

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK PERMIT ISSUED
CITY OF PORTLAND

Please Read Application And Notes, if Any, Attached

BUILDING INSPECTION PERMIT

Permit Number: 104705 DEC 17 2010

City of Portland

This is to certify that LUCAS TREE/Stroudwater Construction has permission to cut-in 2 new overhead doors & relocate stairs AT 636 RIVERSIDE ST G817 322 A001001 provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise dressed-in. 24 HOUR NOTICE IS REQUIRED

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Approved 58

Health Dept. _____

Appeal Board _____

Other _____

Department Name

PENALTY FOR REMOVING THIS CARD

Director - Building & Inspection Services

[Signature]
12/16/10

*Left door
Scanned
MKA*

SCANNED

Sprinkler Systems, Inc.

184 Read Street

Portland, ME 04103

Ph. (207) 775-1521 Fax (207) 879-1387

Fire Protection Professionals Since 1973

March 25, 2011

Portland Fire Department
380 Congress Street
Portland, ME 04101

Attn: Captain Keith Gautreau


Re: Lucas Tree
636 Riverside Street
Portland, Maine

Dear Captain Gautreau,

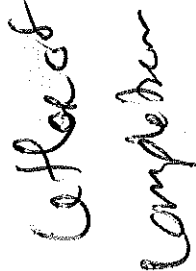
This letter is to certify that the sprinkler system in the renovated tenant space in the aforementioned location is active and is designed and installed in accordance with NFPA #13 and all other state and local codes.

If there are any questions or concerns please do not hesitate to call.

Very truly yours,
Sprinkler Systems, Inc.



Scott E. Garland, SET, RMS
Project Manager



BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating, drywalling or covering.**

 X **Final inspection required at completion of work, including engineer's approval letter.**

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1405	Issue Date:	CBL: ^{*NEW CBL} 323-A-008 322-A001001
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Location of Construction: 636 RIVERSIDE ST	Owner Name: LUCAS TREE	Owner Address: 636 RIVERSIDE	Phone:
Business Name:	Contractor Name: Stroudwater Construction	Contractor Address: 96 Ocean St unit 1 South Portland	Phone 2076507802
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: I-H

Past Use: Commercial - Garage Lvs Trc Export - Warehouse/office.	Proposed Use: Warehouse/office. Commercial - Garage - cut in 2 new overhead doors & relocate stairs	Permit Fee: \$200.00	Cost of Work: \$18,000.00	CEO District: 5
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Proposed Project Description: cut in 2 new overhead doors & relocate stairs	FIRE DEPT: <input checked="" type="checkbox"/> Approved w/conditions <input type="checkbox"/> Denied 12/14/10	INSPECTION: Use Group: F1/S2/B Type: 3B IRC-2003 Signature: <i>[Signature]</i> 12/16/10
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Permit Taken By: Idobson	Date Applied For: 11/12/2010	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> OK w/condition Date: 11/16/10 ABU	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied ABU Date:
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PERMIT ISSUED

DEC 17 2010

City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1405	Date Applied For: 11/12/2010	CBL: 322 A001001
-----------------------	---------------------------------	---------------------

Location of Construction: 636 RIVERSIDE ST	Owner Name: LUCAS TREE	Owner Address: 636 RIVERSIDE	Phone:
Business Name:	Contractor Name: Stroudwater Construction	Contractor Address: 96 Ocean St unit 1 South Portland	Phone (207) 650-7802
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Commercial - Lucas Tree Experts - Warehouse/office - cut in 2 new overhead doors & relocate stairs	Proposed Project Description: cut in 2 new overhead doors & relocate stairs
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 11/16/2010

Note: This is lot 3 of subdivision. CBL is 322 A008.

Ok to Issue:

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 12/16/2010

Note:

Ok to Issue:

- 1) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 2) Prior to the final inspection a sealed letter shall be submitted to this office from the engineer confirming that based on inspections performed the structural work is in substantial compliance with the approved plans.
- 3) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, including pellet/wood stoves, commercial kitchen exhaust hood systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 4) Application approval based upon information provided by applicant including revisions dated 12/8/10. Any deviation from approved plans requires separate review and approval prior to work.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Ben Wallace Jr. **Approval Date:** 12/14/2010

Note:

Ok to Issue:

- 1) A separate Suppression System Permit is required for all new suppression systems or sprinkler work effecting more than 20 heads.
- 2) A separate Fire Alarm Permit is required for new systems; or for work effecting more than 5 fire alarm devices; or replacement of a fire alarm panel with a different model .
- 3) Walls in structure are to be labeled according to fire resistance rating.
IE; 1 hr. / 2 hr. / smokeproof.
- 4) Fire extinguishers required. Installation per NFPA 10
- 5) Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit.
- 6) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.
- 7) A single source supplier should be used for all through penetrations.
- 8) Buildings with a Fire Alarm or sprinkler system require a Knox Box to be installed per city ordinance
- 9) All construction shall comply with City Code Chapter 10.
- 10) This permit is being approved on the basis of the plans submitted. Any deviation from the plans would require amendments and approval.

Location of Construction: 636 RIVERSIDE ST	Owner Name: LUCAS TREE	Owner Address: 636 RIVERSIDE	Phone:
Business Name:	Contractor Name: Stroudwater Construction	Contractor Address: 96 Ocean St unit 1 South Portland	Phone (207) 650-7802
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Comments:

11/18/2010-wallaceb: Building is sprinklered. Single means of egress allowed (101-38.2.4.6).
Doors into new exit enclosure shall swing in direction of egress travel (101-7.2.1.4.2) and be 60-minute rated (101-7.1.3.2.1 and 8.3.4.2) to exit discharge (101-7.1.3.2.2).

Door from room 207 shall not encroach into corridor more than 7 inches (101-7.2.1.4.3).

Space under nosing shall not count toward required 11 inch tread run (101-7.2.2.3.5).

12/8/2010-jmb: Revised plans submitted showing life safety changes.

