

320 A 3

420-448 Riverside

430 Riverside Street

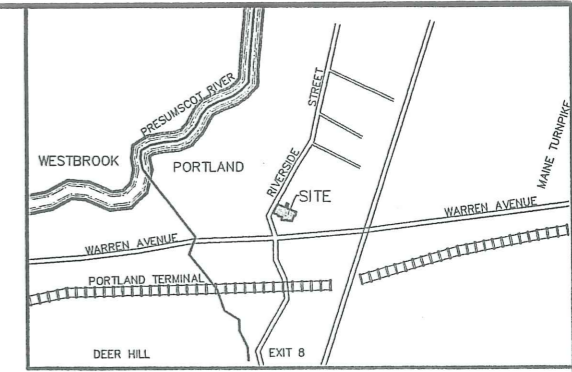
Maine Turnpike Authority

A4.5

SURVEYOR'S STATEMENT

THE UNDERSIGNED BEING A LICENSED SURVEYOR OF THE STATE OF MAINE AND AN EMPLOYEE OF SEBAGO TECHNICS, INC. HEREBY STATES TO HARVEY INDUSTRIES, INC., RRC REALTY CO, LLC, CUMBERLAND TITLE COMPANY AND LAWYERS TITLE INSURANCE CORPORATION, THEIR SUCCESSORS AND ASSIGNS, THAT TO THE BEST OF THE UNDERSIGNED'S KNOWLEDGE, INFORMATION AND BELIEF:

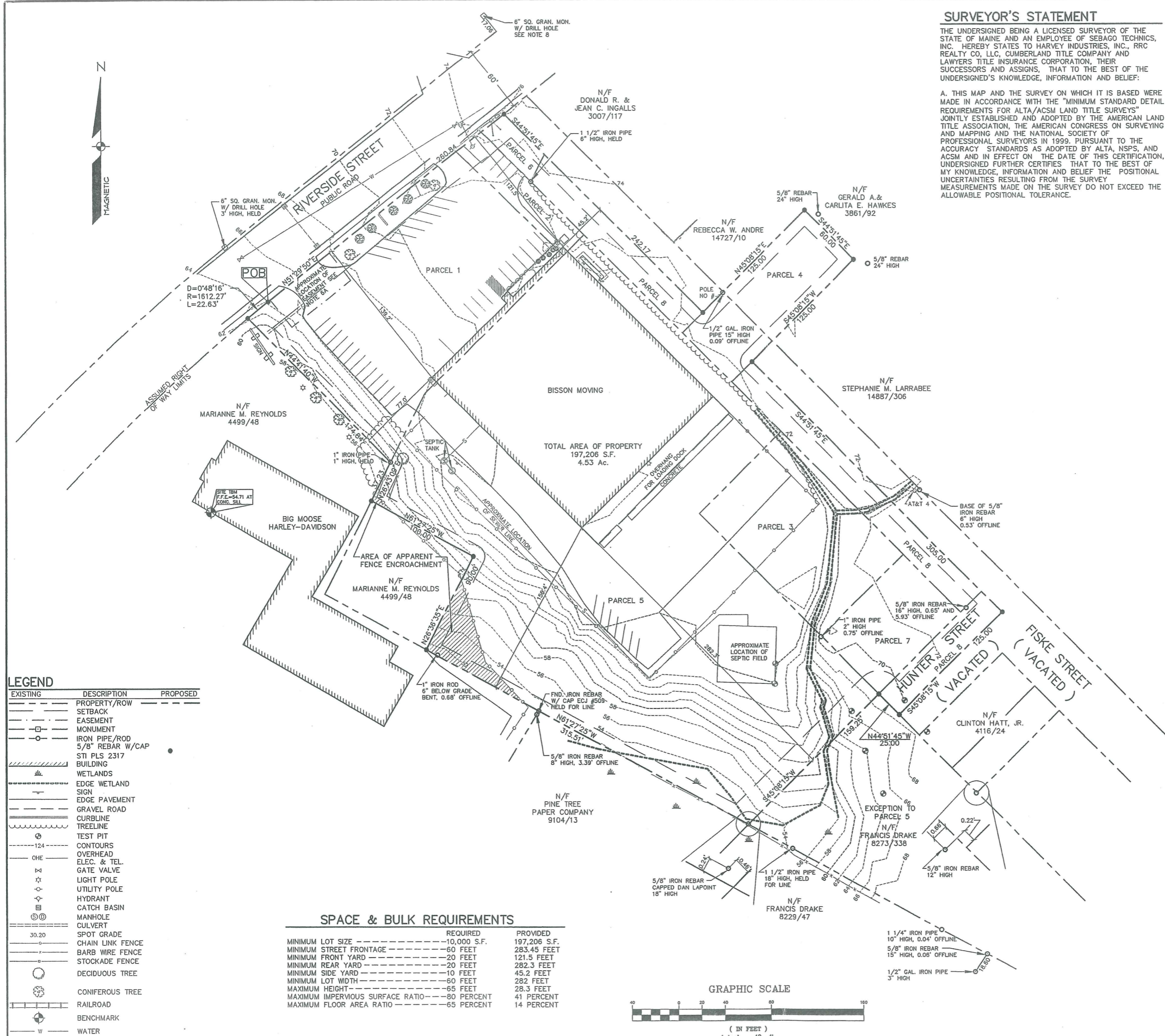
A. THIS MAP AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS" JOINTLY ESTABLISHED AND ADOPTED BY THE AMERICAN LAND TITLE ASSOCIATION, THE AMERICAN CONGRESS ON SURVEYING AND MAPPING AND THE NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS IN 1999. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA, NSPS, AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF THE POSITIONAL UNCERTAINTIES RESULTING FROM THE SURVEY MEASUREMENTS MADE ON THE SURVEY DO NOT EXCEED THE ALLOWABLE POSITIONAL TOLERANCE.



