.
 - COORDINATE ALL WORK ADJACENT TO BUILDING WITH BUILDING CONTRACTOR.
 - SNOW THAT CAN NOT BE ACCOMMODATED IN THE LOCATIONS SHOWN SHALL BE TAKEN OFF-SITE.

LEGEND

- PROPERTY LINE
- 75' STREAM PROTECTION ZONE
- ABUTTER LOT LINE
- BUILDING SETBACK
- EDGE OF WETLAND
- EXISTING TREE LINE
- PROPOSED TREE LINE
- PROPOSED CONCRETE SIDEWALK/PAD
- PROPOSED SIGN
- PROPOSED BOLLARD
- PROPOSED LIGHT POLE BASE
- PROPOSED ACCESSIBLE PARKING SPACE
- PROPOSED VAN ACCESSIBLE PARKING SPACE
- PROPOSED CROSSWALK
- PROPOSED PAINTED ARROW
- PROPOSED BIKE RACK
- DOUBLE YELLOW LANE LINE
- PROPOSED CURB
- VERTICAL GRANITE CURB
- SLOPED GRANITE CURB
- DOOR LOCATION
- PROPOSED CURB STOP

BLM	App'd	Date
		3/31/10
1	REVISED PER ARCHITECTURAL DRAWINGS	

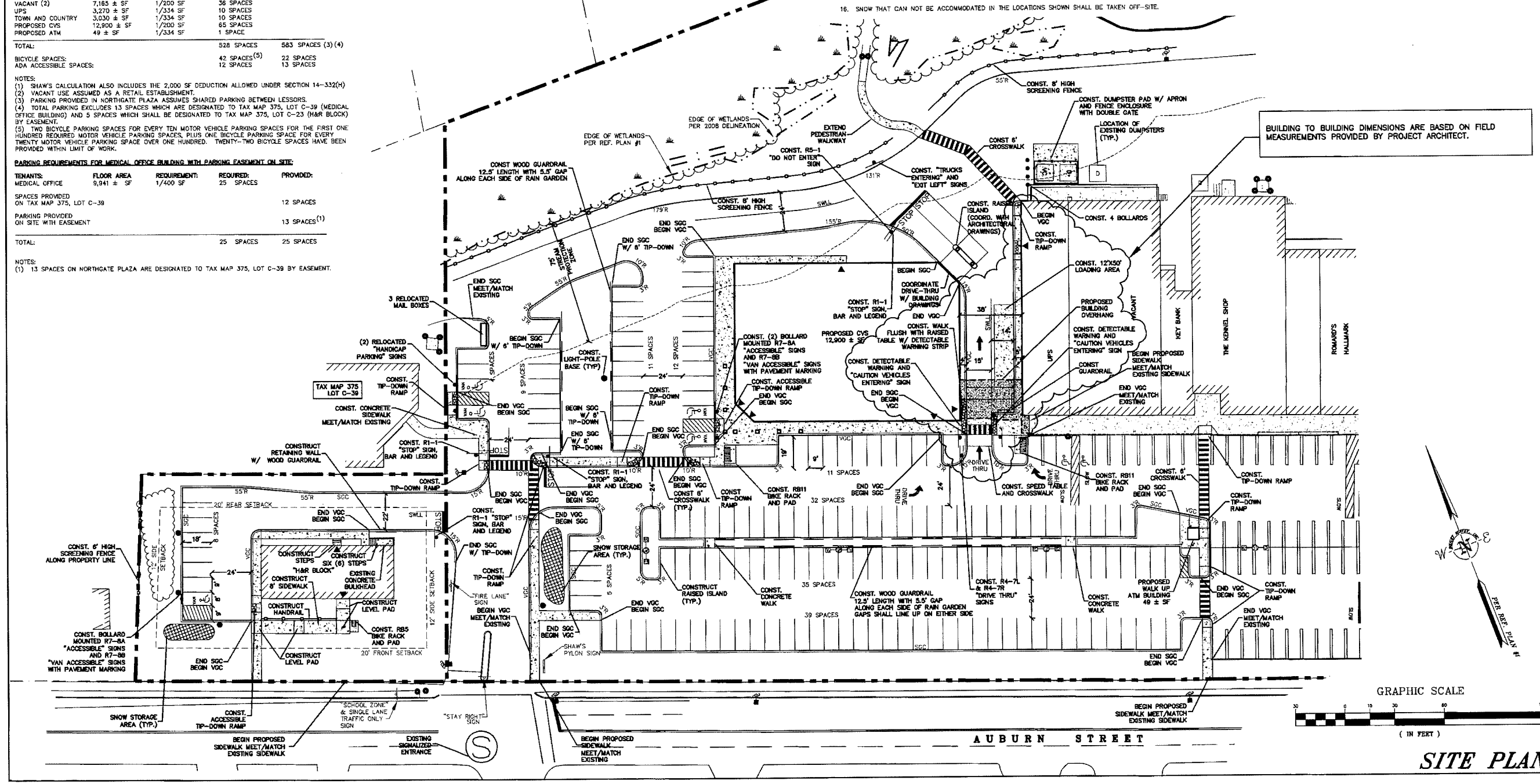
REVISIONS



DATE: AUGUST 18, 2009
SCALE: AS SHOWN
DESIGNED BY: SAM
DRAWN BY: SAM
APPROVED BY: GY/BLM
PROJECT NO.: 2042B
FILE NO.: 2042B-CONSITDING

**NORTHGATE PLAZA
AUBURN STREET
PORTLAND, MAINE**

APPLEDORE ENGINEERING
177 CORPORATE DRIVE
PORTSMOUTH, NEW HAMPSHIRE 03801
(603) 433-8818
ae@appledoreeng.com



SITE PLAN C-2A

**TAX MAP 375
LOT C-1
SITE DATA**

LOCATION: PORTLAND, MAINE
 ZONING DISTRICT: B-2 COMMUNITY BUSINESS ZONE
 (A PORTION OF THE LOT IS IN THE SP-STREAM PROTECTION ZONE)
 PERMITTED USE: GENERAL BUSINESS AND PROFESSIONAL OFFICES, RETAIL ESTABLISHMENTS, RESTAURANTS.
 CONDITIONAL USE: DRIVE-THRU WHICH IS ADJACENT TO ANY RESIDENTIAL USE OR ZONE

DIMENSIONAL REQUIREMENTS:

	REQUIRED	COMMUNITY BUSINESS (B-2)	PROVIDED
MINIMUM LOT AREA:	10,000 SF	50 FT	575,009 SF ±500 FT
MINIMUM STREET FRONTAGE:	50 FT		
MINIMUM YARD SETBACK:			
FRONT SETBACK:	0 FT		±24 FT
REAR SETBACK:	0 FT		±28 FT
SIDE SETBACK:	0 FT		±62 FT
REAR ABUTTING RESIDENTIAL:	20 FT		±62 FT
MAXIMUM LOT COVERAGE:	80 %		±77%
MAXIMUM HEIGHT:	45 FT		<45 FT

* FRONT YARD SHALL NOT EXCEED THE AVERAGE DEPTH OF THE FRONT YARDS OF THE CLOSEST DEVELOPED LOTS ON EITHER SIDE. WHERE THE FRONT YARD EXCEEDS 10 FEET A PEDESTRIAN EDGE TREATMENT SHALL BE CONSTRUCTED.

PARKING REQUIREMENTS

TENANTS:	FLOOR AREA	REQUIREMENT:	REQUIRED:	PROVIDED:
SHAW'S	59,950 ± SF (1)	1/200 SF	300 SPACES	
STARBUCKS	1,870 ± SF	1/150 SF	13 SPACES	
OLYMPIA SPORTS	3,300 ± SF	1/200 SF	17 SPACES	
ROMARD'S HALLMARK	6,570 ± SF	1/200 SF	33 SPACES	
THE KENNEL SHOP	7,320 ± SF	1/200 SF	37 SPACES	
KEYSBANK	1,780 ± SF	1/334 SF	6 SPACES	
VACANT (2)	7,165 ± SF	1/200 SF	36 SPACES	
UPS	3,270 ± SF	1/334 SF	10 SPACES	
TOWN AND COUNTRY	3,030 ± SF	1/334 SF	10 SPACES	
PROPOSED CVS	12,900 ± SF	1/200 SF	65 SPACES	
PROPOSED ATM	48 ± SF	1/334 SF	1 SPACE	
TOTAL:			528 SPACES	583 SPACES (3) (4)
BICYCLE SPACES:			42 SPACES (5)	22 SPACES
ADA ACCESSIBLE SPACES:			12 SPACES	13 SPACES

NOTES:
 (1) SHAW'S CALCULATION ALSO INCLUDES THE 2,000 SF DEDUCTION ALLOWED UNDER SECTION 14-332(H)
 (2) VACANT USE ASSUMED AS A RETAIL ESTABLISHMENT.
 (3) PARKING PROVIDED IN NORTHGATE PLAZA ASSUMES SHARED PARKING BETWEEN LESSORS.
 (4) TOTAL PARKING EXCLUDES 13 SPACES WHICH ARE DESIGNATED TO TAX MAP 375, LOT C-39 (MEDICAL OFFICE BUILDING) AND 5 SPACES WHICH SHALL BE DESIGNATED TO TAX MAP 375, LOT C-23 (H&R BLOCK) BY EASEMENT.
 (5) TWO BICYCLE PARKING SPACES FOR EVERY TEN MOTOR VEHICLE PARKING SPACES FOR THE FIRST ONE HUNDRED REQUIRED MOTOR VEHICLE PARKING SPACES, PLUS ONE BICYCLE PARKING SPACE FOR EVERY TWENTY MOTOR VEHICLE PARKING SPACE OVER ONE HUNDRED. TWENTY-TWO BICYCLE SPACES HAVE BEEN PROVIDED WITHIN LIMIT OF WORK.

PARKING REQUIREMENTS FOR MEDICAL OFFICE BUILDING WITH PARKING EASEMENT ON SITE:

TENANTS:	FLOOR AREA	REQUIREMENT:	REQUIRED:	PROVIDED:
MEDICAL OFFICE	9,941 ± SF	1/400 SF	25 SPACES	
TOTAL:			25 SPACES	25 SPACES

NOTES:
 (1) 13 SPACES ON NORTHGATE PLAZA ARE DESIGNATED TO TAX MAP 375, LOT C-39 BY EASEMENT.

**TAX MAP 375
LOT C-23
SITE DATA**

LOCATION: PORTLAND, MAINE
 ZONING DISTRICT: R-P RESIDENTIAL PROFESSIONAL
 PERMITTED USE: BUSINESS SERVICES AND PROFESSIONAL OFFICES

DIMENSIONAL REQUIREMENTS:

	REQUIRED	RESIDENTIAL PROFESSIONAL (R-P)	PROVIDED
MINIMUM LOT AREA:	6,000 SF		23,480 SF
MINIMUM STREET FRONTAGE:	60 FT		190±FT
MINIMUM LOT WIDTH:	60 FT		188±FT
MINIMUM YARD SETBACK:			
FRONT SETBACK:	20 FT*		50±FT
REAR SETBACK:	12 FT		32±FT
SIDE SETBACK:	20 FT		43±FT
REAR SETBACK:	20 FT		±53 %
MAXIMUM IMPERVIOUS SURFACE:	10% OF PARKING AREA		±0%
MINIMUM INTERIOR OPEN SPACE:	55 %		±22 %
MAXIMUM FLOOR AREA RATIO:	45 FT		<45 FT
MAXIMUM HEIGHT:			

* FRONT YARD SHALL NOT EXCEED THE AVERAGE DEPTH OF THE FRONT YARDS OF THE CLOSEST DEVELOPED LOTS ON EITHER SIDE. WHERE THE FRONT YARD EXCEEDS 10 FEET A PEDESTRIAN EDGE TREATMENT SHALL BE CONSTRUCTED.

PARKING REQUIREMENTS

OFFICES: 1/400 SF	13 SPACES	13 SPACES (1)
5,200/400		
ADA ACCESSIBLE SPACES:	1 SPACE	2 SPACES
BICYCLE SPACES:	2 SPACES	5 SPACES

NOTE:
 (1) TOTAL PARKING INCLUDES 5 SPACES LOCATED ON TAX MAP 375, LOT C-1 WHICH ARE DESIGNATED TO TAX MAP 375, LOT C-23 (H&R BLOCK) BY EASEMENT.

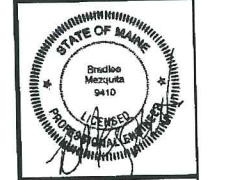
EASEMENT TABLE

- 50' SEWER EASEMENT, (FROM SHAW'S REALTY CO. TO CITY OF PORTLAND) SEE C.C.R.D. BOOK 2820, PAGE 141.
 - 50' RIGHT-OF-WAY FOR ACCESS, IN FAVOR OF TAX MAP 375, LOT C-39 SEE C.C.R.D. BOOK 7270, PAGE 165.
 - 50' EASEMENT FOR EXCLUSIVE PARKING/ACCESS, IN FAVOR OF TAX MAP 375, LOT C-39, SEE C.C.R.D. BOOK 7270, PAGE 165.
 - 20' EASEMENT FOR EXCLUSIVE PARKING, IN FAVOR OF TAX MAP 375, LOT C-39, SEE C.C.R.D. BOOK 7270, PAGE 165.
 - SEWER EASEMENT IN FAVOR OF MAP 375 LOT C-23, SEE C.C.R.D. BOOK 2486, PAGE 204.
 - 20' EASEMENT FOR NON-EXCLUSIVE PARKING, IN FAVOR OF TAX MAP 375 LOT C-39, SEE C.C.R.D. BOOK 7270, PAGE 165.
 - 10' ACCESS, UTILITY, AND PARKING EASEMENT IN FAVOR OF TAX MAP 375, LOT C-39, SEE C.C.R.D. BOOK 7270, PAGE 165.
- ALSO LOT C-1 SUBJECT TO INGRESS/EGRESS & PARKING IN FAVOR OF LOT C-23, SEE C.C.R.D. BOOK 22756, PAGE 35.

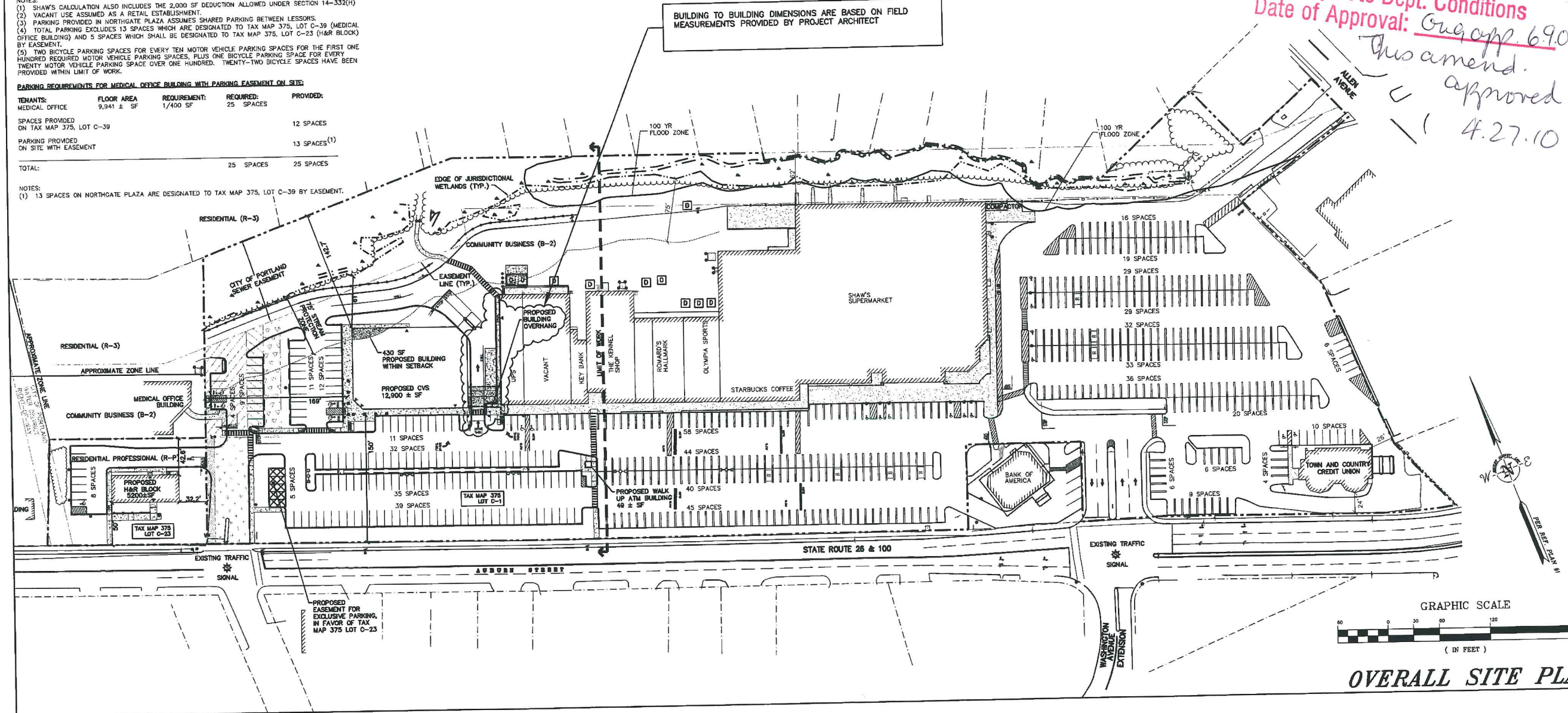
LEGEND

[Symbol]	PROPERTY LINE
[Symbol]	75' WETLAND BUFFER
[Symbol]	ABUTTER LOT LINE
[Symbol]	EDGE OF WETLAND
[Symbol]	EXISTING TREE LINE
[Symbol]	PROPOSED TREE LINE
[Symbol]	PROPOSED CONCRETE SIDEWALK/PAD
[Symbol]	PROPOSED SIGN
[Symbol]	PROPOSED BOLLARD
[Symbol]	PROPOSED LIGHT POLE BASE
[Symbol]	EXISTING LIGHT POLE
[Symbol]	PROPOSED ACCESSIBLE PARKING SPACE
[Symbol]	PROPOSED VAN ACCESSIBLE PARKING SPACE
[Symbol]	PROPOSED CROSSWALK
[Symbol]	PROPOSED PAINTED ARROW
[Symbol]	PROPOSED BIKE RACK
[Symbol]	DOUBLE YELLOW LANE LINE
[Symbol]	PROPOSED CURB
[Symbol]	VERTICAL GRANITE CURB
[Symbol]	SLOPED GRANITE CURB
[Symbol]	DOOR LOCATION
[Symbol]	EXISTING SIGNALIZED ENTRANCE
[Symbol]	WASTE RECEPTACLES

No.	Description	Date
1.	REVISED PER ARCHITECTURAL DRAWINGS	3/31/10

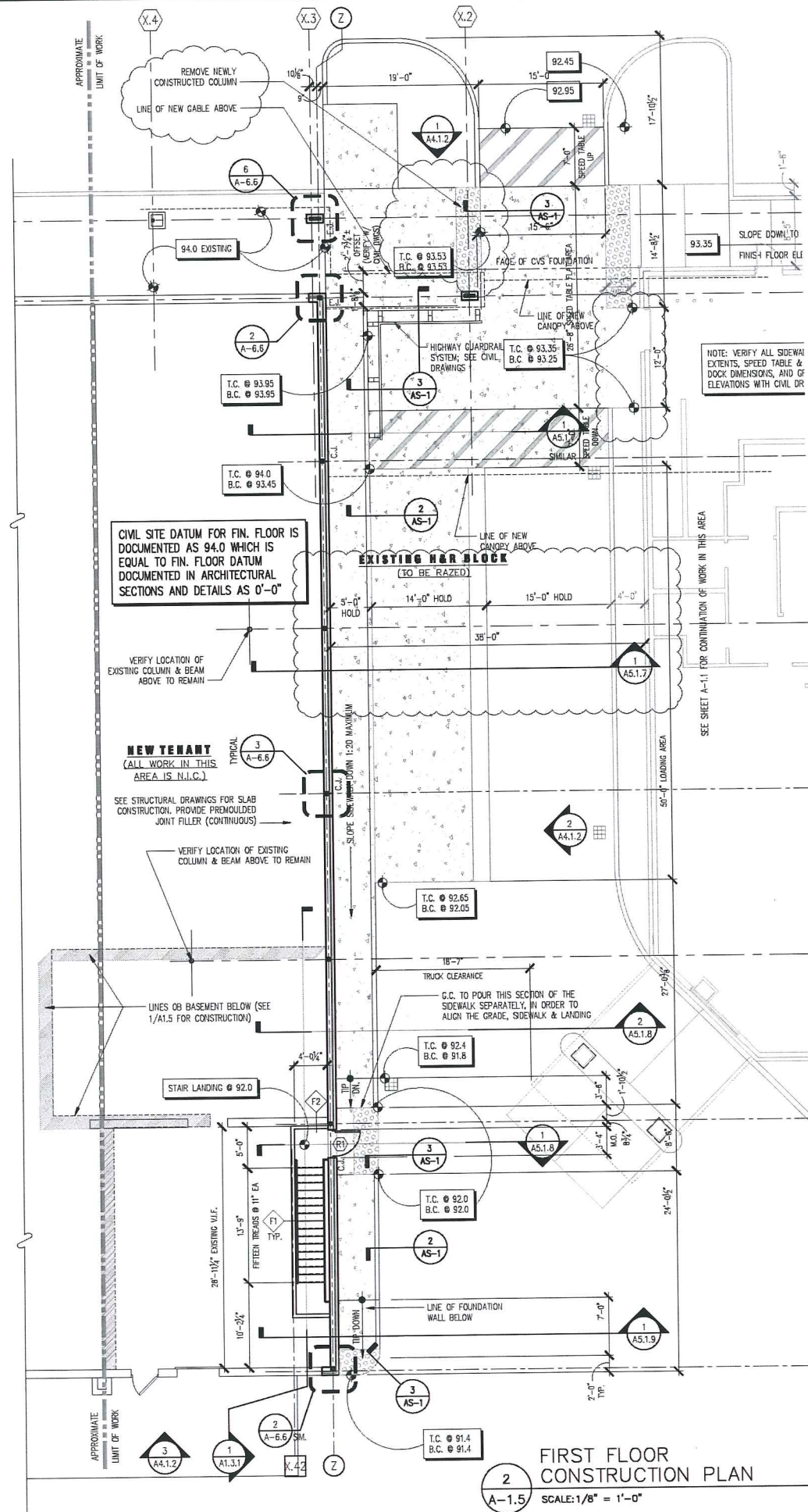


**CITY OF PORTLAND
 APPROVED SITE PLAN**
 Subject to Dept. Conditions
 Date of Approval: *Aug. app. 6.9.09*
This amend. approved 4.27.10



**NORTHGATE PLAZA
 AUBURN STREET
 PORTLAND, MAINE**

**APPLEDORF
 ENGINEERING**
 177 CORPORATE DRIVE
 PORTSMOUTH, NEW HAMPSHIRE 03801
 (603) 433-8818
 aee@appledoreng.com



DESIGN/BUILD NOTES

- 1.) THE G.C. AND THE DESIGN/BUILD (D/B) SUBCONTRACTORS SHALL BE RESPONSIBLE FOR PROVIDING COMPLETE D/B PLUMBING, FIRE PROTECTION, H.V.A.C., A.V. SYSTEMS, SMOKE & HEAT DETECTORS, ELECTRICAL DESIGN AND LAYOUT DRAWINGS WITH CALCULATIONS & LOADS WHICH CONFORM TO ALL STATE AND LOCAL CODES, STAMPED AND CERTIFIED BY A REGISTERED P.E. AS REQUIRED BY THE TOWN OF PLYMOUTH BUILDING & FIRE DEPTS. AT THE TIME OF PERMIT & AT THE TIME OF PROJECT CLOSE-OUT. THIS INCLUDES ANY ENERGY CONSERVATION DATA AND NARRATIVES AS REQUIRED PER PER THE I.E.C.C. (INTERNATIONAL ENERGY CONSERVATION CODE).
- 2.) THE G.C. SHALL BE RESPONSIBLE FOR COORDINATING FIRE EXTINGUISHER AND A-Y FIRE ALARM REQUIREMENTS WITH THE CITY OF PORTLAND, MAINE, FIRE DEPARTMENT. CONFORM TO RHODE ISLAND BUILDING CODE FIRE REGULATIONS AND NFPA-10.
- 3.) COORDINATE BLOCKING FOR ALL WALL MOUNTED EQUIPMENT AND ACCESSORIES.
- 4.) PERFORM ALL WORK IN ACCORDANCE WITH THE R.I.B.C. AND ADAAG, AS WELL AS ALL MUNICIPAL BYLAWS AND FIRE SAFETY STATUTES.
- 5.) THE G.C. SHALL BE RESPONSIBLE FOR D/B SUBCONTRACTOR'S CONFORMANCE TO R.I.B.C. REQUIREMENTS FOR MECHANICAL AND ELECTRICAL SYSTEM AND COMPONENT SEISMIC PERFORMANCE.
- 6.) ALL CONSTRUCTION SHALL CONFORM TO THE TENETS OF AIA DOCUMENT A201: GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION.
- 7.) THE G.C. SHALL COORDINATE THE WORK OF ALL TRADES REGARDING CEILING-MOUNTED AND ABOVE-CEILING-MOUNTED EQUIPMENT, DEVICES AND FIXTURES.

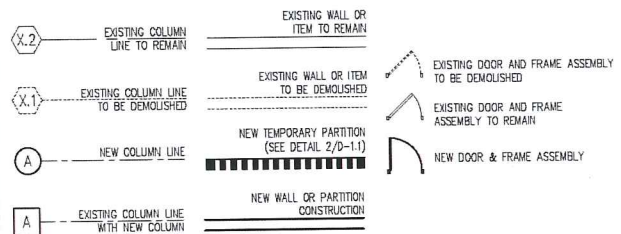
ELECTRICAL NOTES

- 1.) THE D/B ELECTRICAL SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE ELECTRICAL DESIGN, ENGINEERING, LAYOUT, AND INSTALLATION TO SUIT THE WORK. HE/SHE SHALL COORDINATE POWER WIRING AND CABLING, LIGHTING DEVICES, EQUIPMENT, RUMS, TERMINATIONS, CIRCUITS AND PANEL LOCATION. COORDINATE ANY SPECIAL ELECTRICAL DEVICES OR EQUIPMENT REQUIREMENTS WITH THE OWNER PRIOR TO WORK. USE THE ARCHITECTURAL DRAWINGS AS GUIDE ONLY.
- 2.) THE G.C. AND D/B ELECTRICAL SUBCONTRACTOR SHALL REVIEW LIGHT FIXTURE SPECIFICATIONS WITH ARCHITECT AND OWNER PRIOR TO THE WORK.
- 3.) THE D/B ELECTRICAL SUBCONTRACTOR SHALL BE RESPONSIBLE FOR CONFORMING TO NEC & NEC LATEST EDITIONS FOR ALL ELECTRICAL WORK.
- 4.) CONFORM TO MSBC, NFPA 70 & ADAAG MOUNTING HEIGHTS OF ALL DEVICES AND FIRE ALARM SYSTEM COMPONENTS.
- 5.) THE D/B E.C. SHALL PROVIDE I.E.C.C. CALCULATIONS AND NARRATIVE FOR POWER AND LIGHTING AS REQUIRED BY THE TOWN OF TIVERTON.
- 6.) THE D/B E.C. SHALL REVIEW EXISTING FIRE ALARM SYSTEM & BEACONS, EXIT SIGNAGE, EXIT LIGHTING, AND EMERGENCY LIGHTING & RELOCATE OR PROVIDE NEW AS DIRECTED BY THE TOWN OF TIVERTON FIRE DEPARTMENT & ALL AUTHORITIES HAVING JURISDICTION.

GENERAL NOTES

- 1.) COORDINATE THE ARCHITECTURAL DRAWINGS WITH ENGINEERED CIVIL, STRUCTURAL, PLUMBING, FIRE PROTECTION, HVAC, AND ELECTRICAL/FIRE ALARM DRAWINGS FOR THE VERIFICATION OF ALL PROJECT REQUIREMENTS WITH THE WORK OF ALL TRADES.
- 2.) REFER TO THE CIVIL ENGINEERING DRAWINGS FOR GRADING, UNDERGROUND AND SURFACE UTILITIES, SITE IMPROVEMENTS, RETAINING WALLS, UNDERGROUND DRAINAGE, DETENTION BASINS, EXTERIOR WALKS, PARKING, STRIPING, H.C. SIGNAGE/SYMBOLS, CURB CUTS, LIGHTING, LANDSCAPING, ETC.
- 3.) REFER TO THE ENGINEERED STRUCTURAL DRAWINGS FOR ALL NOTES, INFORMATION, AND DETAILS REGARDING FOOTINGS, FOUNDATIONS, SLABS, REINFORCEMENT, ANCHORING, BRACING, SUPERSTRUCTURE, FRAMING, CONNECTIONS, ETC.
- 4.) ALL INTERIOR DIMENSIONS ARE TAKEN FROM FACE OF G.W.B. TO FACE OF G.W.B. UNLESS SPECIFICALLY NOTED OTHERWISE. DO NOT SCALE DRAWINGS. REFER TO ENLARGED PLANS AND DETAILS FOR FURTHER DIMENSIONING INFORMATION. ALL WORK LINES AND LEVELS SHALL BE LAID OUT BY WRITTEN DIMENSIONS. ANY DEVIATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. ALL DEVIATIONS AND DISCREPANCIES SHALL BE CORRECTED BY THE CONTRACTOR BEFORE HE BEGINS HIS PORTION OF THE WORK. RECORD ALL MODIFICATIONS ON THE "AS-BUILTS" - DAILY.
- 5.) FIRE EXTINGUISHER AND CABINET QUANTITIES AND LOCATIONS TO BE COORDINATED WITH THE CITY OF PORTLAND FIRE DEPARTMENT PRIOR TO ORDERING AND INSTALLATION. CONFORM TO R.I.B.C FIRE REGS. AND NFPA-10. COORDINATE AND PROVIDE RELATED SIGNAGE.
- 6.) COORDINATE MASTER BOX, KNOX BOX, AND BEACON LOCATIONS WITH THE ELECTRICAL/FIRE ALARM DRAWINGS AND THE TOWN OF TIVERTON FIRE DEPARTMENT'S REQUIREMENTS. COORD. FINAL LOCATIONS W/ ARCHITECT.
- 7.) THE GENERAL CONTRACTOR (G.C.) SHALL FIELD VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO THE WORK AND SHALL NOTIFY THE ARCHITECT REGARDING ANY DISCREPANCIES.
- 8.) THE G.C. SHALL SUBMIT ALL SHOP DRAWINGS, SAMPLES, CATALOG CUTS ETC., INCLUDING COLOR CHARTS FOR PAINTS AND STAINS FOR ALL EXTERIOR AND INTERIOR FINISHES, TO THE ARCHITECT FOR SELECTION, REVIEW AND APPROVAL PRIOR TO FABRICATION, ORDERING, OR INSTALLATION. PRIORITIES ANY LONG-LEAD ITEMS.
- 9.) THE G.C. SHALL COORDINATE THE WORK OF ALL TRADES REGARDING CEILING-MOUNTED AND ABOVE-CEILING-MOUNTED EQUIPMENT, DEVICES AND FIXTURES.
- 10.) PERFORM ALL WORK IN ACCORDANCE WITH THE R.I.B.C., M.A.A.B., AND ADAAG, AS WELL AS ALL LOCAL CODES AND ORDINANCES.
- 11.) THE G.C. AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR ALL PERMITS, FEES AS REQUIRED BY THE TOWN OF TIVERTON.
- 12.) THE G.C. SHALL BE RESPONSIBLE FOR DAILY REMOVAL AND LEGAL DISPOSAL OF ALL DEBRIS OFF SITE.
- 13.) THE G.C. SHALL SEAL ALL THROUGH-WALL & FLOOR PENETRATIONS WITH 3M BARRIER CAULK (O.A.E.) AND SEALANT ON USE SAFING; 2500 PSI GROUT AT CMU WALLS.
- 14.) INSTALL A CONTINUOUS SEALANT BEAD ON BACKER ROD AT ALL JUNCTURES OF DISSIMILAR MATERIALS (E.G.: METAL TO CMU, STEEL TO ALUMINUM) AND ALL MATERIAL JOINTS AS REQUIRED BY THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS, INDUSTRY STANDARDS AND GOOD PRACTICE.
- 15.) COORDINATE SOLID F.R.T.W. BLOCKING FOR ALL WALL MOUNTED EQUIPMENT AND ACCESSORIES, INCLUDING ITEMS REQ'D BY M.A.A.B. SECT.5.5 & 5.6. ADDITIONALLY, F.R.T.W. SHALL BE USED WHEREVER WOOD IS USES, UNLESS OTHERWISE ALLOWED BY MA 780 CMR OR OTHER APPLICABLE CODES.
- 16.) FILL ALL VOIDS AT EXTERIOR WALL NOT VENTED TO THE EXTERIOR W/ZERO-DRAFT FOAM INSULATION.
- 17.) LT GA MTL STUD, BRACING, FRAMING MEMBERS, ETC. SHALL BE DESIGNED FOR SIZING, GAUGES, HEIGHT LIMITATIONS ETC. BY LT GA MTL SUPPLIER/SUB-CONTRACTOR.

DRAWING KEY



b a
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DEVELOPER:
 A & D REALTY, LLC
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REVISIONS:	
1	DRIVE-THRU REVISIONS 9/18/09
2	
3	
4	
5	Proposed Alley Solution 2/23/10
6	

DRAWING BY: RTK
 DATE: 8/31/09
 JOB NUMBER: 209017
 TITLE: CONSTRUCTION PLAN & NOTES
 SHEET NUMBER: A-1.5
 COMMENTS: ISSUED FOR CONSTRUCTION

NOTES BY SYMBOL:

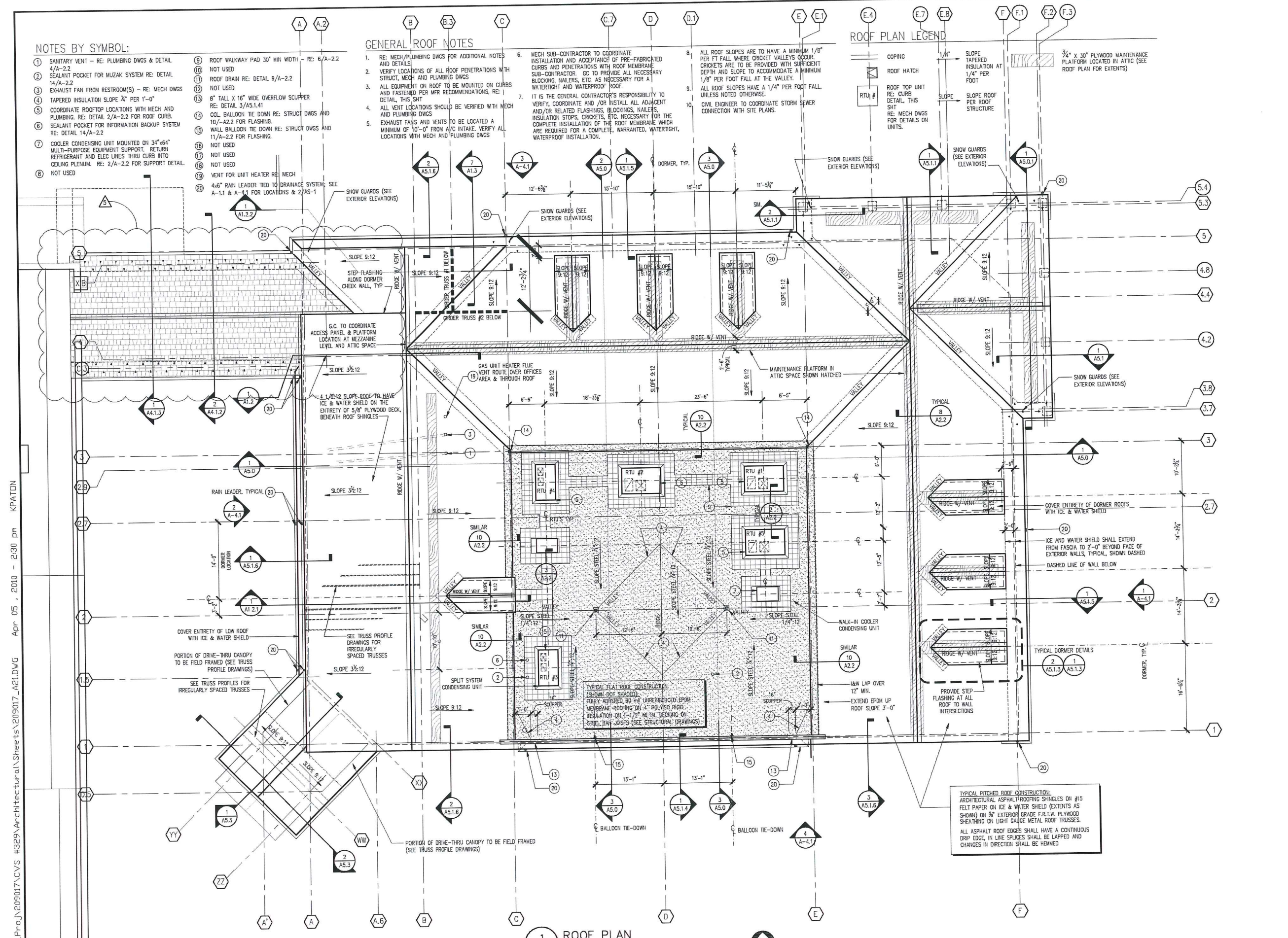
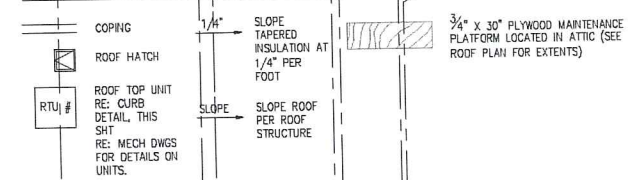
- ① SANITARY VENT - RE: PLUMBING DWGS & DETAIL 4/A-2.2
- ② SEALANT POCKET FOR MUZZAK SYSTEM RE: DETAIL 14/A-2.2
- ③ EXHAUST FAN FROM RESTROOM(S) - RE: MECH DWGS
- ④ TAPERED INSULATION SLOPE 3/4" PER 1'-0"
- ⑤ COORDINATE ROOFTOP LOCATIONS WITH MECH AND PLUMBING. RE: DETAIL 2/A-2.2 FOR ROOF CURB.
- ⑥ SEALANT POCKET FOR INFORMATION BACKUP SYSTEM RE: DETAIL 14/A-2.2
- ⑦ COOLER CONDENSING UNIT MOUNTED ON 34"x64" MULTI-PURPOSE EQUIPMENT SUPPORT. RETURN REFRIGERANT AND ELEC LINES THRU CURB INTO CEILING PLENUM. RE: 2/A-2.2 FOR SUPPORT DETAIL.
- ⑧ NOT USED

- ⑨ ROOF WALKWAY PAD 30" MIN WIDTH - RE: 6/A-2.2
- ⑩ NOT USED
- ⑪ ROOF DRAIN RE: DETAIL 9/A-2.2
- ⑫ NOT USED
- ⑬ 6" TALL X 16" WIDE OVERFLOW SCUPPER RE: DETAIL 3/AS.1.41
- ⑭ COL. BALLOON TIE DOWN RE: STRUCT DWGS AND 10/A-2.2 FOR FLASHING.
- ⑮ WALL BALLOON TIE DOWN RE: STRUCT DWGS AND 11/A-2.2 FOR FLASHING.
- ⑯ NOT USED
- ⑰ NOT USED
- ⑱ NOT USED
- ⑳ VENT FOR UNIT HEATER RE: MECH
- ㉑ 4x6" RAIN LEADER TIED TO DRAINAGE SYSTEM. SEE A-1.1 & A-4.1 FOR LOCATIONS & 2/AS-1
- ㉒ NOT USED

GENERAL ROOF NOTES

1. RE: MECH/PLUMBING DWGS FOR ADDITIONAL NOTES AND DETAILS
2. VERIFY LOCATIONS OF ALL ROOF PENETRATIONS WITH STRUCT, MECH AND PLUMBING DWGS
3. ALL EQUIPMENT ON ROOF TO BE MOUNTED ON CURBS AND FASTENED PER MFR RECOMMENDATIONS. RE: 1 DETAIL, THIS SHIT
4. ALL VENT LOCATIONS SHOULD BE VERIFIED WITH MECH AND PLUMBING DWGS
5. EXHAUST FANS AND VENTS TO BE LOCATED A MINIMUM OF 10'-0" FROM A/C INTAKE. VERIFY ALL LOCATIONS WITH MECH AND PLUMBING DWGS
6. MECH SUB-CONTRACTOR TO COORDINATE INSTALLATION AND ACCEPTANCE OF PRE-FABRICATED CURBS AND PENETRATIONS WITH ROOF MEMBRANE SUB-CONTRACTOR. GC TO PROVIDE ALL NECESSARY BLOCKING, NAILERS, ETC AS NECESSARY FOR A WATERTIGHT AND WATERPROOF ROOF
7. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY, COORDINATE AND/OR INSTALL ALL ADJACENT AND/OR RELATED FLASHINGS, BLOCKINGS, NAILERS, INSULATION STOPS, CRICKETS, ETC. NECESSARY FOR THE COMPLETE INSTALLATION OF THE ROOF MEMBRANE WHICH ARE REQUIRED FOR A COMPLETE, WARRANTED, WATERTIGHT, WATERPROOF INSTALLATION.
8. ALL ROOF SLOPES ARE TO HAVE A MINIMUM 1/8" PER FT FALL WHERE CRICKET VALLEYS OCCUR. CRICKETS ARE TO BE PROVIDED WITH SUFFICIENT DEPTH AND SLOPE TO ACCOMMODATE A MINIMUM 1/8" PER FOOT FALL AT THE VALLEY.
9. ALL ROOF SLOPES HAVE A 1/4" PER FOOT FALL, UNLESS NOTED OTHERWISE.
10. CIVIL ENGINEER TO COORDINATE STORM SEWER CONNECTION WITH SITE PLANS.