12/16/2010-jmb: Spoke with David C. Regarding engineers inspections and compliance letter. Received deed.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>636 RIVERSIDE ST.</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>322 A 1</u> <u>x will be 3 22 A-058</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>LUAS TRAE</u> Address <u>636 RIVERSIDE ST</u> City, State & Zip <u>PORTLAND ME 04103</u>	Telephone: <u>ART BARTSON III</u> <u>797-7294</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>SAME</u> Address City, State & Zip	Cost Of Work: \$ <u>18,000.⁰⁰</u> C of O Fee: \$ Total Fee: \$ <u>200</u>
Current legal use (i.e. single family) <u>GRACE - wheelchair</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>SAME</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>CUT IN 2 NEW OVERHEAD DOORS & RELOCATE STAIRS.</u>		
Contractor's name: _____ Address: <u>STROUDWATER</u> City, State & Zip: <u>Construction Company, Inc.</u> Telephone: <u>650-7802</u> Who should we contact when the permit is ready: <u>96 Ocean Street</u> <u>DAVID CIMINO</u> Telephone: _____ <u>South Portland, ME 04106</u> Mailing address: <u>SAME</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 11-12-10

RECEIVED

This is not a permit; you may not commence ANY work until the permit is issue

NOV 12 2010
Dept. of Building Inspections
City of Portland Maine



Certificate of Design Application

From Designer:

DANIEL S. CHASE, P.E.

Date:

11/9/10

Job Name:

LUCAS TREE EXPERTS

Address of Construction:

636 RIVERSIDE ST.

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year 2003 IBC Use Group Classification (s) FACTORY INDUSTRIAL, STORAGE, BUSINESS

Type of Construction III

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC YES

Is the Structure mixed use? YES If yes, separated or non separated or non separated (section 302.3) SEPARATED

Supervisory alarm System? YES Geotechnical/Soils report required? (See Section 1802.2) NO

Structural Design Calculations

Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
<u>LIGHT STORAGE</u>	<u>125 PSF</u>
<u>OFFICE</u>	<u>50</u>
<u>STAIRWAY</u>	<u>100</u>
<u>CORRIDOR</u>	<u>80</u>

Wind loads (1603.1.4, 1609)

1609.6 Design option utilized (1609.1.1, 1609.6)
110 MPH Basic wind speed (1809.3)
II 1.00 Building category and wind importance Factor, I_w (table 1604.5, 1609.5)
C Wind exposure category (1609.4)
 Internal pressure coefficient (ASCE 7)
 Component and cladding pressures (1609.1.1, 1609.6.2.2)
 Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

Design option utilized (1614.1)
N/A Seismic use group ("Category")
 Spectral response coefficients, S_D & S_I (1615.1)
 Site class (1615.1.5)

Live load reduction
 Roof live loads (1603.1.2, 1607.11)
 Roof snow loads (1603.7.3, 1608)
 Ground snow load, P_g (1608.2)
 If $P_g > 10$ psf, flat-roof snow load P_f
 If $P_g > 10$ psf, snow exposure factor, C_e
N/A If $P_g > 10$ psf, snow load importance factor, I_s
 Roof thermal factor, C_t (1608.4)
 Sloped roof snowload, P_s (1608.4)
 Seismic design category (1616.3)
 Basic seismic force resisting system (1617.6.2)
 Response modification coefficient, R , and deflection amplification factor, C_d (1617.6.2)
 Analysis procedure (1616.6, 1617.5)
 Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

N/A Flood Hazard area (1612.3)
N/A Elevation of structure

Other loads

Concentrated loads (1607.4)
N/A Partition loads (1607.5)
N/A Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



Commercial Interior & Change of Use Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

One (1) complete set of construction drawings must include:

Note: Construction documents for costs in excess of \$50,000.00 must be prepared by a Design Professional and bear their seal.

- Cross sections w/framing details
- Detail of any new walls or permanent partitions
- Floor plans and elevations
- Window and door schedules - ON PLANS
- Complete electrical and plumbing layout.- BY ELECTRICIAN, NO PLUMBING
- Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment or other types of work that may require special review - N/A
- Insulation R-factors of walls, ceilings, floors & U-factors of windows as per the IEBC 2003 - N/A
- Proof of ownership is required if it is inconsistent with the assessors records.
- Reduced plans or electronic files in PDF format are required if originals are larger than 11" x 17".
- Per State Fire Marshall, all new bathrooms must be ADA compliant. - N/A

Separate permits are required for internal and external plumbing, HVAC & electrical installations.

For additions less than 500 sq. ft. or that does not affect parking or traffic, a site plan exemption should be filed including:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines.
- Location and dimensions of parking areas and driveways, street spaces and building frontage.
- Dimensional floor plan of existing space and dimensional floor plan of proposed space.

A Minor Site Plan Review is required for any change of use between 5,000 and 10,000 sq. ft. (cumulatively within a 3-year period)

Fire Department requirements.

The following shall be submitted on a separate sheet:

- Name, address and phone number of applicant and the project architect. - ON PLANS
- Proposed use of structure (NFPA and IBC classification) - ON PLANS
- Square footage of proposed structure (total and per story) - ON PLANS
- Existing and proposed fire protection of structure. - ON PLANS
- Separate plans shall be submitted for - N/A (EXISTING SYSTEM)
 - a) Suppression system
 - b) Detection System (separate permit is required)
- A separate Life Safety Plan must include: - ON PLANS
 - a) Fire resistance ratings of all means of egress - ON PLANS
 - b) Travel distance from most remote point to exit discharge - ON PLANS
 - c) Location of any required fire extinguishers - N/A
 - d) Location of emergency lighting - ON PLANS
 - e) Location of exit signs - N/A
 - f) NFPA 101 code summary - ON PLANS
- Elevators shall be sized to fit an 80" x 24" stretcher. - N/A

For questions on Fire Department requirements call the Fire Prevention Officer at (207) 874-8405.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.



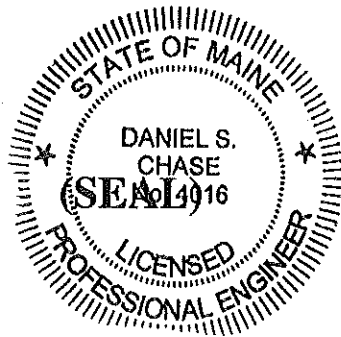
Accessibility Building Code Certificate

Designer: DANIEL S. CHASE, P.E.