LOCATION MAP

GENERAL NOTES

- THE RECORD OWNER OF THE PROPERTY IS RRC REALTY CO., LLC BY DEED OF FOUR HUNDRED ONE RIVERSIDE ASSOCIATES DATED OCTOBER 1, 1997 AND RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 13372, PAGE 1.
- THE PROPERTY IS SHOWN AS LOT B-1 ON THE CITY OF PORTLAND TAX MAP 317, LOTS A-2 AND C-1 THRU C-7 ON MAP 314, AND LOTS F-39, F-27 AND F-28 ON MAP 313. THE PROPERTY IS LOCATED IN CITY OF PORTLAND ZONE B-4, COMMERCIAL CORRIDOR BUSINESS.
- BEARINGS SHOWN HEREON ARE BASED UPON A MAGNETIC NORTH OBSERVATION TAKEN IN OCTOBER OF 2001.
- WETLAND AREAS SHOWN HEREON WERE DELINEATED BY SEBAGO TECHNICS FIELD STAFF.
- PLAN REFERENCES:
 - PLAN OF RIVERTON HOMESITES, PORTLAND, MAINE, OWNED BY THE A.H. CHAPMAN LAND CO. DATED JULY, 1924 BY E.N. SHEFFIELD, ENGINEER, AND RECORDED IN PLAN BOOK 16, PAGE 11.
 - PLOT PLAN FOR TURNER-BARKER ASSOCIATES, PORTLAND, MAINE DATED APRIL 11, 1973 BY C.R. STORER, INC., RECORDED IN PLAN BOOK 96, PAGE 22.
 - PLAN OF PROPERTY IN PORTLAND, MAINE MADE FOR TALMA, INC. DATED JULY 26, 1982 BY H.I. & E.C. JORDAN, SURVEYORS, RECORDED IN PLAN BOOK 156, PAGE 54.
 - EXISTING CONDITIONS SURVEY OF BIG MOOSE HARLEY-DAVIDSON FOR PATCO CONSTRUCTION, INC. DATED OCTOBER 22, 2001 BY SEBAGO TECHNICS, INC.
 - PLOT PLAN OF PORTLAND CYCLES SALES BUILDING DATED DECEMBER 27, 1974 BY CIAMBRO CORPORATION KEPT AT THE CITY OF PORTLAND PUBLIC WORKS, ENGINEERING DEPARTMENT ARCHIVES.
 - STATE OF MAINE DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP FOR STATE AID HIGHWAY NO. 18, PORTLAND, CUMBERLAND COUNTY (D.O.T. FILE NO. 3-444), SHEET 3 OF 11, DATED DECEMBER 1998 AND KEPT AT THE CITY OF PORTLAND PUBLIC WORKS ENGINEERING DEPARTMENT ARCHIVES.
 - RIVERSIDE STREET "AS-BUILT" PLAN DATED 1973, SHEETS 3 & 4 OF 11, KEPT AT THE PORTLAND PUBLIC WORKS ENGINEERING DEPARTMENT ARCHIVES, PLAN 709/12.
- SUBJECT TO:
 - NOTICE OF LAYOUT AND TAKING FOR THE ALTERING AND WIDENING OF RIVERSIDE STREET BY THE CITY OF PORTLAND DATED SEPTEMBER 16, 1971 AND RECORDED IN BOOK 3191, PAGE 123.
 - A MULTIPLE SERVICES AGREEMENT GRANTED TO THE PORTLAND WATER DISTRICT BY TALMA, INC. DATED APRIL 7, 1976 AND RECORDED IN BOOK 3833, PAGE 85.
 - THE RIGHTS OF OTHERS IN AND TO THE PORTION OF VACATED FISKE STREET AND HUNTER STREET.
- THIS PLAN IS BASED UPON A BOUNDARY SURVEY PERFORMED IN CONFORMANCE WITH THE STATE OF MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS STANDARDS OF PRACTICE WITH THE EXCEPTIONS THE PROPOSED MONUMENTATION SHOWN HEREON HAS NOT BEEN SET AT THE ISSUANCE OF THIS PLAN AND THAT THE WETLAND AREAS SHOWN HEREON WERE IDENTIFIED BY SOMEONE OTHER THAN THE SIGNING PROFESSIONAL.
- THE SIDELINE FOR RIVERSIDE STREET IS ASSUMED BASED UPON THE LOCATIONS OF 2 CITY MONUMENTS AS SHOWN. ONE MONUMENT IS SHOWN OFF THE RIGHT OF WAY LINE ON THE PLAN REFERENCE IN NOTE 5F. A SCALED METRIC DISTANCE OF 5.2 METERS, OR 17.06', WAS USED TO ESTABLISH THE RIGHT OF WAY LIMIT AT THIS LOCATION.
- THE PROPERTY SHOWN HEREON DOES NOT FALL WITHIN A FLOOD HAZARD AREA DEPICTED ON THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP (FIRM) FOR THE CITY OF PORTLAND, COMMUNITY PANEL NUMBER 230051 0006 C REVISED DECEMBER 8, 1998.