ROOF PLAN LEGEND



TYPICAL FLAT ROOF CONSTRUCTION (SHOW NOT SHOWN):
 FULLY ADHERED 50 MIL UNREINFORCED EPDM MEMBRANE PROFFING ON 4" POLYSTYROLE INSULATION ON 1-1/2" METAL DECKING ON STEEL BAR JOISTS (SEE STRUCTURAL DRAWINGS)

TYPICAL RITCHED ROOF CONSTRUCTION:
 ARCHITECTURAL ASPHALT ROOFING SHINGLES ON #15 FELT PAPER ON ICE & WATER SHIELD (EXTENTS AS SHOWN) ON 3/4" EXTERIOR GRADE F.R.T.W. PLYWOOD SHEATHING ON LIGHT GAUGE METAL ROOF TRUSSES.
 ALL ASPHALT ROOF EDGES SHALL HAVE A CONTINUOUS DRIP EDGE, IN LINE SPICES SHALL BE LAPPED AND CHANGES IN DIRECTION SHALL BE HEMMED

1 ROOF PLAN
 A2.1 SCALE: 1/8" = 1'-0"

b a
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 pharmacy
 NEW
 STORE NUMBER: 329
 NORTHGATE PLAZA
 91 AUBURN STREET
 PORTLAND, MAINE

DEVELOPER:
 A & D REALTY, LLC
 5 MILITIA DRIVE
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REVISIONS:

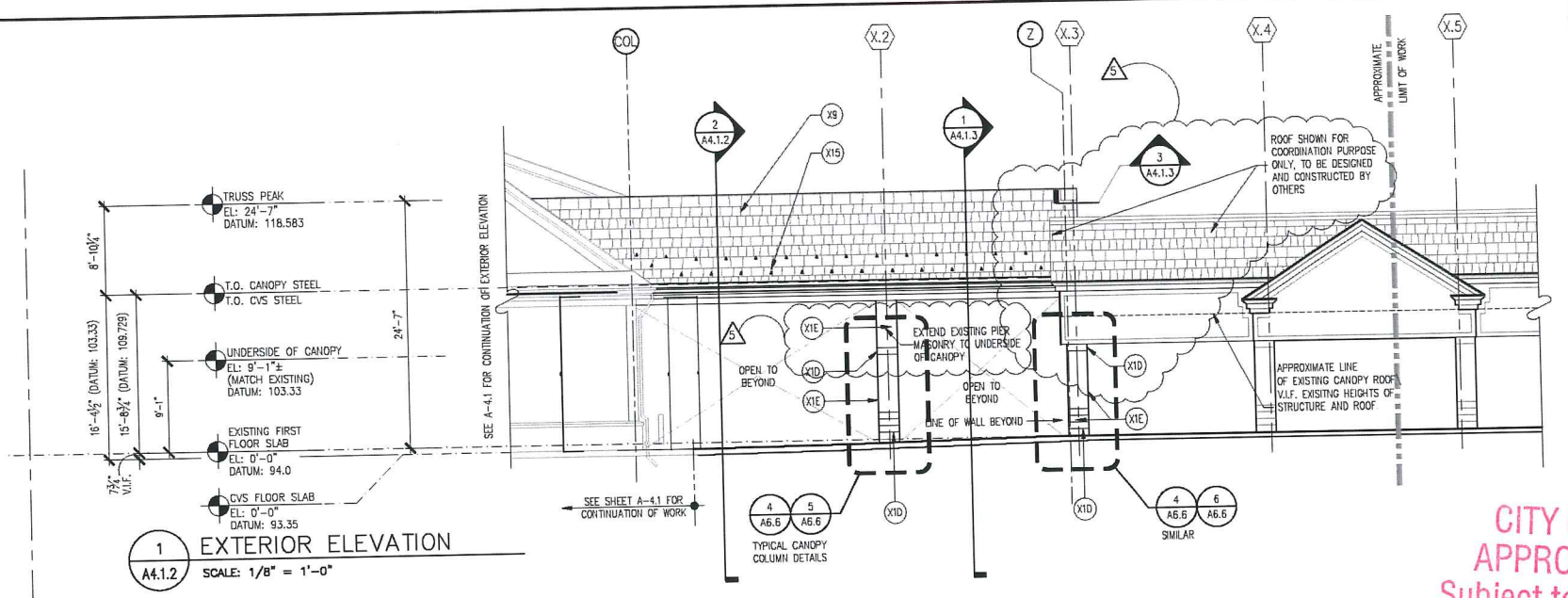
△	DRIVE-THRU REVISIONS	9/18/09
△	CONNECTING CANOPY REV	3/11/10

DRAWING BY: RTK
 DATE: 8/31/09
 JOB NUMBER: 209017
 TITLE: **ROOF PLAN**
 SHEET NUMBER: **A2.1**
 COMMENTS:
 ISSUED FOR CONSTRUCTION

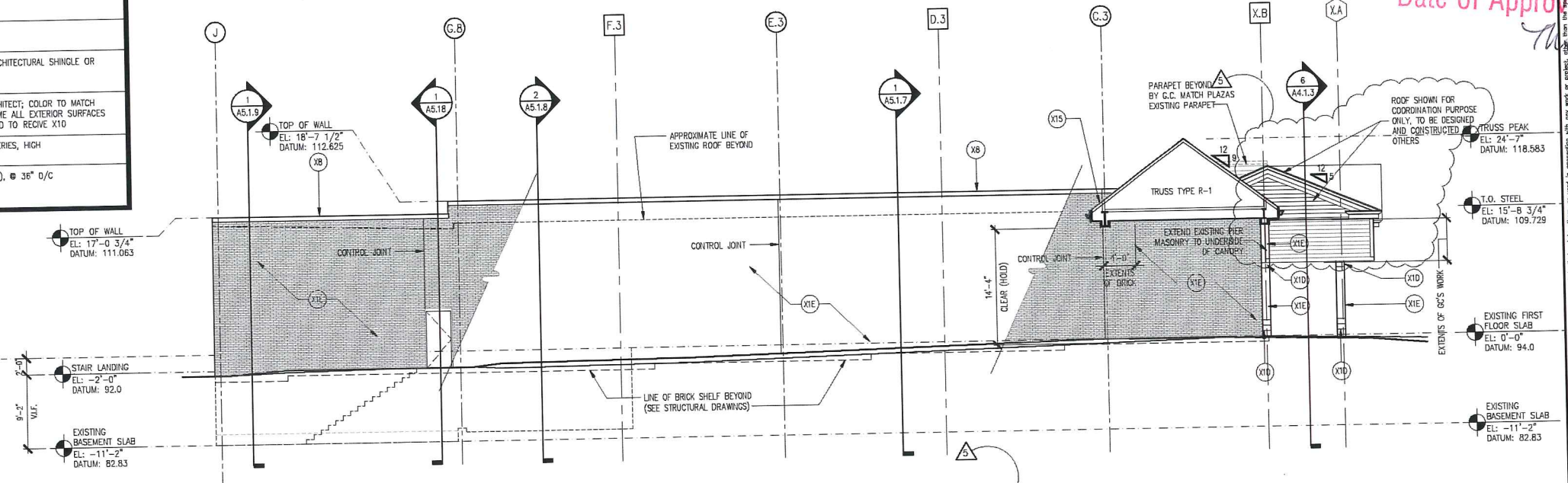
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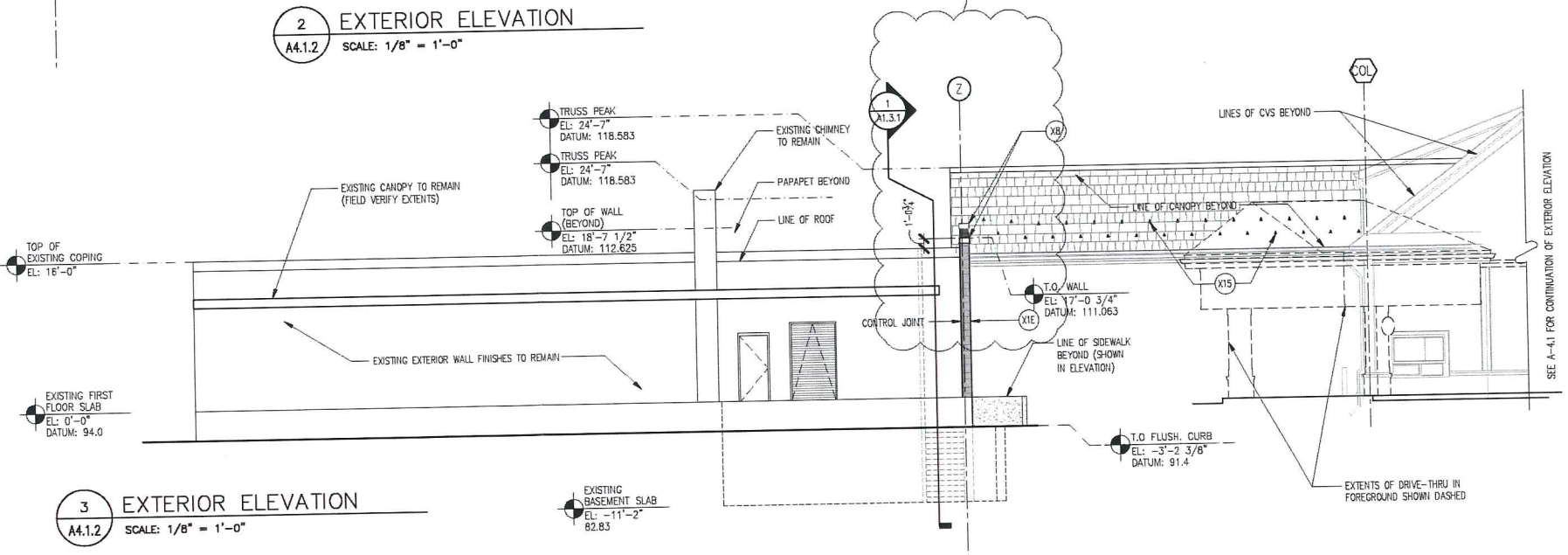
EXTERIOR FINISH SCHEDULE			
TAG	MATERIAL/MFG.	COLOR/NO.	NOTES
X1	"WEREZALIT" RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	AMERICANA 6" EXPOSURE, TRADITION (SMOOTH SURFACE); SEE NOTE #4. PROVIDE PAINTED SAMPLE TO ARCHITECT
X1A	"WEREZALIT" RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE 319-79	HERITAGE 6" EXPOSURE, TRADITION (SMOOTH SURFACE); SEE NOTE #4. PROVIDE PAINTED SAMPLE TO ARCHITECT
X1B	EXTERIOR FACE BRICK	CVS RED	MORTAR COLOR - NATURAL GREY
X1C	EXTERIOR CEDAR CLAPBOARD SIDING SYSTEM	PRIME & PAINT TO MATCH EXISTING	EXPOSURE TO MATCH EXISTING
X1D	C.M.U. BLOCK (SPLIT FACED, SINGLE SCORE)	NATURAL GSF 000" (TO MATCH EXISTING)	MANUFACTURED BY GENEST CONCRETE, SANFORD, ME (BUTCH KENEY: 207-324-3250 X155)
X1E	EXTERIOR FACE BRICK	TO MATCH EXISTING EXTERIOR FACE BRICK	COORDINATE WITH GENEST CONCRETE, SANFORD, ME (BUTCH KENEY: 207-324-3250 X155)
X1F	WOOD CROWN MOULDING	TO MATCH EXISTING	PROVIDE IN CLOSED CELL PVC IF AVAILABLE
X2	CLOSED CELL PVC TRIM	SMOOTH FACE; PAINT BENJAMIN MOORE 319-79 (TYPICAL AT ALL PVC TRIM)	PROVIDE PAINT SAMPLE TO ARCHITECT; SEE NOTE #4
X3	CLOSED CELL SHEET PVC CLADDING	5/4" ABUTTING WOOD SIDING; OTHERWISE 1"	PROVIDE PAINT SAMPLE TO ARCHITECT; SEE NOTE #4
X4	FYPON DECORATION	BENJAMIN MOORE 319-79	CUSTOM "7AN" BY "TYPON MOULDED MILLWORK", SIMILAR TO DESIGN 884 CABLE DECORATION, PROVIDE MAN. WITH ALL NECESSARY DIMENSIONS FOR CUSTOM SIZE
X5	WIND/DOOR STOREFRONT "KAWNEER" TRIFAB II	VALSPAR IND. COATING #381A226, COLONIAL WHITE	#451-T SERIES FLUROPON FINISH Tel. 1-800-366-3698
X6	1" INSULATED FLOAT GLASS	OPAQUE WHITE SPANDEL	STOREFRONT WINDOWS
X6A	1" INSULATED FLOAT GLASS	CLEAR	STOREFRONT WINDOWS
X7	1/4" LAM SAFETY GLASS	CLEAR	DOORS & SIDELIGHTS
X8	PREFINISHED METAL COPING CAP	COLOR TO MATCH ADJACENT VENEER MASONRY	---
X9	FIBERGLASS ASPHALT ARCHITECTURAL ROOF SHINGLE	PEWTER BLEND G.C. TO SUBMIT SAMPLES	GAF TIMBERLINE 30 YEAR - ARCHITECTURAL SHINGLE OR APPROVED EQUAL
X10	EXTERIOR PAINTED SURFACE BENJAMIN MOORE	ATRUM WHITE #319-79	PROVIDE PAINT SAMPLE TO ARCHITECT; COLOR TO MATCH FACTORY FINISHED WINDOW FRAME ALL EXTERIOR SURFACES NOT FACTORY PRIMED & PAINTED TO RECEIVE X10
X14	EXTERIOR PIPE BOLLARDS BENJAMIN MOORE	SAFETY YELLOW 4208-9400	DEVFLEX WB ACRYLIC, 4208-SERIES, HIGH PERFORMANCE
X15	STAINLESS STEEL SNOW GUARDS	ZALESKI SNOW GUARDS, MODEL #8 (STAINLESS STEEL)	PROVIDE TWO ROWS (STAGGERED), @ 36" O/C



1 EXTERIOR ELEVATION
A4.1.2 SCALE: 1/8" = 1'-0"



2 EXTERIOR ELEVATION
A4.1.2 SCALE: 1/8" = 1'-0"



3 EXTERIOR ELEVATION
A4.1.2 SCALE: 1/8" = 1'-0"

b a
BA Architects, Inc.
 Architecture + Interiors
 142 Crescent Street
 Brockton, MA 02302
 tel : 508.583.5603
 fax : 508.584.2914
 e-mail : bka@bkaarch.com

CONSULTANT:
CITY OF PORTLAND
APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: *Aug 11, 2010*
 This amendment approved *4.27.10*

CVS/
 pharmacy
 NEW
 STORE NUMBER: 329
 NORTHGATE PLAZA
 91 AUBURN STREET
 PORTLAND, MAINE

DEVELOPER:
 A & D REALTY, LLC
 5 MILITIA DRIVE
 LEXINGTON, MA 02421

REVISIONS:
 △ DRIVE-THRU REVISIONS 9/18/09
 △ CONNECTING CANOPY REV 3/11/10
 DRAWING BY: RTK
 DATE: 8/31/09
 JOB NUMBER: 209017
 TITLE: EXTERIOR ELEVATIONS & NOTES
 SHEET NUMBER: **A-4.1.2**
 COMMENTS:
 ISSUED FOR CONSTRUCTION

COMMENTS
 SHEET NUMBER: A-4
 EXTERIOR ELEVATIONS
 DATE: 02/19/04
 DRAWN BY: DSC

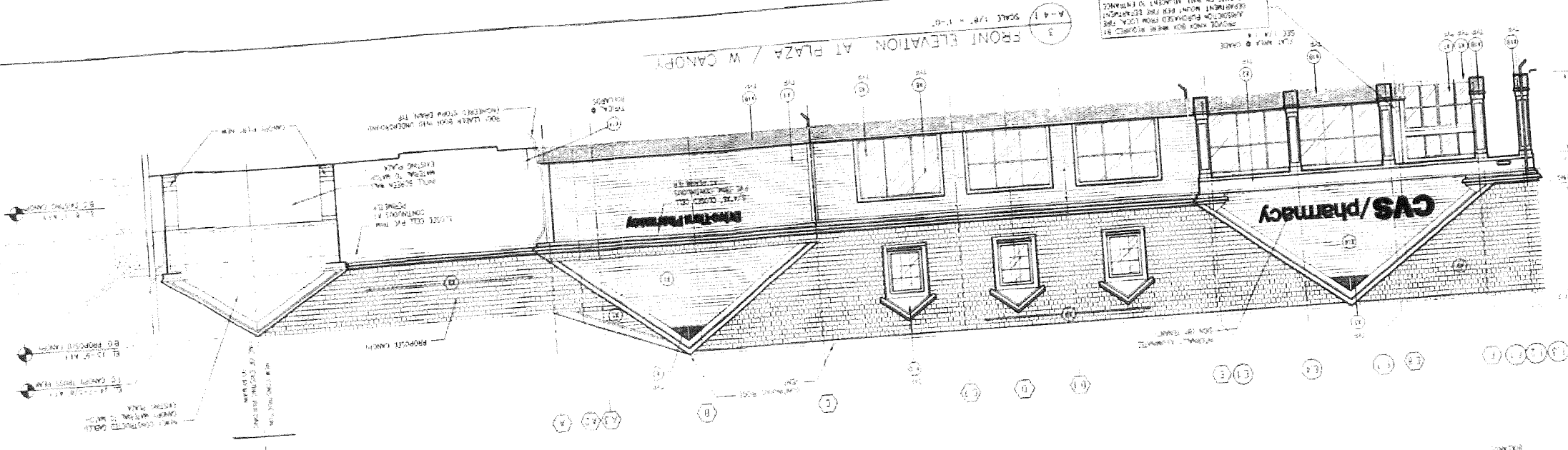
REVISIONS
 DEVELOPER

NEW
 STORE NUMBER XXXX
 NORTH PLAZA
 100 NORTH STREET
 DORSET, MA 01922



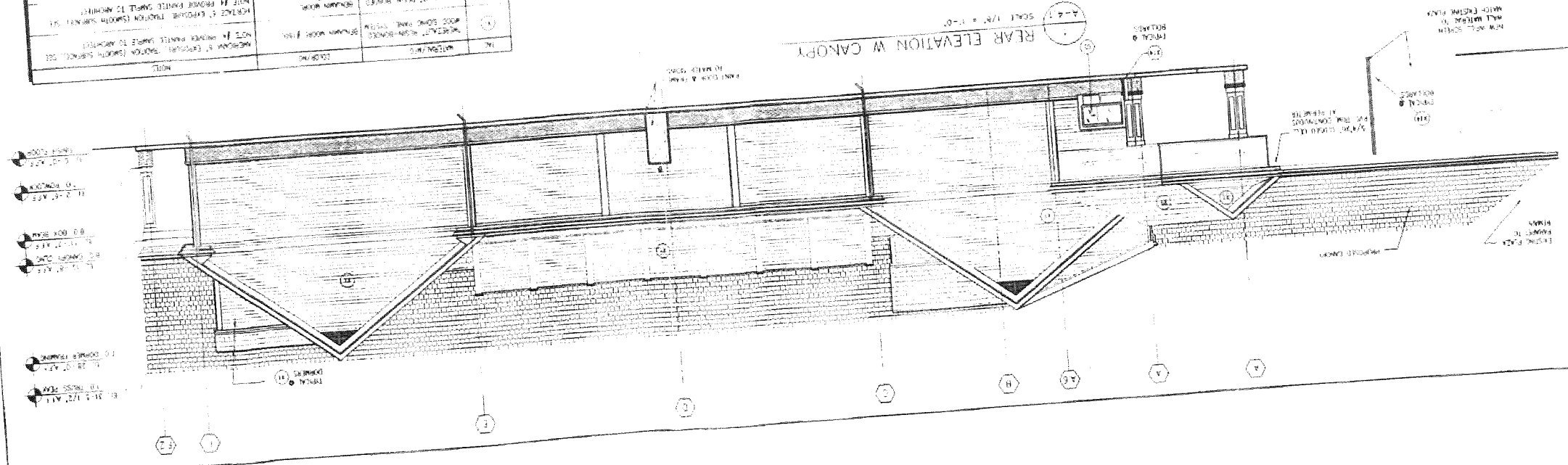
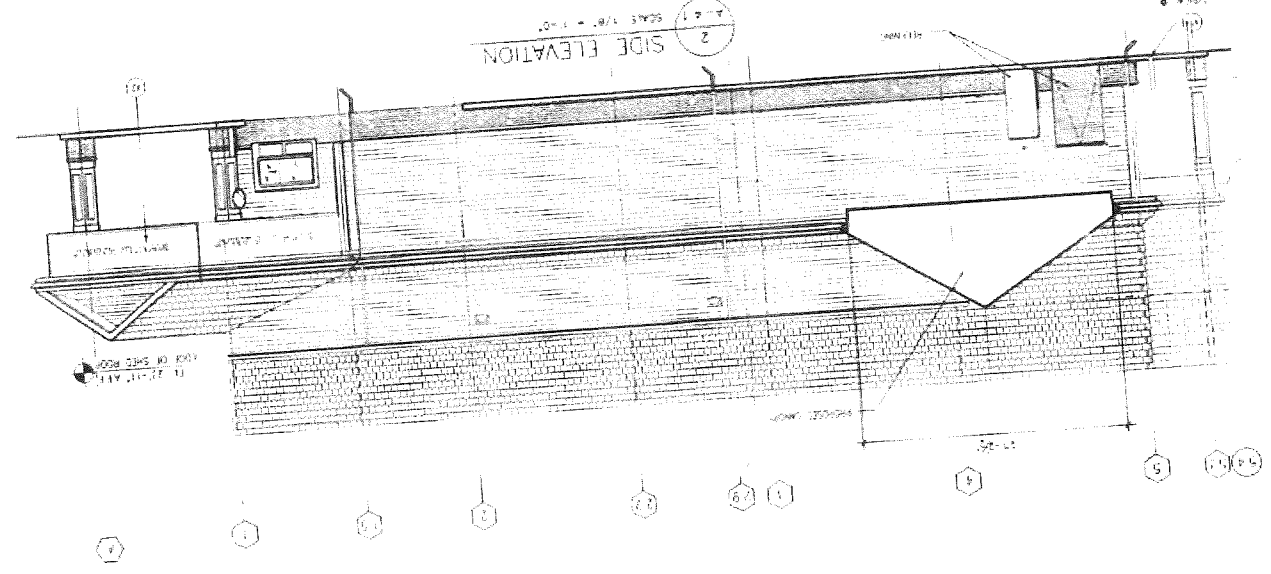
CONSULTANT
 A.H.C.22
 Hearing

BKA Architects, Inc.
 ARCHITECTURE • INTERIORS
 142 Crescent Street
 Brockton, MA 02302
 TEL: 508 583 5600
 FAX: 508 584 2914
 E-MAIL: DRA@bkaarch.com



GENERAL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE REGULATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
4. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
5. THE CONTRACTOR SHALL MAINTAIN THE EXISTING CURB AND SIDEWALKS.
6. THE CONTRACTOR SHALL PROTECT ALL EXISTING TREES AND LANDSCAPING.
7. THE CONTRACTOR SHALL MAINTAIN THE EXISTING SIGNAGE.
8. THE CONTRACTOR SHALL MAINTAIN THE EXISTING LIGHTING.
9. THE CONTRACTOR SHALL MAINTAIN THE EXISTING PAINT.
10. THE CONTRACTOR SHALL MAINTAIN THE EXISTING ROOFING.
11. THE CONTRACTOR SHALL MAINTAIN THE EXISTING FLOORING.
12. THE CONTRACTOR SHALL MAINTAIN THE EXISTING CEILINGING.
13. THE CONTRACTOR SHALL MAINTAIN THE EXISTING MECHANICAL SYSTEMS.
14. THE CONTRACTOR SHALL MAINTAIN THE EXISTING ELECTRICAL SYSTEMS.
15. THE CONTRACTOR SHALL MAINTAIN THE EXISTING PLUMBING SYSTEMS.
16. THE CONTRACTOR SHALL MAINTAIN THE EXISTING GAS SYSTEMS.
17. THE CONTRACTOR SHALL MAINTAIN THE EXISTING FIRE ALARMS.
18. THE CONTRACTOR SHALL MAINTAIN THE EXISTING SMOKE DETECTORS.
19. THE CONTRACTOR SHALL MAINTAIN THE EXISTING SECURITY SYSTEMS.
20. THE CONTRACTOR SHALL MAINTAIN THE EXISTING ACCESSIBILITY FEATURES.



GRADING AND DRAINAGE NOTES:

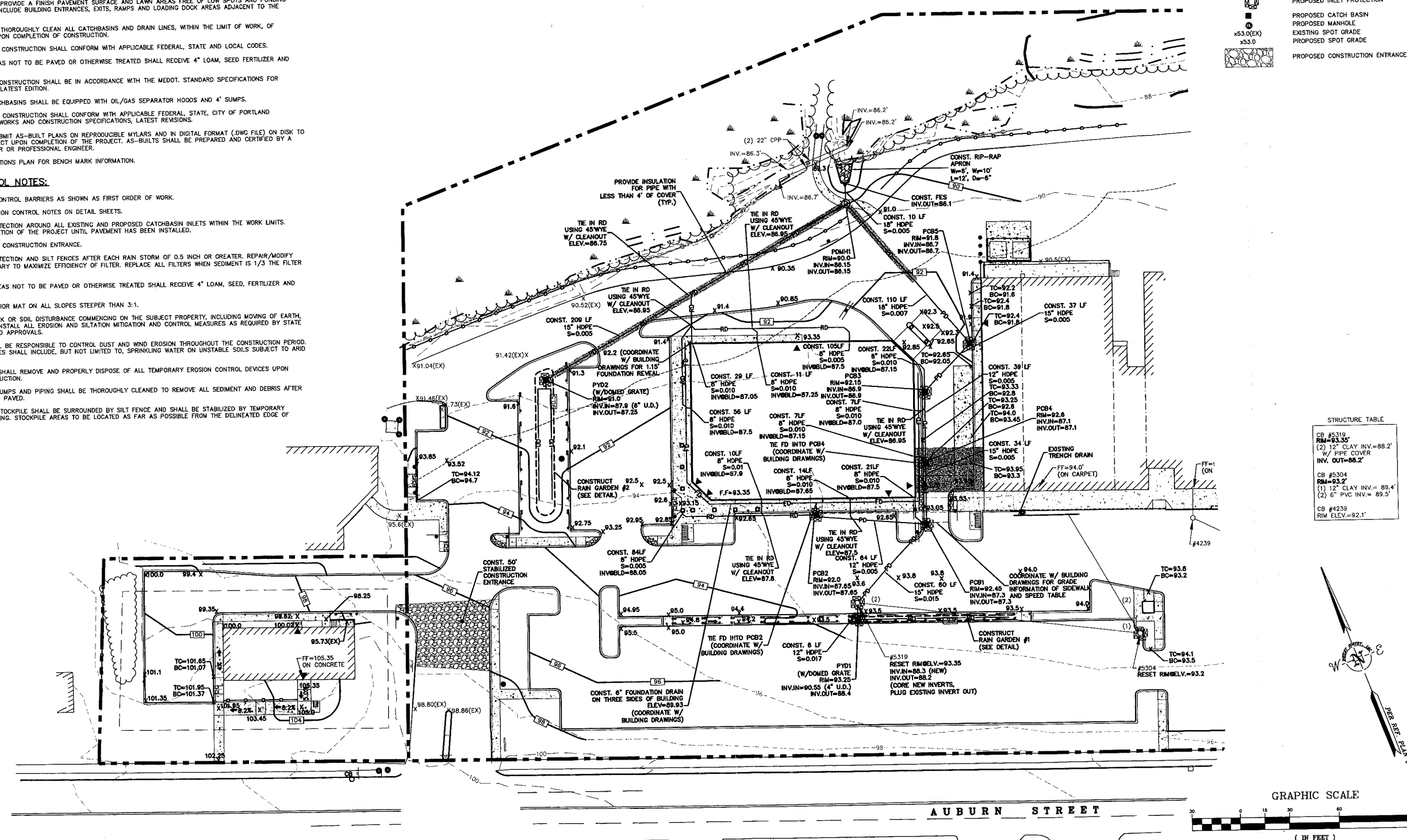
1. COMPACTION REQUIREMENTS
BELOW PAVED OR CONCRETE AREAS 95%
TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL 95%
BELOW LOAM AND SEED AREAS 90%
*ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM-2922.
2. ALL STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HANGCOR HI-0, ADS N-12 OR APPROVED EQUAL) UNLESS OTHERWISE SPECIFIED.
3. SEE UTILITIES PLAN FOR ALL SITE UTILITY INFORMATION.
4. ADJUST ALL MANHOLES, CATCHBASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
5. COORDINATE WORK ADJACENT TO PROPOSED BUILDINGS WITH BUILDING CONTRACTOR.
6. ALL DRAIN PIPES WITH LESS THAN 4' OF COVER SHALL BE INSULATED.
7. CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCES, EXITS, RAMPS AND LOADING DOCK AREAS ADJACENT TO THE BUILDING.
8. CONTRACTOR SHALL THOROUGHLY CLEAN ALL CATCHBASINS AND DRAIN LINES, WITHIN THE LIMIT OF WORK, OF SEDIMENT IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
9. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES.
10. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 4" LOAM, SEED FERTILIZER AND MULCH.
11. ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MEDOT. STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.
12. ALL PROPOSED CATCHBASINS SHALL BE EQUIPPED WITH OIL/GAS SEPARATOR HOODS AND 4" SUMPS.
13. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE, CITY OF PORTLAND DEPARTMENT OF PUBLIC WORKS AND CONSTRUCTION SPECIFICATIONS, LATEST REVISIONS.
14. CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MYLARS AND IN DIGITAL FORMAT (DWG FILE) ON DISK TO THE OWNER AND ARCHITECT UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
15. SEE EXISTING CONDITIONS PLAN FOR BENCH MARK INFORMATION.

EROSION CONTROL NOTES:

1. INSTALL EROSION CONTROL BARRIERS AS SHOWN AS FIRST ORDER OF WORK.
2. SEE GENERAL EROSION CONTROL NOTES ON DETAIL SHEETS.
3. PROVIDE INLET PROTECTION AROUND ALL EXISTING AND PROPOSED CATCHBASIN INLETS WITHIN THE WORK LIMITS. MAINTAIN FOR THE DURATION OF THE PROJECT UNTIL PAVEMENT HAS BEEN INSTALLED.
4. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
5. INSPECT INLET PROTECTION AND SILT FENCES AFTER EACH RAIN STORM OF 0.5 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT.
6. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 4" LOAM, SEED, FERTILIZER AND MULCH.
7. CONSTRUCT EXCelsior MAT ON ALL SLOPES STEEPER THAN 3:1.
8. PRIOR TO ANY WORK OR SOIL DISTURBANCE COMMENCING ON THE SUBJECT PROPERTY, INCLUDING MOVING OF EARTH, THE APPLICANT SHALL INSTALL ALL EROSION AND SILTATION MITIGATION AND CONTROL MEASURES AS REQUIRED BY STATE AND LOCAL PERMITS AND APPROVALS.
9. CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL MEASURES SHALL INCLUDE, BUT NOT LIMITED TO, SPRINKLING WATER ON UNSTABLE SOILS SUBJECT TO AIRD CONDITIONS.
10. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
11. ALL CATCHBASIN SUMPS AND PIPING SHALL BE THOROUGHLY CLEANED TO REMOVE ALL SEDIMENT AND DEBRIS AFTER THE PROJECT HAS BEEN PAVED.
12. TEMPORARY SOIL STOCKPILE SHALL BE SURROUNDED BY SILT FENCE AND SHALL BE STABILIZED BY TEMPORARY EROSION CONTROL SEEDING. STOCKPILE AREAS TO BE LOCATED AS FAR AS POSSIBLE FROM THE DELINEATED EDGE OF WETLAND.

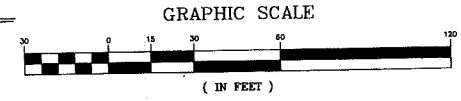
LEGEND

	PROPERTY LINE
	75' WETLAND BUFFER
	EDGE OF WETLAND
	EXISTING TREE LINE
	PROPOSED TREE LINE
	PROPOSED CONCRETE SIDEWALK
	EXISTING CONTOUR
	EXISTING 10' CONTOUR
	FINISH GRADE
	EXISTING DRAINAGE
	PROPOSED INSULATED DRAINAGE
	PROPOSED DRAINAGE
	PROPOSED ROOF DRAIN
	PROPOSED FOUNDATION DRAIN
	PROPOSED UNDER DRAIN
	SILT FENCE
	PROPOSED INLET PROTECTION
	PROPOSED CATCH BASIN
	PROPOSED MANHOLE
	EXISTING SPOT GRADE
	PROPOSED SPOT GRADE
	PROPOSED CONSTRUCTION ENTRANCE

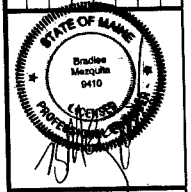


STRUCTURE TABLE

CB #5319	RM=93.35'
(2) 12" CLAY INV.=88.2'	W/ PIPE COVER
INV. OUT.=88.2'	
CB #5304	RM=93.2'
(1) 12" CLAY INV.=89.4'	
(2) 6" PVC INV.=89.5'	
CB #4239	RM ELEV.=92.1'



No.	Description	Appd	Date

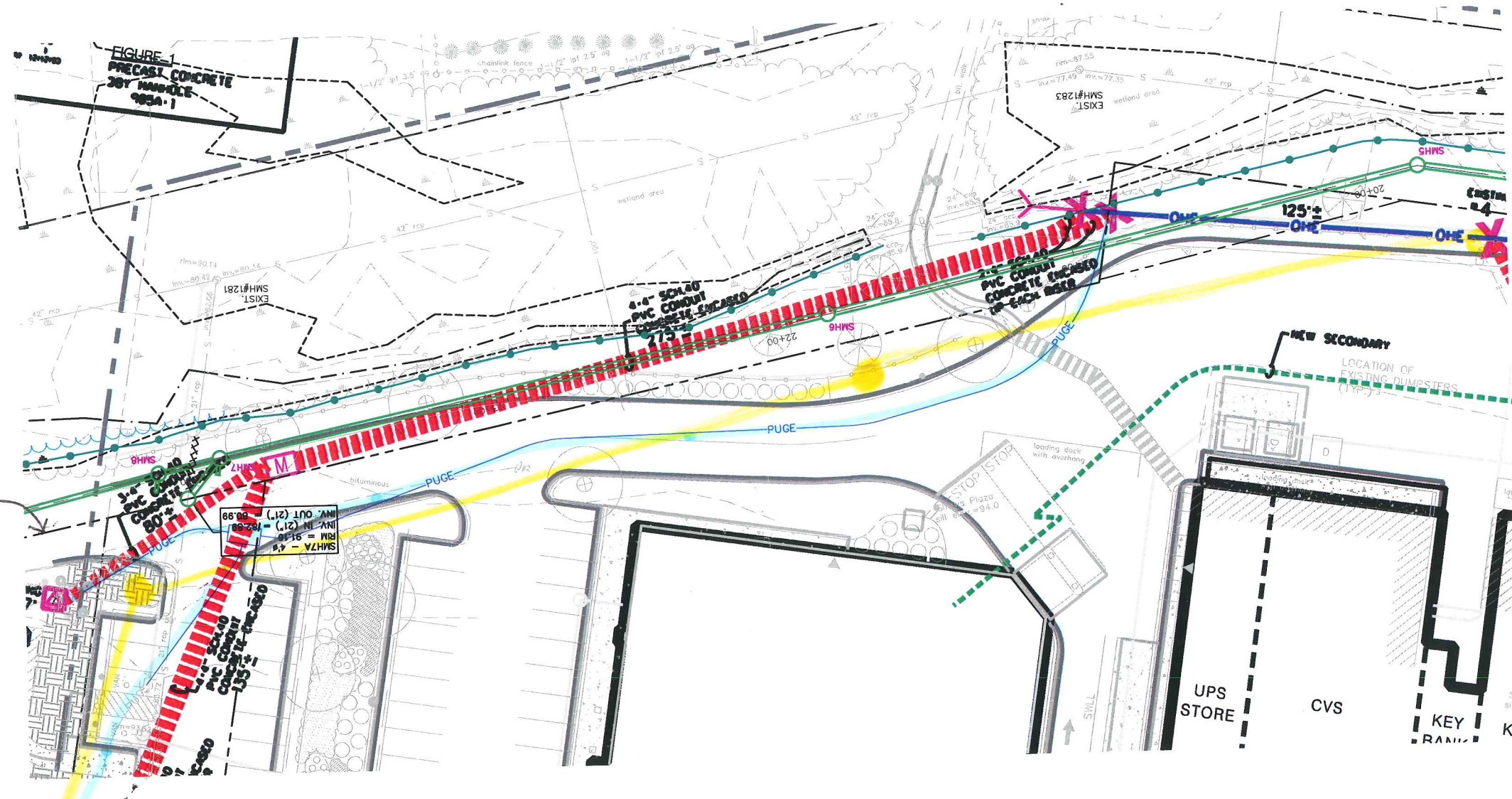


DATE: AUGUST 18, 2009
 SCALE: AS SHOWN
 DESIGNED BY: SAM
 DRAWN BY: SAM
 APPROVED BY: GY/BLM
 PROJECT NO.: 2042B
 FILE NO.: 2042B-CONST.DWG

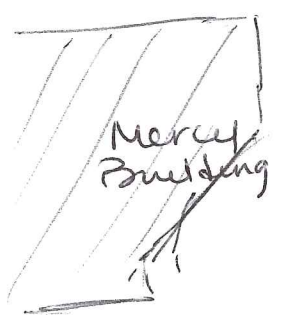
**NORTHGATE PLAZA
 AUBURN STREET
 PORTLAND, MAINE**

**APPLEDORE
 ENGINEERING**
 177 CORPORATE DRIVE
 PORTSMOUTH, NEW HAMPSHIRE 03801
 (603) 433-8818
 aei@applecoreeng.com

GRADING, DRAINAGE & EROSION CONTROL PLAN



city's easement



Mercy Building

Info from Nathan Smith

- red - where currently underground
- blue - where approved to be underground
- yellow - where proposed to be over-lead

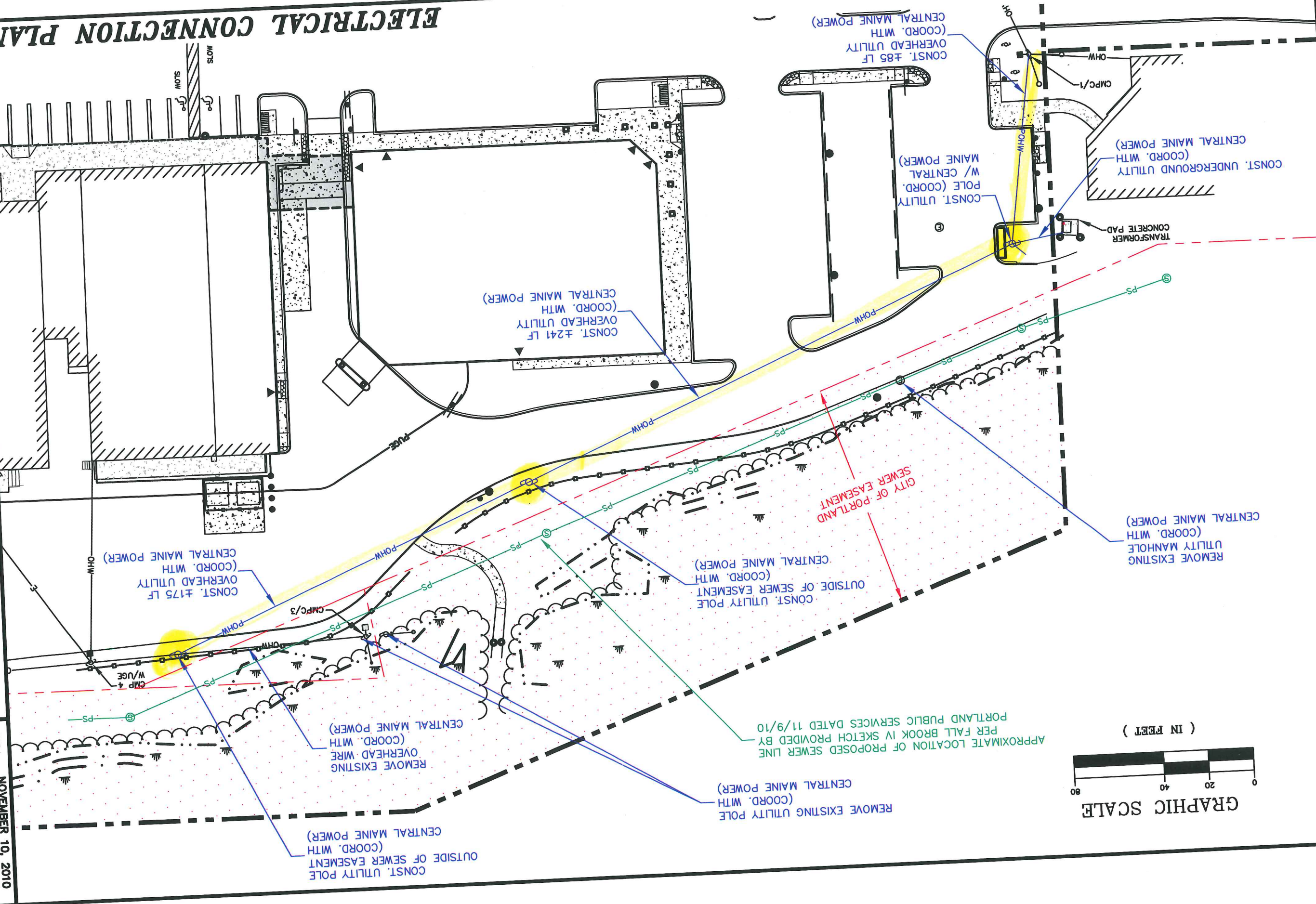
discussed BB 11-19-10
 OK KF
 draft approval

ELECTRICAL CONNECTION PLAN 1 OF 1

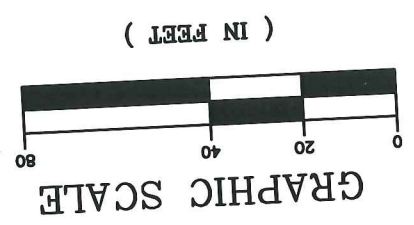
APPLEDORE ENGINEERING
 177 CORPORATE DRIVE
 PORTSMOUTH, NEW HAMPSHIRE 03801
 (603) 433-8818
 aei@appledoreeng.com

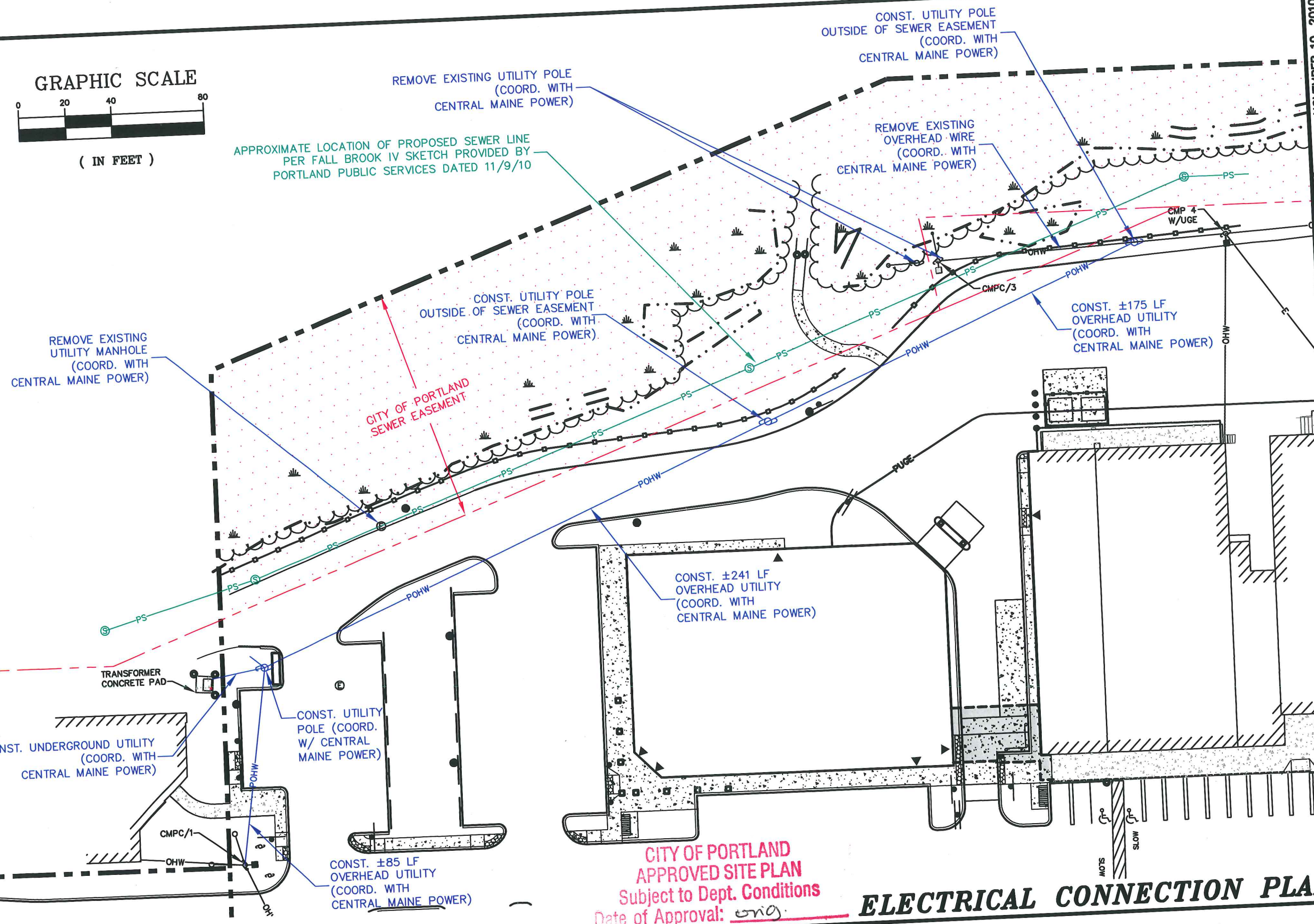
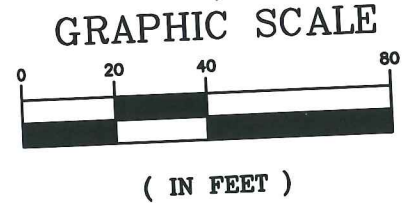
**NORTHGATE PLAZA
 AUBURN STREET
 PORTLAND, MAINE**

DATE: **NOVEMBER 10, 2010**
 SCALE: **AS SHOWN**
 DESIGNED BY: **GY/BLM**
 DRAWN BY: **GY**
 APPROVED BY: **BLM**
 PROJECT NO: **2042B**
 FILE NO: **2042B-CONST.dwg**



APPROXIMATE LOCATION OF PROPOSED SEWER LINE
 PER FALL BROOK IV SKETCH PROVIDED BY
 PORTLAND PUBLIC SERVICES DATED 11/9/10





DATE: NOVEMBER 10, 2010
 SCALE: AS SHOWN
 DESIGNED BY: GY/BLM
 DRAWN BY: GY
 APPROVED BY: BLM
 PROJECT NO: 2042B
 FILE NO: 2042B-CONST.dwg

NORTHGATE PLAZA
 AUBURN STREET
 PORTLAND, MAINE

APLEDORRE ENGINEERING INC.
 177 CORPORATE DRIVE
 PORTSMOUTH, NEW HAMPSHIRE 03801
 (603) 433-8818

CITY OF PORTLAND APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: orig.

ELECTRICAL CONNECTION PLAN 1 OF 1

approval 06-09-2009
 this amendment 11-23-2010 approving o/h lines + poles instead of underground (blue line)

Easement Deed

KNOW BY ALL MEN THESE PRESENTS, THAT A & D REALTY, LLC, a Maine

limited liability company also known as A&D Realty, LLC, and having a usual place of business at

133 Massachusetts Avenue, Lexington, Massachusetts,

for consideration paid, the receipt of which is hereby acknowledged,

does hereby grant to **125 AUBURN STREET, LLC**, a Maine limited liability company duly

organized by law and having a usual place of business at 133 Massachusetts Avenue, Lexington,

Massachusetts (the "Grantee"), its successors and assigns,

A perpetual right and easement for ingress and egress by foot and motor vehicle for the

benefit of the Grantee, its successors and assigns, to the use, in common with others, the

"Proposed Multi-Use Easement area as shown on plan of land entitled, "Easement Plan for

A & D Realty, LLC c/o Winslow Property Management, 5 Militia Drive, Lexington, MA

02421 and 125 Auburn Street, LLC, 133 Massachusetts Ave., Lexington, MA 02420 of

Northgate Shopping Plaza (Tax Map 375, Lot C-1, C-15 & C-17) (Tax Map 375, Lot C-23

21 & 25 Auburn Street, Portland, Maine" prepared by Doucet Survey Inc. (hereinafter the

"Plan"), a reduced copy of which attached hereto and made a part hereof, and recorded in

the Cumberland County Registry of Deeds in Plan Book 210, Page 16 for the benefit of and

appurtenant to Lot C-23 as shown on said Plan, together with

A perpetual right and easement to the exclusive use of five (5) parking spaces generally

located on the opposite side of the Northgate access drive within the Northgate Parking area,

and more specifically identified shown on the "Overall Site Plan, C-2, recorded in the

Cumberland County Registry of Deeds in Plan Book 210, page 16 for the benefit of and

appurtenant to Lot C-23 as shown on said Plan, together with the aforesaid right of access in

common with others for said purpose.

Subject to other outstanding easements of record, including without limitation those set forth in a deed from Shaw's Realty Co. to Fall Brook Realty Co. dated July 14, 1986 and recorded in said Registry of Deeds in Book 7270, Page 165, and the Fall Brook Interceptor Sewer Easement accepted by Order of the Portland City Council on June 15, 1953 as modified by deed of the City of Portland to Shaw's Realty Co. dated April 12, 1966 and recorded with said Registry of Deeds in Book 2961, Page 224.

Nothing contained herein shall impair a prior sewer easement for the benefit of land of the Grantee from Shaw's Realty Co. to Pine Tree Council, Inc. dated July 23, 1959 and recorded in said Registry of Deeds in Book 2486, Page 204, which shall remain in full force and effect and is hereby ratified and confirmed.