Address of Project: 636 RIVERSIDE ST.

Nature of Project: NO PROPOSED ALTERATIONS IMPACT
CURRENT ACCESSIBILITY OR REQUIRE
ACCESSIBILITY UPGRADES.

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: Daniel S Chase

Title: Principal

Firm: Daniel S Chase P.E.

Address: 26 Stonybrook Rd.
Cape Elizabeth, ME 04107

Phone: (207) 799-9087

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design

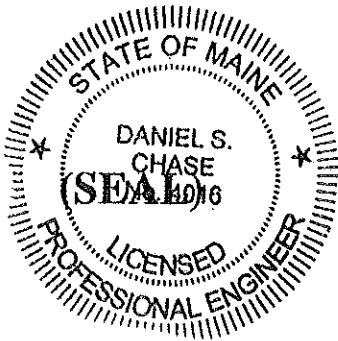
Date: 11/09/10

From: DANIEL S. CHASE, P.E.

These plans and / or specifications covering construction work on:

LUCAS TREE EXPERT BUILDING MODIFICATIONS
636 RIVERSIDE ST., PORTLAND, ME

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.



Signature: Daniel S Chase

Title: PRINCIPAL

Firm: DANIEL S. CHASE, P.E.

Address: 26 STONYBROOK RD.

CAPE ELIZABETH, ME 04107

Phone: (207) 799-9087

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

QUITCLAIM DEED

MAINE REAL ESTATE TAX PAID

KNOW ALL PERSONS BY THESE PRESENTS, that the City of Portland, a body politic and corporate in the County of Cumberland, State of Maine, in consideration of one dollar (\$1.00) and other valuable consideration paid by Addison Capital, LLC, a Maine limited liability company with a mailing address of 2 Shady Lane, Falmouth, Maine 04105, the receipt whereof is hereby acknowledged, does hereby remise, release, bargain, sell and convey and forever quitclaim to the said Addison Capital, LLC, his/her/their heirs/successors and assigns, a certain lot or parcel of land more particularly described in Schedule A, attached hereto and incorporated herein by reference.

The Premises is shown as Lot # 3 on a Recording Plat entitled "Riverside Subdivision" by Woodard & Curran, dated October 7, 2010 and recorded in the Cumberland County Registry of Deeds on October 14, 2010 at Book 210, Page 352

IN WITNESS WHEREOF, the said City of Portland has hereunto caused this instrument to be signed by Ellen Sanborn, its duly authorized Director of Finance, this 14th day of October, 2010.

Witness

CITY OF PORTLAND
By: Ellen Sanborn
Director of Finance

STATE OF MAINE
CUMBERLAND, ss.

October 14, 2010

Personally appeared the above-named Ellen Sanborn in her capacity as the Director of Finance of the City of Portland, and acknowledged the foregoing instrument to be her free act and deed and the free act and deed of the City of Portland.

Before me,
Margaret M. Axelsen
Notary Public/Attorney at Law

SEAL

Margaret M. Axelsen
Notary Public, Maine
Commission Expires: August 8, 2016

Printed Name
Margaret M. Axelsen

Doc# 56936 Bk#28176 Pg# 19

Schedule A

October 7, 2010

DEED DESCRIPTION
FOR
CITY OF PORTLAND, MAINE

2010-029P Riverside Subdivision -- Lot 3

A certain lot or parcel of land situated on the westerly side of Riverside Street in the City of Portland, County of Cumberland and State of Maine, bounded and described as follows:

Beginning at the northeasterly corner of lot herein and being Lot 3 as shown on "Recording Plat Riverside Subdivision City of Portland, Maine Sept. 1, 2010 Owen Haskell, Inc. Job No. 2010-029P";

Thence, southerly along the westerly sideline of Riverside Street along a curve to the left having a radius of 990.18 feet an arc length of 42.50 feet;

Thence, S 10° 57' 41" W along the westerly sideline of said Riverside street 50.08 feet;

Thence, southerly along the westerly sideline of said Riverside Street along a curve to the left having a radius of 2161.08 feet an arc length of 85.60 feet;

Thence, N 11° 10' 09" E along said street 135.88 feet to lot 4 as shown on said plan;

Thence, the following courses and distances along Lot 4:

- N 78° 49' 51" W a distance of 534.92 feet;
- N 11° 10' 09" E a distance of 337.50 feet;
- S 79° 21' 16" E a distance of 254.83 feet;
- S 10° 38' 44" W a distance of 26.77 feet;
- S 79° 00' 30" E a distance of 282.12 feet to the westerly sideline of said Riverside Street and the point of beginning, containing 4.00 Acres.

Received
Recorded Register of Deeds
Oct 15, 2010 02:26:16P
Cumberland County
Pamela E. Lovley

DANIEL S. CHASE, P. E.
Structural & Construction Engineering
26 Stonybrook Rd.
Cape Elizabeth, ME 04107
(207) 799-9087
dp.chase@myfairpoint.net

March 29, 2011

Mr. David Cimino
Stroudwater Construction
96 Ocean St.
South Portland, ME 04106

RE: Lucas Tree Experts building modifications

Dear David,

Today I performed a walk-through of the subject project. The purpose of the walk-through was to confirm that the required structural modifications are complete, and that the quality of the work will meet design requirements.

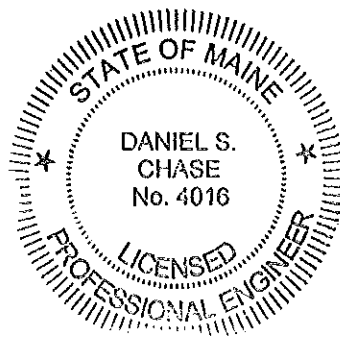
My walk through revealed that this is the case. No further structural modifications or work to upgrade the work in place is required.

If you have questions, or require further information, please contact me.

Yours truly,



Daniel Chase



etc to close in
all stringers LUL 10/24
all framing metal studs
5/8 rod throughout
N/A

Send letter of completion
to Structural Co.