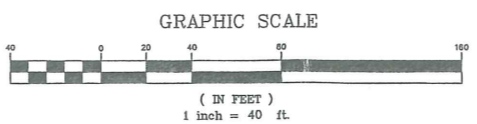


LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	SETBACK	---
---	EASEMENT	---
---	MONUMENT	---
---	IRON PIPE/ROD	---
---	5/8" REBAR W/CAP	---
---	STI PLS 2317	---
---	BUILDING	---
---	WETLANDS	---
---	EDGE WETLAND	---
---	SIGN	---
---	EDGE PAVEMENT	---
---	GRAVEL ROAD	---
---	CURBLINE	---
---	TREELINE	---
---	TEST PIT	---
---	CONTOURS	---
---	OVERHEAD ELEC. & TEL.	---
---	GATE VALVE	---
---	LIGHT POLE	---
---	UTILITY POLE	---
---	HYDRANT	---
---	CATCH BASIN	---
---	MANHOLE	---
---	CULVERT	---
---	SPOT GRADE	---
---	CHAIN LINK FENCE	---
---	BARB WIRE FENCE	---
---	STOCKADE FENCE	---
---	DECIDUOUS TREE	---
---	CONIFEROUS TREE	---
---	RAILROAD	---
---	BENCHMARK	---
---	WATER	---
---	SEWER	---

SPACE & BULK REQUIREMENTS

	REQUIRED	PROVIDED
MINIMUM LOT SIZE	10,000 S.F.	197,206 S.F.
MINIMUM STREET FRONTAGE	60 FEET	283.45 FEET
MINIMUM FRONT YARD	20 FEET	121.5 FEET
MINIMUM REAR YARD	20 FEET	282.3 FEET
MINIMUM SIDE YARD	10 FEET	45.2 FEET
MINIMUM LOT WIDTH	60 FEET	282 FEET
MAXIMUM HEIGHT	65 FEET	28.3 FEET
MAXIMUM IMPERVIOUS SURFACE RATIO	80 PERCENT	41 PERCENT
MAXIMUM FLOOR AREA RATIO	65 PERCENT	14 PERCENT

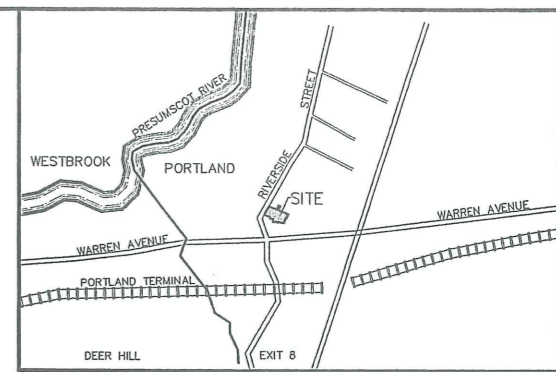


NO.	DATE	BY	REV.	STATUS
1	11-22-02	BY: A	REV: A	ISSUED FOR WORKSHOP REVIEW

Sebago Technics
 Engineering Experience You Can Build On
 One Chestnut Street
 Westbrook, Me 04098-1339
 Tel (207) 858-0277

EXISTING CONDITIONS
 OF:
HARVEY INDUSTRIES, INC.
 401 RIVERSIDE STREET
 PORTLAND, MAINE
 FOR:
HARVEY INDUSTRIES, INC.