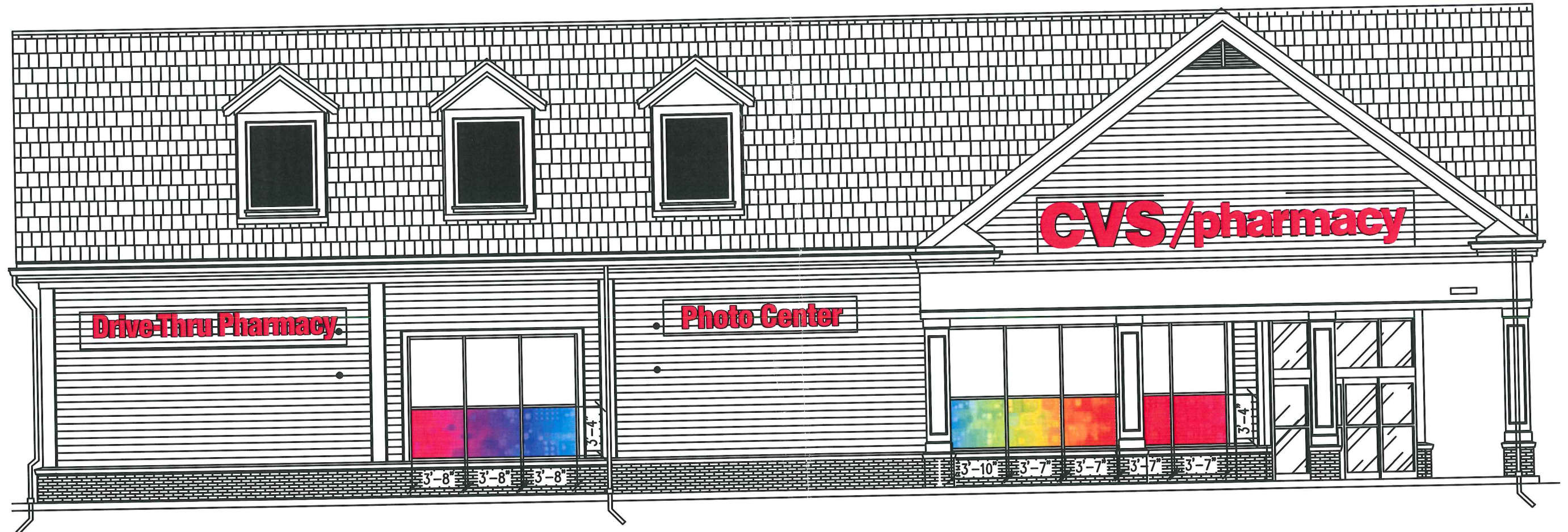
Store Windows Graphic Program

STANDARD STORE

STORE 0329: 91 AUBURN ST, PORTLAND, ME 04103

WEST ELEVATION - RAINBOW

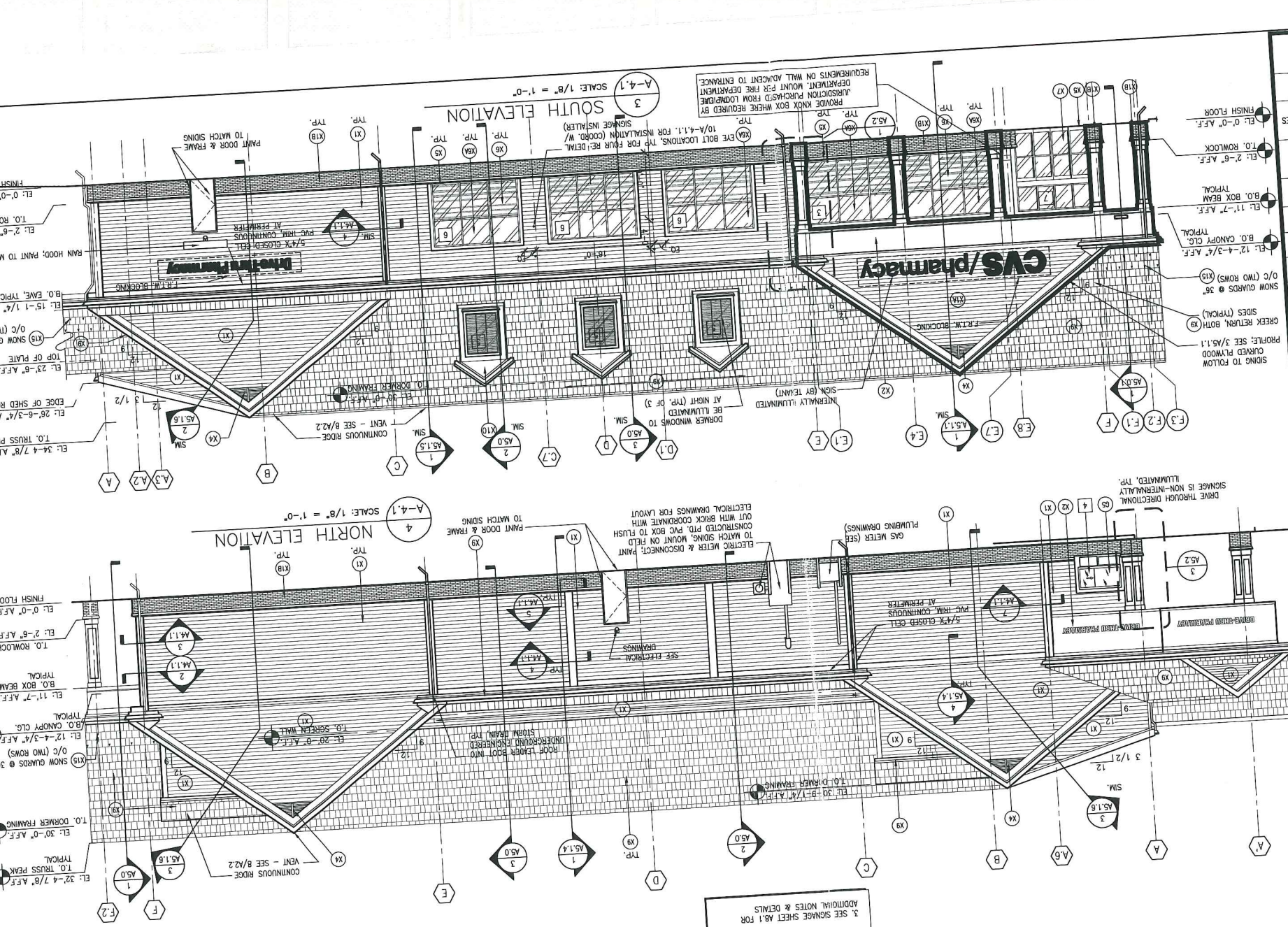
EXTERIOR SCOTCHPRINT INSTALLATION (ALL TEXT OMITTED)



EXTERIOR FINISH SCHEDULE	COLOR/NO.	NOTES
X1	WOOD SIDING PANEL SYSTEM	AMERICAN 6" EXPOSURE, TYPICAL (SMOOTH SURFACE). SEE NOTE #4. PROVIDE PAINTED SAMPLE TO ARCHITECT.
X1A	WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1800
X1B	EXTERIOR FACE BRICK	CVS RED
X1C	EXTERIOR CEILING CLAPBOARD	MATCH & PAINT TO EXISTING
X1D	CALF BLOCK (SPLIT FACED, SMOOK SCORE)	NATURAL CSP 000" (10 BUTCH KENEDY: 207-324-3350 X155)
X1E	EXTERIOR FACE BRICK	TO MATCH EXISTING
X1F	WOOD CROWN MOULDING	PROVIDE PAINT SAMPLE TO ARCHITECT; SEE NOTE #4
X2	CLOSED CELL PVC TRIM	(TYPICAL AT ALL PVC TRIM)
X3	CLOSED CELL SHEET PVC	SINOX ABUTTING WOOD SIDING; OTHERWISE 1"
X4	FRON DECORATION	BENJAMIN MOORE 319-79
X5	WIND/DOOR STOREFRONT	#591226, COLORED WHITE W/SPAN NO. COATING
X6	1" INSULATED FLOAT GLASS	W/1-800-366-3688
X7	1/4" LAM SAFETY GLASS	DOORS & SIDELIGHTS
X8	PREFINISHED METAL	COLOR TO MATCH ADJACENT KEENER MASONRY
X9	ARCHITECTURAL ROOF SHINGLE	PEPPER BLEND G.C. TO SUBMIT SAMPLES
X10	BENJAMIN MOORE	DEPFLX WB ACRYLIC, 4208 - SERIES, HIGH PERFORMANCE
X11	BENJAMIN MOORE	ARJUN WHITE #319-79
X12	EXTERIOR PIPE BOLTERS	SAFETY YELLOW
X13	GUARDS	ZALASKI SHOW GUARDS, MODEL #8 (STAINLESS STEEL)

EXTERIOR ELEVATIONS NOTES:

- TYPICAL WEARZAIT SIDING SYSTEM. PROVIDE CLAPBOARDS W/ 6" TYP. W/ AT INTERNAL FLASHINGS, INSIDE & OUTSIDE CORNER TRIM.
- 4" CHANNELS SHALL BE USED, CONSULT MANUFACTURER FOR PROPER TERMINATION OF EXPOSED CUT ENDS. ALL JOINTS SHALL BE STAGGED, NO VISUAL JOINT PATTERN SHALL BE EVIDENT. PROVIDE PAINTABLE SEALANT AT JOINTURE BET. SIDING AND TRIM (MAX 1/4").
- G.C. TO PROVIDE COLOR SAMPLES OF ALL PAINTED SIDING AND TRIM PRIOR TO START OF WORK.
- EXTERIOR TRIM FOR THE BUILDING SHALL BE CLOSED CELL PVC TRIM, WHERE THE DRAWINGS DENOTE "WOOD" AS OPPOSED TO "PVC". PROVIDE SAME PVC TRIM ALL PVC IS DISTRIBUTED BY THE SHANNON CORPORATION, 329 B SOUTH POST ROAD SUDBURY, MA 01776; PH: 978-443-4911; FAX: 978-443-5804; E-MAIL: SHANNON@SHANNON.COM
- ALL JOINTS IN SHEET PVC SHALL BE FLUSH FILED AND SCADED TO ELIMINATE SEAM.
- ALL PVC TRIM ABUTTING WEARZAIT SIDING SHALL BE 5/4" UNLESS NOTED OTHERWISE.

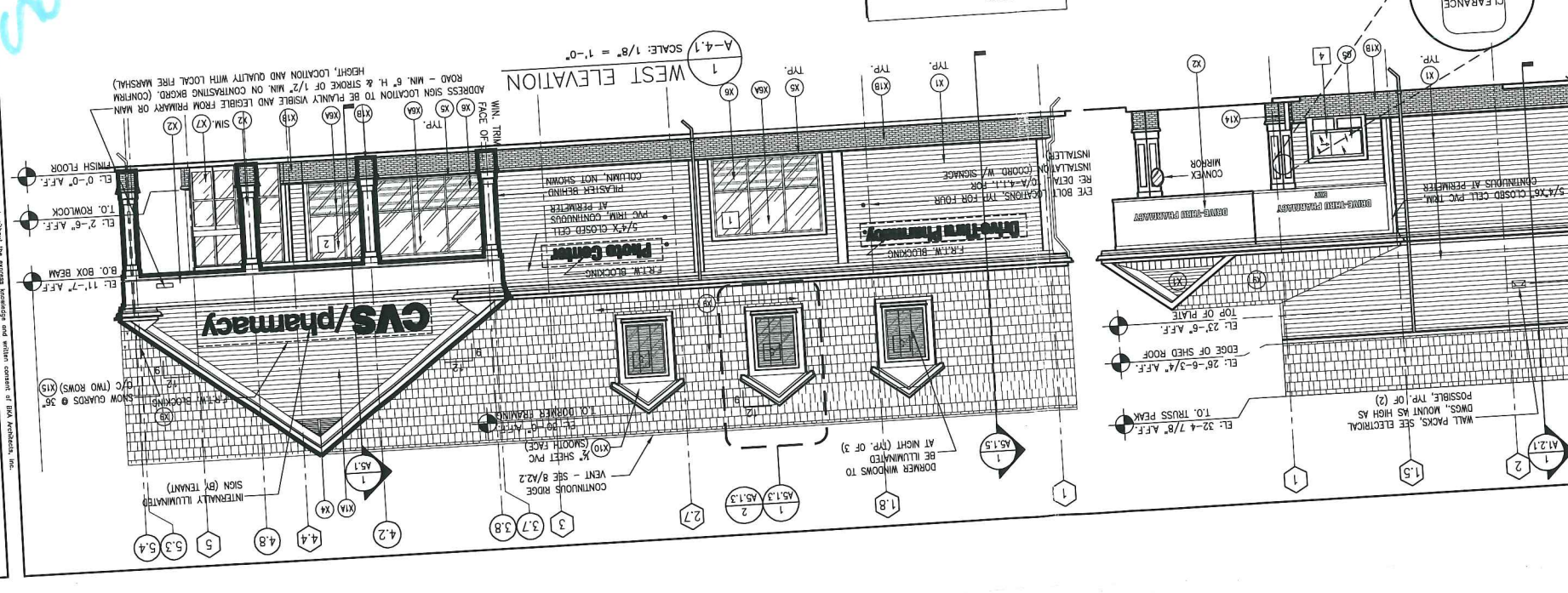


SIGNAGE NOTES:

- ALL BUILDING SIGNAGE SUPPLIED AND INSTALLED BY CVS.
- COORDINATE EXTERIOR SIGNAGE REQUIREMENTS & RESTRICTIONS WITH LOCAL CODES.
- SEE SIGNAGE SHEET AS.1 FOR ADDITIONAL NOTES & DETAILS.

TRIM - THRU CLEARANCE SIGN SUPPLIED AND INSTALLED BY CC-EXT SIZE AND MOUNTING HEIGHTS TO BE VERIFIED WITH LOCAL CODES (SIGN OCCURS ON APPROACH SIDE OF COLUMN)

1. ALL BUILDING SIGNAGE SUPPLIED AND INSTALLED BY CVS.
 2. COORDINATE EXTERIOR SIGNAGE REQUIREMENTS & RESTRICTIONS WITH LOCAL CODES.
 3. SEE SIGNAGE SHEET AS.1 FOR ADDITIONAL NOTES & DETAILS.



1. ALL BUILDING SIGNAGE SUPPLIED AND INSTALLED BY CVS.
 2. COORDINATE EXTERIOR SIGNAGE REQUIREMENTS & RESTRICTIONS WITH LOCAL CODES.
 3. SEE SIGNAGE SHEET AS.1 FOR ADDITIONAL NOTES & DETAILS.

ISSUED FOR CONSTRUCTION
 COMMENTS:
 SHEET NUMBER: A-4.1
 TITLE: EXTERIOR ELEVATIONS
 JOB NUMBER: 209017
 DATE: 8/7/09
 DRAWING BY: RTK
 REVISIONS:

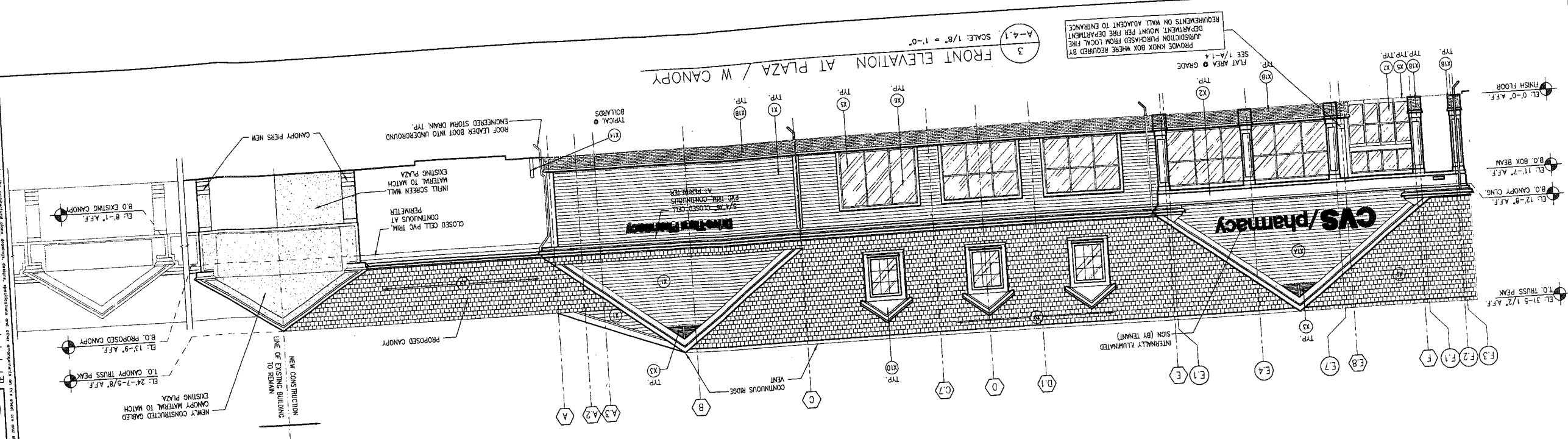
DEVELOPER:
 A & D REALTY, LLC
 5 MULTIA DRIVE
 LEXINGTON, MA 02421

NEW
 STORE NUMBER 329
 CVS/pharmacy
 NORTHGATE PLAZA
 91 AUBURN STREET
 PORTLAND, MAINE

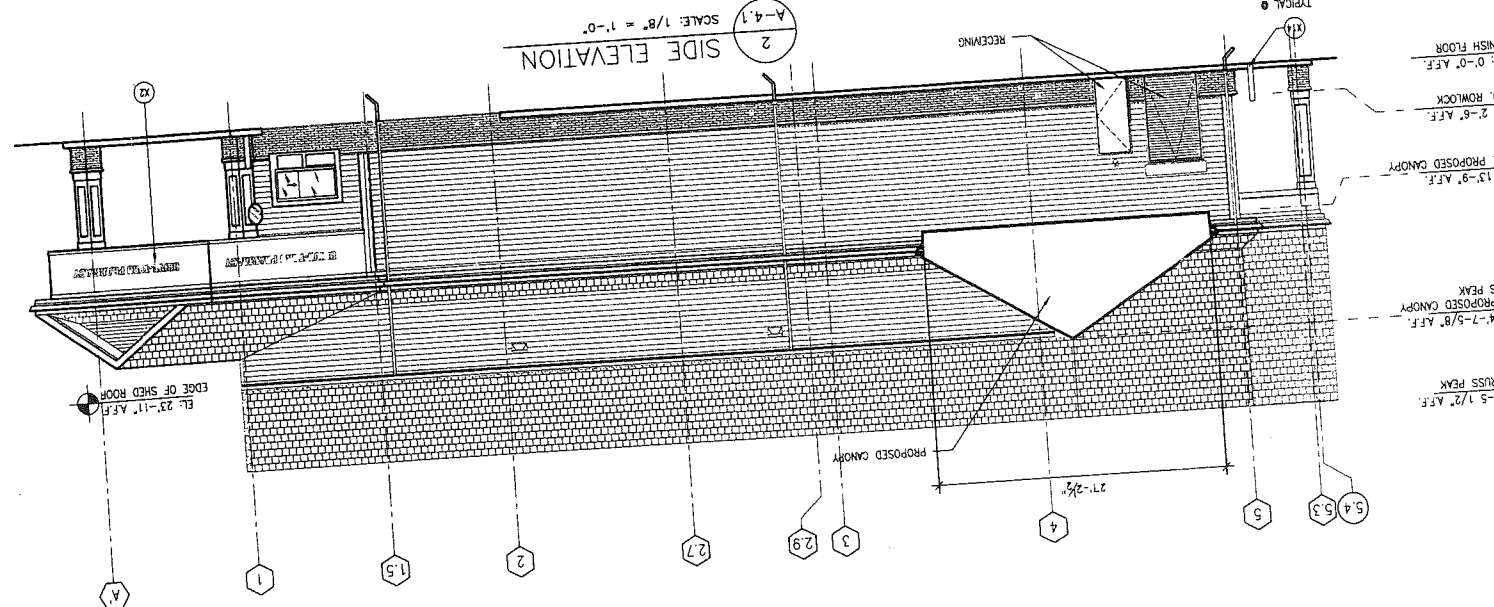
SEAL:

CONSULTANT:

BKA Architects, Inc.
 Architects + Interiors
 142 Crescent Street
 Brockton, MA 02302
 Tel: 508.583.5603
 Fax: 508.584.2914
 E-mail: bka@bkaarch.com



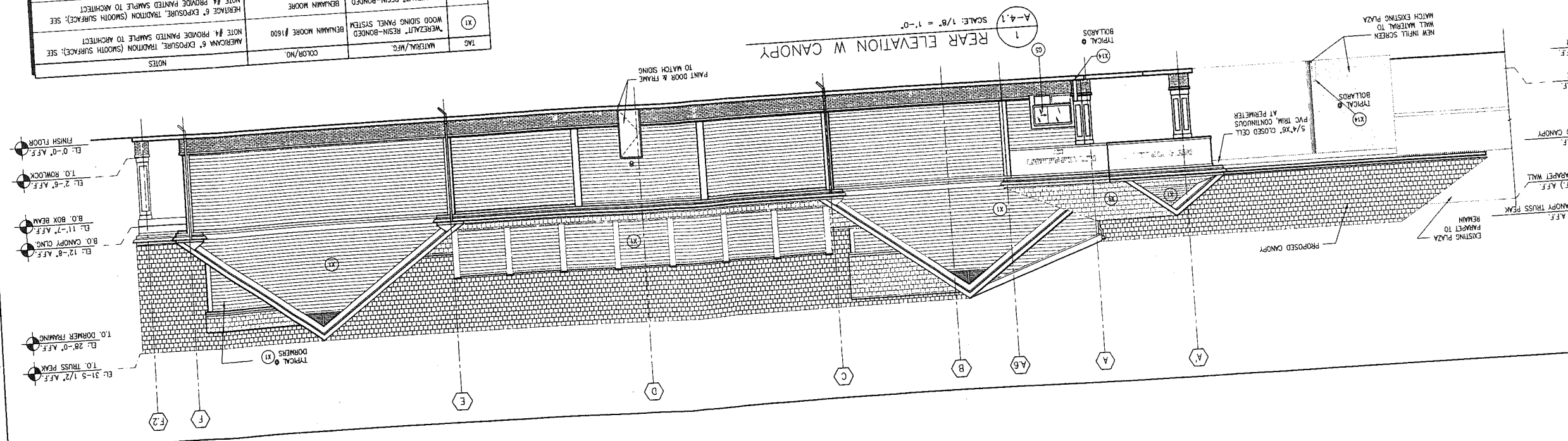
3 FRONT ELEVATION AT PLAZA / W CANOPY
 SCALE: 1/8" = 1'-0"
 A-4.1



2 SIDE ELEVATION
 SCALE: 1/8" = 1'-0"
 A-4.1

GENERAL NOTES:
 1) ALL FINISHES ARE TYPICAL AND USED THROUGHOUT THE BUILDING (UNLESS OTHERWISE NOTED)

TAG	MATERIAL/DESC	COLOR/NO.	NOTES
X1	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X2	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X3	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X4	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X5	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X6	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X7	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X8	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X9	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X10	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X11	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X12	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X13	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X14	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X15	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X16	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X17	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X18	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X19	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X20	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X21	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X22	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X23	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X24	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X25	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X26	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X27	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X28	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X29	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X30	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X31	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X32	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X33	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X34	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X35	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X36	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X37	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X38	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X39	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X40	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X41	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X42	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X43	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X44	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X45	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X46	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X47	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X48	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X49	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT
X50	WATERLIT RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	NOTE #4: PROVIDE PAINTED SAMPLE TO ARCHITECT



1 REAR ELEVATION W CANOPY
 SCALE: 1/8" = 1'-0"
 A-4.1

COMMENTS:
 SHEET NUMBER: A-4.1

EXTERIOR ELEVATIONS

JOB NUMBER: 209017
 DATE: 02/19/09
 DRAWING BY: DSG

REVISIONS:

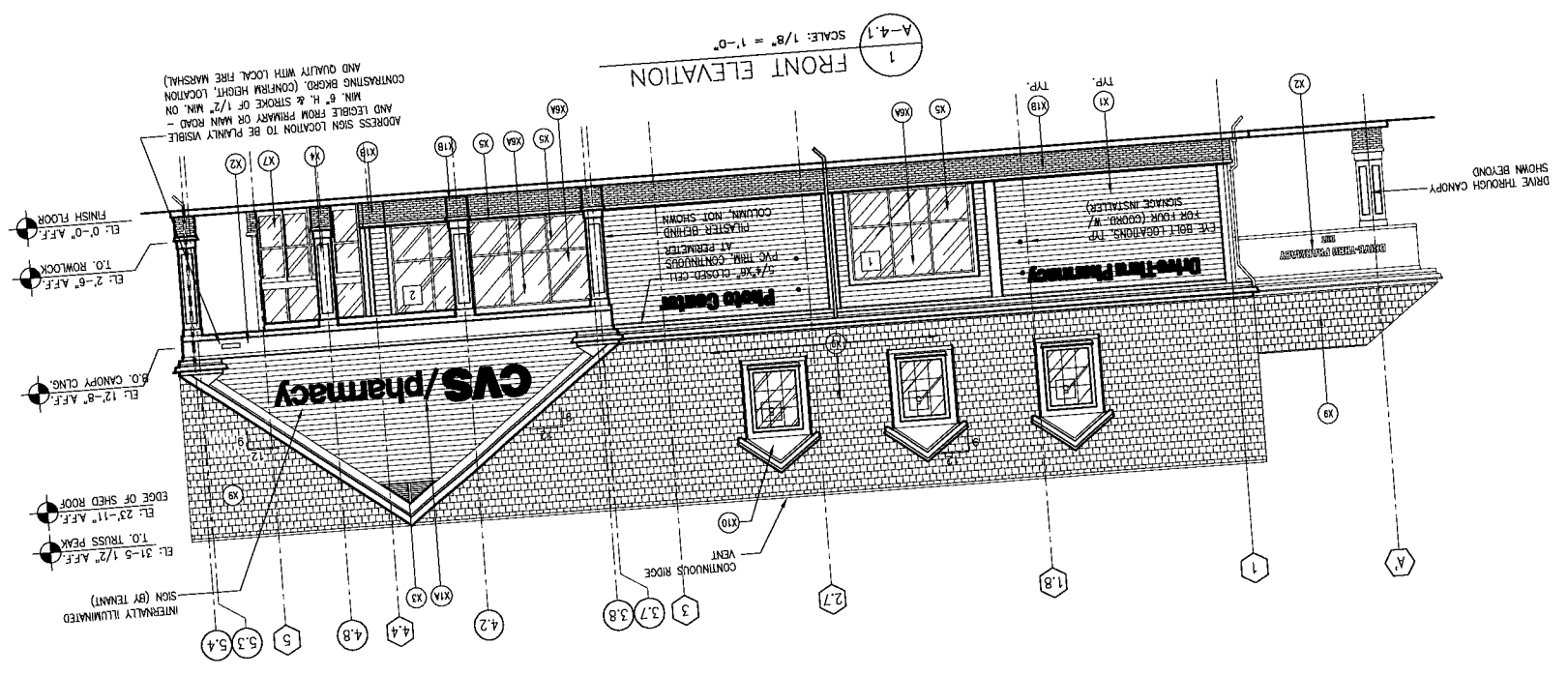
DEVELOPER:
 STORE NUMBER XXXX
 NORTHATE PLAZA
 91 AUBURN STREET
 PORTLAND, MAINE

NEW
CVS/
pharmacy

CONSULTANT:
 BKA Architects, Inc.
 Architecture + Interiors
 142 Crescent Street
 Brockton, MA 02302
 Tel: 508.584.5603
 Fax: 508.584.2914
 e-mail: bka@bkaarch.com

SEAL:
 A.H. C. 22
 Hearing

as approved by



GENERAL NOTES:
 1) ALL FINISHES ARE TYPICAL AND USED THROUGHOUT THE BUILDING (UNLESS OTHERWISE NOTED)

TAG	MATERIAL/MFG.	COLOR/NO.	NOTES
X1	WUZELT RESIN-BONDED WOOD SIGNING PANEL SYSTEM	BENJAMIN MOORE #1800	AMERICAN 6" EXPOSURE, TRADITION (SMOOTH SURFACE); SEE NOTE #4. PROVIDE PAINTED SAMPLE TO ARCHITECT
X1A	WUZELT RESIN-BONDED WOOD SIGNING PANEL SYSTEM	BENJAMIN MOORE 319-79	HERITAGE 6" EXPOSURE, TRADITION (SMOOTH SURFACE); SEE NOTE #4. PROVIDE PAINTED SAMPLE TO ARCHITECT
X1B	WUZELT RESIN-BONDED WOOD SIGNING PANEL SYSTEM	CBS RED	PROVIDE PAINT SAMPLE TO ARCHITECT; SEE NOTE #4
X2	SHEET PVC CLADDING	BENJAMIN MOORE	3/4" PITCH. INSTALL AS PER MANUFACTURER'S INSTRUCTIONS.
X3	PYPON DECORATION		SEE INTERIOR FINISH SCHEDULE ON SHEET A7.2
X5	BULLET RESISTIVE GLASS	VALSTAR AND COATING #391226, COLONIAL WHITE	#451-1 SERIES FLUOROPOLYMER FINISH Td. 1-800-366-3698
X6	1" INSULATED FLOAT GLASS	OPAQUE WHITE SPANDEL	STOREFRONT WINDOWS
X7	1" INSULATED FLOAT GLASS	CLEAR	STOREFRONT WINDOWS
X7	1/4" LAM SAFETY GLASS	CLEAR	DOORS & SIDELIGHTS
X8	NOT USED		
X9	FIBERGLASS ASPHALT ARCHITECTURAL SHINGLE	INTERVENTOR BLEND	CAF TIMBERLINE 30 YEAR - ARCHITECTURAL SHINGLE OR APPROVED EQUAL
X9	ROOF SHINGLE		PROVIDE PAINT SAMPLE TO ARCHITECT; COLOR TO MATCH FACTORY FINISHED WINDOW FRAME & ALL EXTERIOR SURFACES NOT FACTORY PAINTED & PAINTED TO RECEIVE X10
X10	EXTERIOR PAINTED SURFACE	ARJUNA WHITE #319-79	DEVPEX WB ACRYLIC, #208 - SERIES, HIGH PERFORMANCE
X1A	BENJAMIN MOORE		EXTERIOR PPR BOLTHOUS SAFETY YELLOW #208-9400

COMMENTS:
 SHEET NUMBER: A-4.1.1
 TITLE: EXTERIOR ELEVATIONS
 JOB NUMBER: 209017
 DATE: 02/19/09
 DRAWING BY: DSG

REVISIONS:
 DEVELOPER:
 STORE NUMBER: XXXX
 NEW
 CVS/pharmacy

CVS/pharmacy
 STORE NUMBER: XXXX
 NEW
 CVS/pharmacy

SEAL:

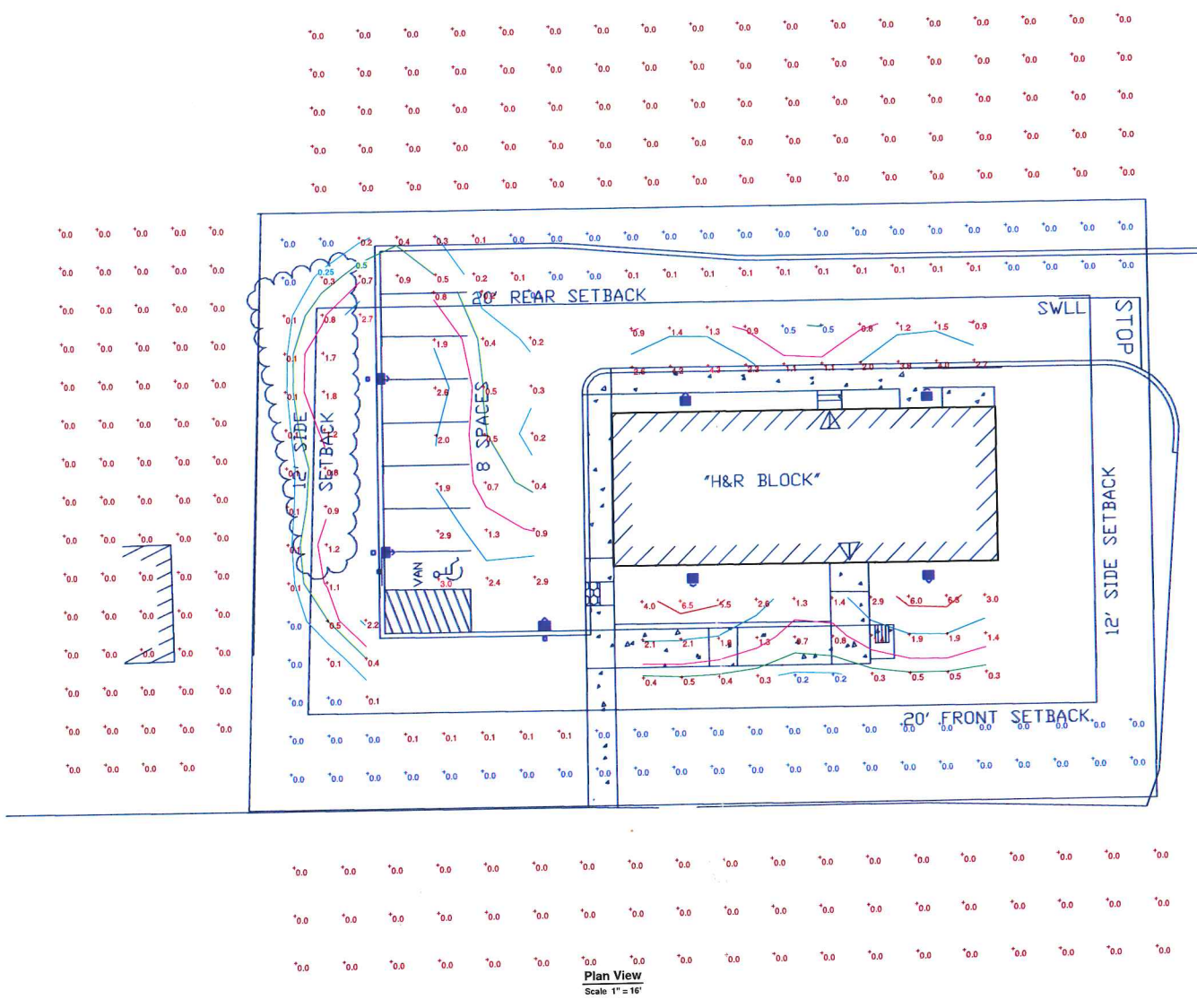
CONSULTANT:
 02/24/09
 02/20/09
 02/19/09

BKA Architects, Inc.
 Architecture + Interiors
 142 Crescent Street
 Brockton, MA 02302
 Tel: 508.583.5603
 Fax: 508.584.2914
 e-mail: bka@bkaarch.com

LUMINAIRE SCHEDULE									
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
	B	4	H810 100S SR3	Holophane- ROADWAY AREA REFLECTOR TYPE3 REFLECTOR SPECULAR & HAMMERTONE LIGHTING SHEET	ONE 100-WATT CLEAR E17 METAL HALIDE HORIZONTAL POS.	H810 150S SR3.IES	9000	0.81	130
	C	3	H810 150S SR3	Holophane- ROADWAY AREA REFLECTOR TYPE3 REFLECTOR SPECULAR & HAMMERTONE LIGHTING SHEET	ONE 150-WATT CLEAR E17 METAL HALIDE HORIZONTAL POS.	H810 150S SR3.IES	9000	0.81	180

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Area to Back of H&R Block Mercy Side	+	1.9 fc	4.3 fc	0.5 fc	8.6:1	3.8:1
Area to the front of H&R Block Auburn Street Side	+	1.9 fc	6.5 fc	0.2 fc	32.5:1	9.5:1
Intermediate Area Ranging to the Property Line	+	0.2 fc	2.7 fc	0.0 fc	N/A	N/A
Parking Area H&R Block	+	1.2 fc	3.0 fc	0.1 fc	30.0:1	12.0:1
Property Line to North of Site	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
Property Line Auburn Street	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
Property Line Mercy Hospital	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A

LUMINAIRE LOCATIONS										
No.	Label	Location			MH	Orientation	Tilt	Aim		
		X	Y	Z				X	Y	Z
1	C	-50.2	3.9	10.0	10.0	90.0	5.0	-48.5	3.9	0.5
2	C	-50.7	40.2	10.0	10.0	90.0	0.0	-49.8	40.2	0.5
3	C	-14.7	-14.8	10.0	10.0	0.0	10.0	-14.7	-12.2	0.7
4	B	16.6	-0.1	10.0	10.0	180.0	0.0	16.6	-1.0	0.0
5	B	66.1	-0.4	10.0	10.0	180.0	0.0	66.1	-1.3	0.0
6	B	15.8	31.6	10.0	10.0	0.0	0.0	15.8	32.5	0.0
7	B	66.5	31.5	10.0	10.0	0.0	0.0	66.5	32.4	0.0



rec'd by pdf 9.21.09



North-Gate Plaza
H&R Block Exterior Lighting
T. A. Napolitano

Designer	MRW
Date	August 19, 2009
Scale	
Drawing No.	

from
Appendix
June 9 '09

HUBBELL IS NOT RESPONSIBLE FOR THE PERFORMANCE OF LUMINAIRE MANUFACTURED BY OTHERS

Symbol	Label	Qty	Description	Arrangement	Lumens	LLF	Filename
	OE1	6	SN-132	SINGLE	2900	0.810	SN-132.ies
	CD1	32	QTY 2 - SN-132	GROUP	N.A.	0.810	N.A.
	CB1x	20	LAH 70M 11RW SFL	SINGLE	5000	0.750	LAH_70M_11RW_SFL.ies
	xAR2	3	Existing GMX40SXAR	BACK-BACK	50000	0.750	GMX40SXAR.ies
	1B	7	MSV-x-H25-H3-F-HS	SINGLE	18450	0.750	MSV-x-H25-H3-F-HS.ies
	2C	2	MSV-x-H25-H4-F	BACK-BACK	18450	0.750	MSV-x-H25-H4-F.ies

POLE SPEC FOR MSV FLATGLASS:

SINGLE FIXTURE
SSS-30-50-3-A6-XX

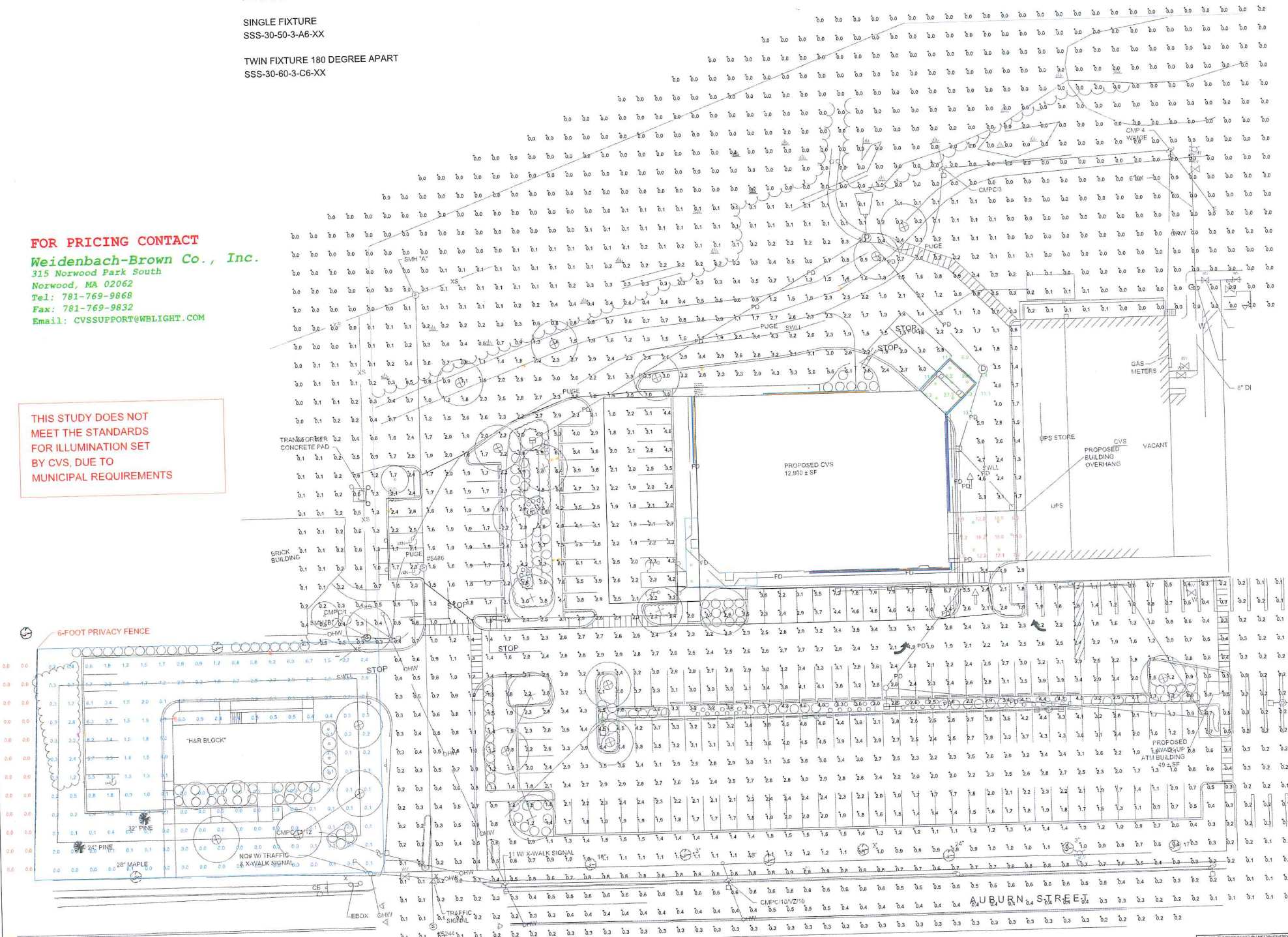
TWIN FIXTURE 180 DEGREE APART
SSS-30-60-3-C6-XX

FOR PRICING CONTACT
Weidenbach-Brown Co., Inc.
315 Norwood Park South
Norwood, MA 02062
Tel: 781-769-9868
Fax: 781-769-9832
Email: CVSSUPPORT@WBLIGHT.COM

THIS STUDY DOES NOT MEET THE STANDARDS FOR ILLUMINATION SET BY CVS, DUE TO MUNICIPAL REQUIREMENTS

Label	CalcType	Description	Units	Avg	Max	Min	Avg/Min	Max/Min
Drive-Thru	illumiance		Fc	13.49	23.3	7.7	1.75	3.03
Walkway Canopy	illumiance		Fc	10.93	16.2	6.3	1.73	2.57
SPILL	illumiance		Fc	0.00	0.0	0.0	N.A.	N.A.
CalcPts	illumiance		Fc	1.20	8.7	0.0	N.A.	N.A.
H&R BLOCK	illumiance		Fc	1.17	9.2	0.0	N.A.	N.A.
50 FT RADIUS	illumiance	3.0 FC MINIMUM	Fc	2.53	4.6	1.6	1.58	2.88
CVS PARKING	illumiance	1.5 FC MINIMUM	Fc	3.20	8.7	1.5	2.13	5.80

LumNo	Label	X	Y	Z	Orient	TH
37	OE1	583.638	273.787	14	90	0
38	OE1	581.275	183.054	14	0	0
39	OE1	583.638	231.797	14	90	0
40	CD1	583.638	239.797	14	90	0
41	OE1	583.638	247.797	14	50	0
42	OE1	583.638	255.797	14	90	0
43	OE1	583.638	263.797	14	90	0
44	OE1	583.638	271.797	14	90	0
45	OE1	583.638	279.797	14	90	0
46	OE1	583.638	287.797	14	90	0
47	OE1	583.638	295.797	14	90	0
48	OE1	583.638	303.797	14	90	0
49	OE1	583.638	311.797	14	90	0
50	OE1	583.638	319.797	14	90	0
51	OE1	583.638	327.797	14	90	0
52	OE1	583.638	335.797	14	90	0
53	OE1	583.638	343.797	14	90	0
54	OE1	583.638	351.797	14	90	0
55	OE1	583.638	359.797	14	90	0
56	OE1	583.638	367.797	14	90	0
57	OE1	583.638	375.797	14	90	0
58	OE1	583.638	383.797	14	90	0
59	OE1	583.638	391.797	14	90	0
60	OE1	583.638	399.797	14	90	0
61	OE1	583.638	407.797	14	90	0
62	OE1	583.638	415.797	14	90	0
63	OE1	583.638	423.797	14	90	0
64	OE1	583.638	431.797	14	90	0
65	OE1	583.638	439.797	14	90	0
66	OE1	583.638	447.797	14	90	0
67	OE1	583.638	455.797	14	90	0
68	OE1	583.638	463.797	14	90	0
69	OE1	583.638	471.797	14	90	0
70	OE1	583.638	479.797	14	90	0
71	OE1	583.638	487.797	14	90	0
72	OE1	583.638	495.797	14	90	0
73	OE1	583.638	503.797	14	90	0
74	OE1	583.638	511.797	14	90	0
75	OE1	583.638	519.797	14	90	0
76	OE1	583.638	527.797	14	90	0
77	OE1	583.638	535.797	14	90	0
78	OE1	583.638	543.797	14	90	0
79	OE1	583.638	551.797	14	90	0
80	OE1	583.638	559.797	14	90	0
81	OE1	583.638	567.797	14	90	0
82	OE1	583.638	575.797	14	90	0
83	OE1	583.638	583.797	14	90	0
84	OE1	583.638	591.797	14	90	0
85	OE1	583.638	599.797	14	90	0
86	OE1	583.638	607.797	14	90	0
87	OE1	583.638	615.797	14	90	0
88	OE1	583.638	623.797	14	90	0
89	OE1	583.638	631.797	14	90	0
90	OE1	583.638	639.797	14	90	0
91	OE1	583.638	647.797	14	90	0
92	OE1	583.638	655.797	14	90	0
93	OE1	583.638	663.797	14	90	0
94	OE1	583.638	671.797	14	90	0
95	OE1	583.638	679.797	14	90	0
96	OE1	583.638	687.797	14	90	0
97	OE1	583.638	695.797	14	90	0
98	OE1	583.638	703.797	14	90	0
99	OE1	583.638	711.797	14	90	0
100	OE1	583.638	719.797	14	90	0



Height of fixture

9/21/09
as submitted

CVS #329
PROJECT: ANDL, MA
09469909

Label	Qty	Description	Units	Avg	Min	Max	Max/Min
01	1	15 FT MINIMUM	Fc	3.20	8.7	1.5	5.80
02	1	30 FT MINIMUM	Fc	2.53	4.6	1.6	2.88
03	1	45 FT MINIMUM	Fc	1.20	8.7	0.0	N.A.
04	1	60 FT MINIMUM	Fc	0.00	0.0	0.0	N.A.
05	1	75 FT MINIMUM	Fc	2.68	7.5	0.4	18.75
06	1	90 FT MINIMUM	Fc	10.55	16.2	0.3	2.57
07	1	105 FT MINIMUM	Fc	9.38	15.4	4.6	2.04
08	1	120 FT MINIMUM	Fc	15.4	15.4	15.4	1.00

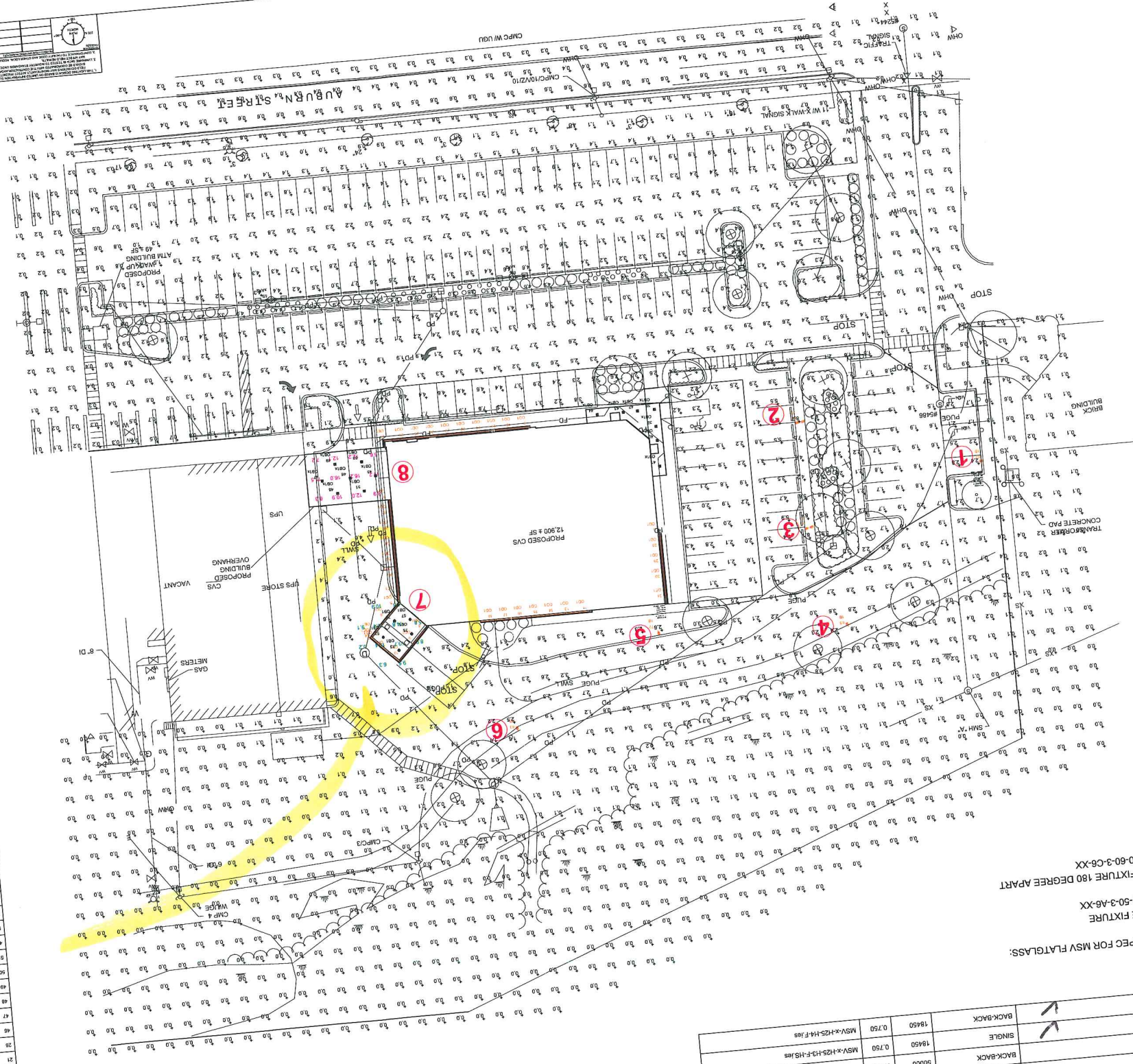
Label	Qty	Description	Units	Avg	Min	Max	Max/Min
01	1	15 FT MINIMUM	Fc	3.20	8.7	1.5	5.80
02	1	30 FT MINIMUM	Fc	2.53	4.6	1.6	2.88
03	1	45 FT MINIMUM	Fc	1.20	8.7	0.0	N.A.
04	1	60 FT MINIMUM	Fc	0.00	0.0	0.0	N.A.
05	1	75 FT MINIMUM	Fc	2.68	7.5	0.4	18.75
06	1	90 FT MINIMUM	Fc	10.55	16.2	0.3	2.57
07	1	105 FT MINIMUM	Fc	9.38	15.4	4.6	2.04
08	1	120 FT MINIMUM	Fc	15.4	15.4	15.4	1.00