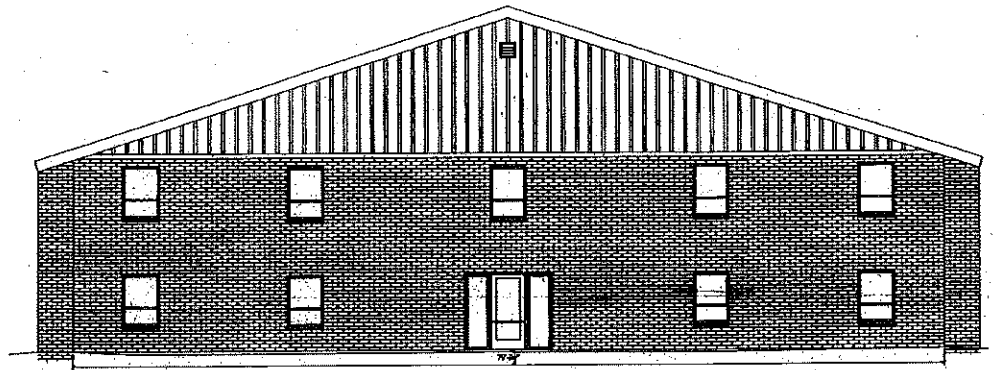
Daniel S. Chase, P.E.
 Structural &
 Construction
 Engineering
 27 Stonybrook Rd.
 Cape Elizabeth, ME
 04107
 207-799-9087
 Stroudwater
 Construction
 96 Ocean St.
 South Portland, ME
 04106
 207-767-9111

LUCAS TREE EXPERTS
 636 Riverside Street
 Portland, Maine 04103

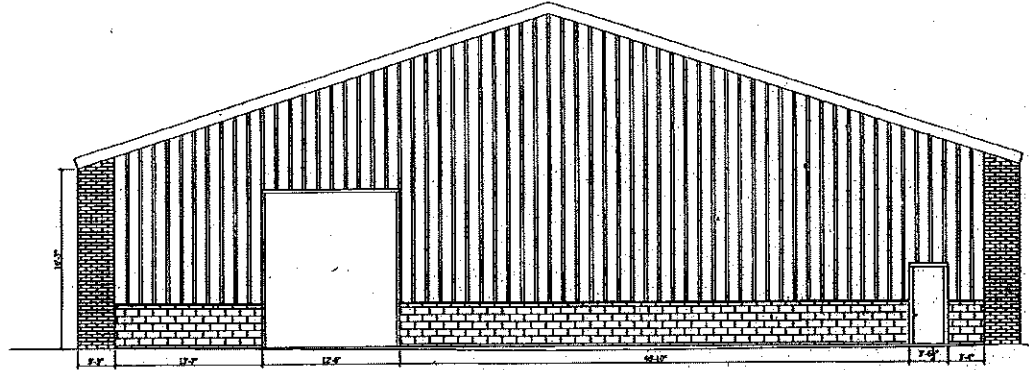
REVISIONS:

ELEVATIONS
 SCALE: 1/8"=1'-0"
 Date: November 8, 2010
 DWG: Audrey Robie

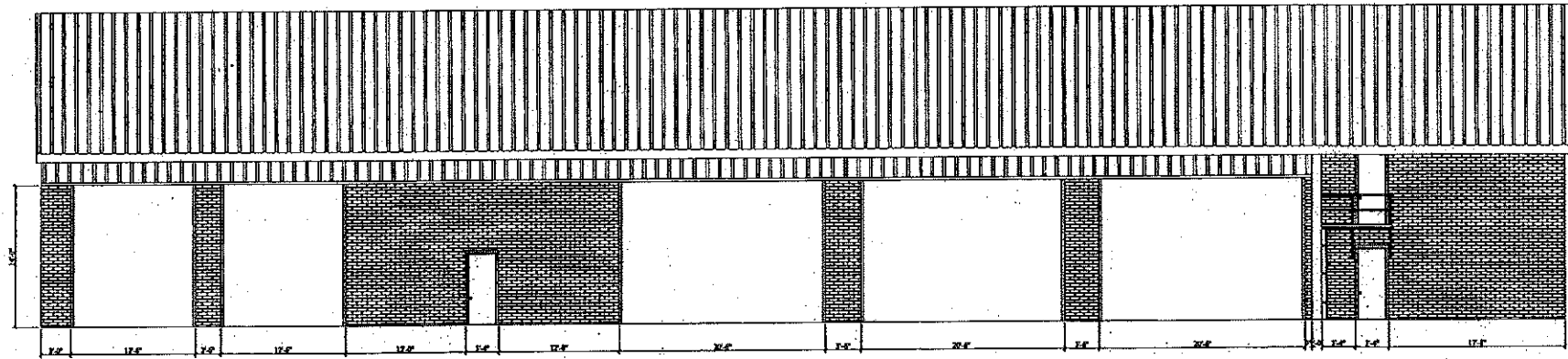
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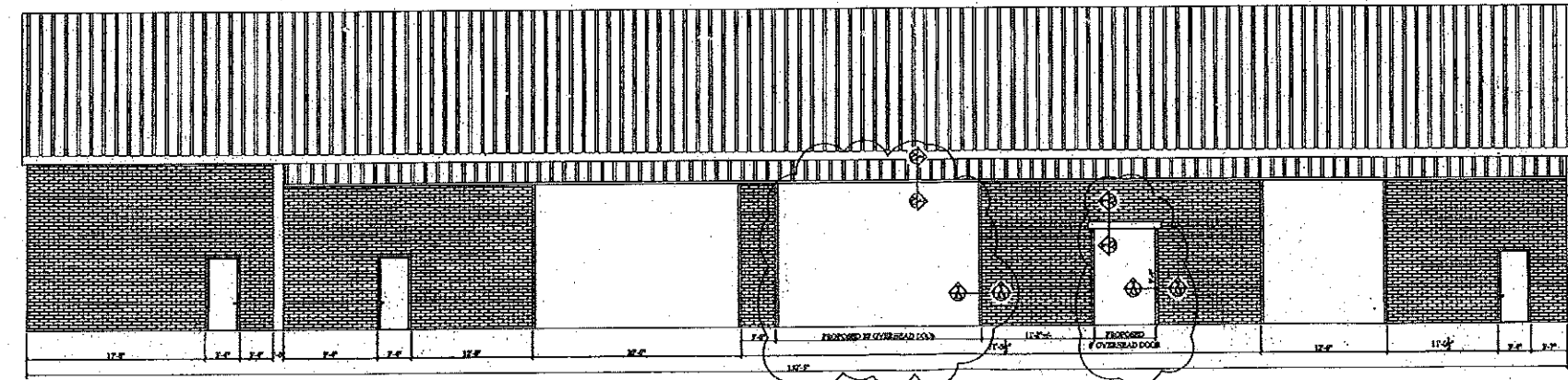
EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION



