

DELUCA-HOFFMAN ASSOCIATES, INC.
CONSULTING ENGINEERS

778 MAIN STREET
SUITE 5
SOUTH PORTLAND, MAINT. 04106
TEL. 207 775 1121
FAX 207 879 0894

ROADWAY DESIGN
 ENVIRONMENTAL ENGINEERING
 TRAFFIC STUDIES AND MANAGEMENT
 PERMITTING
 AIRPORT ENGINEERING
 SITE PLANNING
 CONSTRUCTION ADMINISTRATION

MEMORANDUM

TO: Code Enforcement
Kandi Talbot, Planner

FROM: Gordon Smith, Director of Construction Services
Reviewed by Steve Bushey, P.E., Acting Development Review Coordinator

DATE: May 12, 2000

RE: Temporary Certificate of Occupancy - 100 Tucker Avenue

On May 9, 2000, the site was reviewed for compliance with the conditions of approval dated December 27, 1999. My comments are:

1. The landscape work, including lawns and trees, could not be completed due to the time of year. This work must be completed by June 15, 2000.
2. Due to the condition of the site, the existing curb and sidewalk in front of the house could not be inspected.
3. Nancy Krauber of the City of Portland's inspection division, will need to inspect the driveway apron, roadway, and any other right-of-way work in the spring prior to issuance of a permanent certificate of occupancy.

It is my opinion that a temporary certificate of occupancy could be issued, assuming Code Enforcement has no outstanding issues. However, items 1 through 3 above must be reviewed and approved prior to the issuance of a permanent certificate of occupancy.

#1



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT HEATING OR POWER EQUIPMENT

MAR 3 2007

multi family

332 B 008

000154

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 100 111 Tucker Ave Use of Building Single Family Date 3/2/07

Name and address of owner of appliance Larry Lyden

Installer's name and address Scott Bell's 141 Maple St Westbrook, ME 04092 Telephone 854-1928

Location of appliance:

- Basement
- Floor
- Attic
- Roof

Type of Fuel:

- Gas
- Oil
- Solid

Appliance Name: Burnham

U.L. Approved Yes No

Will appliance be installed in accordance with the manufacturer's installation instructions? Yes No

IF NO Explain: _____

The Type of License of Installer:

- Master Plumber # _____
- Solid Fuel # _____
- Oil # _____
- Gas # PNT 1592
- Other _____

Type of Chimney:

- Masonry Lined
- Factory built _____

Metal

Factory Built U.L. Listing # _____

Direct Vent Type ? U.L.# _____

Type of Fuel Tank

- Oil
- Gas

Size of Tank _____

Number of Tanks 1

Distance from Tank to Center of Flame outside feet.

Approved

Fire: ARMY

Ele.: _____

Bldg.: _____

Signature of Installer

[Handwritten signature]

Approved with Conditions

See attached letter of requirement

The proposed direct vent

shall be per approved and install

ed as per the manufacturer's req.

White - Inspection

Yellow - File

Pink - Applicant's

Gold - Assessor's Copy

ELECTRICAL PERMIT

City of Portland, Me.

S/F



(P)

To the Chief Electrical Inspector, Portland Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the City of Portland Electrical Ordinance, National Electrical Code and the following specifications:

Date 2-4-00
Permit # 44
CBL# 332-B-058

SITE LOCATION: 100 Tucker Ave extension Lot #1

OWNER Lydon TENANT _____

TOTAL EACH FEE

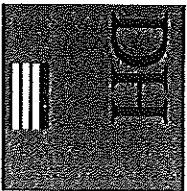
OUTLETS	Receptacles	40	Switches	15	Smoke Detectors	6	20	13.40
FIXTURES	Incandescent	12	fluorescent	3	Strips		.20	3.00
SERVICES	Overhead		Underground	<input checked="" type="checkbox"/>	TTL AMPS	<800	15.00	15.00
	Overhead		Underground			>800	25.00	
Temporary Service	Overhead		Underground		TTL AMPS		25.00	
METERS	(number of)	1					25.00	
MOTORS	(number of)						1.00	1.00
RESID/COM	Electric units		Interior		Exterior		1.00	
HEATING	oil/gas units		Ranges		Wall Ovens		5.00	
APPLIANCES			Insta-Hot		Fans		2.00	2.00
			Dryers		Disposals		2.00	4.00
			Compactors		Spa		2.00	2.00
MISC. (number of)	Others (denote)				Washing Machine		2.00	7.00
	Air Cond/win						3.00	
	Air Cond/cent				Pools		10.00	
	HVAC		EMS		Thermostat		5.00	
	Signs						10.00	
	Alarms/res						5.00	
	Alarms/com						15.00	
	Heavy Duty(CRKT)						2.00	
	Circus/Carnv						25.00	
	Alterations						5.00	
	Fire Repairs						15.00	
	E Lights						1.00	
	E Generators						20.00	
PANELS	Service		Remote		Main		4.00	4.00
TRANSFORMER	0-25 Kva						5.00	
	25-200 Kva						8.00	
	Over 200 Kva						10.00	
INSPECTION:	MINIMUM FEE/COMMERCIAL	35.00	TOTAL AMOUNT DUE	MINIMUM FEE	25.00			44.40
	Will be ready		or will call					