Symbol	Label	Qty	Description	Lumens	LLF	Arrangement	Filename
□	01	5	QTY 2 - 5N-12	3800	0.750	SINGLE	L.H. 70M, 11RW, SFLIES
□	081	5	L.H. 50M 11RW F.H.	5000	0.750	SINGLE	GMXK03XKXFLIES
□	081x	14	L.H. 70M 11RW SFL	50000	0.750	BACK-BACK	MSV-KH25-H3-FHS
□	18	7	MSV-KH25-H3-FHS	18450	0.750	SINGLE	MSV-KH25-H3-FHS
□	20	2	MSV-KH25-H4-F	18450	0.750	BACK-BACK	MSV-KH25-H4-F

POLE SPEC FOR MSV FLATGLASS:
 SSS-30-50-3-A6-XX
 SINGLE FIXTURE
 TWIN FIXTURE 180 DEGREE APART
 SSS-30-60-3-C6-XX

FOR PRICING CONTACT
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 Email: CVSSUPPORT@BRIGHT.COM

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CONSULTANT:
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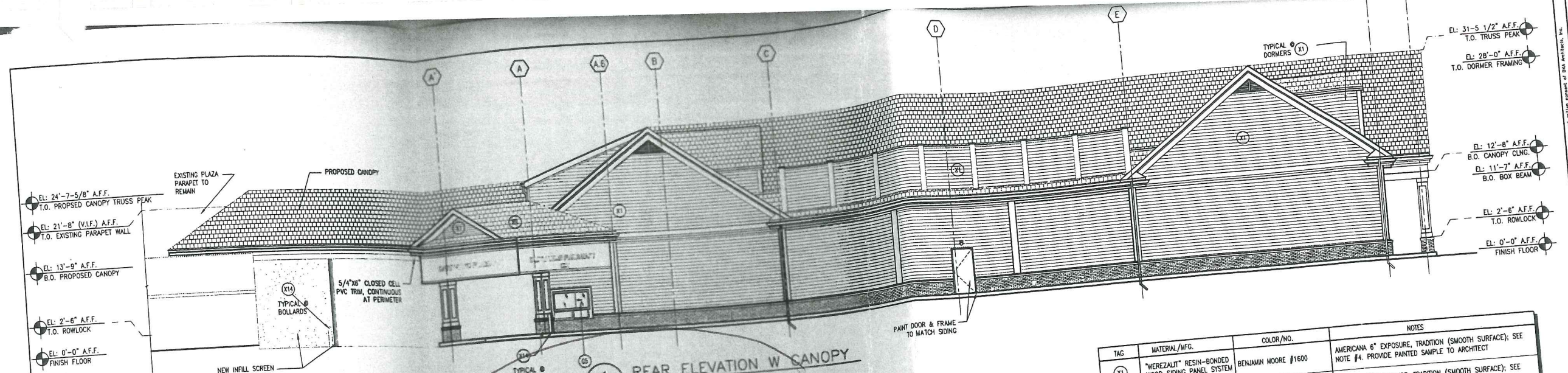
DRAWING BY: DSG
 DATE: 02/19/09
 JOB NUMBER: 209017
 TITLE: EXTERIOR ELEVATIONS

SHEET NUMBER: A-4.1

COMMENTS:

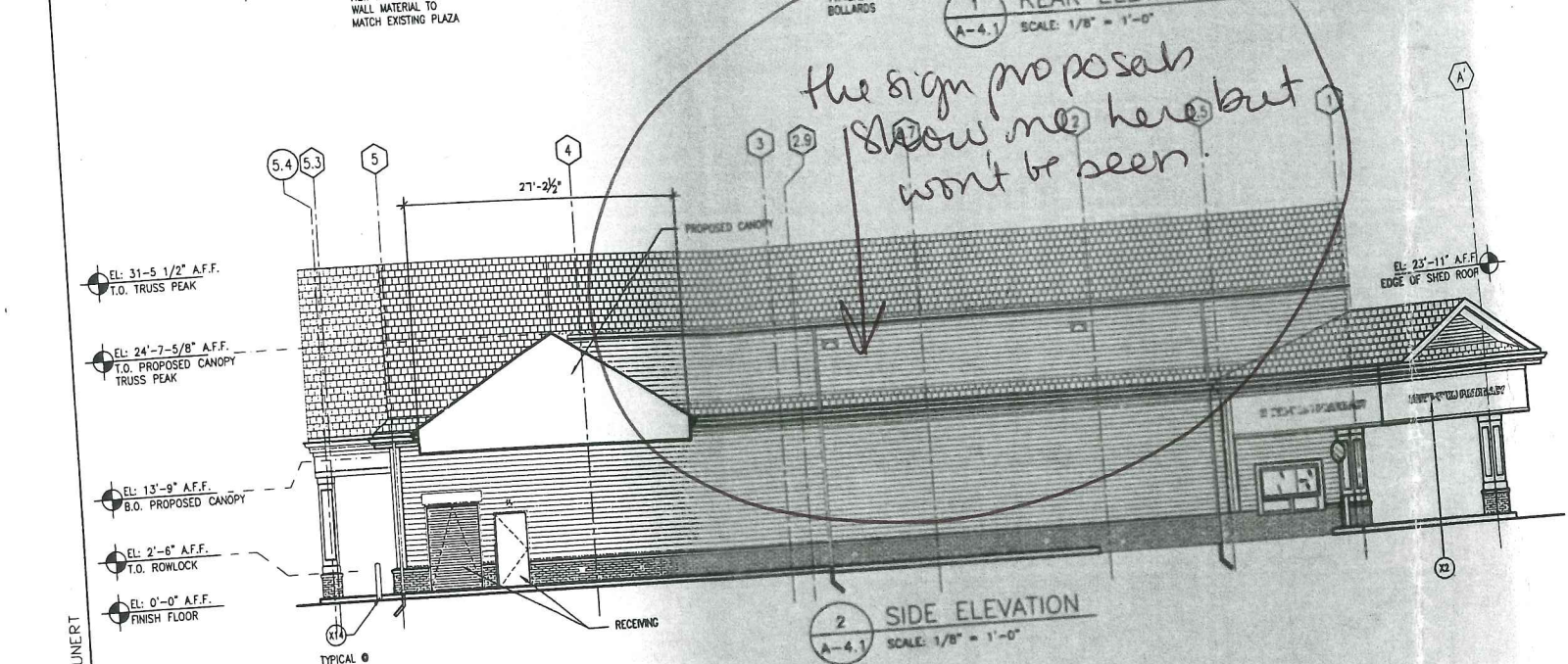
TAG	MATERIAL/MFG.	COLOR/NO.	NOTES
X1	"WEREZALIT" RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	AMERICAN 6" EXPOSURE, TRADITION (SMOOTH SURFACE); SEE NOTE #4. PROVIDE PAINTED SAMPLE TO ARCHITECT
X1A	"WEREZALIT" RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE 319-79	HERITAGE 6" EXPOSURE, TRADITION (SMOOTH SURFACE); SEE NOTE #4. PROVIDE PAINTED SAMPLE TO ARCHITECT
X1B	EXTERIOR FACE BRICK	CVS RED	MORTAR COLOR - NATURAL GREY
X2	SHEET PVC CLADDING	SMOOTH FACE	PROVIDE PAINT SAMPLE TO ARCHITECT; SEE NOTE #4
X3	FYPON DECORATION	BENJAMIN MOORE 319-79	LOUVER BY "FYPON MOULDED MILLWORK", # FTRLV60X23 1/2 PITCH. INSTALL AS PER MANUFACTURERS INSTRUCTIONS.
X5	BULLET RESISTIVE GLASS		SEE INTERIOR FINISH SCHEDULE ON SHEET A7.2
X5	WIND/DOOR STOREFRONT "KAWNEER" TRIFAB II	VALSPAR IND. COATING #391A226, COLONIAL WHITE	#451-T SERIES FLUROPON FINISH Tel. 1-800-368-3698
X6	1" INSULATED FLOAT GLASS	OPAQUE WHITE SPANDEL	STOREFRONT WINDOWS
X6A	1" INSULATED FLOAT GLASS	CLEAR	STOREFRONT WINDOWS
X7	1/4" LAM SAFETY GLASS	CLEAR	DOORS & SIDELIGHTS
X8	NOT USED		
X9	FIBERGLASS ASPHALT ARCHITECTURE BLEND ROOF SHINGLE.	ARCHITECTURE BLEND G.C. TO SUBMIT SAMPLES	GAF TIMBERLINE 30 YEAR - ARCHITECTURAL SHINGLE OR APPROVED EQUAL
X10	EXTERIOR PAINTED SURFACE BENJAMIN MOORE	ATRIUM WHITE #319-79	PROVIDE PAINT SAMPLE TO ARCHITECT; COLOR TO MATCH FACTORY FINISHED WINDOW FRAME. ALL EXTERIOR SURFACES NOT FACTORY PRIMED & PAINTED TO RECEIVE X10
X14	EXTERIOR PIPE BOLLARDS BENJAMIN MOORE	SAFETY YELLOW 4208-9400	DEVLEX WB ACRYLIC, 4208 - SERIES, HIGH PERFORMANCE

GENERAL NOTES:
 1) ALL FINISHES ARE TYPICAL AND USED THROUGHOUT THE BUILDING (UNLESS OTHERWISE NOTED)

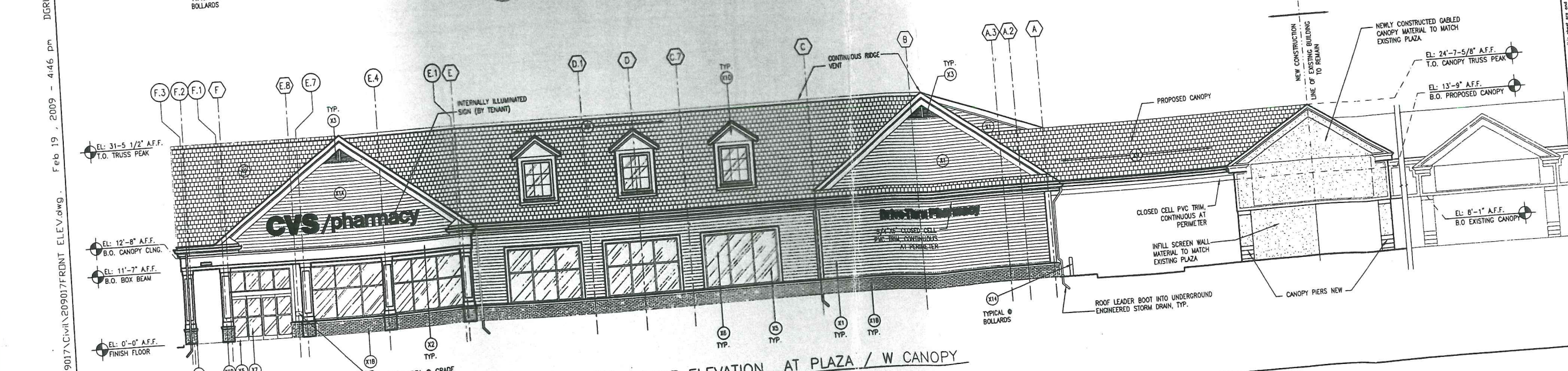


1 REAR ELEVATION W CANOPY
 SCALE: 1/8" = 1'-0"

the sign proposals show me here but won't be seen.



2 SIDE ELEVATION
 SCALE: 1/8" = 1'-0"



3 FRONT ELEVATION AT PLAZA / W CANOPY
 SCALE: 1/8" = 1'-0"

PROVIDE KNOX BOX WHERE REQUIRED BY JURISDICTION PURCHASED FROM LOCAL FIRE DEPARTMENT. MOUNT PER FIRE DEPARTMENT REQUIREMENTS ON WALL ADJACENT TO ENTRANCE.

IGRUNERT
 Feb 19, 2009 - 4:46 pm
 Retail_Proj\209017\Civil\209017\FRONT ELEV.dwg

ITS BLM Appd

as app in p.B.

BKA Architects, Inc.
 Architect • Interiors
 142 Crescent Street
 Brockton, MA 02302
 Tel: 508.583.5603
 Fax: 508.584.2914
 e-mail: bka@bkaarch.com

CONSULTANT:

SEAL:

CVS/
 pharmacy
 NEW
 STORE NUMBER: XXXX
 NORTHGATE PLAZA
 91 AUBURN STREET
 PORTLAND, MAINE

DEVELOPER:

REVISIONS:

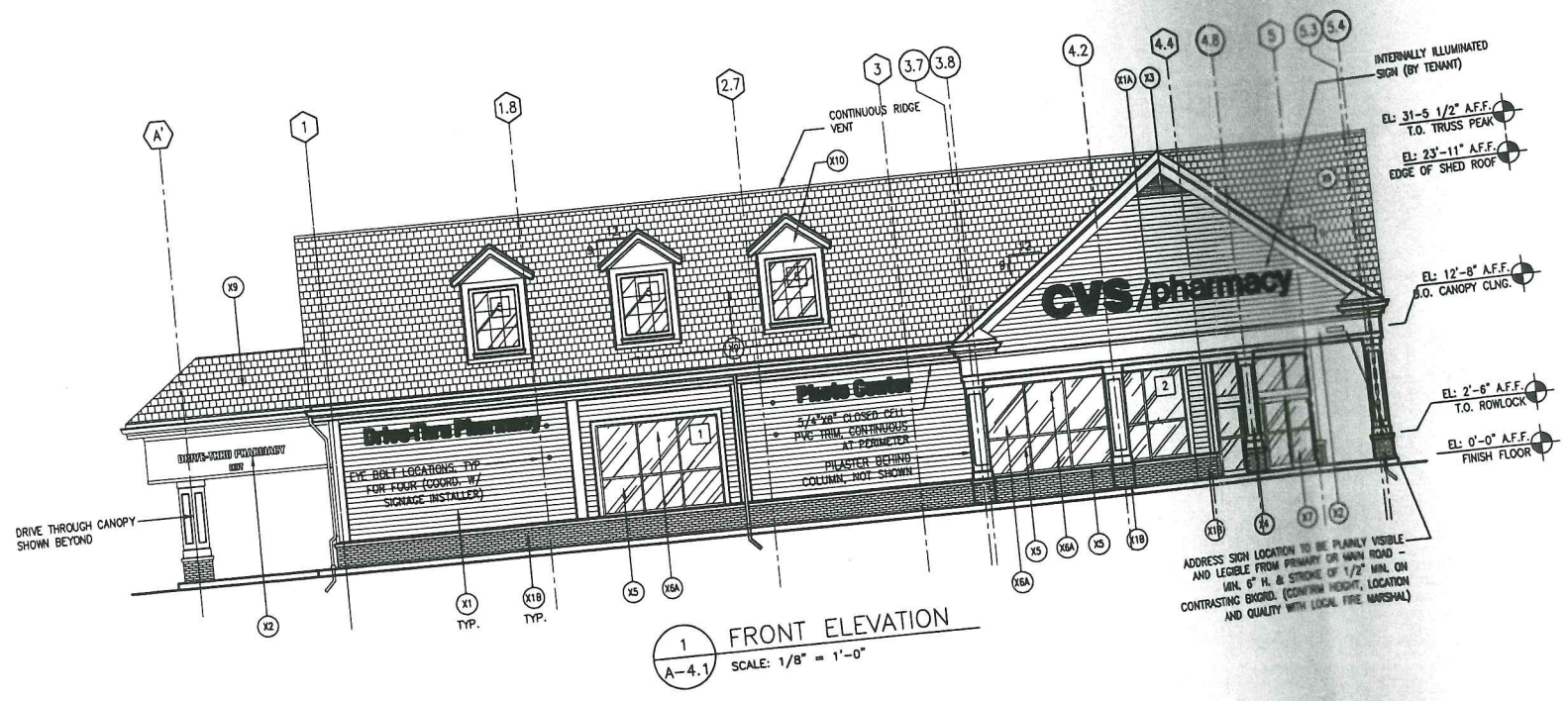
DRAWING BY: DSG
 DATE: 02/19/09
 JOB NUMBER: 209017
 TITLE: EXTERIOR ELEVATIONS

SHEET NUMBER:
 A-4.1.1

COMMENTS:

TAG	MATERIAL/MFG.	COLOR/NO.	NOTES
X1	"WEREZALIT" RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	AMERICANA 6" EXPOSURE, TRADITION (SMOOTH SURFACE); SEE NOTE #4. PROVIDE PAINTED SAMPLE TO ARCHITECT
X1A	"WEREZALIT" RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE 319-79	HERITAGE 6" EXPOSURE, TRADITION (SMOOTH SURFACE); SEE NOTE #4. PROVIDE PAINTED SAMPLE TO ARCHITECT
X1B	EXTERIOR FACE BRICK	CVS RED	MORTAR COLOR - NATURAL GREY
X2	SHEET PVC CLADDING	SMOOTH FACE	PROVIDE PAINT SAMPLE TO ARCHITECT; SEE NOTE #4
X3	PYPON DECORATION	BENJAMIN MOORE 319-79	LOUVER BY "PYPON MOULDED MILLWORK", # F11M60K23 1/2 PITCH. INSTALL AS PER MANUFACTURERS INSTRUCTIONS.
X5	BULLET RESISTIVE GLASS		SEE INTERIOR FINISH SCHEDULE ON SHEET A7.2
X5	WIND/DOOR STOREFRONT "KAWNEER" TRIFAB II	VALSPAR IND. COATING #391A226, COLONIAL WHITE	#451-T SERIES FLUOROPON FINISH Tel. 1-800-366-3698
X6	1" INSULATED FLOAT GLASS	OPAQUE WHITE SPANDEL	STOREFRONT WINDOWS
X6A	1" INSULATED FLOAT GLASS	CLEAR	STOREFRONT WINDOWS
X7	1/4" LAM SAFETY GLASS	CLEAR	DOORS & SIDELIGHTS
X8	NOT USED		
X9	FIBERGLASS ASPHALT ARCHITECTURE BLEND G.C. TO SUBMIT SAMPLES		GAF TIMBERLINE 30 YEAR - ARCHITECTURAL SHINGLE OR APPROVED EQUAL
X10	EXTERIOR PAINTED SURFACE BENJAMIN MOORE	ATRUM WHITE #319-79	PROVIDE PAINT SAMPLE TO ARCHITECT; COLOR TO MATCH FACTORY FINISHED WINDOW FRAME. ALL EXTERIOR SURFACES NOT FACTORY PRIMED & PAINTED TO RECEIVE X10
X14	EXTERIOR PIPE BOLLARDS BENJAMIN MOORE	SAFETY YELLOW 4208-9400	DEVFLEX WB ACRYLIC, 4208 - SERIES, HIGH PERFORMANCE

GENERAL NOTES:
 1) ALL FINISHES ARE TYPICAL AND USED THROUGHOUT THE BUILDING (UNLESS OTHERWISE NOTED)



1 FRONT ELEVATION
 A-4.1 SCALE: 1/8" = 1'-0"

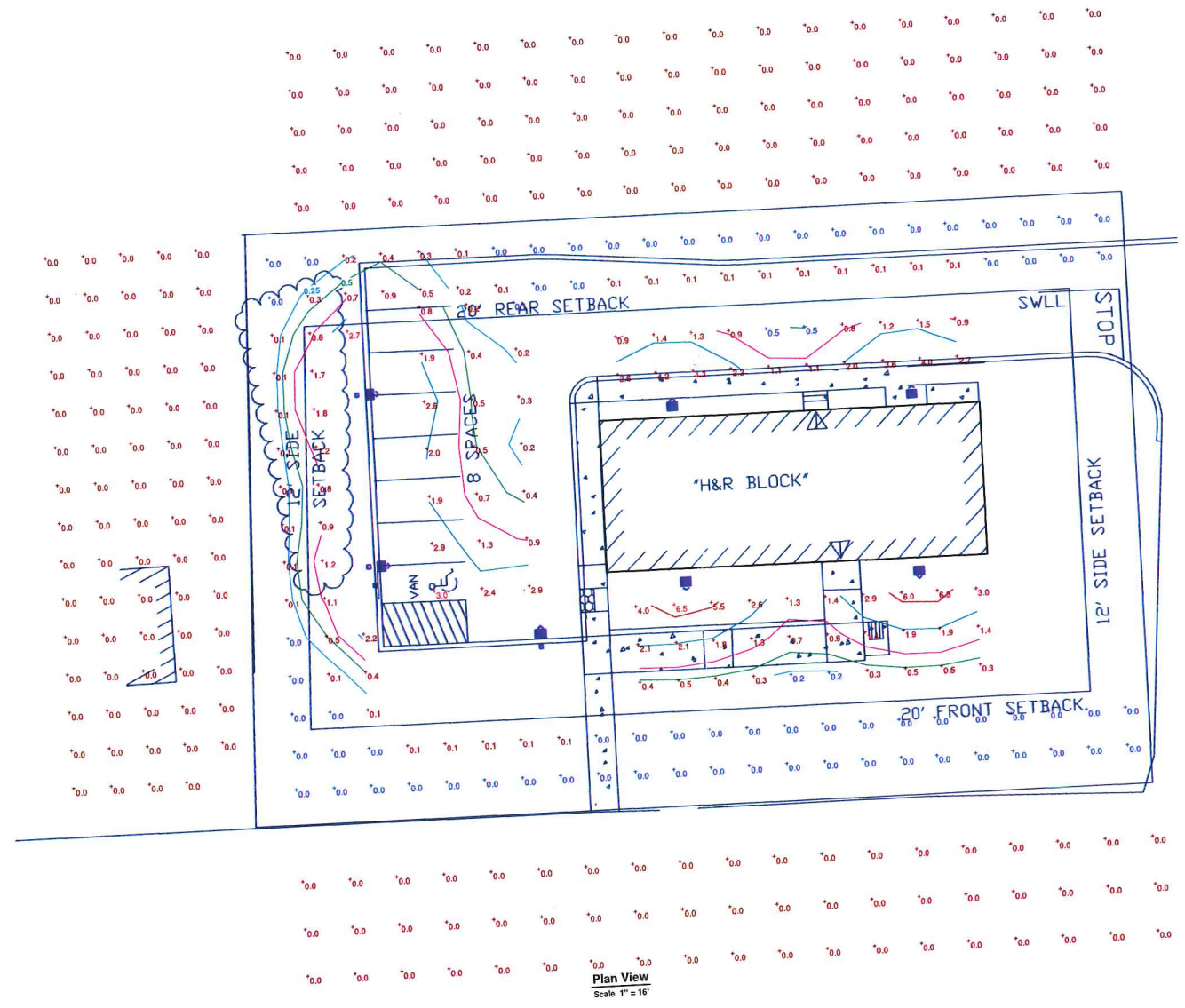
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 Mar 24, 2009 - 5:23 pm
 p:\Retail_Proj\209017\Schematic\209017FRONT ELEV.dwg



LUMINAIRE SCHEDULE							
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens LLF Watts
B		4	H810 100S SR3	Holophane- ROADWAY AREA REFLECTOR TYPE3, REFLECTOR SPECULAR & HAMMERTONE LIGHTING SHEET	ONE 100-WATT CLEAR E17 METAL HALIDE, HORIZONTAL POS.	H810 150S SR3.IES	9000 0.81 130
C		3	H810 150S SR3	Holophane- ROADWAY AREA REFLECTOR TYPE3, REFLECTOR SPECULAR & HAMMERTONE LIGHTING SHEET	ONE 150-WATT CLEAR E17 METAL HALIDE, HORIZONTAL POS.	H810 150S SR3.IES	9000 0.81 180

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Area to Back of H&R Block Mercy Side	+	1.9 fc	4.3 fc	0.5 fc	8.6:1	3.8:1
Area to the front of H&R Block Auburn Street Side	+	1.9 fc	6.5 fc	0.2 fc	32.5:1	9.5:1
Intermediate Area Ranging to the Property Line	+	0.2 fc	2.7 fc	0.0 fc	N/A	N/A
Parking Area H&R Block	+	1.2 fc	3.0 fc	0.1 fc	30.0:1	12.0:1
Property Line to North of Site	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
Property Line Auburn Street	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
Property Line Mercy Hospital	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A

LUMINAIRE LOCATIONS										
No.	Label	Location			MH	Orientation	Tilt	Alm		
		X	Y	Z				X	Y	Z
1	C	-50.2	3.9	10.0	10.0	90.0	5.0	-48.5	3.9	0.5
2	C	-50.7	40.2	10.0	10.0	90.0	0.0	-49.8	40.2	0.5
3	C	-14.7	-14.8	10.0	10.0	0.0	10.0	-14.7	-12.2	0.7
4	B	16.6	-0.1	10.0	10.0	180.0	0.0	16.6	-1.0	0.0
5	B	66.1	-0.4	10.0	10.0	180.0	0.0	66.1	-1.3	0.0
6	B	15.8	31.6	10.0	10.0	0.0	0.0	15.8	32.5	0.0
7	B	66.5	31.5	10.0	10.0	0.0	0.0	66.5	32.4	0.0



*app. 9.24.09
as meeting
could. of
approval*

**CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 06-09-2009**

North-Gate Plaza
H&R Block Exterior Lighting
T.A. Napolitano

Designer
MRW
Date
August 19, 2009
Scale
Drawing No.

HUBBELL IS NOT RESPONSIBLE FOR THE PERFORMANCE OF LUMINAIRE MANUFACTURED BY OTHERS

Symbol	Label	Qty	Description	Arrangement	Lumens	LLF	Filename
○	OE1	6	SN-132	SINGLE	2900	0.810	SN-132.lis
○	OD1	32	QTY 2 - SN-132	GROUP	N.A.	0.810	N.A.
○	OB1	5	LAH 50M 11RW FHL	SINGLE	3600	0.750	LAH_50M_12FW_FHL.lis
○	OB1x	14	LAH 70M 11RW SFL	SINGLE	5000	0.750	LAH_70M_11RW_SFL.lis
□	xAR2	3	Existing GMX40SXXAR	BACK-BACK	50000	0.750	GMX40SXXAR.lis
□	1B	7	MSV-x-H25-H3-F-HS	SINGLE	18450	0.750	MSV-x-H25-H3-F-HS.lis
□	2C	2	MSV-x-H25-H4-F	BACK-BACK	18450	0.750	MSV-x-H25-H4-F.lis

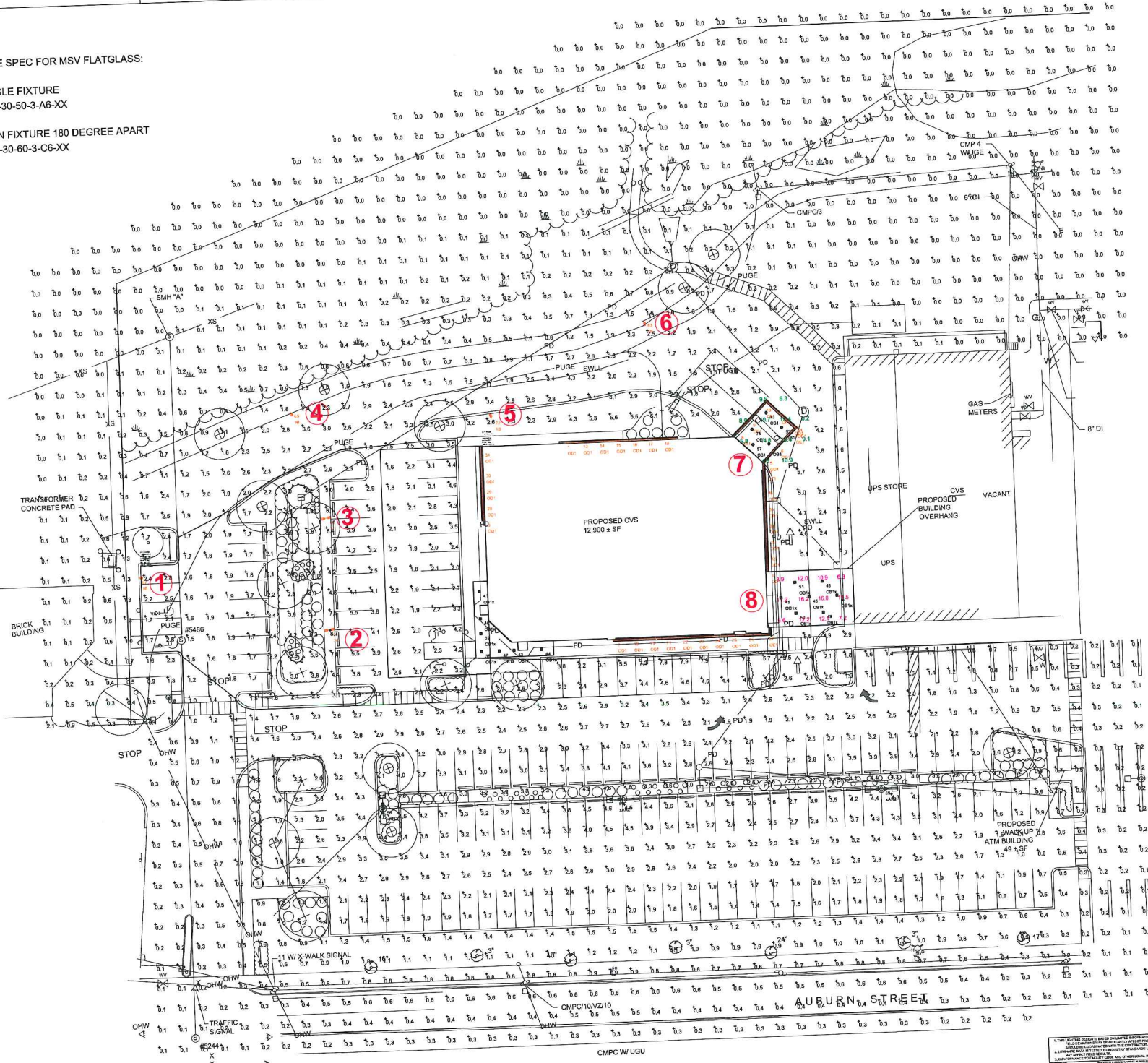
Label	CalcType	Description	Units	Avg	Max	Min	Avg/Min	Max/Min
Drive-Thru	illumiance		Fc	9.38	15.4	4.8	2.04	3.35
Walkway Canopy	illumiance		Fc	10.93	16.2	6.3	1.73	2.57
H & R Block Parking	illumiance		Fc	2.66	7.5	0.4	6.65	18.75
SPILL	illumiance		Fc	0.00	0.0	0.0	N.A.	N.A.
CalcPis	illumiance		Fc	1.20	8.7	0.0	N.A.	N.A.
50 FT RADIUS	illumiance	3.0 FC MINIMUM	Fc	2.53	4.6	1.6	1.58	2.88
CVS PARKING	illumiance	1.5 FC MINIMUM	Fc	3.20	8.7	1.5	2.13	5.80

LumNo	Label	X	Y	Z	Orient	File
37	OE1	583.838	273.787	14	90	0
27	OE1	581.275	193.054	14	90	0
32	OD1	583.838	231.787	14	90	0
33	OD1	583.838	239.787	14	90	0
34	OD1	583.838	247.787	14	90	0
35	OD1	583.838	255.787	14	90	0
36	OD1	583.838	263.787	14	90	0
38	OD1	583.838	271.787	14	90	0
4	OD1	583.838	279.787	14	90	0
22	OD1	528.322	193.054	14	0	0
23	OD1	547.322	193.054	14	0	0
24	OD1	566.322	193.054	14	0	0
25	OD1	585.322	193.054	14	0	0
2	OD1	507.322	193.054	14	0	0
19	OD1	515.322	193.054	14	0	0
20	OD1	523.322	193.054	14	0	0
21	OD1	531.322	193.054	14	0	0
28	OD1	571.322	193.054	14	0	0
45	OB1x	603	210.5	14	0	0
47	OB1x	617.25	210.75	14	0	0
48	OB1x	610	217.75	14	0	0
49	OB1x	610	222.75	14	0	0
50	OB1x	598.5	202.75	14	0	0
51	OB1x	598.5	217.75	14	0	0
46	OB1x	598.75	210.5	14	0	0
59	xAR2	634.9	115.751	30	0	0
38	OB1x	442.81	189.912	12.5	0	0
39	OB1x	442.81	198.912	12.5	0	0
40	OB1x	442.81	207.912	12.5	0	0
41	OB1x	442.81	216.912	12.5	0	0
42	OB1x	442.81	225.912	12.5	0	0
43	OB1x	442.81	234.912	12.5	0	0
44	OB1x	442.81	243.912	12.5	0	0
58	xAR2	302	115.5	30	270	0
80	xAR2	595.192	115.689	30	0	0
1	OD1	486.251	289.836	14	0	0
13	OD1	494.251	289.836	14	0	0
14	OD1	502.251	289.836	14	0	0
15	OD1	510.251	289.836	14	0	0
16	OD1	518.251	289.836	14	0	0
17	OD1	526.251	289.836	14	0	0
18	OD1	534.251	289.836	14	0	0
63	1B	528.034	347.459	30	283.809	0
67	1B	278.748	231.787	30	0	0
68	2C	398.209	203.226	30	7	0
66	2C	388.878	257.896	30	10	0
65	1B	354.033	209.948	30	283.784	0
31	OE1	446.106	287.51	14	90	0
28	OD1	446.106	261.475	14	90	0
29	OD1	446.106	268.475	14	90	0
30	OD1	446.106	275.475	14	90	0
3	OD1	446.106	282.475	14	90	0
72	1B	451.799	302.939	30	108.062	0
57	OB1	378.75	285.5	9.33	45	0
11	OD1	591.845	351.001	14	135	0
12	OD1	597.222	295.335	14	135	0
64	OE1	598.835	293.921	14	135	0
7	OE1	597.720	291.048	14	45	0
8	OD1	590.854	293.976	14	45	0
5	OD1	584.992	278.324	14	45	0
10	OE1	584.241	304.085	14	45	0
9	OD1	577.182	297.618	14	45	0
6	OD1	571.497	291.262	14	45	0
73	OB1	658.878	300.745	9.33	45	0
75	OB1	578.581	292.982	9.33	45	0
76	OB1	586.737	295.587	9.33	45	0
82	OB1	593.262	293.36	9.33	45	0

POLE SPEC FOR MSV FLATGLASS:
 SINGLE FIXTURE
 SSS-30-50-3-A6-XX
 TWIN FIXTURE 180 DEGREE APART
 SSS-30-60-3-C6-XX

FOR PRICING CONTACT
Weidenbach-Brown Co., Inc.
 315 Norwood Park South
 Norwood, MA 02062
 Tel: 781-769-9868
 Fax: 781-769-9832
 Email: CVSSUPPORT@WBLIGHT.COM

THIS STUDY DOES NOT MEET THE STANDARDS FOR ILLUMINATION SET BY CVS, DUE TO MUNICIPAL REQUIREMENTS



CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 06-09-2009

*Approved 9.24.09
 as meeting cond.
 of approval J.*

8/18/09

approved except as
mentioned in e-mail 8/20/09 ff to Gretchen Young
rest of this plan set is in 125 Auburn Postapproval 2042C
SITE PLAN REVIEW

DEMOLITION NOTES:

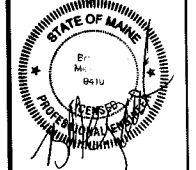
1. THE LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATION IS NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK.
2. ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES.
3. COORDINATE REMOVAL, RELOCATION, DISPOSAL OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
4. ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
5. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES. CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
6. SAWCUT AND REMOVE PAVEMENT ONE FOOT OFF PROPOSED EDGE OF PAVEMENT OR EXISTING CURB LINE IN ALL AREAS WHERE PAVEMENT TO BE REMOVED ADJUTS EXISTING PAVEMENT OR CONCRETE TO REMAIN.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL OF THE PERMIT APPROVALS.
8. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR NECESSARY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK, EXCEPT FOR WORK NOTED TO BE COMPLETED BY OTHERS.
10. UTILITIES SHALL BE TERMINATED AT THE MAIN LINE PER UTILITY COMPANY STANDARDS. THE CONTRACTOR SHALL REMOVE ALL ABANDONED UTILITIES LOCATED WITHIN THE LIMITS OF WORK. CONTRACTOR SHALL VERIFY ORIGIN OF ALL DRAINS AND UTILITIES PRIOR TO REMOVAL/TERMINATION TO DETERMINE IF DRAINS OR UTILITY IS ACTIVE AND SERVICES ANY ON OR OFF-SITE STRUCTURE TO REMAIN. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY SUCH UTILITY FOUND AND SHALL MAINTAIN THESE UTILITIES UNTIL PERMANENT SOLUTION IS IN PLACE.
11. PAVEMENT REMOVAL LIMITS ARE SHOWN FOR CONTRACTOR'S CONVENIENCE. ADDITIONAL PAVEMENT REMOVAL MAY BE REQUIRED DEPENDING ON THE CONTRACTOR'S OPERATION. CONTRACTOR TO VERIFY FULL LIMITS OF PAVEMENT REMOVAL PRIOR TO BID.
12. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE PADS, UTILITIES AND PAVEMENT WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ITEMS TO BE REMOVED INCLUDE BUT ARE NOT LIMITED TO: CONCRETE, PAVEMENT, CURBS, LIGHTING, MANHOLES, CATCH BASINS, UNDER GROUND PIPING, POLES, STAIRS, SIGNS, FENCES, WALLS, BOLLARDS, RAILROAD TRACKS, BUILDING SLABS, FOUNDATION, TREES AND LANDSCAPING.
13. COORDINATE ALL WORK WITHIN THE PUBLIC RIGHT OF WAYS WITH THE CITY OF PORTLAND AND MEDOT.
14. REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL STUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
15. CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED BY THE CONTRACTOR, HE SHALL EMPLOY A LICENSED SURVEYOR TO REPLACE IT.
16. PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS WITHIN CONSTRUCTION LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE "HIGH FLOW SILT SACK" BY ACF ENVIRONMENTAL OR APPROVED EQUAL. INSPECT BARRIERS AFTER EACH RAIN OF 0.50 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED.
17. THE CONTRACTOR SHALL PHASE DEMOLITION AND CONSTRUCTION AS REQUIRED TO PROVIDE CONTINUOUS SERVICE TO EXISTING BUSINESSES AND HOMES THROUGHOUT THE CONSTRUCTION PERIOD. EXISTING BUSINESS AND HOME SERVICES INCLUDE, BUT ARE NOT LIMITED TO: ELECTRICAL, COMMUNICATION, FIRE PROTECTION, DOMESTIC WATER AND SEWER SERVICES. TEMPORARY SERVICES, IF REQUIRED, SHALL COMPLY WITH ALL FEDERAL, STATE, LOCAL AND UTILITY COMPANY STANDARDS. CONTRACTOR SHALL PROVIDE DETAILED CONSTRUCTION SCHEDULE TO OWNER PRIOR TO ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
18. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
20. THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
21. SAWCUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL UTILITIES TO BE REMOVED AND PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.

SEWER & DRAINAGE STRUCTURE TABLE		
CB #1316 RIM ELEV.=85.4' 12" CPP=85.6'	CB #5441 RIM ELEV.=86.5' HOODED (1) 9" PVC= 81.8' (2) 9" PVC= 81.6' (3) 15" PVC= 82.6' TOP OF PIPE WATER= 81.6'	SMH "A" LOCATION PER REF. PLAN #5 SMH "B" LOCATION PER REF. PLAN #5 SMH #1223 RIM ELEV.=85.5' TOP OF PIPE IN= 77.5' TOP OF PIPE OUT= 76.9' INV. IN 12" A= 77.9'
CB #2470 RIM ELEV.=91.0' 12" OD CLAY W/ TRAP= 95.6'	CB #4237 RIM ELEV.=88.5' (1) 8" CPP=83.6' (2) 6" CLAY=84.7' (3) 12" CPP=83.9' (4) 8" CLAY=84.7' SUMP=82.6'	SMH #1224 RIM ELEV.=86.0' (1) 8" CLAY= 76.5' (2) 6" CLAY= 75.5'
CB #2570 RIM ELEV.=88.5' (1) 8" CPP=83.6' (2) 6" CLAY=84.7' (3) 12" CPP=83.9' (4) 8" CLAY=84.7' SUMP=82.6'	CB #4238 RIM ELEV.=92.3' SMH #1226 RIM ELEV.=83.5' TOP OF PIPE IN=76.6' TOP OF PIPE OUT=76.3'	SMH #4091 RIM ELEV.=90.3'
CB #2862 RIM ELEV.=87.6' 9" PVC=82.7'	CB #4239 RIM ELEV.=92.1' SMH #4273 RIM ELEV.=89.7'	SMH #4131 RIM ELEV.=89.6' SMH #4142 RIM ELEV.=89.5'
CB #3045 RIM ELEV.=87.4' (1) 8" CLAY= 83.9'	CB #4666 RIM ELEV.=89.7'	SMH #5244 RIM ELEV.=100.5' INV.= 88.6' (DEPTH FROM RIM TO INVERT PER REF. PLAN #5)
CB #3124 RIM ELEV.=87.7' (1) 8" CLAY= 82.7' (2) 6" CLAY= 82.7' OTHER INVERTS NOT VISIBLE	CB #4803 RIM ELEV.=89.7'	SMH #5486 RIM ELEV.=93.6' 24" PIPE CENTER TROUGH=84.0'
CB #3149 RIM ELEV.=86.2' (1) 6" CLAY=84.4' (2) 6" CLAY=84.0'	CB #5304 RIM ELEV.=92.7' (1) 12" CLAY INV.= 89.4' (2) 6" PVC INV.= 89.5'	SMH #5319 RIM ELEV.=92.7' (1) 14" STEEL INV.= 88.5' (2) 12" CLAY INV.=88.2' W/ PIPE COVER
CB #3370 RIM ELEV.=87.2' 9" PVC= 83.6'		

LEGEND

- PROPERTY LINE
- EDGE OF WETLAND
- EXISTING TREE LINE
- EXISTING FENCE
- EXISTING DRAINAGE
- EXISTING ELECTRIC/TELEPHONE/CABLE
- EXISTING OVERHEAD WIRE
- EXISTING WATER
- EXISTING SEWER
- EXISTING GAS
- EXISTING CONTOUR
- EXISTING 10' CONTOUR
- SAWCUT LIMIT
- PROPOSED SILT FENCE
- PROPOSED BUILDING LOCATION
- EXISTING CONCRETE/BITUMINOUS SIDEWALK
- EXISTING SIGN
- EXISTING BOLLARD
- EXISTING TREE
- DECIDUOUS TREE
- EXISTING LIGHT
- UTILITY POLE & GUY WIRE
- LIGHT POLE (ONE ARM)
- LIGHT POLE (TWO ARMS)
- LIGHT POLE (FOUR ARMS)
- FIRE HYDRANT
- GAS GATE VALVE
- WATER SHUTOFF VALVE
- CATCH BASIN
- DRAIN MANHOLE
- ELECTRIC MANHOLE
- TELEPHONE MANHOLE
- WATER MANHOLE
- EXISTING SEWER MANHOLE
- EXISTING DRAIN MANHOLE
- SQUARE MANHOLE
- LANDSCAPED AREA
- ACCESSIBLE PARKING SPACE
- TRAFFIC FLOW DIRECTION ARROW
- DRAINAGE PIPE INDICATOR
- CHAINLINK FENCE
- OVERHANG
- VERTICAL BITUMINOUS CURB
- VERTICAL CONCRETE CURB
- VERTICAL GRANITE CURB
- CONC.
- RET.
- TYP.
- FF
- EP
- SWL
- SYL
- (TBR)
- PAVEMENT TO BE RECLAIMED/REMOVED
- SIDEWALK TO BE REPLACED/REMOVED

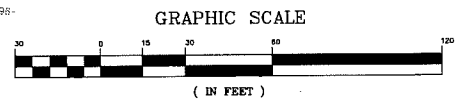
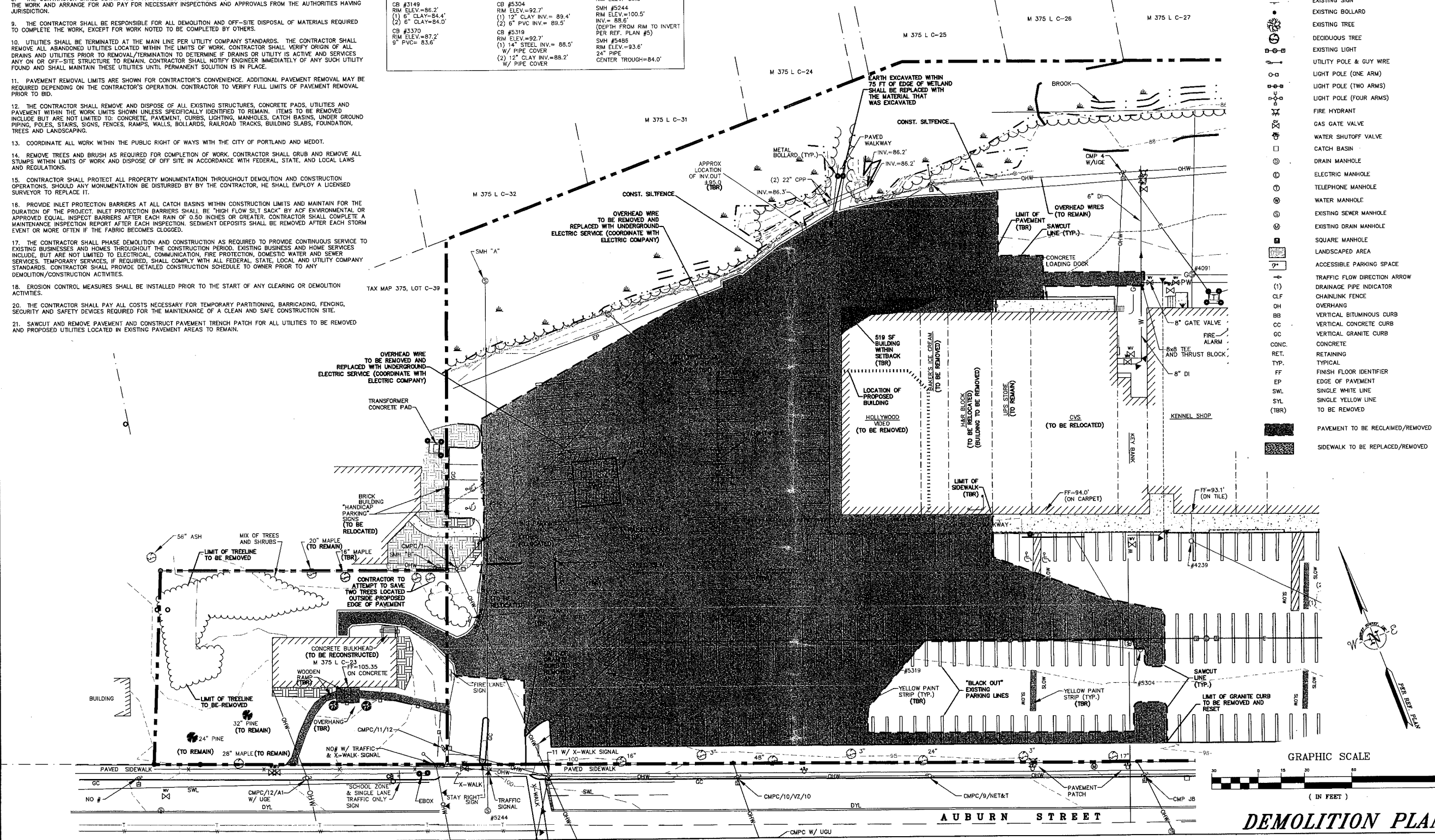
No.	Description	Appd	Date



DATE: AUGUST 18, 2009
 SCALE: AS SHOWN
 DESIGNED BY: SAM
 DRAWN BY: SAM
 APPROVED BY: GY/BLM
 PROJECT NO.: 2042B
 FILE NO.: 2042B-CONST.DWG

**NORTHGATE PLAZA
 AUBURN STREET
 PORTLAND, MAINE**

**APPLEDORF
 ENGINEERING**
 177 CORPORATE DRIVE
 PORTSMOUTH, NEW HAMPSHIRE 03801
 (603) 433-8818
 ae@appledoreng.com



DEMOLITION PLAN

**TAX MAP 375
LOT C-1
SITE DATA**

LOCATION: PORTLAND, MAINE
 ZONING DISTRICT: B-2 COMMUNITY BUSINESS ZONE
 (A PORTION OF THE LOT IS IN THE SP-STREAM PROTECTION ZONE)
 PERMITTED USE: GENERAL BUSINESS AND PROFESSIONAL OFFICES, RETAIL ESTABLISHMENTS, RESTAURANTS.
 CONDITIONAL USE: DRIVE-THRU WHICH IS ADJACENT TO ANY RESIDENTIAL USE OR ZONE

DIMENSIONAL REQUIREMENTS:

	REQUIRED	COMMUNITY BUSINESS (B-2)	PROVIDED
MINIMUM LOT AREA:	10,000 SF	575,009 SF	±900 FT
MINIMUM STREET FRONTAGE:	50 FT		
FRONT YARD SETBACK:	0 FT	±24 FT	±26 FT
FRONT SETBACK:	0 FT	±26 FT	±62 FT
REAR SETBACK:	0 FT	±62 FT	±62 FT
REAR ADJUTING RESIDENTIAL:	20 FT	±62 FT	±62 FT
MAXIMUM LOT COVERAGE:	80 %	±77 %	
MAXIMUM HEIGHT:	45 FT	±45 FT	

* FRONT YARD SHALL NOT EXCEED THE AVERAGE DEPTH OF THE FRONT YARDS OF THE CLOSEST DEVELOPED LOTS ON EITHER SIDE. WHERE THE FRONT YARD EXCEEDS 10 FEET A PEDESTRIAN EDGE TREATMENT SHALL BE CONSTRUCTED.