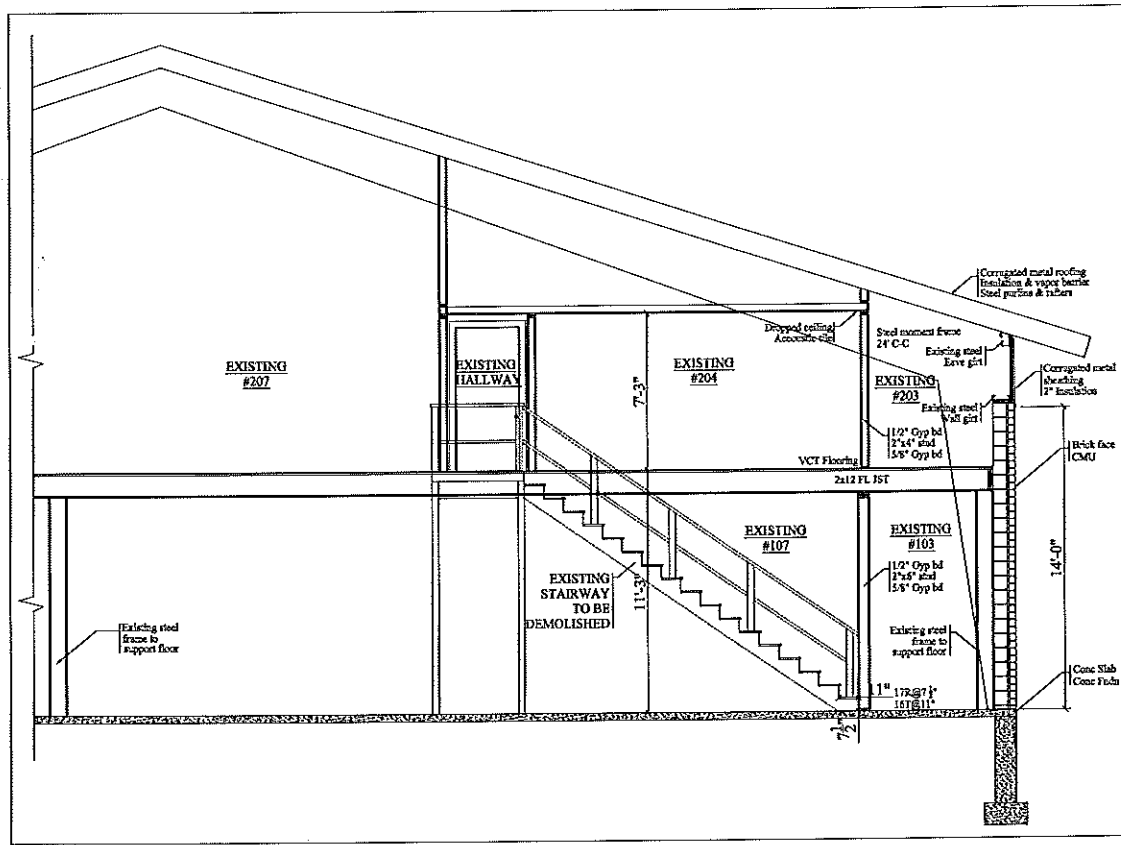
NORTH ELEVATION

Revised
RECEIVED

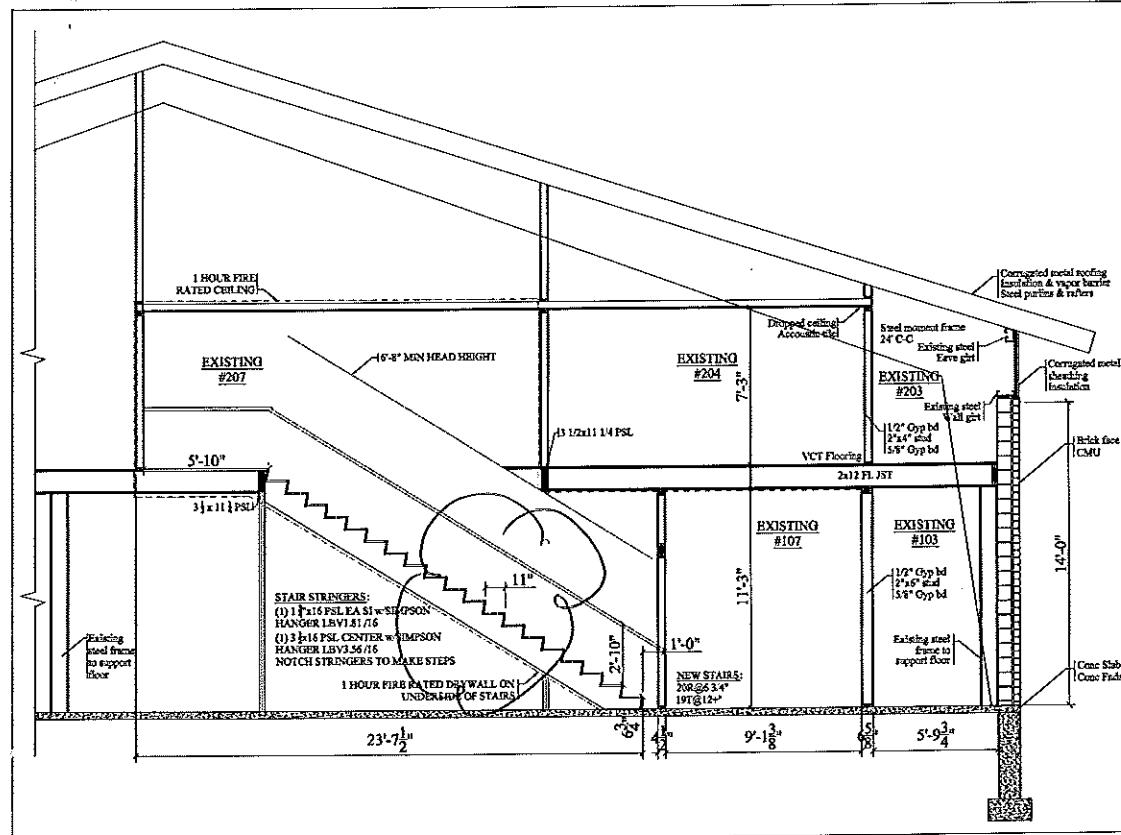
DEC - 8 2010

Dept. of Building Inspections
 City of Portland Maine

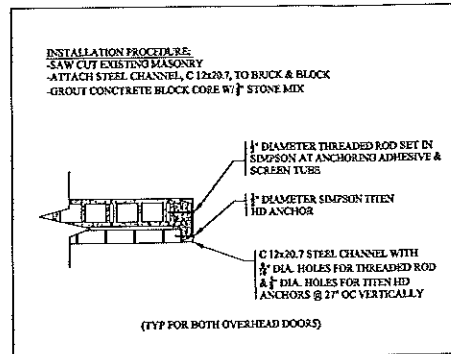




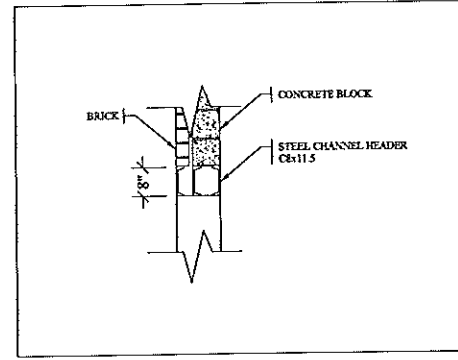
1 SECTION-EXISTING STAIR
SCALE: 1/4"=1'-0"



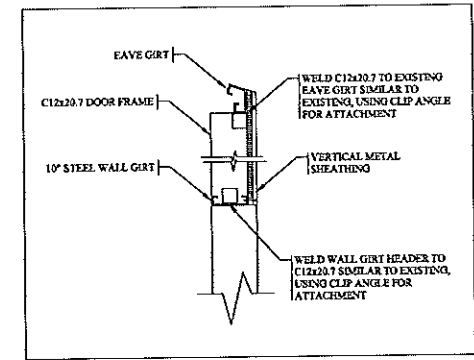
2 SECTION-NEW STAIR