CONTRACTORS NAME Carl F. Stephenson MASTER LIC. # 4750076788

ADDRESS 235 Fowler Rd Cape Elizabeth LIMITED LIC. # 4750076788

TELEPHONE H. 999-8784 cell 838-5433

SIGNATURE OF CONTRACTOR Carl F. Stephenson



DELUCA-HOFFMAN ASSOCIATES, INC.
CONSULTING ENGINEERS

778 MAIN STREET
SUITE 8
SOUTH PORTLAND, MAINE 04106
TEL. 207 775 1121
FAX 207 879 0896

Handwritten initials: FH
Handwritten signature: Steve

- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
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- PERMITTING
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- SITE PLANNING
- CONSTRUCTION ADMINISTRATION

MEMORANDUM

TO: Code Enforcement
Kandi Talbot, Planner

FROM: Chris Earle, Construction Representative
Reviewed by Steve Bushey, P.E., Acting Development Review Coordinator

DATE: August 2, 2000

RE: Certificate of Occupancy – 100 Tucker Avenue

On July 27, 2000, the site was reviewed for compliance with the conditions of approval.

It is our opinion that a permanent certificate of occupancy could be issued, assuming Code Enforcement has no outstanding issues.

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Minor/Minor Site Review, Building or Use Permit Pre-Application
Detached Single Family Dwelling**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTE** If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>Lot #1 Tucker Ave #100</u>		Square Footage of Lot: <u>10,400 #</u>
Total Square Footage of Proposed Structure: <u>1494 #</u>	Owner: <u>J.E. Hyden Jr. Const. Inc.</u>	Telephone#: <u>999-5495</u> <u>999-2731</u>
Tax Assessor's Chart, Block & Lot Number: <u>Chart# 332 Block# B Lot# 008</u>	Owner's Purchaser/Lessee Address: <u>183 Mitchell Rd. Cape Elizabeth, ME 04102</u>	Cost Of Work: <u>\$70,000.00</u> Fee: <u>\$444</u>
Lessee/Buyer's Name (If Applicable): <u>J.E. Hyden Jr. Const. Inc.</u>		

Proposed Project Description: (Please be as specific as possible)

New - wood frame single family home

3000 Sill Plu
744

Contractor's Name, Address & Telephone: J.E. Hyden Jr. Const. Inc. 183 Mitchell Rd. Cape Elizabeth, ME 04102 Rec'd By: [Signature]

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
 - All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
 - HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.
- You must include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract if available
- 3) A Plot Plan (Sample Attached)

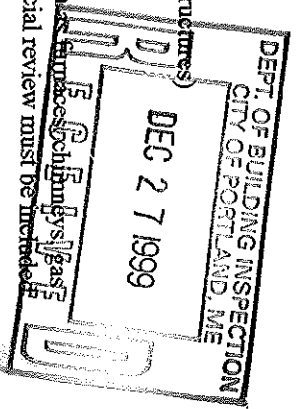
Total 744.00

A "minor/minor" site plan review is required prior to permit issuance. The Site plan must be prepared and sealed by a registered land surveyor (2 copies are required). A complete plot plan (Site Plan) includes:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation (based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

PO 799-5495

- A complete set of construction drawings showing all of the following elements of construction:
 - 4) Building Plans (Sample Attached)
- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, boilers, furnaces, etc.
- equipment HVAC equipment (air handling) or other types of work that may require special review must be included.



I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature] Date: 12-27-99

Site Review Fee: \$300.00/Building Permit Fee: \$30.00 for the 1st \$1000.00 cost plus \$6.00 per \$1,000.00 construction cost thereafter.