PARKING REQUIREMENTS

TENANTS:	FLOOR AREA	REQUIREMENT:	REQUIRED:	PROVIDED:
SHAW'S	59,950 ± SF (1)	1/200 SF	300 SPACES	
STARBUCKS	1,870 ± SF	1/150 SF	13 SPACES	
OLYMPIA SPORTS	3,300 ± SF	1/200 SF	17 SPACES	
ROMARD'S HALLMARK	6,570 ± SF	1/200 SF	33 SPACES	
THE KENNEL SHOP	7,320 ± SF	1/200 SF	37 SPACES	
KEYBANK	1,780 ± SF	1/334 SF	6 SPACES	
VACANT (2)	7,165 ± SF	1/200 SF	36 SPACES	
UPS	3,270 ± SF	1/334 SF	10 SPACES	
TOWN AND COUNTRY	3,030 ± SF	1/334 SF	10 SPACES	
PROPOSED CVS	12,900 ± SF	1/200 SF	65 SPACES	
PROPOSED ATM	49 ± SF	1/334 SF	1 SPACE	
TOTAL:			528 SPACES	583 SPACES (3) (4)
BICYCLE SPACES:			42 SPACES (5)	22 SPACES
ADA ACCESSIBLE SPACES:			12 SPACES	13 SPACES

NOTES:
 (1) SHAW'S CALCULATION ALSO INCLUDES THE 2,000 SF DEDUCTION ALLOWED UNDER SECTION 14-332(H)
 (2) VACANT USE ASSUMED AS A RETAIL ESTABLISHMENT
 (3) PARKING PROVIDED IN NORTHGATE PLAZA ASSUMES SHARED PARKING BETWEEN LESSORS.
 (4) TOTAL PARKING EXCLUDES 13 SPACES WHICH ARE DESIGNATED TO TAX MAP 375, LOT C-39 (MEDICAL OFFICE BUILDING) AND 5 SPACES WHICH SHALL BE DESIGNATED TO TAX MAP 375, LOT C-23 (H&R BLOCK) BY EASEMENT.
 (5) TWO BICYCLE PARKING SPACES FOR EVERY TEN MOTOR VEHICLE PARKING SPACES FOR THE FIRST ONE HUNDRED REQUIRED MOTOR VEHICLE PARKING SPACES, PLUS ONE BICYCLE PARKING SPACE FOR EVERY TWENTY MOTOR VEHICLE PARKING SPACE OVER ONE HUNDRED. TWENTY-TWO BICYCLE SPACES HAVE BEEN PROVIDED WITHIN LIMIT OF WORK.

PARKING REQUIREMENTS FOR MEDICAL OFFICE BUILDING WITH PARKING EASEMENT ON SITE:

TENANTS:	FLOOR AREA	REQUIREMENT:	REQUIRED:	PROVIDED:
MEDICAL OFFICE	9,941 ± SF	1/400 SF	25 SPACES	
TOTAL:			25 SPACES	25 SPACES

NOTES:
 (1) 13 SPACES ON NORTHGATE PLAZA ARE DESIGNATED TO TAX MAP 375, LOT C-39 BY EASEMENT.

**TAX MAP 375
LOT C-23
SITE DATA**

LOCATION: PORTLAND, MAINE
 ZONING DISTRICT: R-P RESIDENTIAL PROFESSIONAL
 PERMITTED USE: BUSINESS SERVICES AND PROFESSIONAL OFFICES

DIMENSIONAL REQUIREMENTS:

	REQUIRED	RESIDENTIAL PROFESSIONAL (R-P)	PROVIDED
MINIMUM LOT AREA:	6,000 SF		23,480 SF
MINIMUM STREET FRONTAGE:	60 FT		190±FT
MINIMUM LOT WIDTH:	60 FT		186±FT
MINIMUM YARD SETBACK:	20 FT*		50±FT
FRONT SETBACK:	12 FT		33±FT
SIDE SETBACK:	20 FT		43±FT
REAR SETBACK:	20 FT		70 ±
MAXIMUM IMPERVIOUS SURFACE:	70 %		±53 %
MINIMUM INTERIOR SPACE:	10% OF PARKING AREA		±0%
MAXIMUM FLOOR AREA RATIO:	55 %		±22 %
MAXIMUM HEIGHT:	45 FT		<45 FT

* FRONT YARD SHALL NOT EXCEED THE AVERAGE DEPTH OF THE FRONT YARDS OF THE CLOSEST DEVELOPED LOTS ON EITHER SIDE. WHERE THE FRONT YARD EXCEEDS 10 FEET A PEDESTRIAN EDGE TREATMENT SHALL BE CONSTRUCTED.

PARKING REQUIREMENTS

OFFICES: 1/400 SF	13 SPACES	13 SPACES (1)
3,200/400		
ADA ACCESSIBLE SPACES:	1 SPACE	2 SPACES
BICYCLE SPACES:	2 SPACES	5 SPACES

NOTE:
 (1) TOTAL PARKING INCLUDES 5 SPACES LOCATED ON TAX MAP 375, LOT C-1 WHICH ARE DESIGNATED TO TAX MAP 375, LOT C-23 (H&R BLOCK) BY EASEMENT.

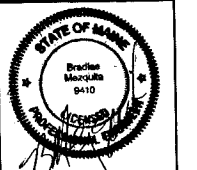
SITE NOTES:

- STRIPED PARKING AREAS AS SHOWN, INCLUDING PARKING SPACES, STOP BARS, HANDICAP SYMBOLS, PAINTED ISLANDS, CROSS WALKS, ARROWS, LEGENDS AND CENTERLINES (ALL MARKINGS EXCEPT CENTERLINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING WHITE TRAFFIC PAINT. CENTERLINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING YELLOW TRAFFIC PAINT. ALL TRAFFIC PAINT SHALL MEET THE REQUIREMENTS OF AASHTO M249 TYPE 1*).
- ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", AND "THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS, LATEST EDITIONS."
- SEE DETAILS FOR PARKING STALL MARKINGS, HANDICAP SYMBOLS, SIGNS AND SIGN POSTS.
- CENTERLINES SHALL BE FOUR (4) INCH WIDE YELLOW LINES. STOP BARS SHALL BE EIGHTEEN (18) INCHES WIDE.
- PAINTED ISLANDS SHALL BE FOUR (4) INCH WIDE DIAGONAL LINES AT 3"-0" O.C. BORDERED BY FOUR (4) INCH WIDE LINES.
- THE CONTRACTOR SHALL EMPLOY A LICENSED ENGINEER/SURVEYOR TO DETERMINE ALL LINES AND GRADES. DESIGN ENGINEER TO PROVIDE COORDINATES FOR EDGE OF PAVEMENT, PC'S & PT'S.
- CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINE WITH RS-1 EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
- ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND/OR CITY CODES & SPECIFICATIONS.
- WORK WITHIN AUBURN STREET SHALL BE COORDINATED WITH CITY OF PORTLAND AND THE MEDOT.
- CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MYLARS AND IN DIGITAL FORMAT (DWG FILE) ON DISK TO THE OWNER AND ARCHITECT UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
- SEE ARCHITECTURAL DRAWINGS FOR ALL CONCRETE PADS & SIDEWALKS ADJACENT TO BUILDING.
- ALL WORK SHALL CONFORM TO THE CITY OF PORTLAND DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS.
- CONTRACTOR TO PROVIDE BACKFILL AND COMPACTION AT CURB LINE AFTER CONCRETE FORMS FOR SIDEWALKS AND PADS HAVE BEEN STRIPPED. COORDINATE WITH BUILDING CONTRACTOR.
- ALL LIGHT POLE BASES NOT PROTECTED BY A RAISED CURB SHALL BE PAINTED YELLOW.
- COORDINATE ALL WORK ADJACENT TO BUILDING WITH BUILDING CONTRACTOR.
- SNOW THAT CAN NOT BE ACCOMMODATED IN THE LOCATIONS SHOWN SHALL BE TAKEN OFF-SITE.

LEGEND

- PROPERTY LINE
- 75' STREAM PROTECTION ZONE
- ABUTTER LOT LINE
- BUILDING SETBACK
- EDGE OF WETLAND
- EXISTING TREE LINE
- PROPOSED TREE LINE
- PROPOSED CONCRETE SIDEWALK/PAD
- PROPOSED SIGN
- PROPOSED BOLLARD
- PROPOSED LIGHT POLE BASE
- PROPOSED ACCESSIBLE PARKING SPACE
- PROPOSED VAN ACCESSIBLE PARKING SPACE
- PROPOSED CROSSWALK
- PROPOSED PAINTED ARROW
- PROPOSED BIKE LANE
- DOUBLE YELLOW LANE LINE
- PROPOSED CURB
- VERTICAL GRANITE CURB
- SLOPED GRANITE CURB
- DOOR LOCATION
- PROPOSED CURB STOP

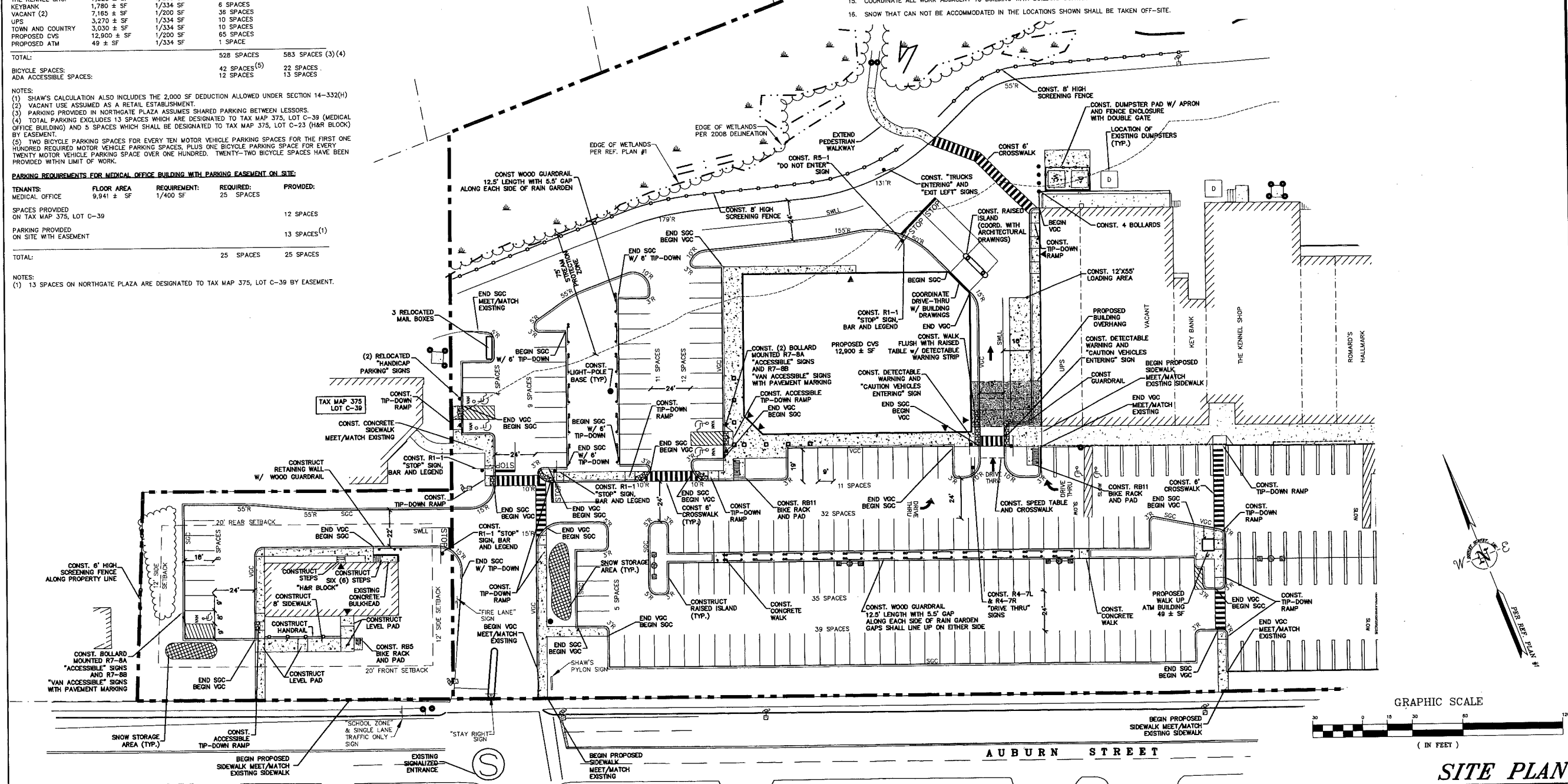
No.	Description	Appd	Date



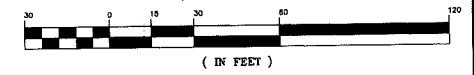
DATE: AUGUST 18, 2009
 SCALE: AS SHOWN
 DESIGNED BY: SAM
 DRAWN BY: SAM
 APPROVED BY: GT/BLM
 PROJECT NO.: 2042B
 FILE NO.: 2042B-CONSOLIDING

**NORTHGATE PLAZA
AUBURN STREET
PORTLAND, MAINE**

APPLEDORE ENGINEERING
 177 CORPORATE DRIVE
 PORTSMOUTH, NEW HAMPSHIRE 03801
 (603) 433-8818
 ae@applodoreeng.com



GRAPHIC SCALE



SITE PLAN

C-2A

GRADING AND DRAINAGE NOTES:

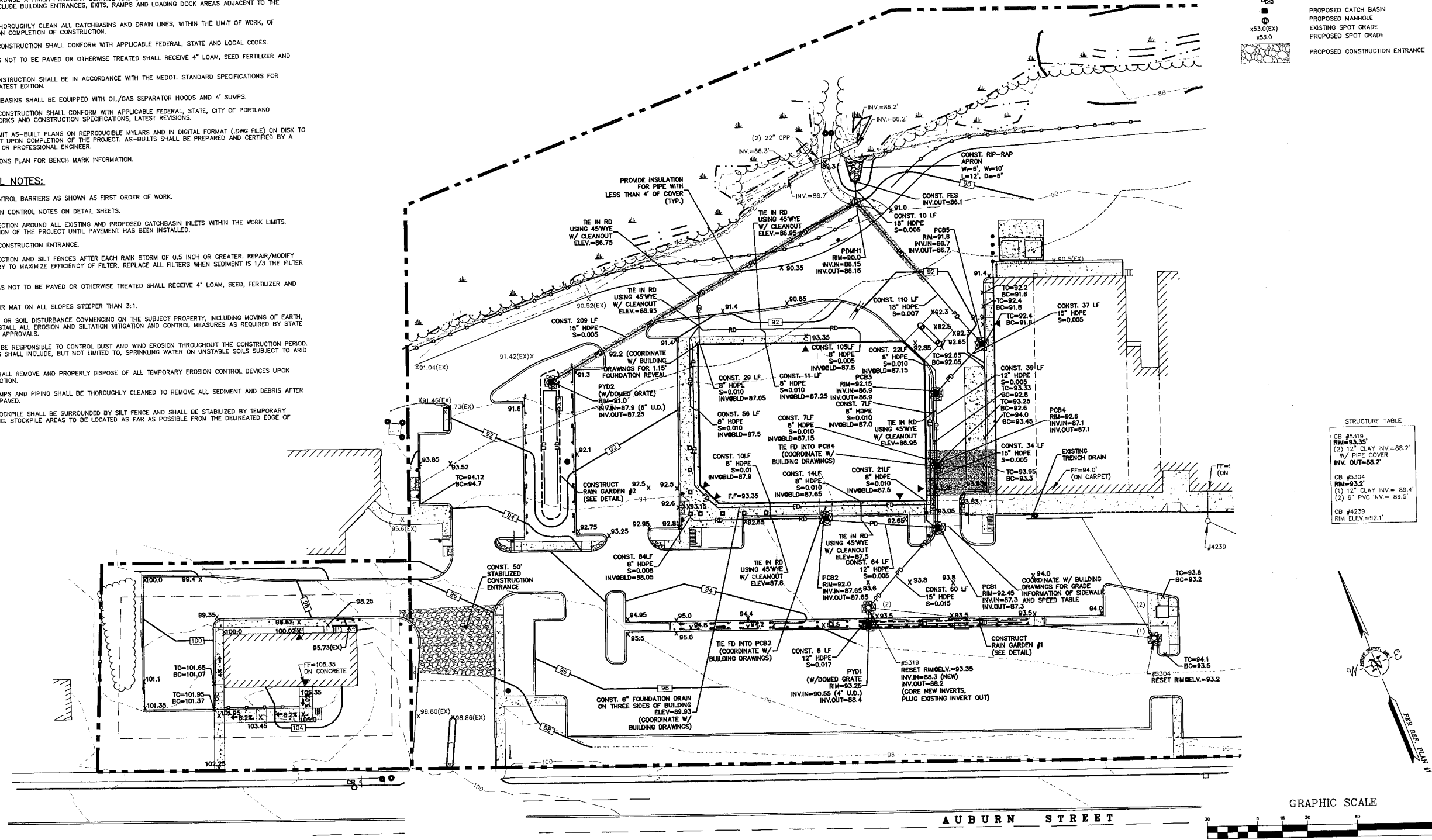
1. COMPACTION REQUIREMENTS
BELOW PAVED OR CONCRETE AREAS 95%
TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL 95%
BELOW LOAM AND SEED AREAS 90%
*ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM-2922.
2. ALL STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HANCOR HI-0, ADS N-12 OR APPROVED EQUAL) UNLESS OTHERWISE SPECIFIED.
3. SEE UTILITIES PLAN FOR ALL SITE UTILITY INFORMATION.
4. ADJUST ALL MANHOLES, CATCHBASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
5. COORDINATE WORK ADJACENT TO PROPOSED BUILDINGS WITH BUILDING CONTRACTOR.
6. ALL DRAIN PIPES WITH LESS THAN 4' OF COVER SHALL BE INSULATED.
7. CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCES, EXITS, RAMPS AND LOADING DOCK AREAS ADJACENT TO THE BUILDING.
8. CONTRACTOR SHALL THOROUGHLY CLEAN ALL CATCHBASINS AND DRAIN LINES, WITHIN THE LIMIT OF WORK, OF SEDIMENT IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
9. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES.
10. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 4" LOAM, SEED FERTILIZER AND MULCH.
11. ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MEDOT. STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.
12. ALL PROPOSED CATCHBASINS SHALL BE EQUIPPED WITH OIL/GAS SEPARATOR HOODS AND 4' SUMPS.
13. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE, CITY OF PORTLAND DEPARTMENT OF PUBLIC WORKS AND CONSTRUCTION SPECIFICATIONS, LATEST REVISIONS.
14. CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MYLARS AND IN DIGITAL FORMAT (DWG FILE) ON DISK TO THE OWNER AND ARCHITECT UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
15. SEE EXISTING CONDITIONS PLAN FOR BENCH MARK INFORMATION.

EROSION CONTROL NOTES:

1. INSTALL EROSION CONTROL BARRIERS AS SHOWN AS FIRST ORDER OF WORK.
2. SEE GENERAL EROSION CONTROL NOTES ON DETAIL SHEETS.
3. PROVIDE INLET PROTECTION AROUND ALL EXISTING AND PROPOSED CATCHBASIN INLETS WITHIN THE WORK LIMITS. MAINTAIN FOR THE DURATION OF THE PROJECT UNTIL PAVEMENT HAS BEEN INSTALLED.
4. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
5. INSPECT INLET PROTECTION AND SILT FENCES AFTER EACH RAIN STORM OF 0.5 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT.
6. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 4" LOAM, SEED, FERTILIZER AND MULCH.
7. CONSTRUCT EXCELISOR MAT ON ALL SLOPES STEEPER THAN 3:1.
8. PRIOR TO ANY WORK OR SOIL DISTURBANCE COMMENCING ON THE SUBJECT PROPERTY, INCLUDING MOVING OF EARTH, THE APPLICANT SHALL INSTALL ALL EROSION AND SILTATION MITIGATION AND CONTROL MEASURES AS REQUIRED BY STATE AND LOCAL PERMITS AND APPROVALS.
9. CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL MEASURES SHALL INCLUDE, BUT NOT LIMITED TO, SPRINKLING WATER ON UNSTABLE SOILS SUBJECT TO ARID CONDITIONS.
10. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
11. ALL CATCHBASIN SUMPS AND PIPING SHALL BE THOROUGHLY CLEANED TO REMOVE ALL SEDIMENT AND DEBRIS AFTER THE PROJECT HAS BEEN PAVED.
12. TEMPORARY SOIL STOCKPILE SHALL BE SURROUNDED BY SILT FENCE AND SHALL BE STABILIZED BY TEMPORARY EROSION CONTROL SEEDING. STOCKPILE AREAS TO BE LOCATED AS FAR AS POSSIBLE FROM THE DELINEATED EDGE OF WETLAND.

LEGEND

	PROPERTY LINE
	75' WETLAND BUFFER
	EDGE OF WETLAND
	EXISTING TREE LINE
	PROPOSED TREE LINE
	PROPOSED CONCRETE SIDEWALK
	EXISTING CONTOUR
	EXISTING 10' CONTOUR
	FINISH GRADE
	EXISTING DRAINAGE
	PROPOSED INSULATED DRAINAGE
	PROPOSED DRAINAGE
	PROPOSED ROOF DRAIN
	PROPOSED FOUNDATION DRAIN
	PROPOSED UNDER DRAIN
	SILT FENCE
	PROPOSED INLET PROTECTION
	PROPOSED CATCH BASIN
	PROPOSED MANHOLE
	EXISTING SPOT GRADE
	PROPOSED SPOT GRADE
	PROPOSED CONSTRUCTION ENTRANCE



STRUCTURE TABLE

CB #5319	RM=93.35
(2) 12" CLAY INV.=88.2'	W/ PIPE COVER
INV. OUT=88.2'	
CB #5304	RM=93.2'
(1) 12" CLAY INV.=89.4'	
(2) 8" PVC INV.=89.5'	
CB #4239	RM ELEV.=92.1'

STATE OF MAINE
Professional Seal of **Erica Mesquita**, P.E., No. 9410

DATE: AUGUST 18, 2009
SCALE: AS SHOWN
DESIGNED BY: SAM
DRAWN BY: SAM
APPROVED BY: GY/BLM
PROJECT NO.: 2042B
FILE NO.: 2042B-CONSIDING

REVISIONS

No.	Description	Date

**NORTHGATE PLAZA
AUBURN STREET
PORTLAND, MAINE**

APPLEDORE ENGINEERING
177 CORPORATE DRIVE
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(603) 432-8818
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C-3

GRADING, DRAINAGE & EROSION CONTROL PLAN

UTILITY NOTES:

- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES, AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
- COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY COMPANY.
SEWER - CITY OF PORTLAND DEPARTMENT OF PUBLIC WORKS
WATER - PORTLAND WATER DISTRICT
- SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION.
- SEE GRADING, DRAINAGE & EROSION CONTROL PLAN FOR PROPOSED GRADING AND EROSION CONTROL MEASURES.
- ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, CEMENT LINED DUCTILE IRON PIPE.
- ALL WATERMAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION PRIOR TO ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE CHLORINATION AND TESTING WITH THE PORTLAND WATER DISTRICT.
- ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
- ALL WORK WITHIN CITY ROW SHALL BE COORDINATED WITH CITY OF PORTLAND.
- CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ABUTTING PROPERTIES THROUGHOUT CONSTRUCTION.
- CONNECTION TO EXISTING WATERMAIN SHALL BE CONSTRUCTED TO CITY STANDARDS.
- EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE CITY OF PORTLAND TECHNICAL DESIGN STANDARDS AND UTILITY COMPANY STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
- ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
- THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH THE BUILDING DRAWINGS AND THE UTILITY COMPANIES.
- ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
- ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
- THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATES TO THE OWNER PRIOR TO THE COMPLETION OF THIS PROJECT.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
- CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
- A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS.
- THE CONTRACTOR SHALL CONTACT "DIG-SAFE" 72 HOURS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL HAVE THE "DIG-SAFE" NUMBER ON SITE AT ALL TIMES.
- CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MYLARS AND IN DIGITAL FORMAT (.DXF FILES) TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
- SAWCUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.
- HYDRANTS, GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTLAND.
- COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTLAND.
- ALL SEWER PIPE WITH LESS THAN 4' OF COVER SHALL BE INSULATED.
- CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.
- CONTRACTOR SHALL PHASE UTILITY CONSTRUCTION, PARTICULARLY WATER MAIN, ELECTRICAL, AND GAS MAIN CONSTRUCTION AS TO MAINTAIN CONTINUOUS SERVICE TO ABUTTING PROPERTIES. CONTRACTOR SHALL COORDINATE TEMPORARY SERVICES TO ADJUTERS WITH THE UTILITY COMPANY AND AFFECTED ADJUTER.

STRUCTURE TABLE

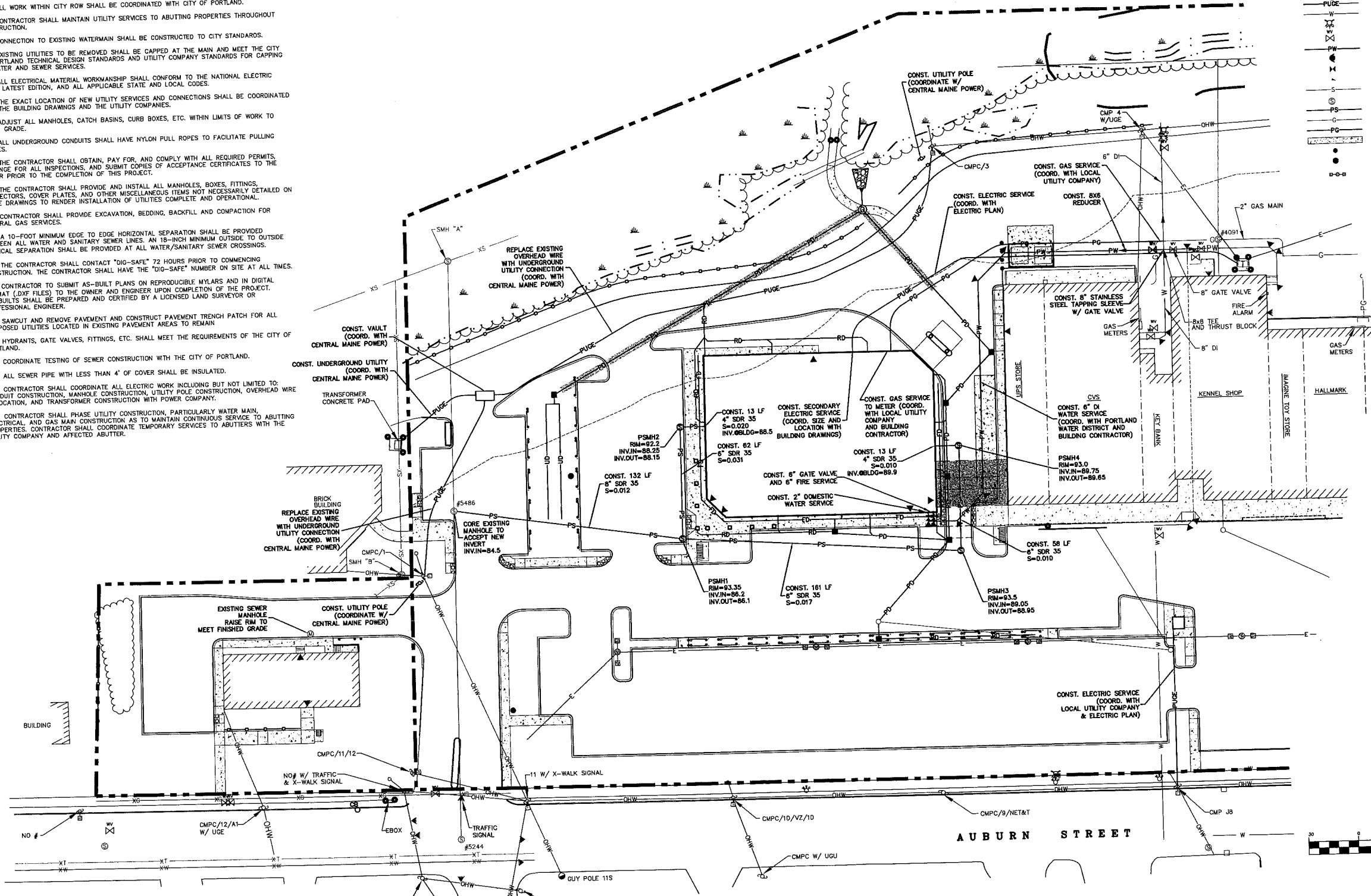
SMH #5244 RIM ELEV.=100.5' INV.= 88.0' (DEPTH FROM RIM TO INVERT PER REF. PLAN #5)
SMH #5486 RIM ELEV.=93.0' 24" PIPE CENTER TROUGH=84.0' INV.=84.5
SMH "B" LOCATION PER REF. PLAN #5

LIGHTING NOTES:

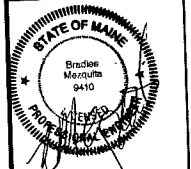
- CONTRACTOR TO COORDINATE WITH ELECTRICAL DRAWINGS FOR FIXTURE AND POLE MODEL AND COLOR.
- THE CONTRACTOR SHALL PROVIDE ALL CONDUITS, CONCRETE BASES, WIRING AND INSTALLATION OF ALL LIGHT FIXTURES ETC. AND WARRANTEE LABOR.
- SITE LIGHTING TO BE PER PHOTOMETRICS PLAN.
- CONTRACTOR TO COORDINATE WITH ELECTRICAL DRAWINGS FOR CONDUIT SIZE, LOCATION AND CIRCUITY PLAN.

LEGEND

- PROPERTY LINE
- (75') WETLAND BUFFER
- EDGE OF WETLAND
- EXISTING TREE LINE
- PROPOSED TREE LINE
- EXISTING DRAINAGE
- EXISTING CATCH BASIN
- EXISTING DRAIN MANHOLE
- PROPOSED INSULATED DRAINAGE
- PROPOSED DRAINAGE
- PROPOSED ROOF DRAIN
- PROPOSED FOUNDATION DRAIN
- PROPOSED UNDER DRAIN
- PROPOSED CATCH BASIN
- PROPOSED MANHOLE
- EXISTING ELECTRIC MANHOLE
- EXISTING TELEPHONE MANHOLE
- PROPOSED UNDERGROUND ELECTRIC/TELEPHONE
- EXISTING WATER
- EXISTING FIRE HYDRANT
- EXISTING WATER GATE VALVE
- PROPOSED FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- PROPOSED WATER GATE VALVE
- PROPOSED THRUST BLOCK
- EXISTING SEWER
- EXISTING SEWER MANHOLE
- PROPOSED SEWER
- EXISTING GAS
- PROPOSED GAS
- PROPOSED CONCRETE SIDEWALK/PAD
- PROPOSED BOLLARD
- PROPOSED LIGHT POLE BASE
- EXISTING LIGHT FIXTURE



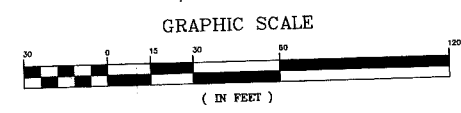
No.	Description	Appd	Date



DATE: AUGUST 16, 2009
 SCALE: AS SHOWN
 DESIGNED BY: SAM
 DRAWN BY: SAM
 APPROVED BY: SY/BLM
 PROJECT NO.: 2042B
 FILE NO.: 2042B-CONSIDING

**NORTHGATE PLAZA
 AUBURN STREET
 PORTLAND, MAINE**

APPLEDORE ENGINEERING
 177 CORPORATE DRIVE
 PORTSMOUTH, NEW HAMPSHIRE 03801
 (603) 433-8818
 ae@appledoreeng.com



UTILITIES PLAN C-4

LANDSCAPE NOTES:

- THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS IN QUANTITIES AS SHOWN ON THIS PLAN. NO SUBSTITUTIONS WILL BE PERMITTED UNLESS APPROVED BY OWNER. ALL PLANTS SHALL BE NURSERY GROWN.
- ALL PLANTS SHALL BE NURSERY GROWN AND PLANTS AND WORKMANSHIP SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO ARRIVAL ON-SITE AND AFTER PLANTING.
- PLANT STOCK SHALL BE GROWN WITHIN THE HARDINESS ZONES 4 THRU 7 ESTABLISHED BY THE PLANT HARDINESS ZONE MAP, MISCELLANEOUS PUBLICATIONS NO. 814, AGRICULTURAL RESEARCH SERVICE, UNITED STATES DEPARTMENT AGRICULTURE, LATEST REVISION.
- ALL PLANTS MUST BE MOVED WITH THE ROOT SYSTEMS AS SOLID UNITS WITH BALLS OF EARTH FIRMLY WRAPPED WITH BURLAP. NO PLANT SHALL BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN. BEFORE PLANTING ALL PLANTS SHALL BE FREELY DUG. ALL PLANTS THAT CANNOT BE PLANTED AT ONCE MUST BE HEELED-IN BY SETTING IN THE GROUND, AND COVERING THE BALLS WITH SOIL AND THEN WATERING. DURING TRANSPORT, ALL PLANT MATERIALS SHALL BE WRAPPED WITH WIND PROOF COVERING.
- PLANT MATERIAL SHALL BARE THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE ORIGINAL PLANTING GRADE PRIOR TO DIGGING.
- THE NUMBER OF EACH INDIVIDUAL PLANT TYPE AND SIZE PROVIDED IN THE PLANT LIST OR ON THE PLAN IS FOR THE CONTRACTOR'S CONVENIENCE ONLY. IF A DISCREPANCY EXISTS BETWEEN THE NUMBER OF PLANTS ON THE LABEL AND THE NUMBER OF SYMBOLS SHOWN ON THE DRAWINGS, THE GREATER NUMBER SHALL APPLY.
- NO SUBSTITUTION OF PLANT MATERIALS WILL BE ALLOWED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE OWNER'S REPRESENTATION.
- THE CONTRACTOR SHALL LOCATE, VERIFY AND MARK ALL EXISTING AND NEWLY INSTALLED UNDERGROUND UTILITIES PRIOR TO ANY LAWN WORK OR PLANTING. ANY CONFLICTS WHICH MIGHT OCCUR BETWEEN PLANTING AND UTILITIES SHALL IMMEDIATELY BE REPORTED TO THE OWNER SO THAT ALTERNATE PLANTING LOCATIONS CAN BE DETERMINED.
- ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED, SHALL RECEIVE FOUR (4) INCHES OF LOAM AND SEED. NO FILL SHALL BE PLACED IN ANY WETLAND AREA.
- THREE (3) INCH BARK MULCH IS TO BE USED AROUND THE TREE AND SHRUB PLANTING AS SPECIFIED IN THE DETAILS. THE DETAILS. BARK MULCH IS TO BE USED IN A CURBED ISLAND THE BARK MULCH SHALL MEET THE TOP INSIDE EDGE OF THE CURB. ALL OTHER AREAS SHALL RECEIVE FOUR (4) INCHES OF LOAM AND SEED.
- SEE PLANTING DETAILS FOR WEED BARRIER INFORMATION.
- SEE PLANTING DETAILS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- TREE STAKES SHALL REMAIN IN PLACE FOR NO LESS THAN 6 MONTHS AND NO MORE THAN 1 YEAR.
- PLANTING SHALL BE COMPLETED FROM APRIL 15TH THROUGH OCTOBER 1ST. NO PLANTING DURING JULY AND AUGUST UNLESS SPECIAL PROVISIONS ARE MADE FOR DROUGHT.
- PARKING AREA PLANTED ISLANDS TO HAVE MINIMUM OF 1'-0" TOPSOIL PLACED TO THE TOP OF CURB ELEVATION. REMOVE ALL CONSTRUCTION DEBRIS BEFORE PLACING TOPSOIL.
- TREES SHALL BE PRUNED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI A300 'TREES, SHRUBS AND OTHER WOOD PLANT MAINTENANCE STANDARD PRACTICES.
- ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN, IF NECESSARY DURING THE FIRST GROWING SEASON.
- EXISTING TREES SHOWN ON THE PLAN ARE TO REMAIN UNDISTURBED. ALL EXISTING TREES SHOWN TO REMAIN ARE TO BE PROTECTED WITH A 4-FOOT SNOW FENCE PLACED AT THE DRIP LINE OF THE BRANCHES OR AT 8 FEET MINIMUM FROM THE TREE TRUNK. ANY EXISTING TREE SHOWN TO REMAIN, WHICH IS REMOVED DURING CONSTRUCTION, SHALL BE REPLACED IN KIND AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL GUARANTEE ALL PLANTINGS TO BE IN GOOD HEALTHY, FLOURISHING AND ACCEPTABLE CONDITION FOR A PERIOD OF (1) YEAR BEGINNING AT THE DATE OF ACCEPTANCE OF SUBSTANTIAL COMPLETION. ALL GRASSES, TREES AND SHRUBS THAT, IN THE OPINION OF THE LANDSCAPE ARCHITECT, SHOW LESS THAN 80% HEALTHY GROWTH AT THE END OF (1) YEAR PERIOD SHALL BE REPLACED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PLANTING AND LAWNS AGAINST DAMAGE FROM ONGOING CONSTRUCTION. THIS PROTECTION SHALL BEGIN AT THE TIME THE PLANT IS INSTALLED AND CONTINUE UNTIL THE FORMAL ACCEPTANCE OF ALL THE PLANTINGS.
- PRE-PLANT MATERIAL AND ARRANGE FOR DELIVERY TO MEET PROJECT SCHEDULE AS REQUIRED IT MAY BE NECESSARY TO PRE-DIG CERTAIN SPECIES WELL IN ADVANCE OF ACTUAL PLANTING DETAILS.

PLANT SCHEDULE:

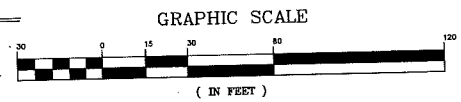
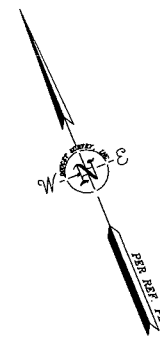
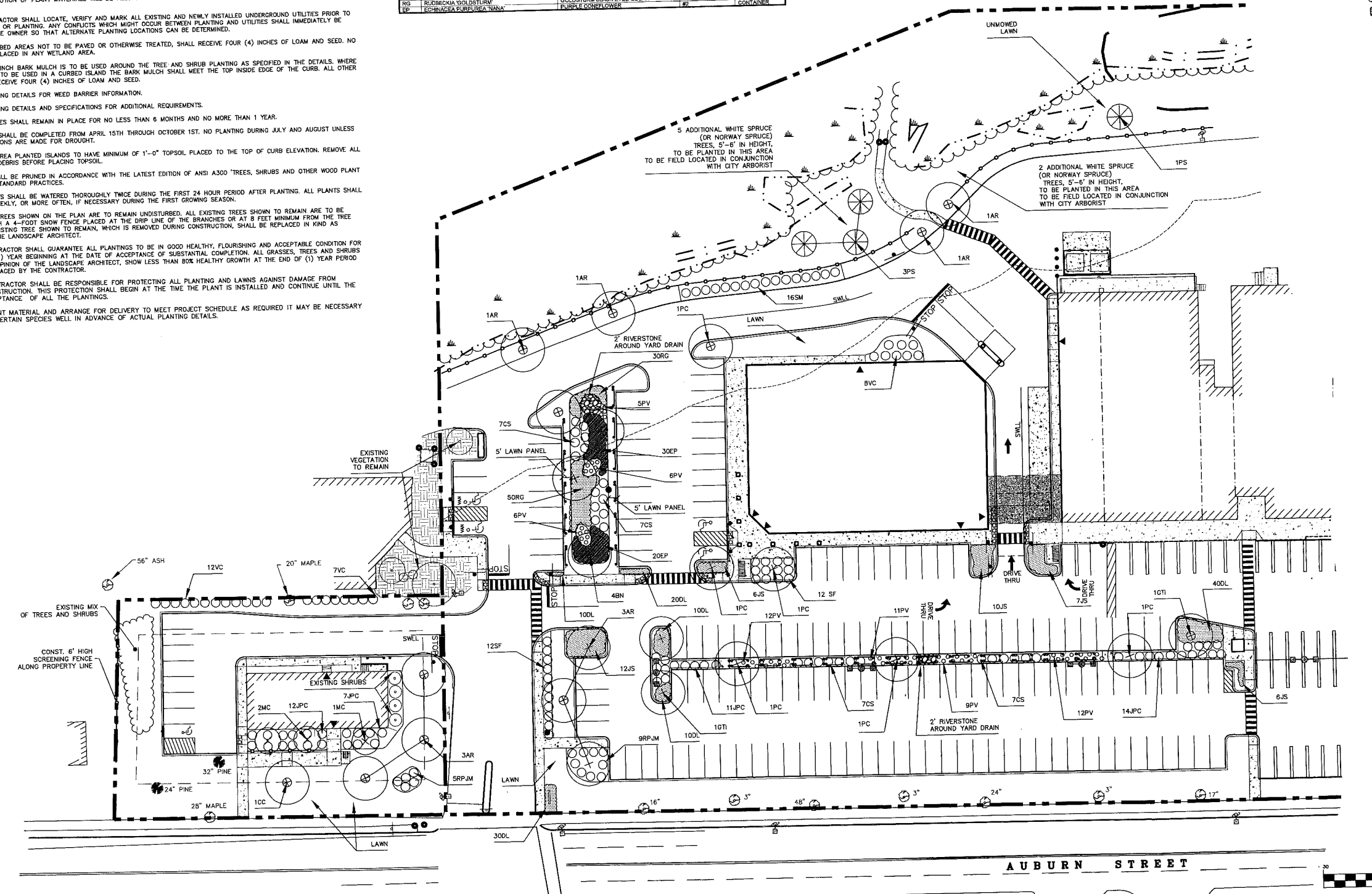
TREES	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
AR	ACER RUBRUM 'RED SUNSET'	RED SUNSET RED MAPLE	2 1/2" - 3" CALIPER	B & B
CC	CORYLUS COLLEMA	TURKISH FILBERT	2 1/2" - 3" CALIPER	B & B
GTI	GLADIOLUS TRICANTHOS 'SKYLINE'	SKYLINE HONEYLOCUST	2 1/2" - 3" CALIPER	B & B
PC	PIRUS CALLEIANA 'QUARTICLEAR'	QUARTICLEAR PEAR	2 1/2" - 3" CALIPER	B & B
MC	MALUS CORALBURST	CORALBURST CRABAPPLE	2 1/2" - 3" CALIPER	B & B
AC	AMALANCHIER CANADENSIS	SHADBLOW SERVICE BERRY	7' - 8' HT	B & B CLUMP
ER	ERUCA NORDICA 'HERITAGE'	HERITAGE ROSE BERRY	7' - 8' HT	B & B
PS	PRUNUS STROBUS	WHITE PINE	8' - 12' CLUMP	B & B

SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SM	SYRIGA MEYERI 'PALIBIN'	DWARF KOREAN LILAC	2 1/2" - 3" HT	CONTAINER
RPJM	RHODOCODENDRON 'PJM'	PJM RHODOCENDRON	18" - 24" SPREAD	CONTAINER
JPC	JUNIPERUS CHINENSIS 'FITZGERIANA COMPACTA'	COMPACT FITZGER JUNIPER	18" - 24" SPREAD	CONTAINER
VC	VIBURNUM CASSINOIDES	WITHERED VIBURNUM	2 1/2" - 3" HT	CONTAINER
SP	SPIREA PROEBELI	PROEBEL SPIREA	18" - 24" HT	CONTAINER
CS	CORNUS SERICEA 'ALLMANS COMPACT'	ALLMANS COMPACT RED STEM DOGWOOD	8"	CONTAINER

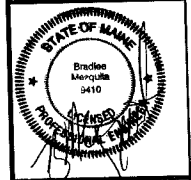
GROUNDCOVER & PERENNIALS	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SI	SILVENSIS 'SIERRA SPREADER'	SIERRA SPREADER JUNIPER	18" - 24" SPREAD	CONTAINER
DL	DIEMEROCALLIS 'STELLA DORO'	STELLA DORO DAISY	8"	CONTAINER
PV	PANICUM VIRGATUM 'SHEVANSOAH'	SHEVANSOAH SWITCH GRASS	8"	CONTAINER
RG	RUDIBECKIA 'SOLDATURN'	GOLDSTURM BLACK EYED SUSAN	8"	CONTAINER
EP	ECHINACEA 'PURPUREA NANA'	PURPLE CONEFLOWER	8"	CONTAINER

LEGEND

- PROPERTY (LEASE) LINE
- 75' WETLAND BUFFER
- EDGE OF WETLAND
- EXISTING TREE LINE
- PROPOSED TREE LINE
- PROPOSED CONCRETE SIDEWALK/PAD
- PROPOSED SIGN
- PROPOSED BOLLARD
- PROPOSED LIGHT POLE BASE
- PROPOSED TREES
- PROPOSED SHRUBS
- PROPOSED GROUND COVER



No.	Description	Appd.	Date

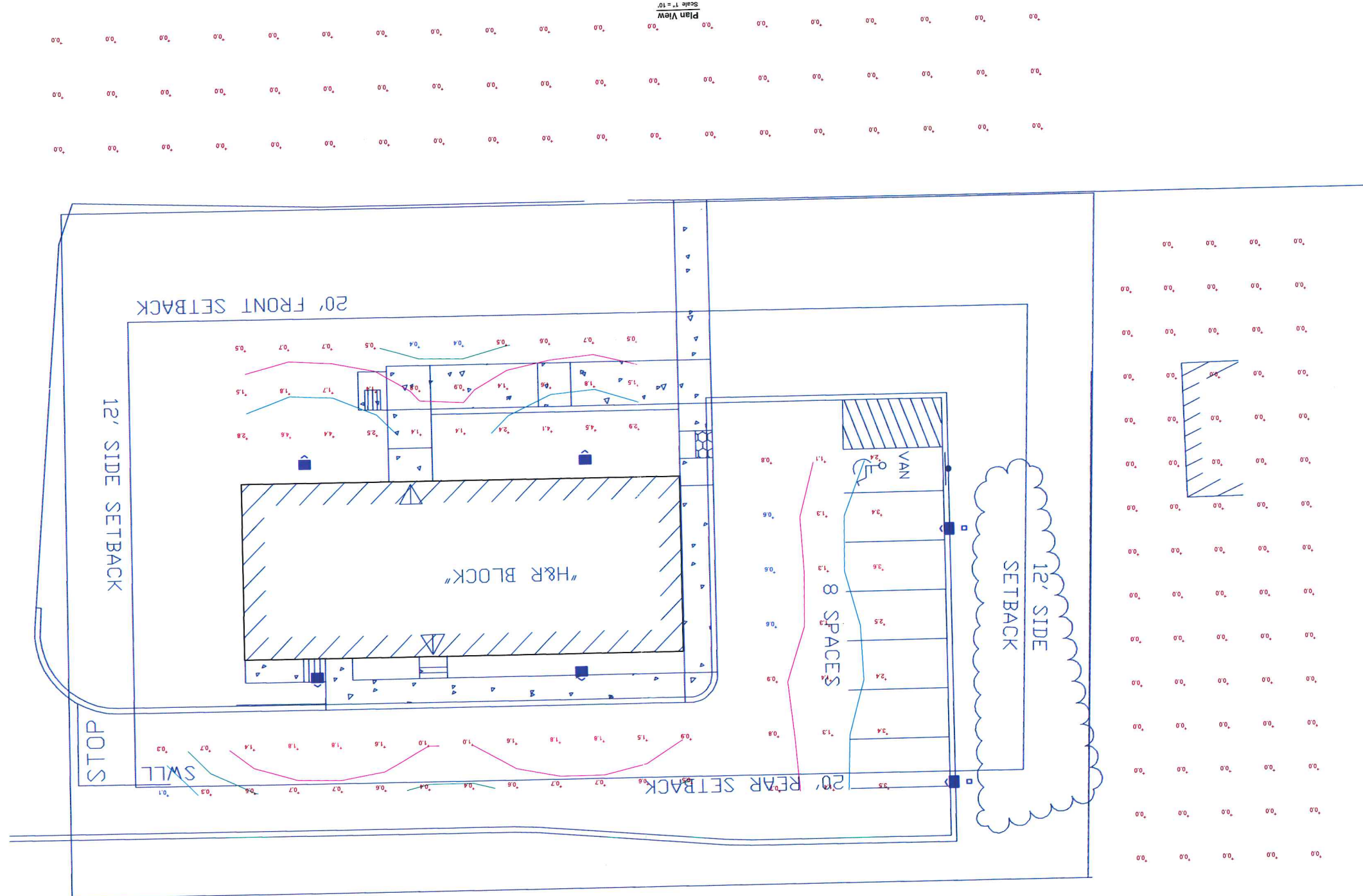


DATE: AUGUST 18, 2009
 SCALE: AS SHOWN
 DESIGNED BY: SAM
 DRAWN BY: SAM
 APPROVED BY: BY/BLM
 PROJECT NO: 2042B
 FILE NO: 2042B-CONSTDWG

**NORTHGATE PLAZA
 AUBURN STREET
 PORTLAND, MAINE**

**APPLEDORE
 ENGINEERING**
 177 CORPORATE DRIVE
 PORTSMOUTH, NEW HAMPSHIRE 03801
 (603) 433-8818
 aei@appledoreeng.com

H&R Block
 rec'd 8/19/09



LUMINAIRE SCHEDULE

Symbol	Label	Qty	Catalog Number	Description	Lamp	Flt%	Lumens	LLF	Watts
■	B	4	H810 1005 SR3	Hobasane-ROADWAY AREA REFLECTOR TYPE3 REFLECTOR METAL HALIDE	ONE 100-WATT CLEAR SR3 IES	H810 1505	9000	0.81	130
■	C	2	H810 1505 SR3	Hobasane-ROADWAY AREA REFLECTOR TYPE3 REFLECTOR METAL HALIDE	ONE 150-WATT CLEAR SR3 IES	H810 1505	15800	0.81	180

STATISTICS

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Area to Back of H&R Block +	+	0.9 fc	1.8 fc	0.1 fc	18.0:1	9.0:1
Area to Front of H&R Block +	+	1.7 fc	4.6 fc	0.4 fc	11.5:1	4.3:1
Parking Area H&R Block +	+	1.7 fc	3.6 fc	0.6 fc	6.0:1	2.8:1
Property Line to North of +	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
Property Line Auburn Street +	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A

LUMINAIRE LOCATIONS

No.	Label	MH	Orientation
1	B	12.0	180.0
2	B	12.0	180.0
3	B	12.0	0.0
4	B	12.0	0.0
5	C	13.0	90.0
6	C	13.0	90.0

Designer MRW
 Date August 19, 2009
 Scale
 Drawing No.