SCALE: 1/4"=1'-0"



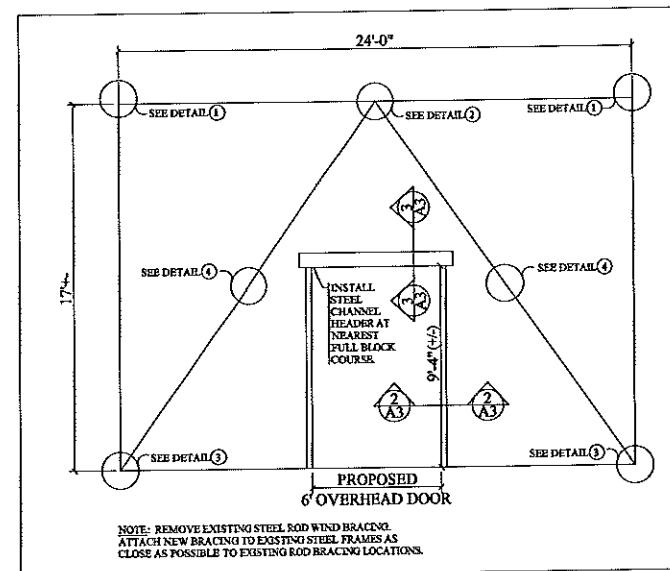
3 SECTION-OVERHEAD DR SIDE FRAME
SCALE: 1/4"=1'-0"



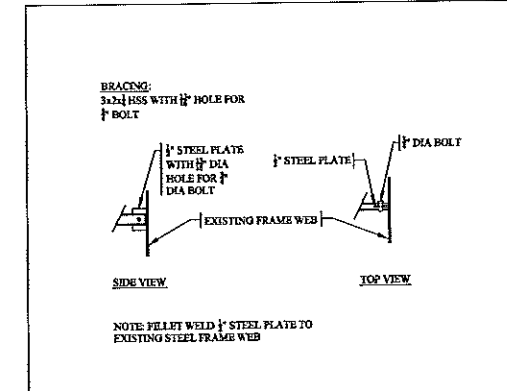
4 SECTION-HEADER 6'x9' OVERHEAD DR
SCALE: 1/4"=1'-0"



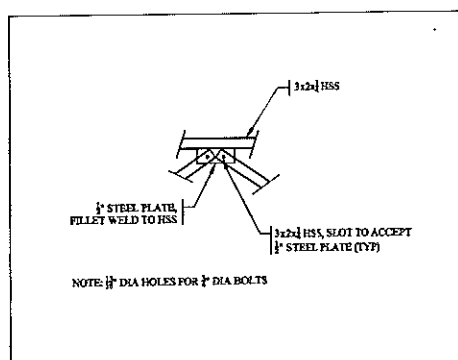
5 SECTION-HEADER 20' OVERHEAD DR
SCALE: 1/4"=1'-0"



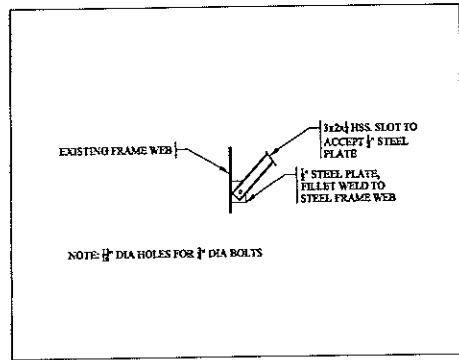
A ELEVATION-NEW WIND BRACING
SCALE: 1/4"=1'-0"