DATE	SCALE
11-22-01	1" =



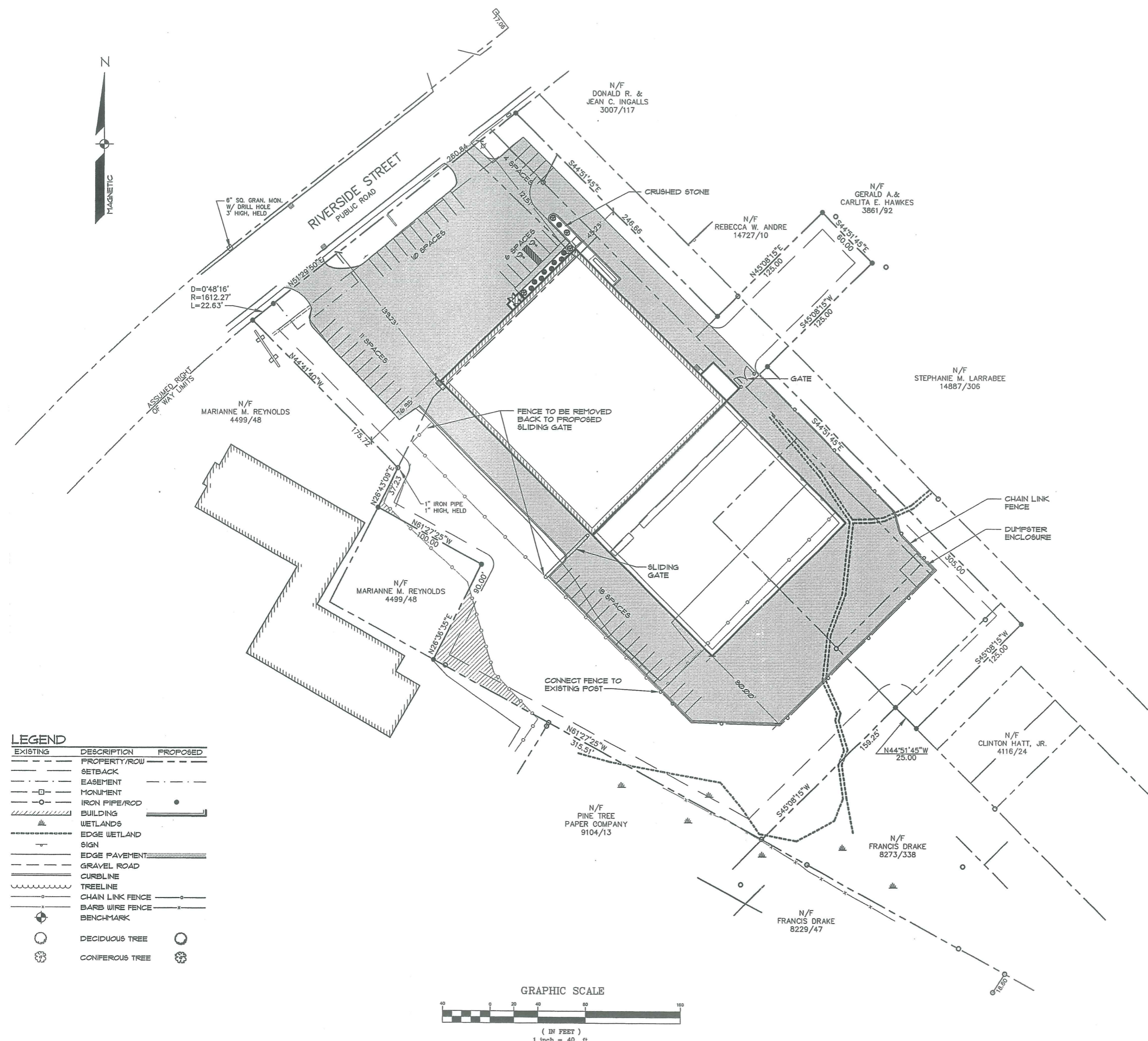
LOCATION MAP

GENERAL NOTES

1. APPLICANT: HARVEY INDUSTRIES, INC.
1400 MAIN STREET
WALTHAM, MASSACHUSETTS 02451
2. RECORD OWNER: HARVEY INDUSTRIES, INC.
1400 MAIN STREET
WALTHAM, MASSACHUSETTS 02451
3. ZONING DISTRICT: ZONE B-4, COMMERCIAL CORRIDOR BUSINESS
4. USE: WAREHOUSE
5. SPACE AND BULK REQUIREMENTS: (SEE TABLE BELOW)
6. BUILDING SUMMARY: 52,040 S.F. (ONE STORY, INCLUDING CANOPY)
7. PARKING SPACE REQUIREMENTS:
REQUIRED: X SPACES
PROPOSED: 49 SPACES, INCL. 2 HC SPACES
8. THE FACILITY IS SERVICED BY CITY WATER, GAS, UNDERGROUND ELECTRIC, TELEPHONE AND CABLE.
9. METHODS AND MATERIALS USED IN THE CONSTRUCTION OF THE IMPROVEMENTS HEREIN SHALL CONFORM TO THE CURRENT CITY CONSTRUCTION STANDARDS AND SPECIFICATIONS AND/OR CURRENT MDOT STANDARDS AND SPECIFICATIONS.
10. THE CONTRACTOR OR DEVELOPER IS REQUIRED TO NOTIFY THE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT INSPECTION SERVICES DIVISION IN WRITING THREE (3) DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION (814-8300 EXT. 8838). SHOULD THE IMPROVEMENTS BE OF SIGNIFICANT CONCERN OR IN A SENSITIVE AREA A PRE-CONSTRUCTION MEETING MAY BE REQUIRED AT THE DISCRETION OF THE PUBLIC WORKS AUTHORITY.
11. AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE. THE DEVELOPER, OR AN AUTHORIZED AGENT, MUST BE AVAILABLE AT ALL TIMES DURING CONSTRUCTION.
12. WARNING SIGNS, MARKERS, BARRICADES OR FLAGMEN, APPROPRIATE FOR THE TYPE OF CONSTRUCTION, MUST BE EMPLOYED TO REGULATE TRAFFIC.
13. CONSTRUCTION DEBRIS SHALL BE CONTAINERIZED AND DISPOSED OF IN ACCORDANCE WITH CITY OF PORTLAND'S SOLID WASTE ORDINANCE CHAPTER 12.
14. ANY DAMAGE TO PUBLIC OR PRIVATE PROPERTY RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE DEVELOPER/CONTRACTOR AT THEIR EXPENSE.
15. PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED AT ALL TIMES DURING CONSTRUCTION TO ENSURE THEIR INTEGRITY. IF DISTURBED THEY SHALL BE REPLACED BY A SURVEYOR, REGISTERED IN THE STATE OF MAINE, AT THE CONTRACTOR/DEVELOPER'S EXPENSE.
16. ALL SANITARY SEWERS AND AFFURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT, SEWER DIVISION.
17. ALL NEW CONNECTIONS, RECONNECTIONS ETC. TO SANITARY OR STORM SEWERS SHALL REQUIRE A CONNECTION PERMIT PRIOR TO BEGINNING ANY WORK. THE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT MUST BE NOTIFIED AT LEAST 24 HOURS PRIOR TO COMMENCEMENT, TO ALLOW FOR INSPECTION.
18. A PERMIT MUST BE OBTAINED FROM THE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT PRIOR TO BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
19. THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATIONS TO OR ANY DEVIATIONS FROM THE APPROVED PLAN, INCLUDING WITHOUT LIMITATION TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS SIZE, LOCATION, AND SURFACING OF PARKING AREAS, AND LOCATION AND SIZE OF BUILDINGS.
20. THE DRC HAS THE AUTHORITY TO REQUIRE A STABILIZED ENTRANCE OR IMMEDIATE SWEEPING OF THE STREET.