North-Gate Plaza
 H&R Block Exterior Lighting
 T.A. Napolitano

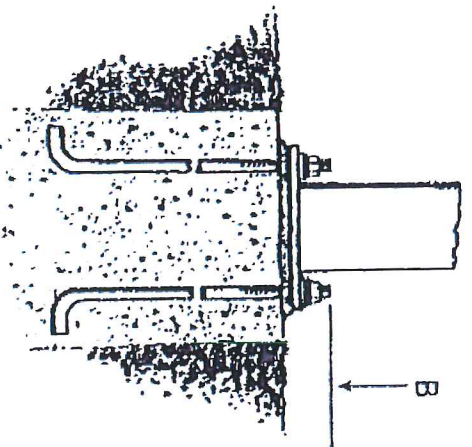
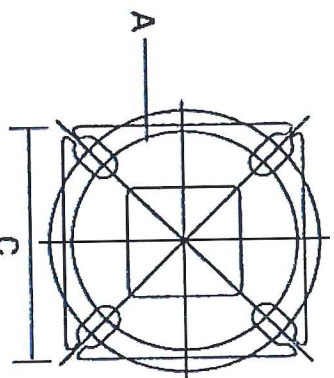


HOLSSS Technical Information

EPA (ft²) with 1.3 gust

Catalog Number	Pole mount ht. (ft.)	Pole Shaft Size (in. x ft.)	Wall Thick. (in.)	Gauge	80 mph Max. wt.	90 mph Max. wt.	100 mph Max. wt.	Max. Bolt Circle (in.)	Bolt Size (in. x in. x in.)	Approx. Ship wt. (lbs.)
HOLSSS 10 4C	10	4.0 x 10.0	0.125	11	30.6	765	23.8	595	18.9	473
HOLSSS 12 4C	12	4.0 x 12.0	0.125	11	24.4	610	18.8	470	14.8	370
HOLSSS14 4C	14	4.0 x 14.0	0.125	11	19.9	498	15.1	378	11.7	293
HOLSSS 16 4C	16	4.0 x 16.0	0.125	11	15.9	398	11.8	295	8.9	223
HOLSSS 18 4C	18	4.0 x 18.0	0.125	11	12.6	315	9.2	230	6.7	168
HOLSSS 20 4C	20	4.0 x 20.0	0.125	11	9.6	240	6.7	167	4.5	150
HOLSSS 20 4G	20	4.0 x 20.0	0.188	7	16.5	415	12.25	310	9.3	240
HOLSSS 20 5C	20	5.0 x 20.0	0.125	11	17.7	443	12.7	343	9.4	235
HOLSSS 20 5G	20	5.0 x 20.0	0.188	7	28.1	703	21.4	535	15.2	405
HOLSSS 25 4C	25	4.0 x 25.0	0.125	11	4.8	150	2.6	100	1.0	50
HOLSSS 25 4G	25	4.0 x 25.0	0.188	7	10.8	270	7.7	188	5.4	135
HOLSSS 25 5C	25	5.0 x 25.0	0.125	11	9.8	245	6.3	157	3.7	150
HOLSSS 25 5G	25	5.0 x 25.0	0.188	7	18.0	350	12.6	350	9.0	250
HOLSSS 30 4G	30	4.0 x 30.0	0.188	7	6.4	160	4.0	100	2.3	58
HOLSSS 30 5C	30	5.0 x 30.0	0.125	11	4.7	150	2.0	50	—	—
HOLSSS 30 5G	30	5.0 x 30.0	0.188	7	10.7	267	6.7	167	3.9	100
HOLSSS 35 6G	35	5.0 x 35.0	0.188	7	15.7	392	10.2	257	6.4	160
HOLSSS 35 6G	35	6.0 x 35.0	0.188	7	5.9	150	2.5	100	—	—
HOLSSS 39 6G	39	6.0 x 39.0	0.188	7	9.5	237	5.0	150	1.8	50

Base Data						
Shaft base size	Bolt circle A	Bolt projection B	Base square	Anchor bolt description	Warehouse anchor bolt description	Template number
4"C	8 1/2"	2 1/2"-4"	8"	HOLABSSS-4C	AB18-0	PJ50004
4"G	8 1/2"	2 1/2"-4"	8"	HOLABSSS-4G	AB30-0	PJ50004
5"	10"-12"	3 1/8"-4"	11"	HOLABSSS-5	AB36-0	PJ50010
6"	11"-13"	3 1/2"-4"	12 1/2"	HOLABSSS-6	AB36-0	PJ50011



INSTALLATION NOTES:
 Installation requires grout to be packed under base (B) to ensure full contact with foundation. Factory-supplied templates must be used when setting anchor bolts. Holophane and Acuity Brands Lighting will not accept claim for incorrect anchorage placement due to failure to use factory templates.
 Do not erect poles without having fixtures installed. If poles are stored outside, all protective wrapping must be removed immediately to prevent finish damage.

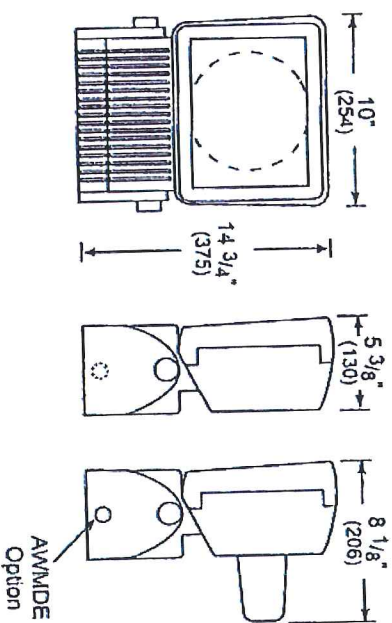
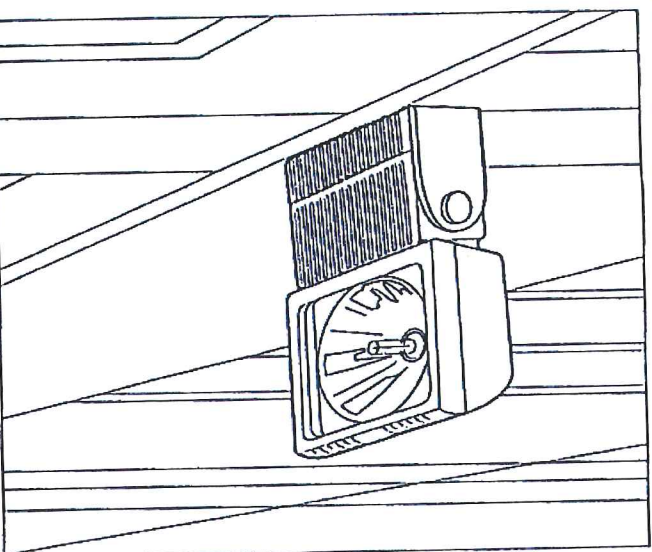
ORDER #:
 TYPE:
 DRAWN:
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 DRAWING NO:US-

THIS DRAWING, WHEN APPROVED, SHALL BECOME THE COMPLETE SPECIFICATION FOR THE MATERIAL TO BE FURNISHED BY HOLOPHANE ON THE ORDER NOTED ABOVE. A UNIT OF SIMILAR DESIGN MAY BE SUPPLIED, BUT ONLY AFTER APPROVAL BY THE CUSTOMER IN WRITING. ON POLE ORDERS AN ANCHOR BOLT TEMPLATE PRINT WILL BE SUPPLIED WITH EACH ANCHOR BOLT ORDER TO MATCH THE POLE PROVIDED. THIS PRINT IS THE PROPERTY OF HOLOPHANE AND IS LOANED SUBJECT TO RETURN UPON DEMAND AND UPON EXPRESS CONDITION THAT IT WILL NOT BE USED DIRECTLY OR INDIRECTLY IN ANY WAY DETRIMENTAL TO OUR INTERESTS, AND ONLY IN CONNECTION WITH MATERIAL FURNISHED BY HOLOPHANE.



Specialty
Landscape

**HOLSSS POLE
SQUARE
STRAIGHT STEEL**



Wall mount configuration accommodates +/- 20° aiming adjustment.

ORDERING INFORMATION:

MODEL: H810 100S VOLTAGE: MD DISTRIBUTION: SR3 MOUNTING: AWM ACCESSORIES: _____ OPTIONS: _____ LAMP: LPI FINISH: BZ

EXAMPLE:

MODEL: H810 50M 120 FL _____ AWM _____ WRG _____ SF _____ LPI _____ BK _____

<input type="checkbox"/> Model H810	<input type="checkbox"/> Voltage 120	<input type="checkbox"/> Distribution Flood Lights	<input type="checkbox"/> Mounting AWM	<input type="checkbox"/> WRG	<input type="checkbox"/> SF	<input type="checkbox"/> LPI	<input type="checkbox"/> BK
<input type="checkbox"/> 208	<input type="checkbox"/> Flood Spot	<input checked="" type="checkbox"/> AWMM Adjustable Wall Mt	<input type="checkbox"/> WRM	<input type="checkbox"/> Options Photo Control	<input type="checkbox"/> Lamp LPI Lamp Included	<input type="checkbox"/> Finish BK Black	
<input type="checkbox"/> 220	<input type="checkbox"/> SP Nar.	<input type="checkbox"/> SR3 IES Type II	<input type="checkbox"/> AWMD Adjustable Wall Mt	<input type="checkbox"/> PE Photo Cell	<input type="checkbox"/> DF Double Fuse	<input type="checkbox"/> BD Dark Blue	
<input type="checkbox"/> 240	<input type="checkbox"/> MFL Med. Flood	<input type="checkbox"/> SR4SC IES Type III	<input type="checkbox"/> Direct Entry	<input type="checkbox"/> SF Single Fuse	<input type="checkbox"/> GEB ¹ Generic Electronic Ballast	<input type="checkbox"/> BM Brown	
<input type="checkbox"/> 277	<input type="checkbox"/> FL Flood	<input type="checkbox"/> SR5 IES Type IV	<input type="checkbox"/> Accessories Internal ISS ² Internal Source Shield	<input type="checkbox"/> DF ³ Double Fuse	<input type="checkbox"/> GEB ¹ Generic Electronic Ballast	<input type="checkbox"/> BZ Bronze	
<input type="checkbox"/> 480	<input type="checkbox"/> MA - wired to 120V	<input type="checkbox"/> SR5S IES Type V	<input type="checkbox"/> Internal ISS ² Internal Source Shield	<input type="checkbox"/> SF ⁴ Single Fuse	<input type="checkbox"/> GEB ¹ Generic Electronic Ballast	<input type="checkbox"/> GN Green	
<input type="checkbox"/> 120/277	<input type="checkbox"/> MB - wired to 208V		<input type="checkbox"/> CFAMB Color Filter Amber	<input type="checkbox"/> DF ³ Double Fuse	<input type="checkbox"/> GEB ¹ Generic Electronic Ballast	<input type="checkbox"/> GR Gray	
	<input type="checkbox"/> MC - wired to 240V		<input type="checkbox"/> CFRED Color Filter Red	<input type="checkbox"/> SF ⁴ Single Fuse	<input type="checkbox"/> GEB ¹ Generic Electronic Ballast	<input type="checkbox"/> WH White	
	<input type="checkbox"/> MD - wired to 277V		<input type="checkbox"/> CFBLU Color Filter Blue	<input type="checkbox"/> DF ³ Double Fuse	<input type="checkbox"/> GEB ¹ Generic Electronic Ballast	<input type="checkbox"/> SD Sandstone	
	<input type="checkbox"/> MWOLT ⁵		<input type="checkbox"/> CFGRN Color Filter Green	<input type="checkbox"/> SF ⁴ Single Fuse	<input type="checkbox"/> GEB ¹ Generic Electronic Ballast	<input type="checkbox"/> AS As Specified	
			<input type="checkbox"/> External ¹	<input type="checkbox"/> SF ⁴ Single Fuse	<input type="checkbox"/> GEB ¹ Generic Electronic Ballast		
			<input type="checkbox"/> HS House Side Shield	<input type="checkbox"/> SF ⁴ Single Fuse	<input type="checkbox"/> GEB ¹ Generic Electronic Ballast		
			<input type="checkbox"/> WRG Wire Rock Guard	<input type="checkbox"/> SF ⁴ Single Fuse	<input type="checkbox"/> GEB ¹ Generic Electronic Ballast		

Lamp Type

<input type="checkbox"/> MH	50M ED17	Med.
<input type="checkbox"/>	70M ED17	Med.
<input type="checkbox"/>	100M ED17	Med.
<input type="checkbox"/>	150M ED17	Med.
<input type="checkbox"/>	175M ED17	Med.
<input type="checkbox"/>	70CMT6 T6	G12
<input type="checkbox"/>	150CMT6 T6	G12
HPS		
<input type="checkbox"/>	50S E17	Med.
<input type="checkbox"/>	70S E17	Med.
<input type="checkbox"/>	100S E17	Med.
<input type="checkbox"/>	150S E17	Med.

Accessories

Internal ISS² Internal Source Shield

CFAMB Color Filter Amber

CFRED Color Filter Red

CFBLU Color Filter Blue

CFGRN Color Filter Green

External¹

HS House Side Shield

WRG Wire Rock Guard

Notes:

¹ MWOLT is standard on all Fluorescent lamps and MH lamps with GEB ballast option

² Not available with HFL, SR2, SR3, SR5S. Standard with NSP, VFL, SR4SC

³ Each option is mutually exclusive, choose one

⁴ SF is only available with 120, 277 or 347 volts on HID only

⁵ DF is only available with 208, 220 or 240 volts on HID only

⁶ Electronic ballasts are only available with MH lamps to 150 watts and MWOLT voltage.

Specifications

MATERIAL: Die cast copper free aluminum (A380) housing & doors. **LAMP:** ED-17 medium base to 175W, Elliptical E27 base to 150W, T6 G12 base to 150W, Quartz T4 Mini-can base to 250W. **REFLECTORS:** High purity anodized specular, semi-specular, or patterned lighting sheet in various configurations to provide optimum optical performance and uniformity. Reflectors are interchangeable with two screws. Consult factory for details. **LIGHT DISTRIBUTIONS:** Figure A: Area: IES Type II, IES Type III, IES Type IV & IES Type V. Figure B: Flood: Narrow Spot, Spot, Narrow Flood, Medium Flood, Flood, Wide Flood. **LENS:** Flat tempered glass for maximum resistance to impact and thermal shock. **MOUNTING:** AWM: Cast aluminum wall mount plate for mounting over 4-0/4-S recessed J-Box. Refer to installation instruction for mounting foot print. **AWM/DE:** Surface conduit direct entry available for thru branch wiring, 3/4" NPT drilling standard. Receivers in wall mount plate allow fixture to be hung, freeing hands for electrical splices. Fixture head may be oriented up or down simply by loosening yoke screws and rotating fixture head 180°. Yoke housing allows fixture head to be aimed 20° up or down. **GLARE CONTROL:** Internal elements provide unlimited versatility in beam control. House Side Shield available for External Glare Control. **BALLAST:** High power factor magnetic core and coil standard. Electronic ballast optional. **FINISH:** Textured TGIC powder coat polyester finish (see ordering guide for available colors) **LISTING:** U.L., C.U.L., CE **WEIGHT:** 26.5 lbs. **EPA:** .56

ORDER #:

TYPE:

DRAWN:

DATE:

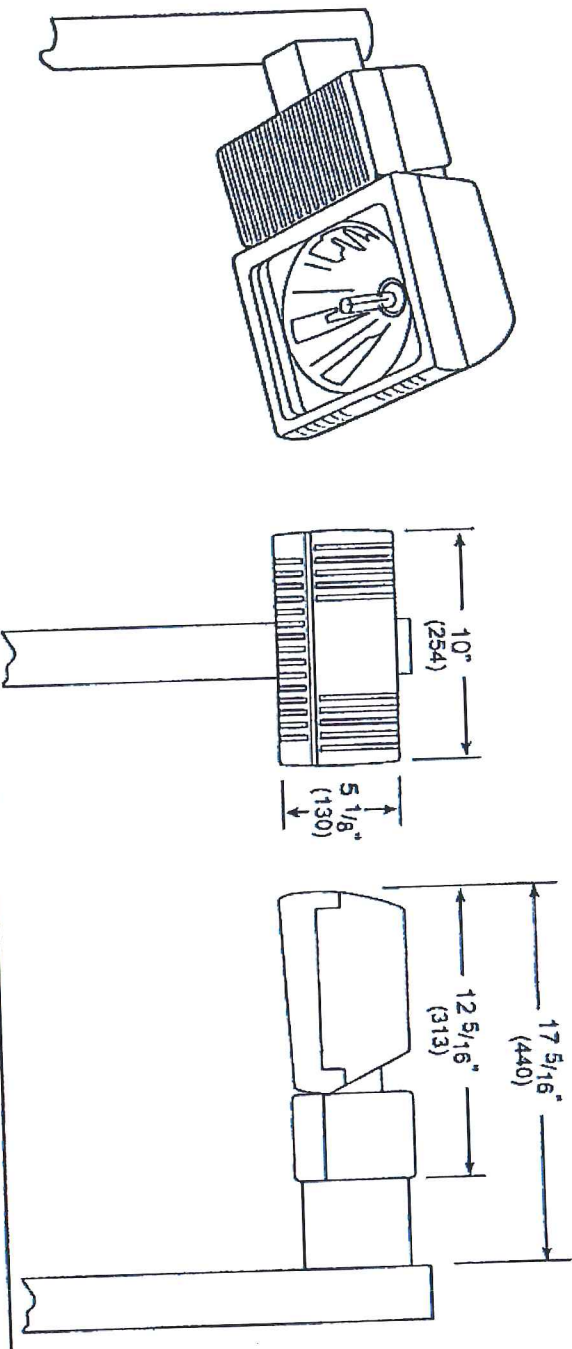
DRAWING NO: US-

THIS DRAWING, WHEN APPROVED, SHALL BECOME THE COMPLETE SPECIFICATION FOR THE MATERIAL TO BE FURNISHED BY HOLOPHANE ON THE ORDER NOTED ABOVE. A UNIT OF SIMILAR DESIGN MAY BE SUPPLIED, BUT ONLY AFTER APPROVAL BY THE CUSTOMER IN WRITING. ON POLE ORDERS AN ANCHOR BOLT TEMPLATE PRINT WILL BE SUPPLIED WITH EACH ANCHOR BOLT ORDER TO MATCH THE POLE PROVIDED. THIS PRINT IS THE PROPERTY OF HOLOPHANE AND IS LOANED SUBJECT TO RETURN UPON DEMAND AND UPON EXPRESS CONDITION THAT IT WILL NOT BE USED DIRECTLY OR INDIRECTLY IN ANY WAY DETRIMENTAL TO OUR INTERESTS, AND ONLY IN CONNECTION WITH MATERIAL FURNISHED BY HOLOPHANE.



Specialty Landscape

H810 AWM Adjustable Wall Mount



ORDERING INFORMATION:

MODEL H810 150S MD SR3 PMEF HS LPI BK
 LAMP TYPE VOLTAGE DISTRIBUTION MOUNTING ACCESSORIES OPTIONS LAMP FINISH

EXAMPLE:

Model H810 100M 120 SR2 PMEF HS SF LPI BK
 Voltage 120 208 220 240 277 347 480 120/277
 Distribution MA- wired to 120V MB- wired to 208V MC- wired to 240V MD- wired to 277V MA- wired to 120V MB- wired to 208V MC- wired to 240V MD- wired to 277V
 Mounting PMEF Sq. Pole PME3 3" Dia. Pole PME4 4" Dia. Pole
 Accessories External HS² House Side Shield
 Options LPI Lamp Included BK Black BD Dark Blue BM Brown Metallic BZ Bronze GH Graphite GN Green GR Gray WH White SD Sandstone AS As Specified
 Photo Control PE Photo Cell
 Fusing SF Single Fuse DF Double Fuse
 Ballast GEB Generic Electronic Ballast

Lamp Type MH 50M ED17 Med. 70M ED17 Med. 100M ED17 Med. 150M ED17 Med. 175M ED17 Med. 70CMT6 T6 G12 150CMT6 T6 G12
 HPS 50S E17 Med. 70S E17 Med. 100S E17 Med. 150S E17 Med.

- Notes:
 1 MVOLTT is standard on all Fluorescent lamps and MH lamps with GEB ballast option
 2 HS only available with SR2 & SR3 distributions.
 3 SF is only available with 120, 277 or 347 volts on HID only
 4 DF is only available with 208, 220 or 240 volts on HID only.
 5 Electronic ballasts are only available with MH lamps to 150 watts and MVOLTT voltage.

Specifications

MATERIAL: Die cast copper free aluminum (A360) housing and doors. **LAMP:** ED-17 Med. base to 175W, Elliptical E27 base to 150W, T6 G12 base to 150W, Quartz T4 Mini-can base to 250W. **REFLECTORS:** High purity anodized specular, semi-specular, or patterned lighting sheet in various configurations to provide optimum optical performance and uniformity. Reflectors are interchangeable with two screws. Consult factory for details. **LIGHT DISTRIBUTIONS:** Area: IES Type II, IES Type III, IES Type IV, and IES Type V. **LENS:** Flat tempered glass for maximum resistance to impact and thermal shock. **MOUNTING:** Steel mounting plates for attachment to pole using a unique block/receiver assembly. The block bolts to a pole and engages the receiver within the integral arm. A single threaded locking fastener secures the fixture to pole. **GLARE CONTROL:** Internal elements provide unlimited versatility in beam control. House Side Shield available for external glare control. **BALLAST:** High power factor magnetic core and coil ballast standard. Electronic ballast optional. **FINISH:** Textured TGIC powder coat polyester finish (see ordering guide for available colors) **LISTING:** U.L., C.U.L. EPA. 0.56. **WEIGHT:** 26.5 lbs.

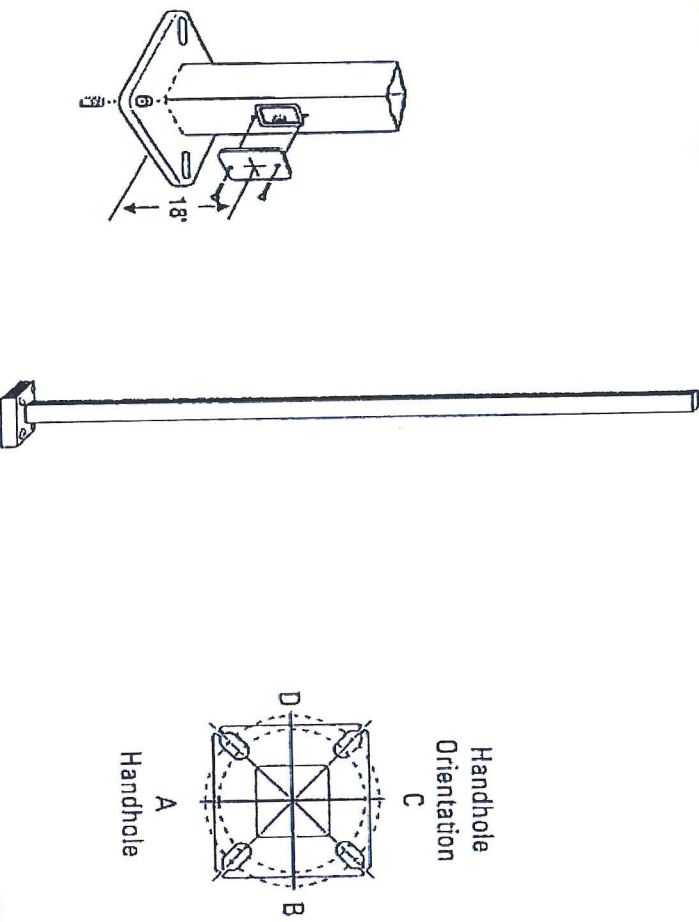
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Specialty Landscape

H810 PM Pole Mount

ORDER #: _____
 TYPE: U
 DRAWN: _____
 DATE: _____
 DRAWING NO: US- _____



ORDER INFORMATION: HOLSSS 4 4 C DM19AS FB C BZ

EXAMPLE: HOLSSS 39 6 G DM19AS FG120 DNA

<input checked="" type="checkbox"/> HOLSSS Square	<input checked="" type="checkbox"/> 4 Square	<input type="checkbox"/> C .125	Options		Finish	
Straight	<input type="checkbox"/> 5 Square	<input type="checkbox"/> G .188	<input checked="" type="checkbox"/> FBC Full Base Cover	<input type="checkbox"/> PER² Nema twist-lock receptacle	<input type="checkbox"/> BK Black	<input type="checkbox"/> BD Dark Blue
Height(ft.)	<input type="checkbox"/> 6 Square		<input type="checkbox"/> L/AB Less Anchor Bolts only located at pole top	<input type="checkbox"/> VD Vibration Damper TP Tamper Proof screws provided with base cover	<input type="checkbox"/> BM Brown	<input type="checkbox"/> BZ Bronze
<input type="checkbox"/> 10			<input type="checkbox"/> HH₃₅ Horizontal Arm	<input type="checkbox"/> FDL₃ Fastoon Duplex Outlet less electrical	<input type="checkbox"/> GR Gray	<input type="checkbox"/> WH White
<input type="checkbox"/> 12			<input type="checkbox"/> H₃₄ Horizontal Arm	<input type="checkbox"/> FGI₃ Fastoon GFI Outlet less electrical	<input type="checkbox"/> SD Sandstone	<input type="checkbox"/> AS As Specified
<input type="checkbox"/> 14			<input type="checkbox"/> PT Open top	<input type="checkbox"/> HH₃₅ Extra Handhole		
<input type="checkbox"/> 16			<input type="checkbox"/> T20 2-3/8" O.D. (2" NPS)			
<input type="checkbox"/> 18			Drill Mounting			
<input type="checkbox"/> 20			<input type="checkbox"/> H810/H820 PM			
<input type="checkbox"/> 25			<input checked="" type="checkbox"/> DM19AS 1 at 90°			
<input type="checkbox"/> 30			<input type="checkbox"/> DM28AS 2 at 180°			
<input type="checkbox"/> 35			<input type="checkbox"/> DM29AS 2 at 90°			
<input type="checkbox"/> 39			<input type="checkbox"/> DM39AS 3 at 90°			
			<input type="checkbox"/> DM49AS 4 at 90°			

NOTES:

- When ordering tenon mounting and drill mounting for the same pole, follow this example: DM28/T20. The combination requires an extra handhole.
- Nema twist-lock photo control by others. Not available with tenon mounting.
- Specify location and orientation when ordering an option is required.
For 1st space: Specify the height in feet above base of pole. Example: 5ft = 5 and 20ft = 20
For 2nd space: Specify orientation from handhole (A,B,C,D)
Refer to the Handhole Orientation diagram on this page.
- Horizontal arm is 18" x 2-3/8" O.D. tenon standard.
- Combination of tenon-top and drill mount requires extra handhole.

Specifications

SHAFT: Weldable grade, hot-rolled, commercial-quality carbon steel tubing with a minimum yield of 55,000 psi (11-gauge), 50,000 psi (7-gauge). Uniform wall thickness of .125" or .188". Shaft is one piece with a longitudinal, electric, resistance weld. Uniformly square in cross-section with flat sides, small corner radii and excellent torsional qualities. Available shaft widths are 4, 5, and 6 inches. **ANCHOR BASE:** Fabricated from hot-rolled carbon steel plate that meets or exceeds a minimum yield strength of 36,000 psi. The anchor base is provided with slotted holes. Full-base cover available, finished to match pole. **ANCHOR BOLT:** Top portion galvanized per ASTM A-153. Made of 3/4" or 1" diameter steel rod having a minimum yield strength of 55,000 psi. **GROUNDING:** Nut holder located immediately inside hand-hole rim having a minimum yield strength of 3"x5" for all shafts. Included its steel cover with attachment screws. **TOP CAP:** Weatherproof plastic cap is provided for drill-mount poles. **FINISH:** Dark bronze polyester powder paint (DDB) standard; other paint finishes available. See ordering guide for color options. **FASTENERS:** Fasteners are high-strength, galvanized zinc-plated or stainless steel.

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Specialty Landscape

HOLSSS POLE SQUARE STRAIGHT STEEL

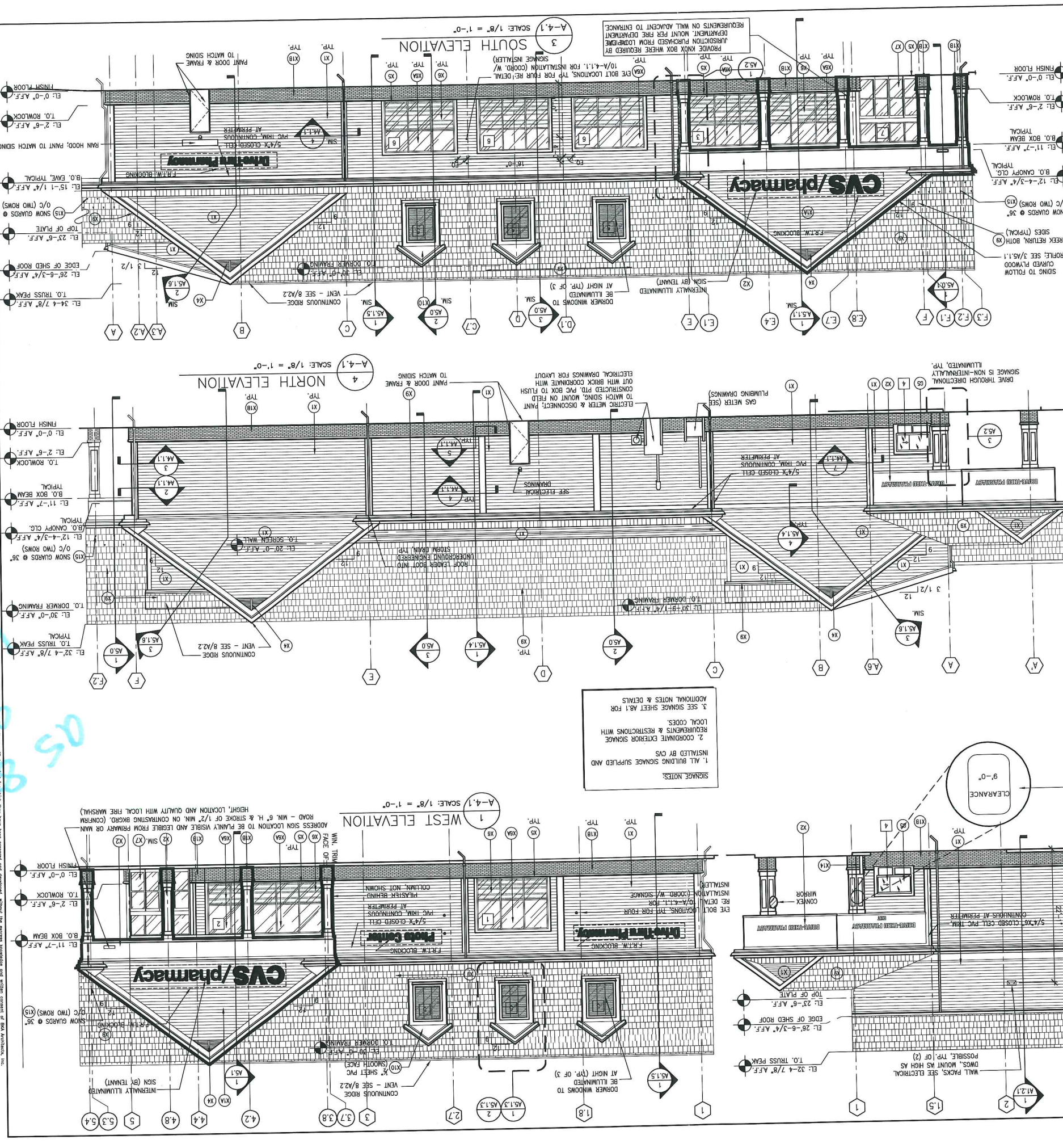
ORDER #: _____
 TYPE: C-Pole
 DRAWN: _____
 DATE: _____
 DRAWING NO: US- _____

HOLSSS POLE_REV1

TAG	MATERIAL/MTG.	COLOR/NO.	NOTES
X1	WEZALUT [®] RESIN-BONDED WOOD SIGNING PANEL SYSTEM	BENJAMIN MOORE #1600	SEE NOTE #4. PROVIDE PAINTED SAMPLE TO ARCHITECT.
X1A	WEZALUT [®] RESIN-BONDED WOOD SIGNING PANEL SYSTEM	BENJAMIN MOORE #319-79	HERITAGE 6 [®] EXPOSURE. TRADITION (SMOOTH SURFACE). SEE NOTE #4. PROVIDE PAINTED SAMPLE TO ARCHITECT.
X1B	EXTERIOR FACE BRICK	CIS RED	
X1C	EXTERIOR CEDAR CLAPBOARD SIGNING SYSTEM		PAINT & PAINT TO MATCH EXISTING
X1D	CALU BLOCK (SPR FACED) SINGLE SCOPE	NATURAL GSF 000 [®] (TO MATCH EXISTING)	MULTIFACED BY GENEST CONCRETE, SAFFORD, ME (BATCH KEY: 207-324-2250 X155)
X1E	EXTERIOR FACE BRICK	COORDINATE WITH GENEST CONCRETE, SAFFORD, ME (BATCH KEY: 207-324-2250 X155)	
X1F	WOOD CROWN MOLDING		PROVIDE IN CLOSED CELL PVC IF AVAILABLE
X2	CLOSED CELL PVC TRIM	BENJAMIN MOORE #319-79 (TYPICAL AT ALL PVC TRIM)	PROVIDE PAINT SAMPLE TO ARCHITECT; SEE NOTE #4
X3	CLOSED CELL SHEET PVC CLADDING	5/4" ABRUATING WOOD	PROVIDE PAINT SAMPLE TO ARCHITECT; SEE NOTE #4
X4	FRON DEGRADATION		BENJAMIN MOORE #319-79
X5	MINI/DOOR STORAGE	WASPAR IND. COATING #914228, COLONIAL WHITE	Tel: 1-800-366-3698
X6	1" INSULATED FLOAT GLASS	SPANDEK	
X6A	1" INSULATED FLOAT GLASS	OPALQUE SUBODER GREY	
X7	1/4" LAM SWEET GLASS	CLEAR	DOORS & SIDELIGHTS
X8	PREFINISHED METAL	CORNER W/ MASONRY	
X9	PIERGLASS ASPHALT	PEPPER BLEND	CAP TRIMLINE 30 YEAR - ARCHITECTURAL SHINGLE OR SHINGLE
X10	BENJAMIN MOORE	AIRLUX WHITE #319-79	NOT FACTORY PRIMED & PAINTED TO MATCH EXTERIOR SURFACES
X11	EXTERIOR PIPE BOLLARDS	SAFETY YELLOW	4208-9400
X12	STAINLESS STEEL SNOW GUARDS	ZALSKI SHOW GUARDS, MODEL #8 (STAINLESS STEEL)	0.36" O/C

EXTERIOR ELEVATIONS NOTES:

- TYPICAL WEZALUT SIGNING SYSTEM. PROVIDE CLIPPING, FASTENERS AND ALL APPURTENANCES AS PER MFG'S STANDARD DETAILS. ACCESSORIES, TRIMMINGS, RECOMMENDATIONS AND INDUSTRY STANDARDS FOR COMPLIANCE TO WARRANTY. PRINTED INSTRUCTIONS, RECOMMENDATIONS AND INDUSTRY STANDARDS FOR COMPLIANCE TO WARRANTY.
- CHANGES SHALL BE USED. CONSULT MANUFACTURER FOR PROPER TERMINATION OF EXPOSED CUT ENDS. ALL JOINTS SHALL BE STAGGERED. NO VISUAL JOINT PATTERNS SHALL BE EVIDENT. PROVIDE PAINTABLE SEALANT AT JUNCTURE BET. SIGNING AND TRIM. (MAX 1/4").
- G.C. TO PROVIDE COLOR SAMPLES OF ALL PAINTED SIGNING AND TRIM PRIOR TO START OF WORK (AND ORDERING OF SIGNING).
- EXTERIOR TRIM FOR THE BUILDING SHALL BE CLOSED CELL PVC TRIM. WHERE THE DRAWINGS DENOTE "WOOD" AS OPPOSED TO "PVC", PROVIDE SAME PVC TRIM. (MA 01778, PH: 978-443-443-4911; FAX: 978-443-5904; E-MAIL: SHANDOR@CALU.COM)
- ALL JOINTS IN SHEET PVC SHALL BE FLUSH FILLED AND Sanded TO ELIMINATE SEAM.
- ALL PVC TRIM ABRUATING WEZALUT SIGNING SHALL BE 5/4" UNLESS NOTED OTHERWISE.



SIGNAGE NOTES:

- ALL BUILDING SIGNAGE SUPPLIED AND INSTALLED BY CVS.
- COORDINATE EXTERIOR SIGNAGE REQUIREMENTS & RESTRICTIONS WITH LOCAL CODES.
- SEE SIGNAGE SHEET AS.1 FOR ADDITIONAL NOTES & DETAILS.

REVISIONS:

NO.	DATE	DESCRIPTION
1	8/7/09	RTK
2	209017	

JOB NUMBER: 209017
DATE: 8/7/09
DRAWING BY: RTK
TITLE: EXTERIOR ELEVATIONS
SHEET NUMBER: A-4.1

DEVELOPER: A & D REALTY, LLC
 5 MILLITA DRIVE
 LEXINGTON, MA 02421

NEW
STORE NUMBER: 329
 NORTHGATE PLAZA
 91 AUBURN STREET
 PORTLAND, MAINE

CVS/pharmacy

CONSULTANT:

BKA Architects, Inc.
 Architecture + Interiors
 142 Crescent Street
 Brockton, MA 02302
 Tel: 508.583.5603
 Fax: 508.584.2914
 e-mail: bka@bkaarch.com



as submitted
8/25/09
amended as
from memo of
PB

1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"
2' 4' 8' 16'



*as submitted
8/25/09
amended as
from time of
PB*

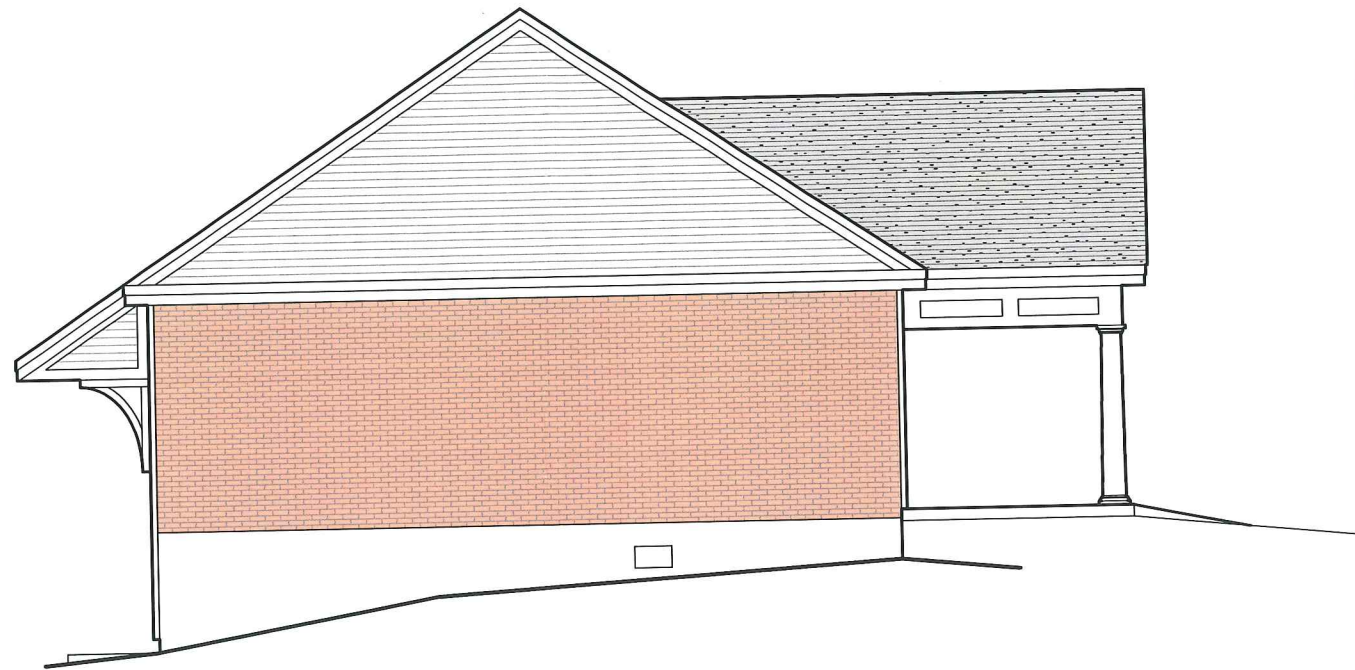
2 EAST ELEVATION
SCALE: 1/8" = 1'-0"
2' 4' 8' 16'





as submitted
8/25/09
amended as
from me g
PB

3 NORTH ELEVATION
SCALE: 1/8" = 1'-0"
2' 4' 8' 16'



as submitted
8/25/09
Cancelled as from
time of PB

4 WEST ELEVATION
SCALE: 1/8" = 1'-0"
2' 4' 8' 16'

**TAX MAP 375
LOT C-1
SITE DATA**

LOCATION: PORTLAND, MAINE
ZONING DISTRICT: B-2 COMMUNITY BUSINESS ZONE
(A PORTION OF THE LOT IS IN THE SF-STREAM PROTECTION ZONE)

PERMITTED USE: GENERAL BUSINESS AND PROFESSIONAL OFFICES, RETAIL ESTABLISHMENTS, RESTAURANTS.

CONDITIONAL USE: DRIVE-THRU WHICH IS ADJACENT TO ANY RESIDENTIAL USE OR ZONE

DIMENSIONAL REQUIREMENTS:

	REQUIRED	COMMUNITY BUSINESS (B-2) PROVIDED
MINIMUM LOT AREA:	10,000 SF	±900 FT
MINIMUM STREET FRONTAGE:	50 FT	±24 FT
MINIMUM YARD SETBACK:	0 FT	±26 FT
FRONT SETBACK:	0 FT	±82 FT
REAR SETBACK:	20 FT	±82 FT
SIDE SETBACK:	0 FT	±77%
REAR ABUTTING RESIDENTIAL:	80 %	<45 FT
MAXIMUM LOT COVERAGE:	80 %	
MAXIMUM HEIGHT:	45 FT	

* FRONT YARD SHALL NOT EXCEED THE AVERAGE DEPTH OF THE FRONT YARDS OF THE CLOSEST DEVELOPED LOTS ON EITHER SIDE. WHERE THE FRONT YARD EXCEEDS 10 FEET A PEDESTRIAN EDGE TREATMENT SHALL BE CONSTRUCTED.