05/09/00 12:55 Paul Vose, Inc. and L.E. Lyden, Jr. Construction, Inc. PAUL VOSE INC.
 NAME OF LENDER: CHASE MANHATTAN MORTGAGE CORP
 ADDRESS: 175 ADEWATER STREET, SUITE 105
 DANVERS, MA 01923
 PROPERTY LOCATION: MAP 332 Lot 3

SELLER TIN:
 SETTLEMENT AGENT: Lot #1, Tupper Woods Extension Portland ME 04101
 ADDRESS: Granite Title Services
 477 Congress Street
 Portland, ME 04101
 PHONE NUMBER: NOT ON FILE
 SETTLEMENT AGENT TIN: 02-0598066
 LSETTLEMENT DATE
 Closing date: 05/09/00
 Preparation date: 05/09/00

I. SUMMARY OF BORROWER'S TRANSACTION		K. SUMMARY OF SELLER'S TRANSACTION	
30. GROSS AMOUNT DUE FROM BORROWER:	145,000.00	400. GROSS AMOUNT DUE TO SELLER:	145,000.00
01. Contract sales price		401. Contract sales price	
02. Personal property		402. Personal property	
03. Settlement charges to borrower (line 1400)	5,587.67	403.	
04.		404.	
05.		405.	
Adjustments for items paid by seller to advance:		Adjustments for items paid for seller to advance:	
06. City/town taxes	0	406. City/town taxes	0
07. County taxes	0	407. County taxes	0
08. Assessments	0	408. Assessments	0
09.		409.	
10.		410.	
11.		411.	
12.		412.	
20. GROSS AMOUNT DUE FROM BORROWER:	150,587.67	420. GROSS AMOUNT DUE TO SELLER:	145,000.00
200. AMOUNTS PAID BY OR IN BEHALF OF BORROWER:		500. REDUCTIONS IN AMOUNT DUE TO SELLER:	
01. Deposit or advance money	5,000.00	501. Excess deposits (advance)	5,000.00
02. Principal amount of new loan(s)	100,000.00	502. Settlement charges to seller (line 1400)	614.00
03. Existing loan(s) taken subject to		503. Existing loan(s) taken subject to	
04.		504. Payoff of first mortgage loan	
05.		505. Payoff of second mortgage loan	
06.		506.	
07.		507.	
08.		508. Landscaping Escrow	1,000.00
09.		509.	
Adjustments for items unpaid by seller:		Adjustments for items unpaid by seller:	
210. City/town taxes	0	510. City/town taxes	0
211. County taxes	0	511. County taxes	0
212. Assessments	0	512. Assessments	0
213.		513.	
214.		514.	
215.		515.	
216.		516.	
217.		517.	
218.		518.	
219.		519.	
220. TOTAL PAID BY/OR BORROWER:	105,000.00	530. TOTAL REDUCTION IN AMOUNT:	6,414.00
300. CASH AT SETTLEMENT FROM/O BORROWER:		600. CASH AT SETTLEMENT TO/ FROM SELLER:	
301. Gross amount due from borrower (line 120)	150,587.67	601. Gross amount due to seller (line 420)	145,000.00
302. Less amounts paid by/for borrower (line 200)	105,000.00	602. Less total reductions to amount due seller (line 530)	6,414.00
303. CASH IN FROM L TOI BORROWER:	45,587.67	603. CASH IN TOI FROM SELLER:	138,586.00

We hereby acknowledge receipt of the Settlement Statement and approve the Disbursement thereof.

Thomas A. Ireland Buyer Paul Vose, Inc. and L.E. Lyden, Jr. Construction, Inc. Seller

Buyer
 Seller
 Date
 Date
 000/2000
 DANVILLE, VA 22821 FAX 540/727-1212 00/00/00

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

19990175
I. D. Number

L.E. Lydon/Paul Vose
Applicant
183 Mitchell Rd, Cape Elizabeth, ME 04107
Applicant's Mailing Address

12/27/99 Application Date
Single family home
Project Name/Description

Consultant/Agent
799-5495

100 Tucker Ave, Portland Maine 04103
Address of Proposed Site
332-B-008
Assessor's Reference: Chart-Block-Lot

Applicant or Agent Daytime Telephone, Fax _____
Proposed Development (check all that apply):
 New Building Building Addition Change Of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Parking Lot Other (specify) lot 1 - NO garage- 12x12 deck
1494 sf 10,400 R-2 zone
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
- Flood Hazard Shoreland Historic/Preservation DEP Local Certification
- Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan \$300.00 Subdivision _____ Engineer Review _____ Date: 12/27/99