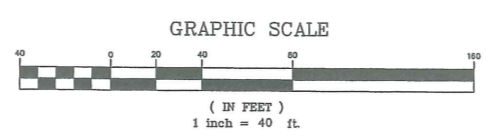
SPACE & BULK REQUIREMENTS

	REQUIRED	PROVIDED
MINIMUM LOT SIZE	10,000 S.F.	157,206 S.F.
MINIMUM STREET FRONTAGE	60 FEET	283.41 FEET
MINIMUM FRONT YARD	20 FEET	121.5 FEET
MINIMUM REAR YARD	20 FEET	139.1 FEET
MINIMUM SIDE YARD	10 FEET	30.4 FEET
MINIMUM LOT WIDTH	60 FEET	282 FEET
MAXIMUM HEIGHT	65 FEET	65 FEET
MAXIMUM IMPERVIOUS SURFACE RATIO	80 PERCENT	64.2 PERCENT
MAXIMUM FLOOR AREA RATIO	65 PERCENT	65 PERCENT



LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	SETBACK	---
---	EASEMENT	---
---	MONUMENT	---
---	IRON PIPE/ROD	---
---	BUILDING	---
---	WETLANDS	---
---	EDGE WETLAND	---
---	SIGN	---
---	EDGE PAVEMENT	---
---	GRAVEL ROAD	---
---	CURBLINE	---
---	TREELINE	---
---	CHAIN LINK FENCE	---
---	BARB WIRE FENCE	---
---	BENCHMARK	---
○	DECIDUOUS TREE	○
⊗	CONIFEROUS TREE	⊗



PROJECT NO.	11-22-02	ISSUED FOR WORKSHOP REVIEW
DATE	11-22-02	STATUS:
BY:	A	REV:
CHKD:		DRAWN:

Sebago Technics
Engineering Expertise You Can Build On
One Cabot Street
Westbrook, Me 04095-1339
Tel (207) 855-0277