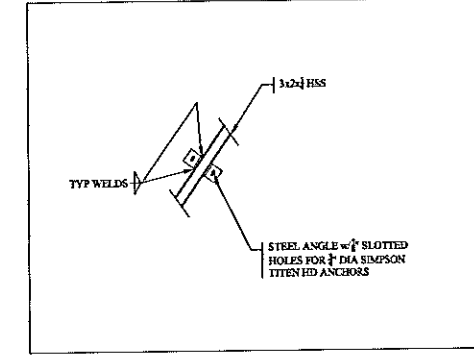
1 DETAIL
SCALE: 1/4"=1'-0"



2 DETAIL
SCALE: 1/4"=1'-0"



3 DETAIL
SCALE: 1/4"=1'-0"



4 DETAIL
SCALE: 1/4"=1'-0"

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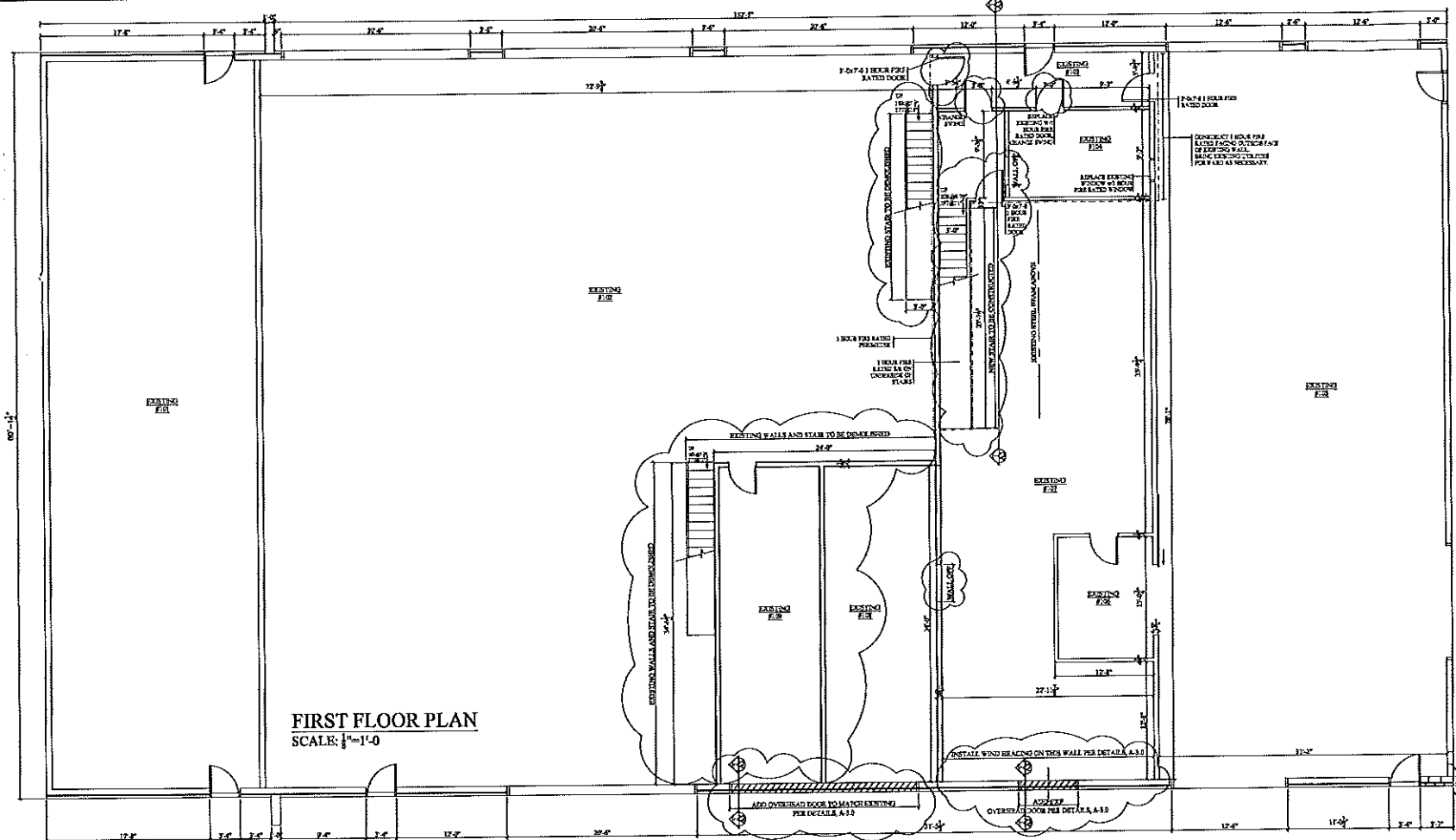
LUCAS TREE EXPERTS