Inspections Approval Status:

- Approved Approved w/Conditions see attached Denied Additional Sheets Attached

Approval Date 1/6/00 Approval Expiration _____ Extension to _____
 Condition Compliance signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	date	_____	amount	_____	expiration date	_____
<input type="checkbox"/> Inspection Fee Paid	_____	date	_____	amount	_____		
<input type="checkbox"/> Building Permit Issued	_____	date	_____	amount	_____		
<input type="checkbox"/> Performance Guarantee Reduced	_____	date	_____	remaining balance	_____	signature	_____
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	date	_____	<input type="checkbox"/> Conditions (See Attached)	_____		
<input type="checkbox"/> Final Inspection	_____	date	_____	signature	_____		
<input type="checkbox"/> Certificate Of Occupancy	_____	date	_____	signature	_____		
<input type="checkbox"/> Performance Guarantee Released	_____	date	_____	signature	_____		
<input type="checkbox"/> Defect Guarantee Submitted	_____	date	_____	signature	_____		
<input type="checkbox"/> Defect Guarantee Released	_____	date	_____	signature	_____	expiration date	_____

Applicant: Lydon / Nose Inc
Date: 1/6/2000
Address: 100 Tucker Ave (lot #1)
C-B.L: 332-13-8

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - R-2

Interior or corner lot -

Proposed Use/Work - Construct 1 family dwelling

28' x 28' - no garage
12' x 12' deck
shown

Sewage Disposal - City

Lot Street Frontage - 50' req - 80' shown

Front Yard - 25' req - see 33.2' shown (to outside of Bay window)

Rear Yard - 25' ~~req~~ + 20' req - 25' + 20' + extra shown

Side Yard - 14' req - 15' + 20' + shown

Projections - Front cantilevered bay - front porch FEAT 12' x 12' Deck - rear Bulk Head
- at side entry; stairs -

Width of Lot - 80' req - 80' shown

Height - 25 stories shown - 35' MAX - shows 26' to ridge

Lot Area - 10,000 # req - 10,383 # shown

Lot Coverage/Impervious Surface - 20% 2076.6 # MAX *ok*

Area per Family - 10,000 #
28 x 28 = 784 #

Off-street Parking - 2 req - 2 shown
12 x 12 144

Loading Bays - N/A
928 #

Site Plan - minor layout

19990175
Shoreland Zoning/Stream Protection - N/A

Flood Plains - Panel #1 Zone C

- 10' right side by lot line drainage easement

- 20' understairbed/Natural Buffer; drainage easement

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

19990175

I. D. Number

Applicant
L.E. Lydon/Paul Vose

12/27/99

Application Date

Applicant's Mailing Address
183 Mitchell Rd, Cape Elizabeth, ME 04107

Single family home

Consultant/Agent
799-5495

Project Name/Description

100 Tucker Ave, Portland Maine 04103

Address of Proposed Site

332-B-008

Assessor's Reference: Chart-Block-Lot

Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply):

Office Retail Manufacturing Warehouse/Distribution Parking Lot Change Of Use Residential

1494 sf New Building Building Addition Other (Specify) lot 1

Proposed Building square Feet or # of Units 10,400 Acreage of Site 10,400 Zoning

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots PAD Review 14-03 Streets Review
- Flood Hazard Shoreland Historic/Preservation DEP Local Certification
- Zoning Conditional Use (ZBA/PB) Zoning Variance Other

Fees Paid: Site Plan \$300.00 Subdivision Engineer Review Date: 12/27/99

Inspections Approval Status:

Reviewer

- Approved Approved w/Conditions see attached Denied
- Approval Date Approval Expiration Extension to Additional Sheets Attached
- Condition Compliance signature date

Performance Guarantee

Required*

Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	date <u> </u>	amount <u> </u>	expiration date <u> </u>
<input type="checkbox"/> Inspection Fee Paid	date <u> </u>	amount <u> </u>	
<input type="checkbox"/> Building Permit Issued	date <u> </u>		
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<input type="checkbox"/> Performance Guarantee Released	date <u> </u>	signature <u> </u>	
<input type="checkbox"/> Defect Guarantee Submitted	date <u> </u>	signature <u> </u>	

Submission date

amount

expiration date