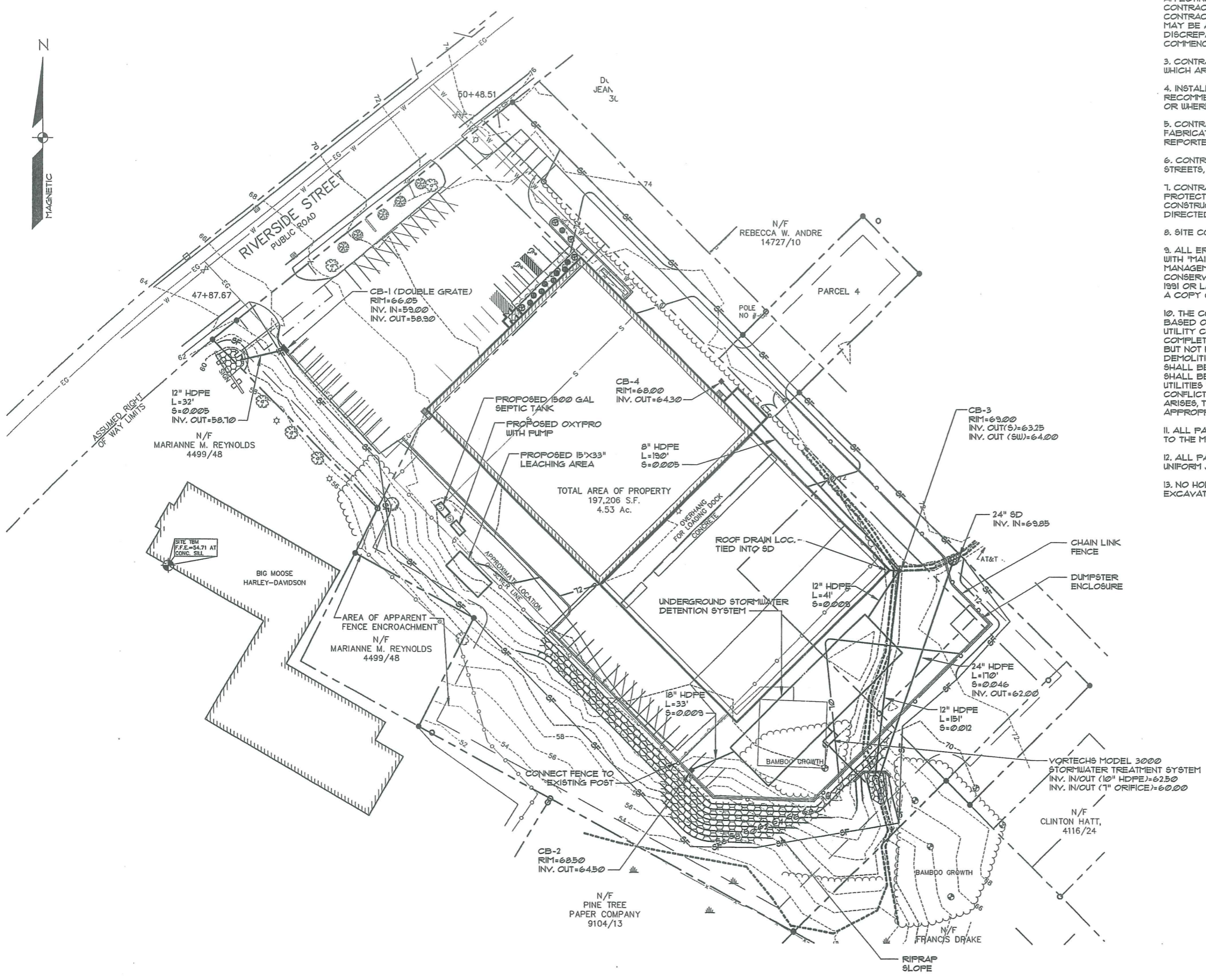
SITE PLAN
of: **HARVEY INDUSTRIES, INC.**
401 RIVERSIDE STREET
PORTLAND, MAINE
FOR: **HARVEY INDUSTRIES, INC.**

DATE	SCALE
11-22-02	1"=4'

SHEET 2 OF

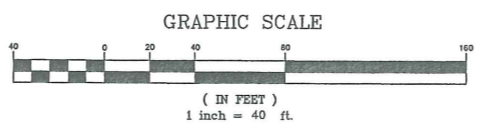
CONSTRUCTION NOTES

1. ALL WORK SHALL CONFORM TO THE APPLICABLE CODES AND ORDINANCES.
2. CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIM OR HERSELF WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIM OR HERSELF WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
3. CONTRACTOR SHALL NOTIFY ENGINEER OF ALL PRODUCTS OR ITEMS NOTED AS "EXISTING" WHICH ARE NOT FOUND IN THE FIELD.
4. INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND OWNER'S REQUIREMENTS UNLESS SPECIFICALLY OTHERWISE INDICATED OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO FABRICATION AND ERECTION OF ANY MATERIAL. ANY UNUSUAL CONDITIONS SHALL BE REPORTED TO THE ATTENTION OF THE ENGINEER.
6. CONTRACTOR SHALL CLEAN AND REMOVE DEBRIS AND SEDIMENT DEPOSITED ON PUBLIC STREETS, SIDEWALKS, ADJACENT AREAS, OR OTHER PUBLIC WAYS DUE TO CONSTRUCTION.
7. CONTRACTOR SHALL INCORPORATE PROVISIONS AS NECESSARY IN CONSTRUCTION TO PROTECT EXISTING STRUCTURES, PHYSICAL FEATURES, AND MAINTAIN SITE STABILITY DURING CONSTRUCTION. CONTRACTOR SHALL RESTORE ALL AREAS TO ORIGINAL CONDITION AND AS DIRECTED BY DESIGN DRAWINGS.
8. SITE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION.
9. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES" PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.
10. THE CONTRACTOR IS HEREBY CAUTIONED THAT ALL SITE FEATURES SHOWN HEREON ARE BASED ON FIELD OBSERVATIONS BY THE SURVEYOR AND BY INFORMATION PROVIDED BY UTILITY COMPANIES. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT DIG SAFE (1-888-DIGSAFE) AT LEAST THREE (3) BUT NOT MORE THAN THIRTY (30) DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES. CONTRACTORS SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF 23 MRS 3360-A. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITIES TO OBTAIN AUTHORIZATION PRIOR TO RELOCATION OF ANY EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS. IF A UTILITY CONFLICT ARISES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER, THE MUNICIPALITY AND APPROPRIATE UTILITY COMPANY PRIOR TO PROCEEDING WITH ANY RELOCATION.
11. ALL PAVEMENT MARKINGS AND DIRECTIONAL SIGNAGE SHOWN ON THE PLAN SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS.
12. ALL PAVEMENT JOINTS SHALL BE SAWCUT PRIOR TO PAVING TO PROVIDE A DURABLE AND UNIFORM JOINT.
13. NO HOLES, TRENCHES OR STRUCTURES SHALL BE LEFT OPEN OVERNIGHT IN ANY EXCAVATION ACCESSIBLE TO THE PUBLIC OR IN PUBLIC RIGHTS-OF-WAY.