636 Riverside Street
Portland, Maine 04103

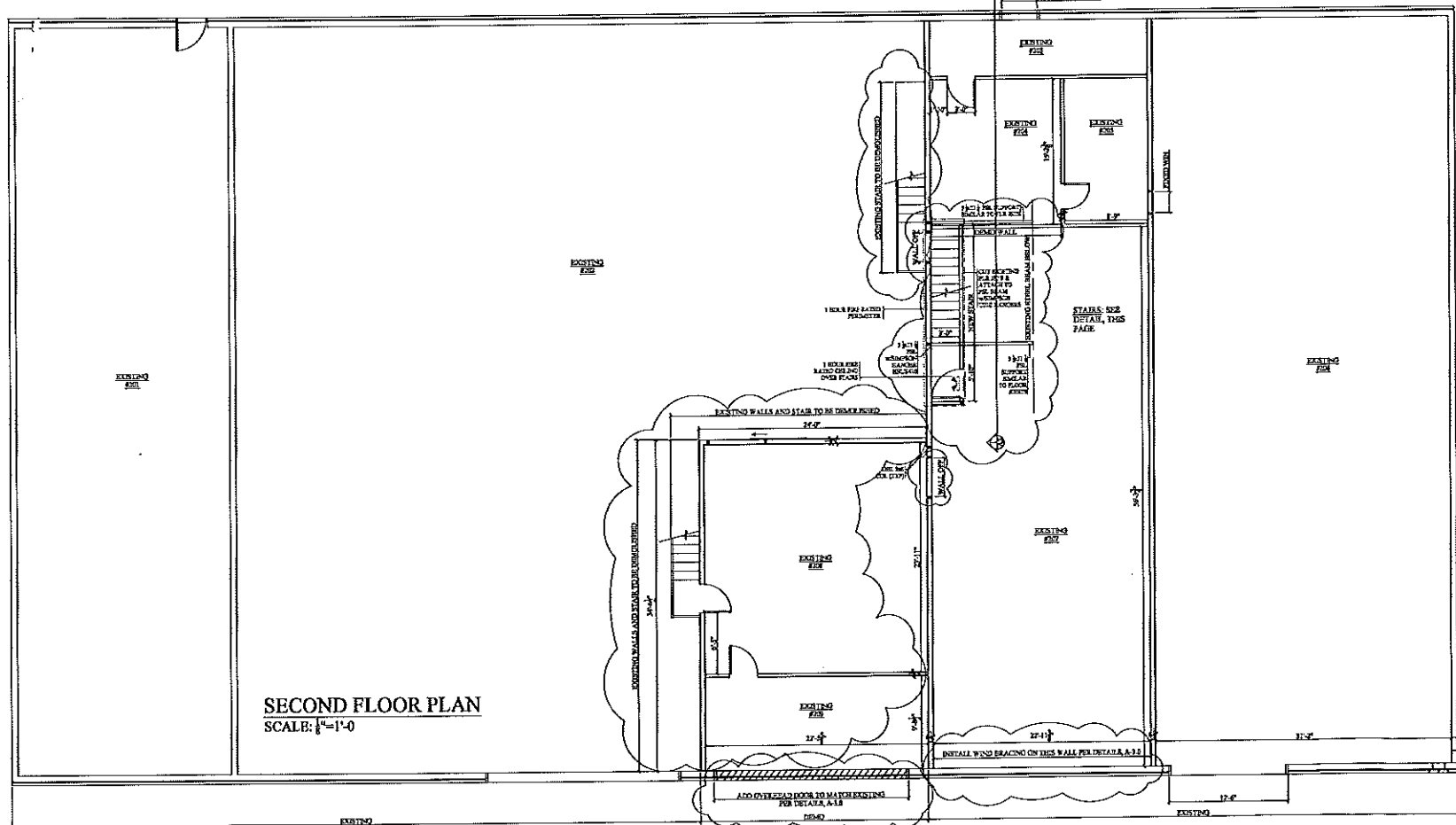
REVISIONS:

SECTIONS &
DETAILS
SCALE: As noted
Date: December 6, 2010
DWG: Audrey Rolio

A-3.0



FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

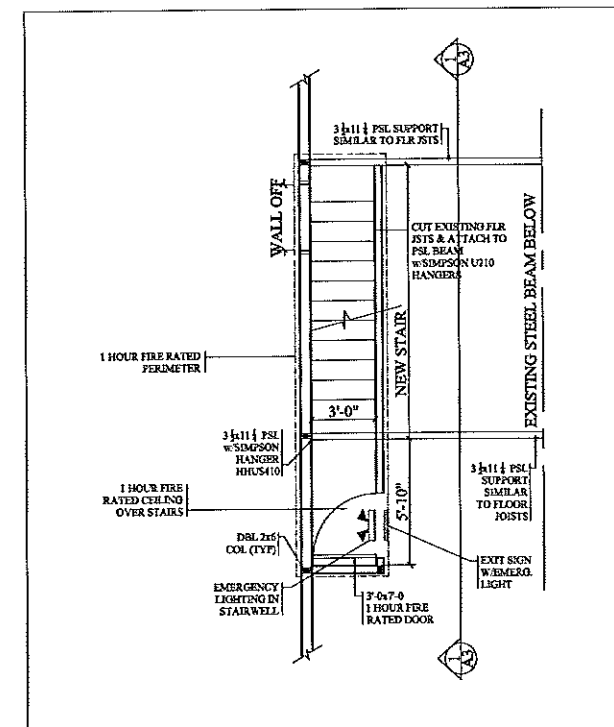


SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

Lucas Tree Expert Company, Overhead Door Addition project, Life Safety Analysis

Occupancy Group	Use	Required fire separation	Construction type	Occupant load of second floor	Required egress
306.2: Factory Industrial F-1, Moderate Hazard	Motor vehicle, construction & agricultural equipment repair	302.1.1: F-1 to S-1; 1 hr., or sprinkler			1014.1: Single means of egress allowed
IBC 311.2: Moderate Hazard Storage, S-1	Storage incidental to F-1	302.1.1: F-1 to B; 2 hr. or 1 hr. with sprinkler	III	1004.1: 24 people	1009.1: 36 in. stair & landing width
304.1: Business	Offices incidental to F-1	302.1.1: S-1 to B; 2 hr. or 1 hr. with sprinkler			1016.2: 36 in. corridor width
40.1.4.1.2: Special Purpose Industrial	Vehicle and repair operations	6.1.14.4.3: SPI to OHS; 1 hr.			7.3.4.1: 36 in. width
NFPA 6.1.13: Ordinary Hazard Storage	Storage incidental to SPI	6.1.14.4.3: SPI to B; 2 hr., or 1 hr. with sprinkler	NA	7.3.1.2: 24 people	39.2.4.3: Single means of egress allowed
6.1.11.1: Business	Offices incidental to SPI	6.1.14.4.3: OHS to B; 2 hr., or 1 hr. with sprinkler			

LIFE SAFETY ANALYSIS



STAIR DETAIL
SCALE: 1/4"=1'-0"

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LUCAS TREE EXPERTS

636 Riverside Street
Portland, Maine 04103

REVISIONS:

FLOOR PLANS

SCALE: As noted
Date: December 6, 2010
DWG: Audrey Koko

A-2.0