PARKING REQUIREMENTS

TENANTS:	FLOOR AREA	REQUIREMENT:	REQUIRED:	PROVIDED:
SHAW'S	59,950 ± SF (1)	1/200 SF	300 SPACES	
STARBUCKS	1,870 ± SF	1/150 SF	13 SPACES	
OLYMPIA SPORTS	3,300 ± SF	1/200 SF	17 SPACES	
ROMARD'S HALLMARK	6,570 ± SF	1/200 SF	33 SPACES	
THE KENNEL SHOP	7,320 ± SF	1/200 SF	37 SPACES	
KEYBANK	1,780 ± SF	1/334 SF	6 SPACES	
VACANT (2)	7,165 ± SF	1/200 SF	36 SPACES	
UPS	3,270 ± SF	1/334 SF	10 SPACES	
TOWN AND COUNTRY	3,030 ± SF	1/334 SF	10 SPACES	
PROPOSED CVS	12,900 ± SF	1/200 SF	65 SPACES	
PROPOSED ATM	49 ± SF	1/334 SF	1 SPACE	
TOTAL:			528 SPACES	583 SPACES (3) (4)
BICYCLE SPACES:			42 SPACES (5)	22 SPACES
ADA ACCESSIBLE SPACES:			12 SPACES	13 SPACES

- NOTES:
(1) SHAW'S CALCULATION ALSO INCLUDES THE 2,000 SF DEDUCTION ALLOWED UNDER SECTION 14-332(H)
(2) VACANT USE ASSUMED AS A RETAIL ESTABLISHMENT.
(3) PARKING PROVIDED IN NORTHGATE PLAZA ASSUMES SHARED PARKING BETWEEN LESSORS.
(4) TOTAL PARKING EXCLUDES 13 SPACES WHICH ARE DESIGNATED TO TAX MAP 375, LOT C-39 (MEDICAL OFFICE BUILDING) AND 5 SPACES WHICH SHALL BE DESIGNATED TO TAX MAP 375, LOT C-23 (H&R BLOCK) BY EASEMENT.
(5) TWO BICYCLE PARKING SPACES FOR EVERY TEN MOTOR VEHICLE PARKING SPACES, PLUS ONE BICYCLE PARKING SPACE FOR EVERY HUNDRED REQUIRED MOTOR VEHICLE PARKING SPACES, PLUS ONE BICYCLE PARKING SPACE FOR EVERY TWENTY MOTOR VEHICLE PARKING SPACE OVER ONE HUNDRED. TWENTY-TWO BICYCLE SPACES HAVE BEEN PROVIDED WITHIN LIMIT OF WORK.

PARKING REQUIREMENTS FOR MEDICAL OFFICE BUILDING WITH PARKING EASEMENT ON SITE

TENANTS:	FLOOR AREA	REQUIREMENT:	REQUIRED:	PROVIDED:
MEDICAL OFFICE	9,941 ± SF	1/400 SF	25 SPACES	
TOTAL:			25 SPACES	25 SPACES

- NOTES:
(1) 13 SPACES ON NORTHGATE PLAZA ARE DESIGNATED TO TAX MAP 375, LOT C-39 BY EASEMENT.

**TAX MAP 375
LOT C-23
SITE DATA**

LOCATION: PORTLAND, MAINE
ZONING DISTRICT: R-P RESIDENTIAL PROFESSIONAL

PERMITTED USE: BUSINESS SERVICES AND PROFESSIONAL OFFICES

DIMENSIONAL REQUIREMENTS:

	REQUIRED	RESIDENTIAL PROFESSIONAL (R-P) PROVIDED
MINIMUM LOT AREA:	6,000 SF	23,480 SF
MINIMUM STREET FRONTAGE:	60 FT	190±FT
MINIMUM LOT WIDTH:	60 FT	189±FT
MINIMUM YARD SETBACK:	20 FT*	50±FT
FRONT SETBACK:	12 FT	32±FT
SIDE SETBACK:	20 FT	43±FT
REAR SETBACK:	20 FT	±0%
MAXIMUM IMPERVIOUS SURFACE:	70 %	±22 %
MINIMUM INTERIOR OPEN SPACE:	10% OF PARKING AREA	±22 %
MAXIMUM FLOOR AREA RATIO:	55 %	<45 FT
MAXIMUM HEIGHT:	45 FT	

* FRONT YARD SHALL NOT EXCEED THE AVERAGE DEPTH OF THE FRONT YARDS OF THE CLOSEST DEVELOPED LOTS ON EITHER SIDE. WHERE THE FRONT YARD EXCEEDS 10 FEET A PEDESTRIAN EDGE TREATMENT SHALL BE CONSTRUCTED.

PARKING REQUIREMENTS

OFFICES: 1/400 SF	13 SPACES	13 SPACES (1)
5,200/400		
ADA ACCESSIBLE SPACES:	1 SPACE	2 SPACES
BICYCLE SPACES:	2 SPACES	5 SPACES

NOTE:

(1) TOTAL PARKING INCLUDES 5 SPACES LOCATED ON TAX MAP 375, LOT C-1 WHICH ARE DESIGNATED TO TAX MAP 375, LOT C-23 (H&R BLOCK) BY EASEMENT.

SITE NOTES:

- STRIPE PARKING AREAS AS SHOWN, INCLUDING PARKING SPACES, STOP BARS, HANDICAP SYMBOLS, PAINTED ISLANDS, CROSS WALKS, ARROWS, LEGENDS AND CENTERLINES (ALL MARKINGS EXCEPT CENTERLINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING WHITE TRAFFIC PAINT, CENTERLINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING YELLOW TRAFFIC PAINT. ALL TRAFFIC PAINT SHALL MEET THE REQUIREMENTS OF MAASHTO M248 TYPE "T").
- ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS, LATEST EDITIONS.
- SEE DETAILS FOR PARKING STALL MARKINGS, HANDICAP SYMBOLS, SIGNS AND SIGN POSTS.
- CENTERLINES SHALL BE FOUR (4) INCH WIDE YELLOW LINES. STOP BARS SHALL BE EIGHTEEN (18) INCHES WIDE.
- PAINTED ISLANDS SHALL BE FOUR (4) INCH WIDE DIAGONAL LINES AT 3"-0" O.C. BORDERED BY FOUR (4) INCH WIDE LINES.
- THE CONTRACTOR SHALL EMPLOY A LICENSED ENGINEER/SURVEYOR TO DETERMINE ALL LINES AND GRADES. DESIGN ENGINEER TO PROVIDE COORDINATES FOR EDGE OF PAVEMENT, PC'S & PT'S.
- CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINE WITH RS-1 EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
- ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND/OR CITY CODES & SPECIFICATIONS.
- WORK WITHIN AUBURN STREET SHALL BE COORDINATED WITH CITY OF PORTLAND AND THE MEDOT.
- CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MYLARS AND IN DIGITAL FORMAT (DWG FILE) ON DISK TO THE OWNER AND ARCHITECT UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
- SEE ARCHITECTURAL DRAWINGS FOR ALL CONCRETE PADS & SIDEWALKS ADJACENT TO BUILDING.
- ALL WORK SHALL CONFORM TO THE CITY OF PORTLAND DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS.
- CONTRACTOR TO PROVIDE BACKFILL AND COMPACTION AT CURB LINE AFTER CONCRETE FORMS FOR SIDEWALKS AND PADS HAVE BEEN STRIPPED. COORDINATE WITH BUILDING CONTRACTOR.
- ALL LIGHT POLE BASES NOT PROTECTED BY A RAISED CURB SHALL BE PAINTED YELLOW.
- COORDINATE ALL WORK ADJACENT TO BUILDING WITH BUILDING CONTRACTOR.
- SNOW THAT CAN NOT BE ACCOMMODATED IN THE LOCATIONS SHOWN SHALL BE TAKEN OFF-SITE.

LEGEND

- PROPERTY LINE
- - - 75' STREAM PROTECTION ZONE
- - - ABUTTER LOT LINE
- - - BUILDING SETBACK
- - - EDGE OF WETLAND
- - - EXISTING TREE LINE
- - - PROPOSED TREE LINE
- - - PROPOSED CONCRETE SIDEWALK/PAD
- - - PROPOSED SIGN
- - - PROPOSED BOLLARD
- - - PROPOSED LIGHT POLE BASE
- - - PROPOSED ACCESSIBLE PARKING SPACE
- - - PROPOSED VAN ACCESSIBLE PARKING SPACE
- - - PROPOSED CROSSWALK
- - - PROPOSED PAINTED ARROW
- - - PROPOSED BIKE RACK
- - - DOUBLE YELLOW LANE LINE
- - - PROPOSED CURB
- - - VERTICAL GRANITE CURB
- - - SLOPED GRANITE CURB
- - - DOOR LOCATION
- - - PROPOSED CURB STOP

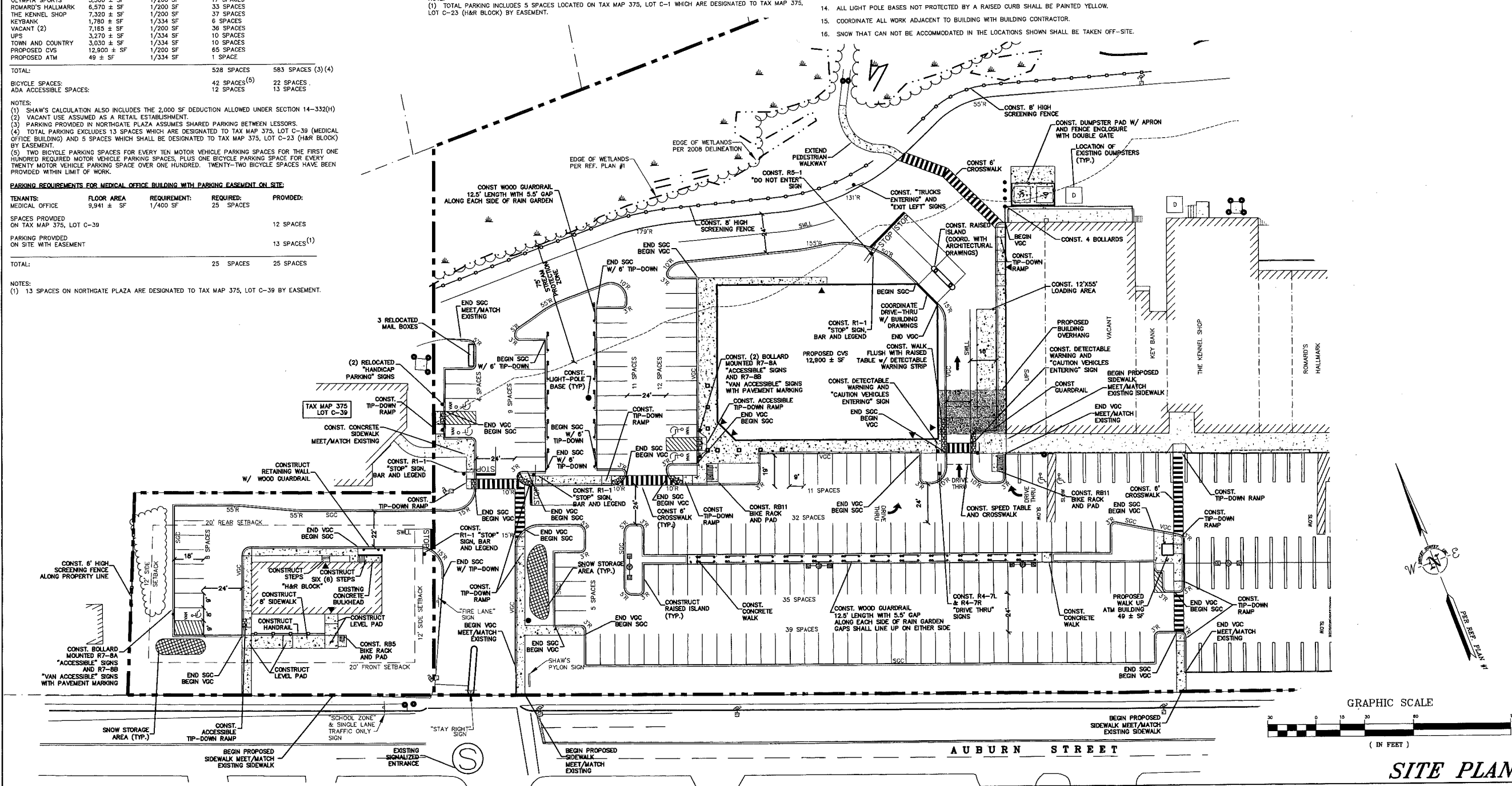


DATE: AUGUST 18, 2009
SCALE: AS SHOWN
DESIGNED BY: SAM
DRAWN BY: SAM
APPROVED BY: GT/BLM
PROJECT NO.: 2042B
FILE NO.: 2042B-CONSTDWG

**NORTHGATE PLAZA
AUBURN STREET
PORTLAND, MAINE**

APPLEDORE ENGINEERING
177 CORPORATE DRIVE
PORTSMOUTH, NEW HAMPSHIRE 03801
(603) 433-8818
ae@appledoreeng.com

C-2A



No.	Description	Date

HUBBELL IS NOT RESPONSIBLE FOR THE PERFORMANCE OF LUMINAIRE MANUFACTURED BY OTHERS

Symbol	Label	Qty	Description	Arrangement	Lumens	LLF	Filename
—	OE1	6	SN-132	SINGLE	2900	0.810	SN-132.lis
—	OD1	32	QTY 2 - SN-132	GROUP	N.A.	0.810	N.A.
□	OB1x	20	LAH 70M 11RW SFL	SINGLE	5000	0.750	LAH_70M_11RW_SFL.lis
□	xAR2	3	Existing GMX40SXXAR	BACK-BACK	50000	0.750	GMX40SXXAR.lis
□	1B	4	MSV-x-H25-H3-F-HS	SINGLE	18450	0.750	MSV-x-H25-H3-F-HS.lis
□	2C	2	MSV-x-H25-H4-F	BACK-BACK	18450	0.750	MSV-x-H25-H4-F.lis

POLE SPEC FOR MSV FLATGLASS:

SINGLE FIXTURE
SSS-30-50-3-A6-XX

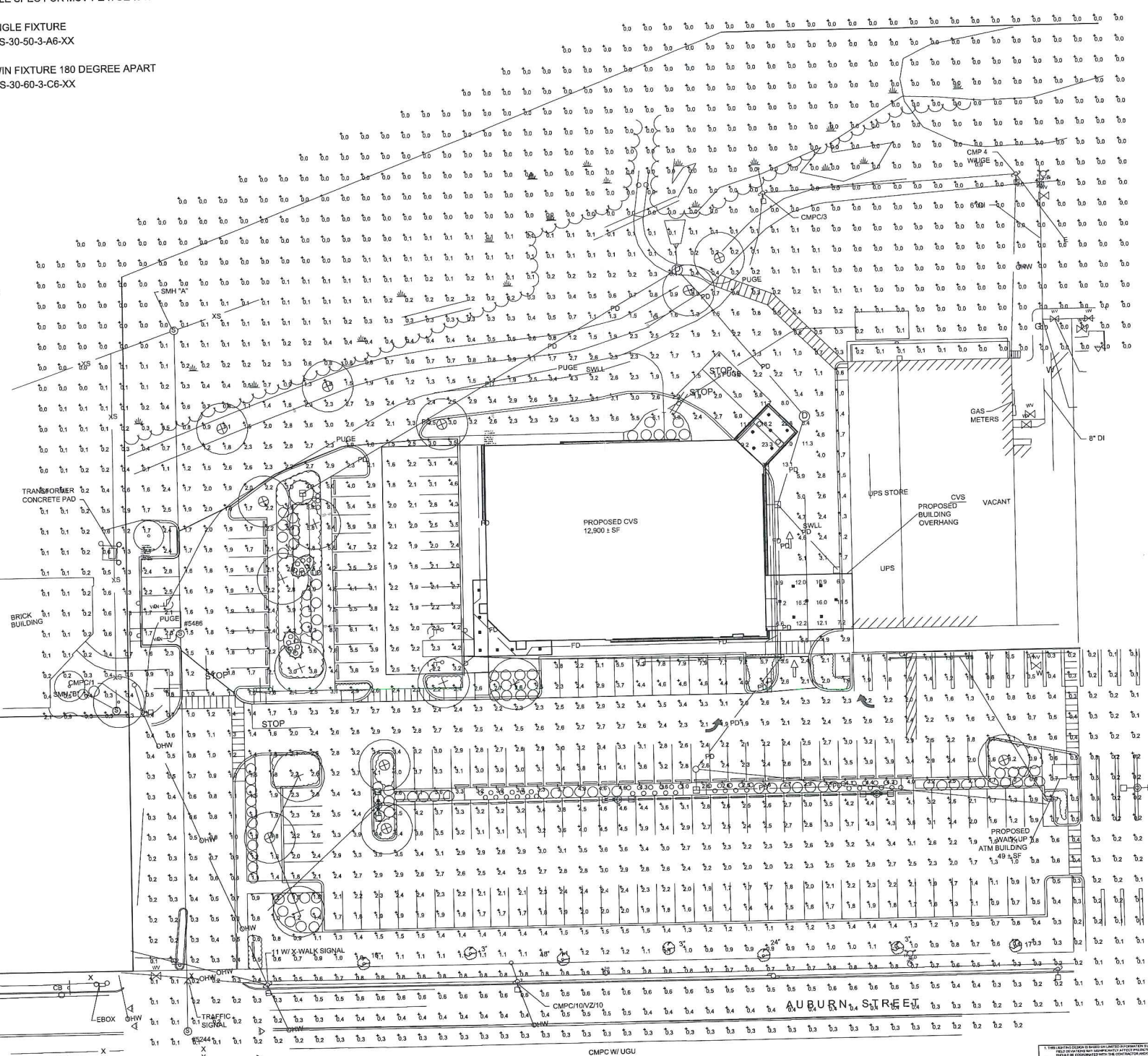
TWIN FIXTURE 180 DEGREE APART
SSS-30-60-3-C6-XX

Label	CalcType	Description	Units	Avg	Max	Min	Avg/Min	Max/Min
Drive-Thru	Illuminance		Fc	13.49	23.3	7.7	1.75	3.03
Walkway Canopy	Illuminance		Fc	10.93	18.2	6.3	1.73	2.57
SPILL	Illuminance		Fc	0.00	0.0	0.0	N.A.	N.A.
Calc/Pts	Illuminance		Fc	1.20	8.7	0.0	N.A.	N.A.
H&R BLOCK	Illuminance		Fc	1.17	9.2	0.0	N.A.	N.A.
50 FT RADIUS	Illuminance	3.0 FC MINIMUM	Fc	2.53	4.6	1.6	1.58	2.88
CVS PARKING	Illuminance	1.5 FC MINIMUM	Fc	3.20	8.7	1.5	2.13	5.80

LumNo	Label	X	Y	Z	Orient	Tilt
27	OE1	583.838	273.797	14	90	0
27	OE1	581.275	193.054	14	0	0
33	OD1	583.838	231.797	14	90	0
33	OD1	583.838	239.797	14	90	0
34	OD1	583.838	247.797	14	90	0
35	OD1	583.838	255.797	14	90	0
36	OD1	583.838	263.797	14	90	0
4	OD1	583.838	223.797	14	90	0
22	OD1	538.322	193.054	14	0	0
23	OD1	547.322	193.054	14	0	0
34	OD1	556.322	193.054	14	0	0
25	OD1	565.322	193.054	14	0	0
2	OD1	567.322	193.054	14	0	0
19	OD1	516.322	193.054	14	0	0
20	OD1	523.322	193.054	14	0	0
21	OD1	531.322	193.054	14	0	0
26	OD1	571.328	193.054	14	0	0
46	OB1x	603	216.5	14	0	0
47	OB1x	617.25	216.75	14	0	0
48	OB1x	610	217.75	14	0	0
49	OB1x	610	202.75	14	0	0
50	OB1x	596.5	202.75	14	0	0
51	OB1x	596.5	217.75	14	0	0
45	OB1x	589.75	216.5	14	0	0
59	xAR2	534.9	115.791	30	0	0
38	OB1x	442.81	188.912	12.5	0	0
39	OB1x	442.81	198.662	12.5	0	0
40	OB1x	442.81	208.412	12.5	0	0
41	OB1x	442.81	218.162	12.5	0	0
42	OB1x	442.81	227.912	12.5	0	0
43	OB1x	442.81	237.662	12.5	0	0
44	OB1x	442.81	247.412	12.5	0	0
58	xAR2	392	115.5	30	270	0
60	xAR2	505.192	115.689	30	0	0
53	OB1x	595.25	293.75	9.33	45	0
54	OB1x	587	294	9.33	45	0
57	OB1x	578.75	295.5	9.33	45	0
52	OB1x	568.312	301.821	9.33	45	0
11	OD1	591.540	301.091	14	135	0
1	OD1	498.251	289.836	14	0	0
13	OD1	494.251	289.836	14	0	0
14	OD1	502.251	289.836	14	0	0
15	OD1	510.251	289.836	14	0	0
16	OD1	518.251	289.836	14	0	0
17	OD1	526.251	289.836	14	0	0
18	OD1	534.251	289.836	14	0	0
12	OD1	587.222	295.335	14	135	0
56	OE1	598.038	293.921	14	135	0
7	OE1	597.728	291.048	14	45	0
55	OB1x	587.483	285.234	9.33	45	0
6	OD1	595.654	283.978	14	45	0
5	OD1	594.962	278.324	14	45	0
10	OE1	594.241	264.085	14	45	0
9	OD1	577.162	297.016	14	45	0
8	OD1	571.487	291.582	14	45	0
55	OB1x	579.418	293.371	9.33	45	0
83	1B	528.034	347.459	30	283.969	0
87	1B	276.748	231.767	30	0	0
68	2C	389.209	293.228	30	7	0
58	2C	389.576	257.006	30	10	0
85	1B	354.003	309.948	30	293.784	0
31	OE1	448.108	287.01	14	90	0
28	OD1	448.108	261.478	14	90	0
29	OD1	448.108	285.478	14	90	0
30	OD1	448.108	277.478	14	90	0
3	OD1	448.108	263.478	14	90	0
72	1B	451.790	302.829	30	106.062	0

FOR PRICING CONTACT
Weidenbach-Brown Co., Inc.
315 Norwood Park South
Norwood, MA 02062
Tel: 781-769-9868
Fax: 781-769-9832
Email: CVSSUPPORT@WBLIGHT.COM

THIS STUDY DOES NOT MEET THE STANDARDS FOR ILLUMINATION SET BY CVS, DUE TO MUNICIPAL REQUIREMENTS



8/19

Graphic Scale
20 10 0 20 40

CVS #329
PORTLAND, ME
D9453411a

**TAX MAP 375
LOT C-1
SITE DATA**

LOCATION: PORTLAND, MAINE
 ZONING DISTRICT: B-2 COMMUNITY BUSINESS ZONE
 (A PORTION OF THE LOT IS IN THE SP-STREAM PROTECTION ZONE)
 PERMITTED USE: GENERAL BUSINESS AND PROFESSIONAL OFFICES, RETAIL ESTABLISHMENTS, RESTAURANTS.
 CONDITIONAL USE: DRIVE-THRU WHICH IS ADJACENT TO ANY RESIDENTIAL USE OR ZONE

DIMENSIONAL REQUIREMENTS:

	REQUIRED	PROVIDED
MINIMUM LOT AREA:	10,000 SF	575,009 SF
MINIMUM STREET FRONTAGE:	50 FT	190 FT
MINIMUM YARD SETBACK:		
FRONT SETBACK:	0 FT	±24 FT
SIDE SETBACK:	0 FT	±26 FT
REAR SETBACK:	20 FT	±82 FT
REAR ABUTTING RESIDENTIAL:	80 %	±77 %
MAXIMUM LOT COVERAGE:	45 %	<45 %
MAXIMUM HEIGHT:		

* FRONT YARD SHALL NOT EXCEED THE AVERAGE DEPTH OF THE FRONT YARDS OF THE CLOSEST DEVELOPED LOTS ON EITHER SIDE. WHERE THE FRONT YARD EXCEEDS 10 FEET A PEDESTRIAN EDGE TREATMENT SHALL BE CONSTRUCTED.

PARKING REQUIREMENTS

TENANTS:	FLOOR AREA	REQUIREMENT:	REQUIRED:	PROVIDED:
SHAW'S	59,950 ± SF (1)	1/200 SF	300 SPACES	
STARBUCKS	1,870 ± SF	1/150 SF	13 SPACES	
OLYMPIA SPORTS	3,300 ± SF	1/200 SF	17 SPACES	
ROMARD'S HALLMARK	6,570 ± SF	1/200 SF	33 SPACES	
THE KENNEL SHOP	7,320 ± SF	1/200 SF	37 SPACES	
KEYBANK	1,780 ± SF	1/334 SF	6 SPACES	
VACANT (2)	7,165 ± SF	1/200 SF	36 SPACES	
UPS	3,270 ± SF	1/334 SF	10 SPACES	
TOWN AND COUNTRY	3,030 ± SF	1/334 SF	10 SPACES	
PROPOSED CVS	12,900 ± SF	1/200 SF	65 SPACES	
PROPOSED ATM	49 ± SF	1/334 SF	1 SPACE	
TOTAL:			528 SPACES	583 SPACES (3) (4)
BICYCLE SPACES:			42 SPACES (5)	22 SPACES
ADA ACCESSIBLE SPACES:			12 SPACES	13 SPACES

NOTES:
 (1) SHAW'S CALCULATION ALSO INCLUDES THE 2,000 SF DEDUCTION ALLOWED UNDER SECTION 14-332(H)
 (2) VACANT USE ASSUMED AS A RETAIL ESTABLISHMENT.
 (3) PARKING PROVIDED IN NORTHGATE PLAZA ASSUMES SHARED PARKING BETWEEN LESSORS.
 (4) TOTAL PARKING EXCLUDES 13 SPACES WHICH ARE DESIGNATED TO TAX MAP 375, LOT C-39 (MEDICAL OFFICE BUILDING) AND 5 SPACES WHICH SHALL BE DESIGNATED TO TAX MAP 375, LOT C-23 (H&R BLOCK) BY EASEMENT.
 (5) TWO BICYCLE PARKING SPACES FOR EVERY TEN MOTOR VEHICLE PARKING SPACES FOR THE FIRST ONE HUNDRED REQUIRED MOTOR VEHICLE PARKING SPACES, PLUS ONE BICYCLE PARKING SPACE FOR EVERY TWENTY MOTOR VEHICLE PARKING SPACE OVER ONE HUNDRED. TWENTY-TWO BICYCLE SPACES HAVE BEEN PROVIDED WITHIN LIMIT OF WORK.

PARKING REQUIREMENTS FOR MEDICAL OFFICE BUILDING WITH PARKING EASEMENT ON SITE:

TENANTS:	FLOOR AREA	REQUIREMENT:	REQUIRED:	PROVIDED:
MEDICAL OFFICE	9,941 ± SF	1/400 SF	25 SPACES	
TOTAL:			25 SPACES	25 SPACES

NOTES:
 (1) 13 SPACES ON NORTHGATE PLAZA ARE DESIGNATED TO TAX MAP 375, LOT C-39 BY EASEMENT.

**TAX MAP 375
LOT C-23
SITE DATA**

LOCATION: PORTLAND, MAINE
 ZONING DISTRICT: R-P RESIDENTIAL PROFESSIONAL
 PERMITTED USE: BUSINESS SERVICES AND PROFESSIONAL OFFICES

DIMENSIONAL REQUIREMENTS:

	REQUIRED	PROVIDED
MINIMUM LOT AREA:	6,000 SF	23,480 SF
MINIMUM STREET FRONTAGE:	80 FT	190 FT
MINIMUM LOT WIDTH:	50 FT	186 FT
MINIMUM YARD SETBACK:		
FRONT SETBACK:	20 FT*	50 FT
SIDE SETBACK:	12 FT	32 FT
REAR SETBACK:	20 FT	43 FT
MAXIMUM IMPERVIOUS SURFACE:	70 %	±53 %
MINIMUM INTERIOR OPEN SPACE:	10% OF PARKING AREA	±0%
MAXIMUM FLOOR AREA RATIO:	55 %	±22 %
MAXIMUM HEIGHT:	45 FT	<45 FT

* FRONT YARD SHALL NOT EXCEED THE AVERAGE DEPTH OF THE FRONT YARDS OF THE CLOSEST DEVELOPED LOTS ON EITHER SIDE. WHERE THE FRONT YARD EXCEEDS 10 FEET A PEDESTRIAN EDGE TREATMENT SHALL BE CONSTRUCTED.

PARKING REQUIREMENTS

OFFICES:	1/400 SF	13 SPACES	13 SPACES (1)
ADA ACCESSIBLE SPACES:	1 SPACE	2 SPACES	5 SPACES
BICYCLE SPACES:	2 SPACES	5 SPACES	

NOTE:
 (1) TOTAL PARKING INCLUDES 5 SPACES LOCATED ON TAX MAP 375, LOT C-1 WHICH ARE DESIGNATED TO TAX MAP 375, LOT C-23 (H&R BLOCK) BY EASEMENT.

SITE NOTES:

- STRIPE PARKING AREAS AS SHOWN, INCLUDING PARKING SPACES, STOP BARS, HANDICAP SYMBOLS, PAINTED ISLANDS, CROSS WALKS, ARROWS, LEGENDS AND CENTERLINES EXCEPT CENTERLINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING WHITE TRAFFIC PAINT. CENTERLINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING YELLOW TRAFFIC PAINT. ALL TRAFFIC PAINT SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F".
- ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS, LATEST EDITIONS.
- SEE DETAILS FOR PARKING STALL MARKINGS, HANDICAP SYMBOLS, SIGNS AND SIGN POSTS.
- CENTERLINES SHALL BE FOUR (4) INCH WIDE YELLOW LINES. STOP BARS SHALL BE EIGHTEEN (18) INCHES WIDE.
- PAINTED ISLANDS SHALL BE FOUR (4) INCH WIDE DIAGONAL LINES AT 3"-0" O.C. BORDERED BY FOUR (4) INCH WIDE LINES.
- THE CONTRACTOR SHALL EMPLOY A LICENSED ENGINEER/SURVEYOR TO DETERMINE ALL LINES AND GRADES. DESIGN ENGINEER TO PROVIDE COORDINATES FOR EDGE OF PAVEMENT, PC'S & PT'S.
- CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINE WITH RS-1 EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
- ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND/OR CITY CODES & SPECIFICATIONS.
- WORK WITHIN AUBURN STREET SHALL BE COORDINATED WITH CITY OF PORTLAND AND THE MEDOT.
- CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MYLARS AND IN DIGITAL FORMAT (DWG FILE) ON DISK TO THE OWNER AND ARCHITECT UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
- SEE ARCHITECTURAL DRAWINGS FOR ALL CONCRETE PADS & SIDEWALKS ADJACENT TO BUILDING.
- ALL WORK SHALL CONFORM TO THE CITY OF PORTLAND DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS.
- CONTRACTOR TO PROVIDE BACKFILL AND COMPACTION AT CURB LINE AFTER CONCRETE FORMS FOR SIDEWALKS AND PADS HAVE BEEN STRIPPED. COORDINATE WITH BUILDING CONTRACTOR.
- ALL LIGHT POLE BASES NOT PROTECTED BY A RAISED CURB SHALL BE PAINTED YELLOW.
- COORDINATE ALL WORK ADJACENT TO BUILDING WITH BUILDING CONTRACTOR.
- SNOW THAT CAN NOT BE ACCOMMODATED IN THE LOCATIONS SHOWN SHALL BE TAKEN OFF-SITE.

LEGEND

- PROPERTY LINE
- - - 75' STREAM PROTECTION ZONE
- - - ABUTTING LOT LINE
- - - BUILDING SETBACK
- - - EDGE OF WETLAND
- - - EXISTING TREE LINE
- - - PROPOSED TREE LINE
- - - PROPOSED CONCRETE SIDEWALK/PAD
- - - PROPOSED SIGN
- - - PROPOSED BOLLARD
- - - PROPOSED LIGHT POLE BASE
- - - PROPOSED ACCESSIBLE PARKING SPACE
- - - PROPOSED VAN ACCESSIBLE PARKING SPACE
- - - PROPOSED CROSSWALK
- - - PROPOSED PAINTED ARROW
- - - PROPOSED BIKE RACK
- - - DOUBLE YELLOW LANE LINE
- - - PROPOSED CURB
- - - VERTICAL GRANITE CURB
- - - SLOPED GRANITE CURB
- - - DOOR LOCATION
- - - PROPOSED CURB STOP

No.	Description	Date

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AUG 13 2009

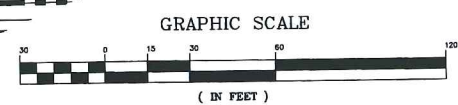
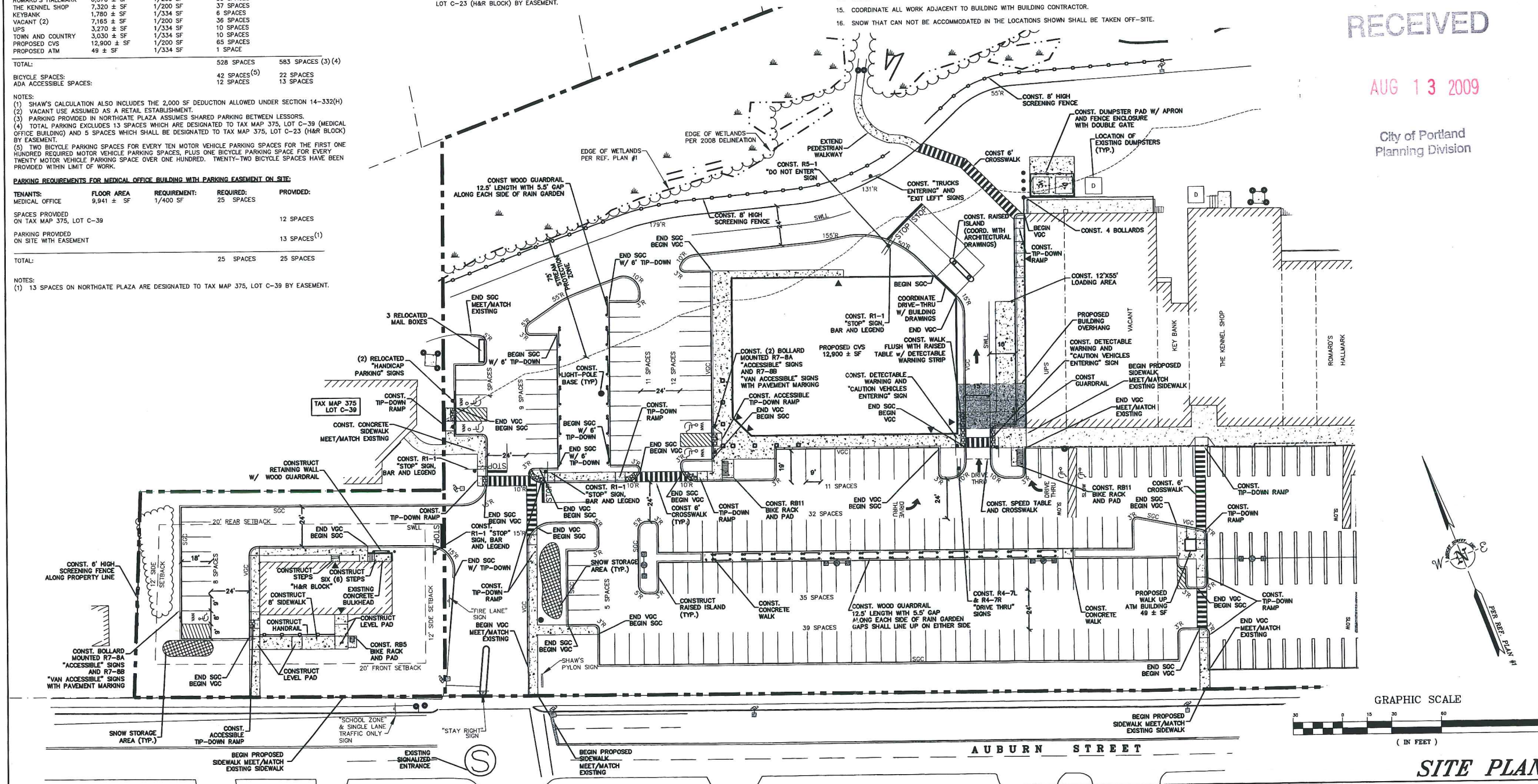
City of Portland
Planning Division

DATE: AUGUST 13, 2009
 SCALE: AS SHOWN
 DESIGNED BY: SAM
 DRAWN BY: SAM
 APPROVED BY: GY/BLM
 PROJECT NO: 2042B
 FILE NO: 2042B-CONSTDWG

NORTHGATE PLAZA
 AUBURN STREET
 PORTLAND, MAINE

APPLEDORE
 ENGINEERING
 177 CORPORATE DRIVE
 PORTSMOUTH, NEW HAMPSHIRE 03801
 (603) 433-8818
 ae@appledoreeng.com

C-2A



SITE PLAN

UTILITY NOTES:

- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES, AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
- COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY COMPANY.
SEWER - CITY OF PORTLAND DEPARTMENT OF PUBLIC WORKS
WATER - PORTLAND WATER DISTRICT
- SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION.
- SEE GRADING, DRAINAGE & EROSION CONTROL PLAN FOR PROPOSED GRADING AND EROSION CONTROL MEASURES.
- ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, CEMENT LINED DUCTILE IRON PIPE.
- ALL WATERMAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION PRIOR TO ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE CHLORINATION AND TESTING WITH THE PORTLAND WATER DISTRICT.
- ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
- ALL WORK WITHIN CITY ROW SHALL BE COORDINATED WITH CITY OF PORTLAND.
- CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ABUTTING PROPERTIES THROUGHOUT CONSTRUCTION.
- CONNECTION TO EXISTING WATERMAIN SHALL BE CONSTRUCTED TO CITY STANDARDS.
- EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE CITY OF PORTLAND TECHNICAL DESIGN STANDARDS AND UTILITY COMPANY STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
- ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
- THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH THE BUILDING DRAWINGS AND THE UTILITY COMPANIES.
- ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
- ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
- THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATES TO THE OWNER PRIOR TO THE COMPLETION OF THIS PROJECT.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
- CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
- A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS.
- THE CONTRACTOR SHALL CONTACT "DIG-SAFE" 72 HOURS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL HAVE THE "DIG-SAFE" NUMBER ON SITE AT ALL TIMES.
- CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MYLARS AND IN DIGITAL FORMAT (.DWG FILES) TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
- SAWCUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN
- HYDRANTS, GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTLAND.
- COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTLAND.
- ALL SEWER PIPE WITH LESS THAN 4' OF COVER SHALL BE INSULATED.
- CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.
- CONTRACTOR SHALL PHASE UTILITY CONSTRUCTION, PARTICULARLY WATER MAIN, ELECTRICAL, AND GAS MAIN CONSTRUCTION AS TO MAINTAIN CONTINUOUS SERVICE TO ABUTTING PROPERTIES. CONTRACTOR SHALL COORDINATE TEMPORARY SERVICES TO ABUTTERS WITH THE UTILITY COMPANY AND AFFECTED ABUTTER.

STRUCTURE TABLE

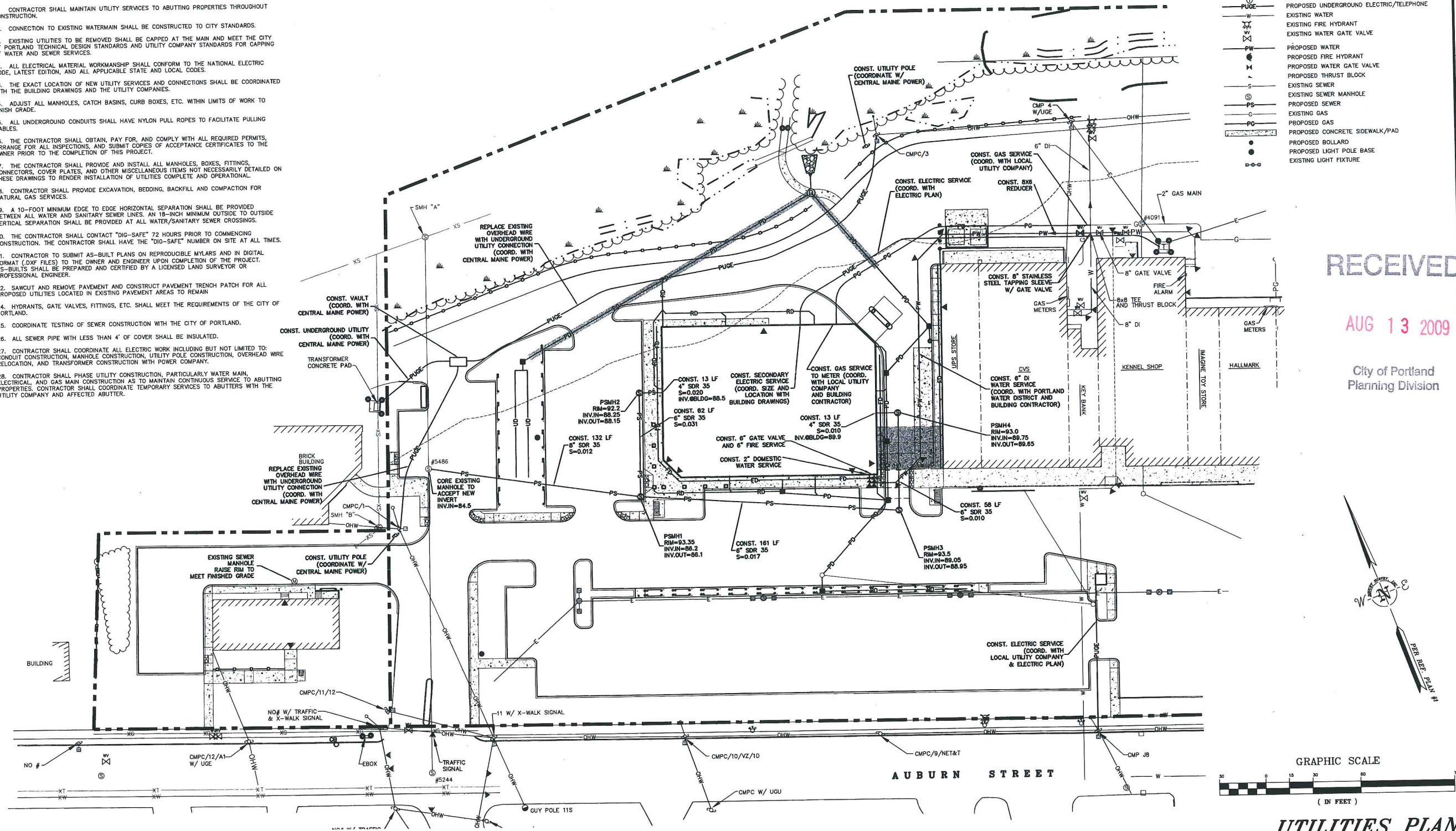
SMH #5244	RM ELEV=100.5'
	INV.= 88.6'
	(DEPTH FROM RM TO INVERT PER REF. PLAN #5)
SMH #5486	RM ELEV=93.6'
	24" PIPE
	SEWER THROUGH=84.0'
SMH "B"	LOCATION PER REF. PLAN #5

LIGHTING NOTES:

- CONTRACTOR TO COORDINATE WITH ELECTRICAL DRAWINGS FOR FIXTURE AND POLE MODEL AND COLOR.
- THE CONTRACTOR SHALL PROVIDE ALL CONDUITS, CONCRETE BASES, WIRING AND INSTALLATION OF ALL LIGHT FIXTURES ETC. AND WARRANTEE LABOR.
- SITE LIGHTING TO BE PER PHOTOMETRICS PLAN.
- CONTRACTOR TO COORDINATE WITH ELECTRICAL DRAWINGS FOR CONDUIT SIZE, LOCATION AND CIRCUITRY PLAN.

LEGEND

- PROPERTY LINE
- (75') WETLAND BUFFER
- EXISTING WETLAND
- EXISTING TREE LINE
- PROPOSED TREE LINE
- EXISTING DRAINAGE
- EXISTING CATCH BASIN
- EXISTING DRAIN MANHOLE
- PROPOSED INSULATED DRAINAGE
- PD PROPOSED DRAINAGE
- RD PROPOSED ROOF DRAIN
- FD PROPOSED FOUNDATION DRAIN
- UD PROPOSED UNDER DRAIN
- PROPOSED CATCH BASIN
- PROPOSED MANHOLE
- EXISTING ELECTRIC MANHOLE
- EXISTING TELEPHONE MANHOLE
- PROPOSED UNDERGROUND ELECTRIC/TELEPHONE
- EXISTING WATER
- EXISTING FIRE HYDRANT
- EXISTING WATER GATE VALVE
- PW PROPOSED WATER
- PROPOSED FIRE HYDRANT
- PROPOSED WATER GATE VALVE
- PROPOSED THRUST BLOCK
- S EXISTING SEWER
- EXISTING SEWER MANHOLE
- PS PROPOSED SEWER
- G EXISTING GAS
- PG PROPOSED GAS
- PROPOSED CONCRETE SIDEWALK/PAD
- PROPOSED BOLLARD
- PROPOSED LIGHT POLE BASE
- EXISTING LIGHT FIXTURE



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AUG 13 2009
City of Portland
Planning Division

DATE: AUGUST 13, 2009	SCALE: AS SHOWN	DESIGNED BY: SAM	DRAWN BY: SAM	APPROVED BY: GY/BLM	PROJECT NO.: 2042B	FILE NO.: 2042B-CONST.DWG
<p>NORTHGATE PLAZA AUBURN STREET PORTLAND, MAINE</p> <p>APPLEDORE ENGINEERING 177 CORPORATE DRIVE PORTSMOUTH, NEW HAMPSHIRE 03801 (603) 433-8818 ae@appledoreeng.com</p>						
<p>UTILITIES PLAN C-4</p>						

GRADING AND DRAINAGE NOTES:

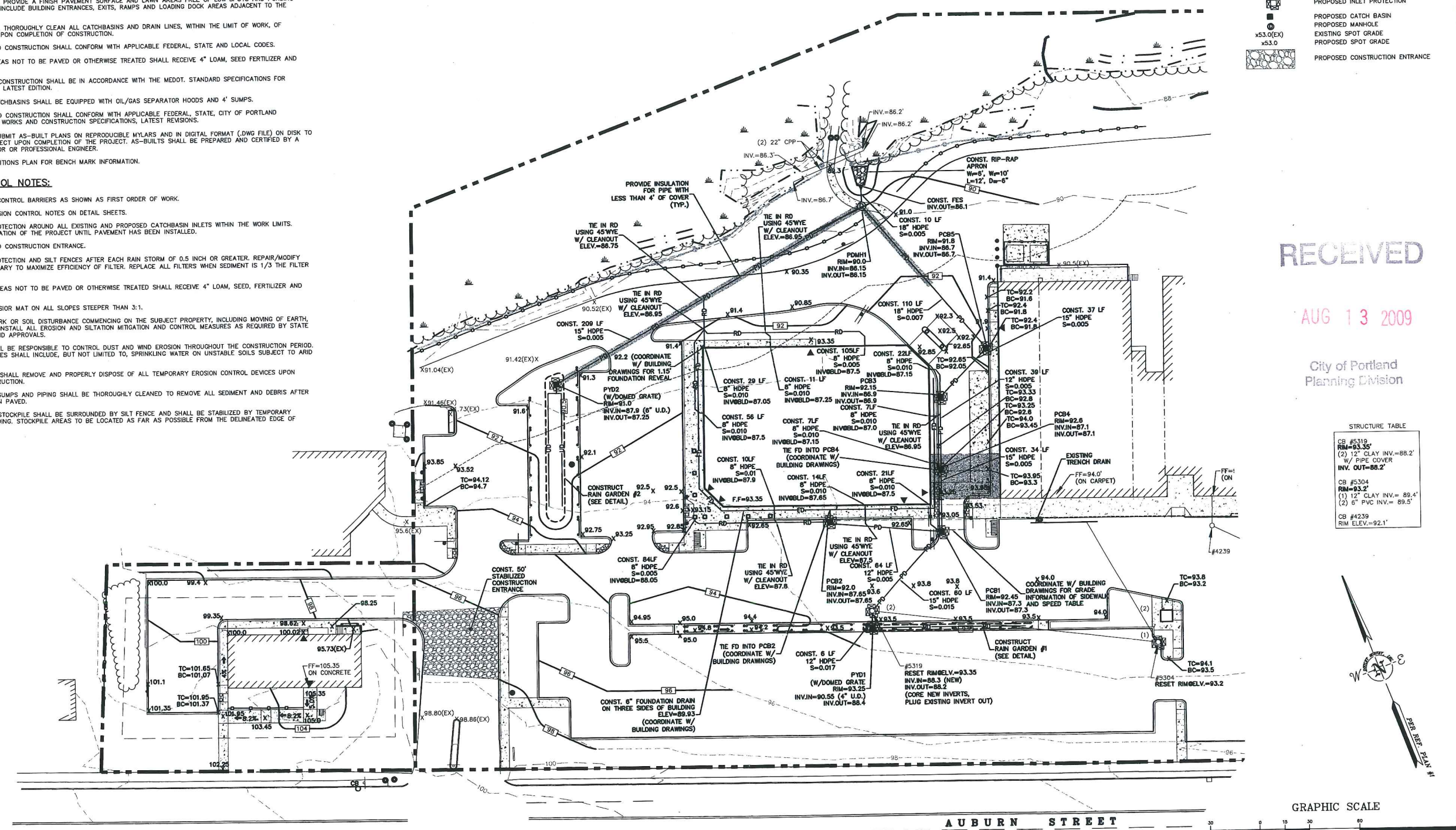
1. COMPACTION REQUIREMENTS
BELOW PAVED OR CONCRETE AREAS 95%
TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL 95%
BELOW LOAM AND SEED AREAS 90%
*ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM-2922.
2. ALL STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HANCOR HI-Q, ADS N-12 OR APPROVED EQUAL) UNLESS OTHERWISE SPECIFIED.
3. SEE UTILITIES PLAN FOR ALL SITE UTILITY INFORMATION.
4. ADJUST ALL MANHOLES, CATCHBASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
5. COORDINATE WORK ADJACENT TO PROPOSED BUILDINGS WITH BUILDING CONTRACTOR.
6. ALL DRAIN PIPES WITH LESS THAN 4' OF COVER SHALL BE INSULATED.
7. CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCES, EXITS, RAMPS AND LOADING DOCK AREAS ADJACENT TO THE BUILDING.
8. CONTRACTOR SHALL THOROUGHLY CLEAN ALL CATCHBASINS AND DRAIN LINES, WITHIN THE LIMIT OF WORK, OF SEDIMENT IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
9. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES.
10. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 4" LOAM, SEED FERTILIZER AND MULCH.
11. ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MEDOT, STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.
12. ALL PROPOSED CATCHBASINS SHALL BE EQUIPPED WITH OIL/GAS SEPARATOR HOODS AND 4' SUMPS.
13. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE, CITY OF PORTLAND DEPARTMENT OF PUBLIC WORKS AND CONSTRUCTION SPECIFICATIONS, LATEST REVISIONS.
14. CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MYLARS AND IN DIGITAL FORMAT (.DWG) FILE ON DISK TO THE OWNER AND ARCHITECT UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
15. SEE EXISTING CONDITIONS PLAN FOR BENCH MARK INFORMATION.