LEGEND

EXISTING	DESCRIPTION
---	PROPERTY LINE
▧	BUILDING
▨	WETLANDS
-----	EDGE WETLAND
⊙ TP-1	TEST PIT
⊙ ⊙	SEPTIC TANK / PUMP STATION
○	CHAIN LINK FENCE
×	BARB WIRE FENCE

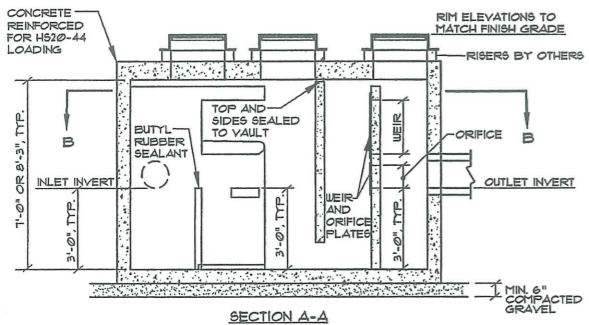
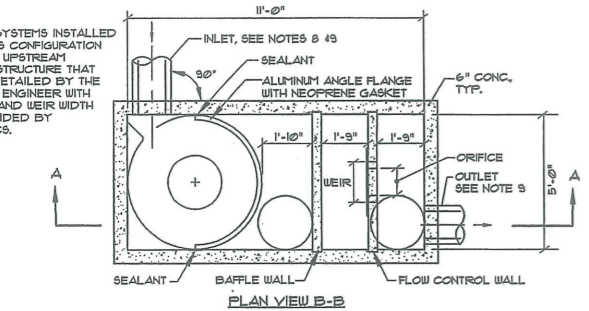


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 One Chestnut Street
 Westbrook, Me 04095-1339
 Tel (207) 855-0277

GRADING & UTILITIES PLAN
 HARVEY INDUSTRIES, INC.
 401 RIVERSIDE STREET
 FORTLAND, MAINE
 HARVEY INDUSTRIES, INC.

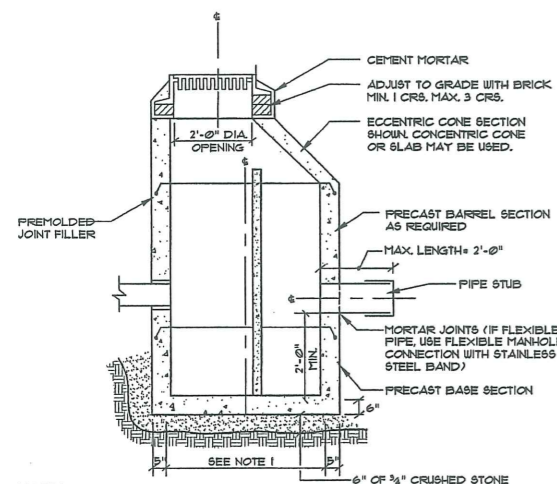
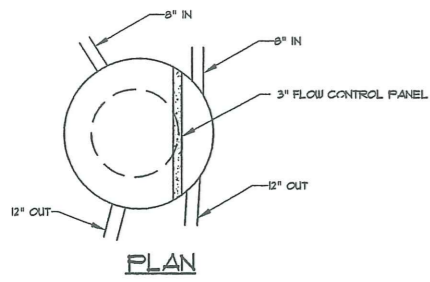
DATE: 11-22-02
 SCALE: 1"=40'

NOTE:
VORTECHS SYSTEMS INSTALLED IN A BYPASS CONFIGURATION REQUIRE AN UPSTREAM DIVERSION STRUCTURE THAT SHALL BE DETAILED BY THE CONSULTING ENGINEER WITH ELEVATION AND WEIR WIDTH DATA PROVIDED BY VORTECHNICS.