EROSION CONTROL NOTES:

1. INSTALL EROSION CONTROL BARRIERS AS SHOWN AS FIRST ORDER OF WORK.
2. SEE GENERAL EROSION CONTROL NOTES ON DETAIL SHEETS.
3. PROVIDE INLET PROTECTION AROUND ALL EXISTING AND PROPOSED CATCHBASIN INLETS WITHIN THE WORK LIMITS. MAINTAIN FOR THE DURATION OF THE PROJECT UNTIL PAVEMENT HAS BEEN INSTALLED.
4. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
5. INSPECT INLET PROTECTION AND SILT FENCES AFTER EACH RAIN STORM OF 0.5 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT.
6. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 4" LOAM, SEED, FERTILIZER AND MULCH.
7. CONSTRUCT EXCELSIOR MAT ON ALL SLOPES STEEPER THAN 3:1.
8. PRIOR TO ANY WORK OR SOIL DISTURBANCE COMMENCING ON THE SUBJECT PROPERTY, INCLUDING MOVING OF EARTH, THE APPLICANT SHALL INSTALL ALL EROSION AND SILTATION MITIGATION AND CONTROL MEASURES AS REQUIRED BY STATE AND LOCAL PERMITS AND APPROVALS.
9. CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL MEASURES SHALL INCLUDE, BUT NOT LIMITED TO, SPRINKLING WATER ON UNSTABLE SOILS SUBJECT TO ARID CONDITIONS.
10. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
11. ALL CATCHBASIN SUMPS AND PIPING SHALL BE THOROUGHLY CLEANED TO REMOVE ALL SEDIMENT AND DEBRIS AFTER THE PROJECT HAS BEEN PAVED.
12. TEMPORARY SOIL STOCKPILE SHALL BE SURROUNDED BY SILT FENCE AND SHALL BE STABILIZED BY TEMPORARY EROSION CONTROL SEEDING. STOCKPILE AREAS TO BE LOCATED AS FAR AS POSSIBLE FROM THE DELINEATED EDGE OF WETLAND.

LEGEND

	PROPERTY LINE
	75' WETLAND BUFFER
	EDGE OF WETLAND
	EXISTING TREE LINE
	PROPOSED TREE LINE
	PROPOSED CONCRETE SIDEWALK
	EXISTING CONTOUR
	EXISTING 10' CONTOUR
	FINISH GRADE
	EXISTING DRAINAGE
	PROPOSED INSULATED DRAINAGE
	PROPOSED DRAINAGE
	PROPOSED ROOF DRAIN
	PROPOSED FOUNDATION DRAIN
	PROPOSED UNDER DRAIN
	SILT FENCE
	PROPOSED INLET PROTECTION
	PROPOSED CATCH BASIN
	PROPOSED MANHOLE
	EXISTING SPOT GRADE
	PROPOSED SPOT GRADE
	PROPOSED CONSTRUCTION ENTRANCE



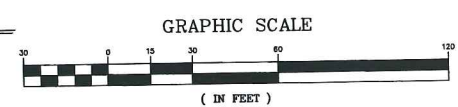
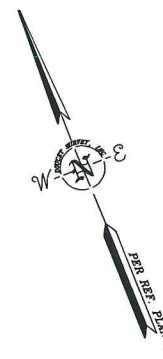
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AUG 13 2009

City of Portland
Planning Division

STRUCTURE TABLE

CB #5319 RIM=93.35 (2) 12" CLAY INV.=88.2' W/ PIPE COVER INV. OUT=88.2'
CB #5304 RIM=93.2' (1) 12" CLAY INV.= 89.4' (2) 6" PVC INV.= 89.5'
CB #4239 RIM ELEV.=92.1'

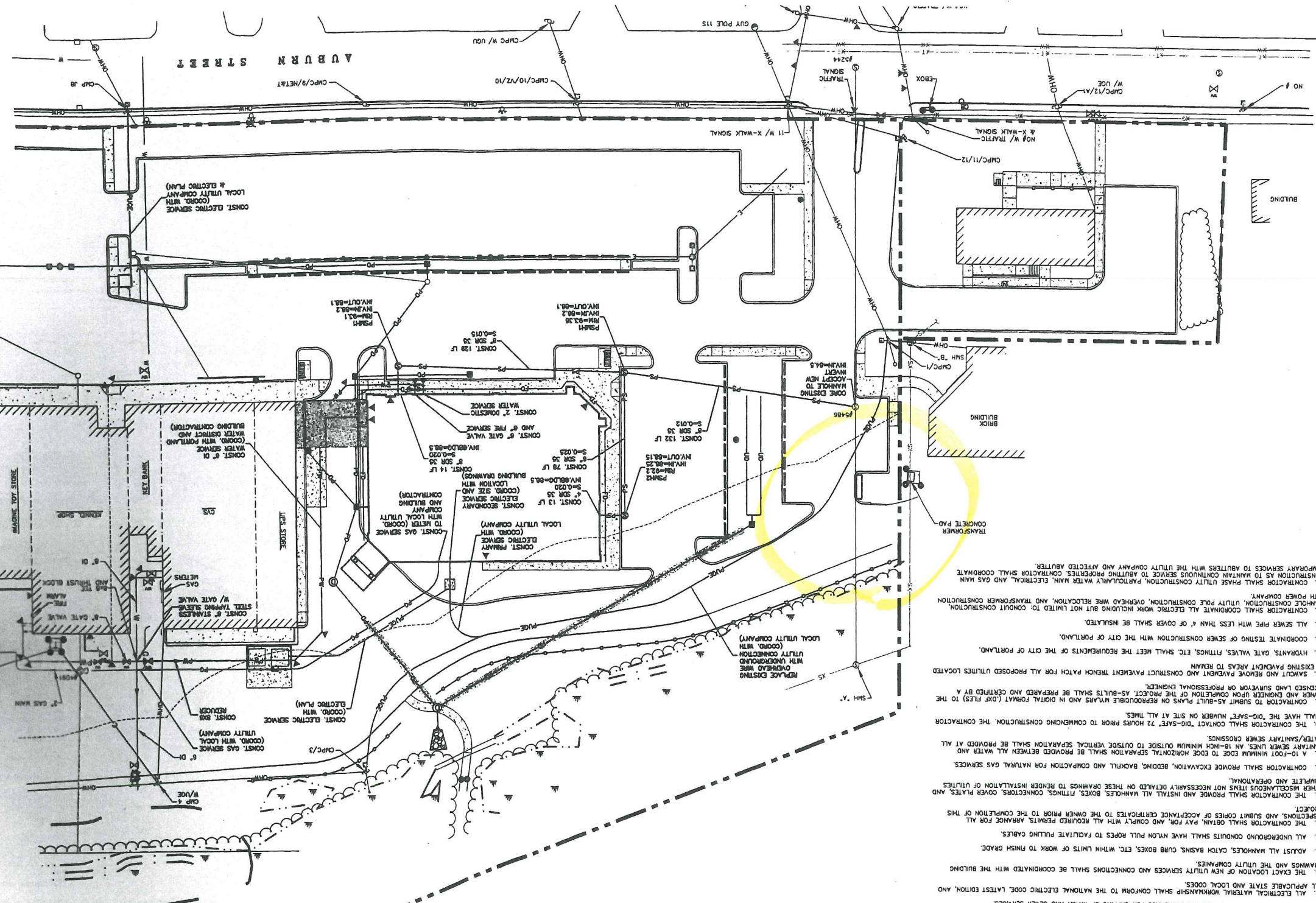
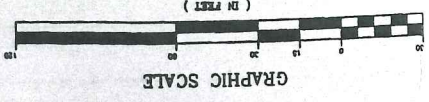


GRADING, DRAINAGE & EROSION CONTROL PLAN

DATE: AUGUST 13, 2009	SCALE: AS SHOWN	DESIGNED BY: SAM	DRAWN BY: SAM	APPROVED BY: GY/BLM	PROJECT NO.: 2042B	FILE NO.: 2042B-CONST.DWG
<p>APPLEDORE ENGINEERING 177 CORPORATE DRIVE PORTSMOUTH, NEW HAMPSHIRE 03801 (603) 433-8818 aei@appledoreeng.com</p>						
<p>NORTHGATE PLAZA AUBURN STREET PORTLAND, MAINE</p>						
<p>C-3</p>						

UTILITIES PLAN

C-4



APPLEDORF ENGINEERING
 177 CORPORATE DRIVE
 PORTSMOUTH, NEW HAMPSHIRE 03801
 (603) 433-8818
 aei@appledorfeng.com

NORTHCATE PLAZA
AUBURN STREET
PORTLAND, MAINE

DATE: JANUARY 20, 2009
 SCALE: AS SHOWN
 DESIGNED BY: SAM
 DRAWN BY: SAM
 APPROVED BY: GT/BLM
 PROJECT NO.: 20429
 FILE NO.: 20429-SITE.DWG



No.	Description	App'd	Date
1.	REVISIONS		
2.	REVISIONS		

LEGEND

	PROPERTY LINE
	(75) WETLAND BUFFER
	EDGE OF WETLAND
	EXISTING TREE LINE
	EXISTING DRAINAGE
	EXISTING CATCH BASIN
	EXISTING DRAIN MANHOLE
	EXISTING TELEPHONE MANHOLE
	EXISTING UNDERGROUND ELECTRIC/TELEPHONE
	EXISTING WATER
	EXISTING FIRE HYDRANT
	EXISTING WATER GATE VALVE
	PROPOSED WATER
	PROPOSED FIRE HYDRANT
	PROPOSED WATER GATE VALVE
	PROPOSED THRUST BLOCK
	PROPOSED SEWER MANHOLE
	PROPOSED SEWER
	PROPOSED GAS
	PROPOSED CONCRETE SEWER/PAD
	PROPOSED LIGHT POLE BASE
	EXISTING LIGHT FIXTURE

- LIGHTING NOTES:**
1. CONTRACTOR TO COORDINATE WITH ELECTRICAL DRAWINGS FOR FIXTURE AND POLE MODEL AND COLOR.
 2. THE CONTRACTOR SHALL PROVIDE ALL CONDUITS, CONCRETE BASES, WIRING AND INSTALLATION OF ALL LIGHT FIXTURES ETC. AND MAINTAIN LABOR.
 3. SITE LIGHTING TO BE PER PHOTO-METRICS PLAN.
 4. CONTRACTOR TO COORDINATE WITH ELECTRICAL DRAWINGS FOR CONDUIT SIZE, LOCATION AND CIRCUITRY PLAN.

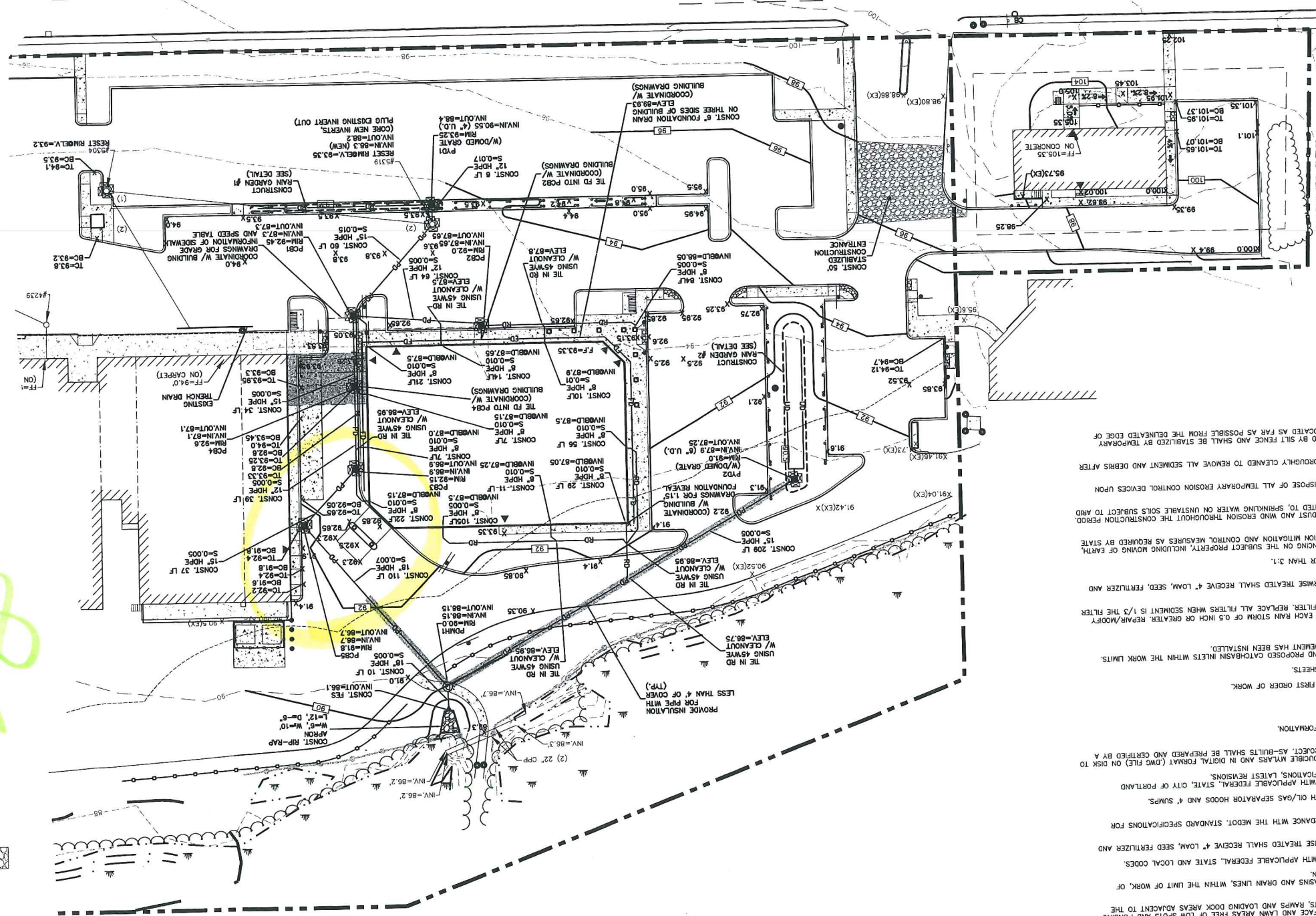
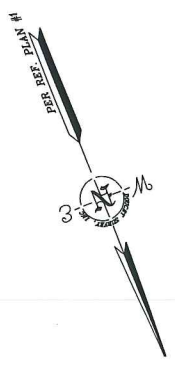
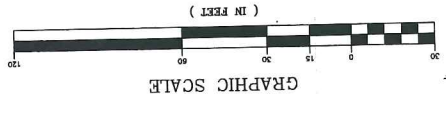
STRUCTURE TABLE

SMH #5244	INV. ELEV. = 100.5'
SMH #5245	INV. ELEV. = 100.5'
SMH #5466	DEPTH FROM RIM TO INVERT = 8.0'
SMH #5467	PER REF. PLAN (S)
SMH #5468	PER REF. PLAN (S)
SMH #5469	PER REF. PLAN (S)
SMH #5470	PER REF. PLAN (S)
SMH #5471	PER REF. PLAN (S)
SMH #5472	PER REF. PLAN (S)
SMH #5473	PER REF. PLAN (S)
SMH #5474	PER REF. PLAN (S)
SMH #5475	PER REF. PLAN (S)
SMH #5476	PER REF. PLAN (S)
SMH #5477	PER REF. PLAN (S)
SMH #5478	PER REF. PLAN (S)
SMH #5479	PER REF. PLAN (S)
SMH #5480	PER REF. PLAN (S)
SMH #5481	PER REF. PLAN (S)
SMH #5482	PER REF. PLAN (S)
SMH #5483	PER REF. PLAN (S)
SMH #5484	PER REF. PLAN (S)
SMH #5485	PER REF. PLAN (S)
SMH #5486	PER REF. PLAN (S)
SMH #5487	PER REF. PLAN (S)
SMH #5488	PER REF. PLAN (S)
SMH #5489	PER REF. PLAN (S)
SMH #5490	PER REF. PLAN (S)
SMH #5491	PER REF. PLAN (S)
SMH #5492	PER REF. PLAN (S)
SMH #5493	PER REF. PLAN (S)
SMH #5494	PER REF. PLAN (S)
SMH #5495	PER REF. PLAN (S)
SMH #5496	PER REF. PLAN (S)
SMH #5497	PER REF. PLAN (S)
SMH #5498	PER REF. PLAN (S)
SMH #5499	PER REF. PLAN (S)
SMH #5500	PER REF. PLAN (S)

- UTILITY NOTES:**
1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES. ANTICIPATE ADDITIONAL COST TO THE OWNER.
 2. COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY COMPANIES.
 3. SEWER - CITY OF PORTLAND DEPARTMENT OF PUBLIC WORKS WATER - PORTLAND WATER DISTRICT
 4. SEE GRADING, DRAINAGE & EROSION CONTROL PLAN FOR PROPOSED GRADING AND EROSION CONTROL MEASURES.
 5. ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, CENTRIFUGAL CAST IRON PIPE.
 6. ALL WATER MAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND DISCHARGED AFTER CONSTRUCTION PRIOR TO ACHIEVING THE SYSTEM. CONTRACTOR SHALL COORDINATE CHLORINATION AND TESTING WITH THE PORTLAND WATER DISTRICT.
 7. ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
 8. ALL WORK WITHIN CITY ROW SHALL BE COORDINATED WITH CITY OF PORTLAND.
 9. CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO EXISTING PROPERTIES THROUGHOUT CONSTRUCTION.
 10. CONNECTION TO EXISTING WATER MAIN SHALL BE CONSTRUCTED TO CITY STANDARDS.
 11. EXISTING UTILITIES TO BE REMOVED SHALL BE CAPED AT THE MAIN AND MEET THE CITY OF PORTLAND TECHNICAL DESIGN STANDARDS AND UTILITY COMPANY STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
 12. ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRICAL CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
 13. THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH THE BUILDING DRAWINGS AND THE UTILITY COMPANIES.
 14. ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
 15. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
 16. THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATES TO THE OWNER PRIOR TO THE COMPLETION OF THIS PROJECT.
 17. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTIONS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
 18. CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
 19. A 10'-0" MINIMUM DEPTH TO EXISTING HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18"-MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS.
 20. THE CONTRACTOR SHALL CONTACT "800-SAFE" 22 HOURS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL HAVE THE "800-SAFE" NUMBER ON SITE AT ALL TIMES.
 21. CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE PAPER AND IN DIGITAL FORMAT (DWG FILES) TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
 22. SAMUT AND REMOVE PAYMENT AND CONSTRUCT PAYMENT TRIMMED PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVED AREAS TO REPAIR.
 23. HYDRANTS, GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTLAND.
 24. COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTLAND.
 25. ALL SEWER PIPE WITH LESS THAN 4' OF COVER SHALL BE INSULATED.
 26. CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION WITH POWER COMPANY.
 27. CONTRACTOR SHALL MAINTAIN CONTINUOUS SERVICE TO EXISTING PROPERTIES. CONTRACTOR SHALL COORDINATE TEMPORARY SERVICES TO ADJUSTERS WITH THE UTILITY COMPANY AND AFFECTED ABUTTER.
 28. CONTRACTOR SHALL PHASE UTILITY CONSTRUCTION, PARTICULARLY WATER MAIN, ELECTRICAL, AND GAS MAIN CONSTRUCTION AS TO MAINTAIN CONTINUOUS SERVICE TO ADJUTING PROPERTIES. CONTRACTOR SHALL COORDINATE WITH POWER COMPANY.
 29. CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.

Att C.9
 Kearney

GRADING, DRAINAGE & EROSION CONTROL PLAN



STRUCTURE TABLE

CB #4239	RM ELEV.=92.1'
(1) 12" CLAY INV.=89.4'	
(2) 6" PVC INV.=89.5'	
CB #4240	RM ELEV.=92.2'
(1) 12" CLAY INV.=89.4'	
(2) 6" PVC INV.=89.5'	
CB #4241	RM ELEV.=92.3'
(1) 12" CLAY INV.=89.4'	
(2) 6" PVC INV.=89.5'	

LEGEND

	PROPOSED CONSTRUCTION ENTRANCE
	EXISTING SPOT GRADE
	PROPOSED CATCH BASIN
	PROPOSED MANHOLE
	PROPOSED INLET PROTECTION
	PROPOSED UNDER DRAIN
	PROPOSED FOUNDATION DRAIN
	PROPOSED ROOF DRAIN
	PROPOSED DRAINAGE
	EXISTING INSULATED DRAINAGE
	EXISTING DRAINAGE
	EXISTING 10' CONTOUR
	EXISTING CONTOUR
	PROPOSED CONCRETE SIDEWALK
	PROPOSED TREE LINE
	EXISTING TREE LINE
	EDGE OF WETLAND
	75' WETLAND BUFFER
	PROPERTY LINE

APPLEDORE ENGINEERING
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NORTHGATE PLAZA
AUBURN STREET
PORTLAND, MAINE

DATE: AUGUST 18, 2009
 SCALE: AS SHOWN
 DESIGNED BY: SAM
 DRAWN BY: SAM
 APPROVED BY: GY/BLM
 PROJECT NO.: 20429-CONSTDWG
 FILE NO.: 20429-CONSTDWG



No.	Description	Appd	Date

- GRADING AND DRAINAGE NOTES:**
1. COMPACTION REQUIREMENTS BELOW PAVED OR CONCRETE AREAS 95% TRENCH BEDDING MATERIAL AND 90% SAND BLANKET BACKFILL.
 2. ALL STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HANCON HI-0, ADS N-12 OR APPROVED EQUAL) UNLESS OTHERWISE SPECIFIED.
 3. SEE UTILITIES PLAN FOR ALL SITE UTILITY INFORMATION.
 4. ADJUST ALL MANHOLES, CATCHBASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
 5. COORDINATE WORK ADJACENT TO PROPOSED BUILDING WITH BUILDING CONTRACTOR.
 6. ALL DRAIN PIPES WITH LESS THAN 4' OF COVER SHALL BE INSULATED.
 7. CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND POONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCES, EXITS, RAMP AND LOADING DOCK AREAS ADJACENT TO THE BUILDING.
 8. CONTRACTOR SHALL THOROUGHLY CLEAN ALL CATCHBASINS AND DRAIN LINES, WITHIN THE LIMIT OF WORK, OF SEDIMENT IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
 9. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES.
 10. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 4' LOAM, SEED FERTILIZER AND MULCH.
 11. ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MEDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.
 12. ALL PROPOSED CATCHBASINS SHALL BE EQUIPPED WITH OIL/GAS SEPARATOR HOODS AND 4' SWAPS.
 13. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE, CITY OR PORTLAND DEPARTMENT OF PUBLIC WORKS AND CONSTRUCTION SPECIFICATIONS, LATEST EDITIONS.
 14. CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCTION MYLARS AND IN DIGITAL FORMAT (DWG FILE) ON DISK TO THE OWNER AND ARCHITECT UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
 15. SEE EXISTING CONDITIONS PLAN FOR BENCH MARK INFORMATION.
- EROSION CONTROL NOTES:**
1. INSTALL EROSION CONTROL BARRIERS AS SHOWN AS FIRST ORDER OF WORK.
 2. SEE GENERAL EROSION CONTROL NOTES ON DETAIL SHEETS.
 3. PROTECT INLET PROTECTION AROUND ALL EXISTING AND PROPOSED CATCHBASIN INLETS WITHIN THE WORK LIMITS. MAINTAIN FOR THE DURATION OF THE PROJECT UNTIL PAVEMENT HAS BEEN INSTALLED.
 4. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
 5. INSPECT INLET PROTECTION AND SILT FENCES AFTER EACH RAIN STORM OF 0.5 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT.
 6. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 4' LOAM, SEED, FERTILIZER AND MULCH.
 7. CONSTRUCTION EXCESS MAT ON ALL SLOPES STEEPER THAN 3:1.
 8. THE APPLICANT SHALL INSTRUCT AND SUPERVISE ALL EROSION CONTROL MEASURES AS REQUIRED BY STATE AND LOCAL PERMITS AND APPROVALS.
 9. CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL MEASURES SHALL INCLUDE, BUT NOT LIMITED TO, SPRINKLING WATER ON UNSTABLE SOILS SUBJECT TO AND CONDITIONS.
 10. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
 11. ALL CATCHBASIN SWAPS AND PIPING SHALL BE THOROUGHLY CLEANED TO REMOVE ALL SEDIMENT AND DEBRIS AFTER THE PROJECT HAS BEEN PAVED.
 12. TEMPORARY SOIL STOCKPILE AREAS TO BE SURROUNDED BY SILT FENCE AND SHALL BE STABILIZED BY TEMPORARY WETLAND.

6/12

GRADING, DRAINAGE & EROSION CONTROL PLAN

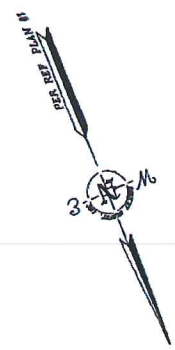
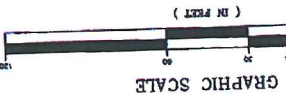
C-3

APPLEDORE ENGINEERING
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 PORTSMOUTH, NEW HAMPSHIRE 03801
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 ae@appledoreeng.com

NORTHGATE PLAZA
AUBURN STREET
PORTLAND, MAINE

DATE: AUGUST 13, 2009
 SCALE: AS SHOWN
 DESIGNED BY: SAM
 DRAWN BY: SAM
 APPROVED BY: GY/BLM
 PROJECT NO.: 2008B-CONST/MS

No	Description	Appd	Date



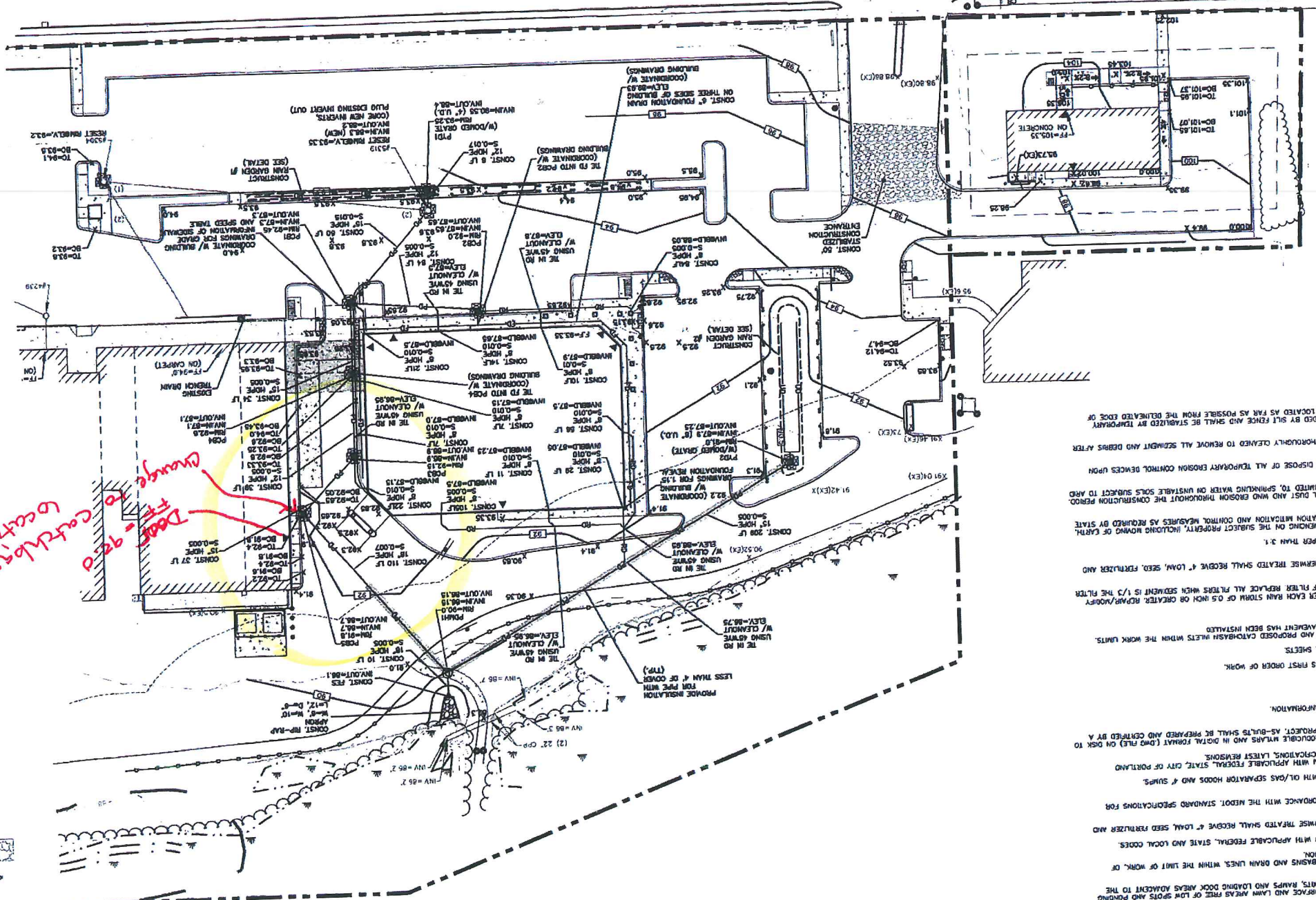
STRUCTURE TABLE

CB #4339	RM ELEV=92.1'
CB #5204	(1) 12" CLAY TILE - 89.4'
CB #5204	(2) 6" CLAY TILE - 89.2'
CB #5204	RM, OUT=88.2'
CB #5204	4" PFC COVER - 88.2'
CB #5204	RM, OUT=88.2'

LEGEND

	PROPOSED CONSTRUCTION ENTRANCE
	PROPOSED SPOT GRADE
	PROPOSED MANHOLE
	PROPOSED CATCH BASIN
	PROPOSED INLET PROTECTION
	PROPOSED UNDER DRAIN
	PROPOSED FOUNDATION DRAIN
	PROPOSED ROOF DRAIN
	PROPOSED DRAINAGE
	PROPOSED INSULATED DRAINAGE
	EXISTING DRAINAGE
	FINISH GRADE
	EXISTING TO CONTOUR
	EXISTING TO CONTOUR
	PROPOSED CONCRETE SOCKWALL
	EXISTING TREE LINE
	EDGE OF WETLAND
	75' WETLAND BUFFER
	PROPERTY LINE

*Change to catchbasin location
 Door = 92.0*



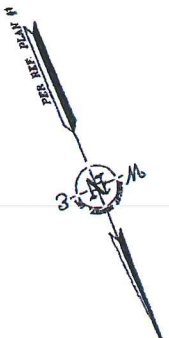
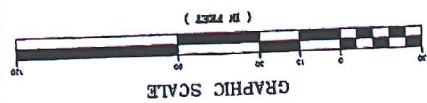
GRADING AND DRAINAGE NOTES:

1. CONSTRUCTION REQUIREMENTS
 925 BELOW PAVED OR CONCRETE AREAS
 908 BENCH BEHIND MANHOLE AND SAND BLANKET BROUGHT
2. ALL STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HANCOR H-0, A05 N-12 OR APPROVED EQUAL) ACCORDANCE WITH ASTM D-1556 OR ASTM-2922.
3. SEE UTILITIES PLAN FOR ALL SITE UTILITY INFORMATION.
4. ADJUST ALL MANHOLES, CATCHBASINS, CURB BOXES, ETC. WITHIN UNITS OF WORK TO FINISH GRADE.
5. COORDINATE WORK ADJACENT TO PROPOSED BUILDINGS WITH BUILDING CONTRACTOR.
6. ALL DRAIN PIPES WITH LESS THAN 4" OF COVER SHALL BE INSULATED.
7. CONTRACTOR SHALL PROVIDE A FINISH PAVED SURFACE AND LAMP AREAS FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCES, EXITS, RAMP AND LOADING DOCK AREAS ADJACENT TO THE BUILDING.
8. CONTRACTOR SHALL THOROUGHLY CLEAN ALL CATCHBASINS AND DRAIN LINES WITHIN THE LIMIT OF WORK, OR SMOOTHEM IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
9. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES.
10. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 4" LOCAL SEED RENOVATOR AND MULCH.
11. ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MOST STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES LATEST EDITION.
12. ALL PROPOSED CATCHBASINS SHALL BE EQUIPPED WITH OIL/OILS SEPARATOR HOODS AND 4" SUMPS.
13. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE, CITY OF PORTLAND DEPARTMENT OF PUBLIC WORKS AND CONSTRUCTION SPECIFICATIONS, LATEST EDITION.
14. CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MEDIA AND IN DIGITAL FORMAT (DWG FILE) ON DISK TO THE OWNER AND ARCHITECT UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
15. SEE EXISTING CONDITIONS PLAN FOR BENCH MARK INFORMATION.

EROSION CONTROL NOTES:

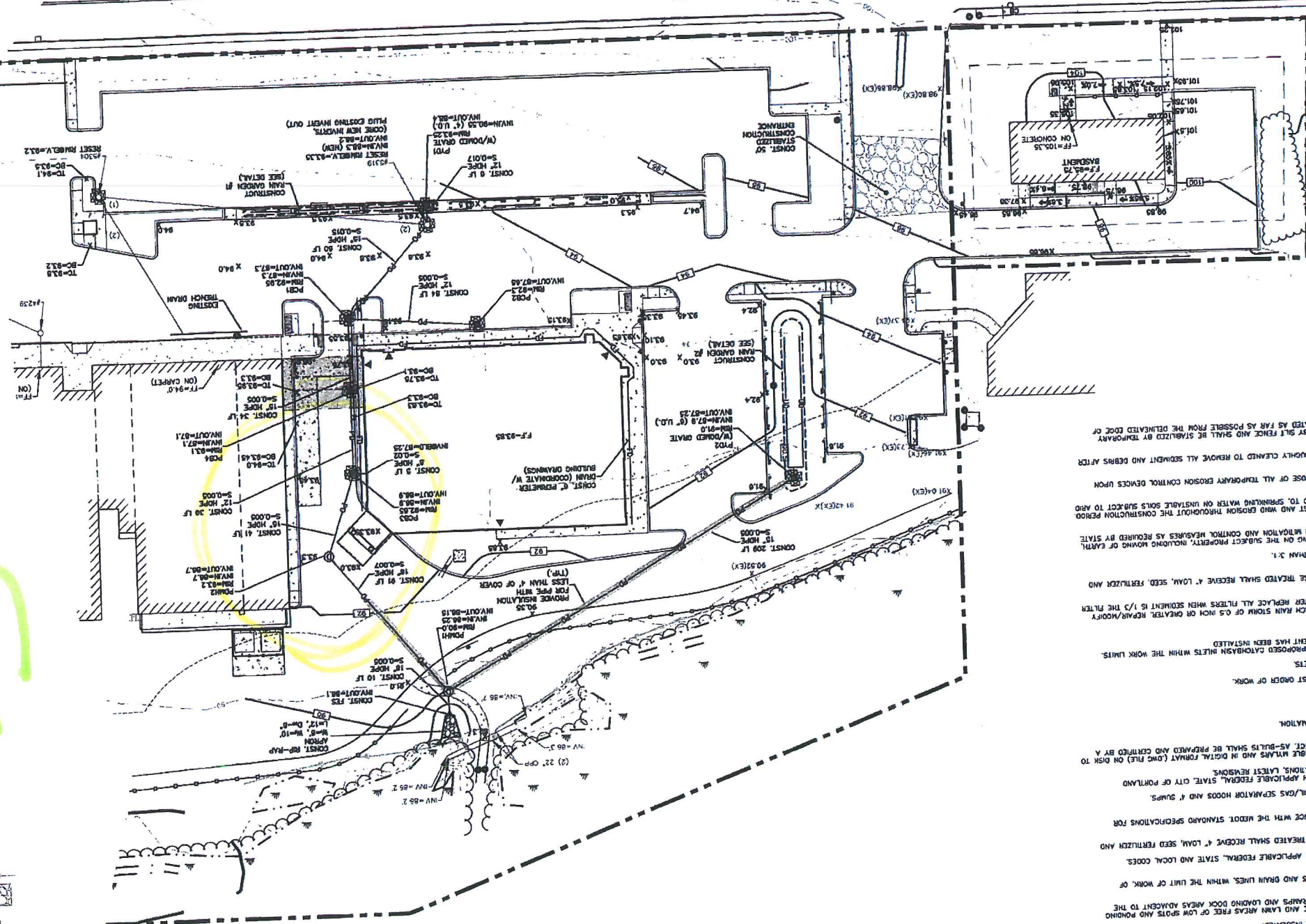
1. INSTALL EROSION CONTROL BARRIERS AS SHOWN AS FIRST ORDER OF WORK.
2. SEE GENERAL EROSION CONTROL NOTES ON DETAIL SHEETS.
3. PROVIDE INLET PROTECTION AROUND ALL EXISTING AND PROPOSED CATCHBASIN WEETS WITHIN THE WORK LIMITS.
4. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
5. INSPECT INLET PROTECTION AND SILT FENCES AFTER EACH RAIN STORM OF 0.5 INCH OR GREATER RAINFALL/PER HOUR. PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT.
6. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 4" LOCAL SEED, FERTILIZER AND MULCH.
7. CONSTRUCTION EXCESSOR MAT ON ALL SLOPE STEEPER THAN 3:1.
8. PRIOR TO ANY WORK OR SOIL DISTURBANCE COMMANDS ON THE SUBJECT PROPERTY, INCLUDING MOVING OF EARTH, AND LOCAL PERMITS AND APPROVALS.
9. CONTRACTOR SHALL INSTALL ALL EROSION AND SILTATION MITIGATION AND CONTROL MEASURES AS REQUIRED BY STATE AND LOCAL PERMITS AND APPROVALS.
10. CONTRACTOR SHALL INCLUDE BUT NOT LIMITED TO, SPRINKLING WATER ON UNSTABLE SOILS SUBJECT TO AND DUST CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD.
11. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
12. ALL CATCHBASIN SUMPS AND PIPING SHALL BE THOROUGHLY CLEANED TO REMOVE ALL SEDIMENT AND DEBRIS AFTER THE PROJECT HAS BEEN PAVED.
13. TEMPORARY SOIL STOCKPILE AREAS TO BE LOCATED AS FAR AS POSSIBLE FROM THE DELIMITED EDGE OF WETLAND.

GRADING, DRAINAGE & EROSION CONTROL PLAN



STRUCTURE TABLE

CB #310	17' DIA. VENT. MANHOLE
CB #311	12' DIA. VENT. MANHOLE
CB #312	12' DIA. VENT. MANHOLE
CB #313	12' DIA. VENT. MANHOLE
CB #314	12' DIA. VENT. MANHOLE
CB #315	12' DIA. VENT. MANHOLE
CB #316	12' DIA. VENT. MANHOLE
CB #317	12' DIA. VENT. MANHOLE
CB #318	12' DIA. VENT. MANHOLE
CB #319	12' DIA. VENT. MANHOLE
CB #320	12' DIA. VENT. MANHOLE



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NORTHGATE PLAZA
AUBURN STREET
PORTLAND, MAINE

DATE: JANUARY 30, 2009
 SCALE: AS SHOWN
 DESIGNED BY: SAJ
 DRAWN BY: SAJ
 APPROVED BY: GY/BLM
 PROJECT NO.: 20028
 FILE NO.: 20428-STEWDG



LEGEND

	PROPERTY LINE
	CODE OF WETLAND
	EXISTING TREE LINE
	PROPOSED TREE LINE
	PROPOSED CONCRETE SIDEWALK
	EXISTING TO CONTOUR
	FINISH GRADE
	EXISTING DRAINAGE
	PROPOSED INSULATED DRAINAGE
	PROPOSED DRAINAGE
	PROPOSED ROOF DRAIN
	PROPOSED INLET PROTECTION
	PROPOSED CATCH BASIN
	PROPOSED MANHOLE
	EXISTING SPOT GRADE
	PROPOSED SPOT GRADE
	PROPOSED CONSTRUCTION ENTRANCE
	PROPOSED SILT FENCE

REVISIONS

No.	Description	Date
1.	REVISED PER STAFF COMMENTS	3/13/09
2.	REVISED PER RB WORKSHOP	5/19/09
3.	REVISED PER CONDITION OF APPROVAL	6/12/09

- EROSION CONTROL NOTES:**
1. INSTALL EROSION CONTROL BARRIERS AS SHOWN AS FIRST ORDER OF WORK.
 2. SEE GENERAL EROSION CONTROL NOTES ON DETAIL SHEETS.
 3. PROVIDE INLET PROTECTION AROUND ALL EXISTING AND PROPOSED CATCHBASIN INLETS WITHIN THE WORK LIMITS.
 4. MAINTAIN FOR THE DURATION OF THE PROJECT UNTIL PAVEMENT HAS BEEN INSTALLED.
 5. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
 6. INSPECT INLET PROTECTION AND SILT FENCES AFTER EACH RAIN STORM OF 0.5 INCH OR GREATER. REPAIR/HOOPLY PROTECTION AS NECESSARY TO MAINTAIN EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT.
 7. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 4" LOAM, SEED, FERTILIZER AND MULCH.
 8. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 4" LOAM, SEED, FERTILIZER AND MULCH.
 9. CONSTRUCT EXPOSURE MAT ON ALL SLOPES STEEPER THAN 3:1.
 10. PRIOR TO ANY WORK ON SOIL DISTURBANCE CONSIDERATION AND CONTROL MEASURES AS REQUIRED BY STATE AND LOCAL PERMITS AND APPROVALS.
 11. DUST CONTROL MEASURES SHALL INCLUDE, BUT NOT LIMITED TO, SPRINKLING WATER ON UNSTABLE SOILS SUBJECT TO AND LOCAL PERMITS AND APPROVALS.
 12. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
 13. ALL CATCHBASIN Sumps AND PIPING SHALL BE THOROUGHLY CLEANED TO REMOVE ALL SEDIMENT AND DEBRIS AFTER THE PROJECT HAS BEEN PAVED.
 14. TEMPORARY SOIL STOCKPILE AREAS TO BE SURROUNDED BY SILT FENCE AND SHALL BE STABILIZED BY TEMPORARY EROSION CONTROL MEASURES AS FAR AS POSSIBLE FROM THE DELINEATED EDGE OF THE PROJECT.

- GRADING AND DRAINAGE NOTES:**
1. CONNECTION REQUIREMENTS: BELOW PAVED OR CONCRETE AREAS: 95% THROUGH BEDDING MATERIAL AND SAND BLANKET BENEATH.
 2. BELOW LOAM AND SEED AREAS: 90%
 3. ALL PERCENTAGES OF CONNECTION SHALL BE OF THE MAXIMUM GRAY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM-2922.
 4. ALL STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) (MANHOLE IN=0, 405 N=12 OR APPROVED EQUAL) UNLESS OTHERWISE SPECIFIED.
 5. SEE UTILITIES PLAN FOR ALL SITE UTILITY INFORMATION.
 6. ADJUST ALL MANHOLES, CATCHBASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
 7. COORDINATE WORK ADVANCED TO PROPOSED BUILDINGS WITH BUILDING CONTRACTOR.
 8. ALL DRAIN PIPES WITH LESS THAN 4" OF COVER SHALL BE INSULATED.
 9. CONTRACTOR SHALL PROVIDE A FINISH PAVED SURFACE AND LAMP AREAS FREE OF LOW SPOTS AND POINDING AREAS. CRACK AREAS INCLUDE BUILDING DRAINAGES, CURB, RAMPS AND LOADING DOCK AREAS ADJACENT TO THE BUILDING.
 10. CONTRACTOR SHALL THOROUGHLY CLEAN ALL CATCHBASINS AND DRAIN LINES WITHIN THE LIMIT OF WORK, OF SEDIMENT IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
 11. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES.
 12. ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.
 13. ALL PROPOSED CATCHBASINS SHALL BE EQUIPPED WITH OIL/GAS SEPARATOR HOODS AND 4" Sumps.
 14. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE, CITY OF PORTLAND DEPARTMENT OF PUBLIC WORKS AND CONSTRUCTION SPECIFICATIONS, LATEST EDITIONS.
 15. CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE PAPER AND IN DIGITAL FORMAT (DWG FILE) ON DISK TO THE OWNER AND ARCHITECT UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
 16. SEE EXISTING CONDITIONS PLAN FOR BENCH MARK INFORMATION.