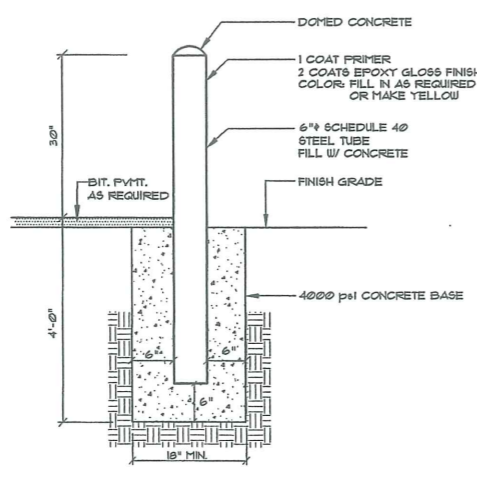
- NOTES:**
1. STORMWATER TREATMENT SYSTEM (SUTS) SHALL HAVE:
PEAK TREATMENT CAPACITY: 4.5 CFS
SEDIMENT STORAGE: 175 CU. YD.
SEDIMENT CHAMBER DIA. 5' MIN.
 2. SUTS SHALL BE CONTAINED IN ONE RECTANGULAR STRUCTURE.
 3. SUTS SHALL REMOVE 80% OF ANNUAL TSS LOADING.
 4. SUTS SHALL RETAIN FLOATABLES AND TRAPPED SEDIMENT UP TO AND INCLUDING PEAK TREATMENT CAPACITY.
 5. SUTS INVERTS IN AND OUT SHALL BE AT THE SAME ELEVATION.
 6. SUTS SHALL NOT BE COMPROMISED BY EFFECTS OF DOWNSTREAM TAILWATER.
 7. SUTS SHALL HAVE NO INTERNAL COMPONENTS THAT OBSTRUCT MAINTENANCE ACCESS.
 8. INLET PIPE MUST BE PERPENDICULAR TO THE STRUCTURE.
 9. PIPE ORIENTATION MAY VARY, SEE SITE PLAN FOR SIZE AND LOCATION.
 10. PURCHASER SHALL NOT BE RESPONSIBLE FOR ASSEMBLY OF UNIT.
 11. MANHOLE FRAMES AND PERFORATED COVERS SUPPLIED WITH SYSTEM, NOT INSTALLED.
 12. PURCHASER TO PREPARE EXCAVATION AND PROVIDE LIFTING EQUIPMENT.

**STORMWATER TREATMENT SYSTEM
VORTECHS MODEL 3000**
NOT TO SCALE

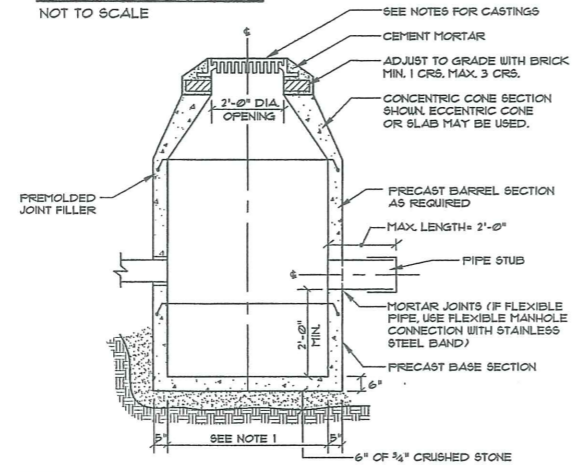


- NOTES:**
1. 6'-0" ID. TYPICAL. SOME STRUCTURES MAY REQUIRE LARGER ID. PROVIDE SHOP DRAWINGS.
 2. DRAINAGE STRUCTURES TO BE DESIGNED FOR H-20 LOADING.
 3. PIPE SIZES AND INVERTS AS NOTED ON PLANS.
 4. CATCH BASIN FRAME AND GRATE TO BE ETHERIDGE FOUNDRY 8A248, TYPE M OR C OR APPROVED EQUAL.
 5. DRAINAGE MANHOLE FRAME AND COVER TO BE ETHERIDGE FOUNDRY H2485 OR APPROVED EQUAL. COVER SHALL BE MARKED "DRAIN".

TYPICAL CATCH BASIN WITH CURB STONE
NOT TO SCALE

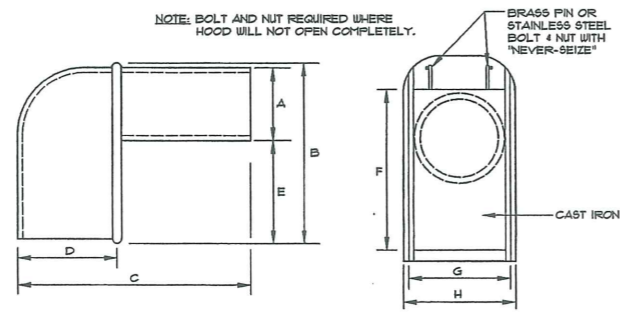


METAL BOLLARD
NOT TO SCALE



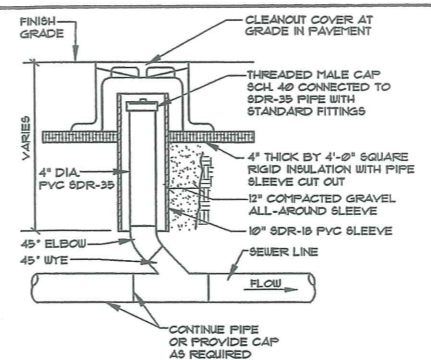
- NOTES:**
1. 4'-0" ID. TYPICAL. SOME STRUCTURES MAY REQUIRE LARGER ID. PROVIDE SHOP DRAWINGS.
 2. DRAINAGE STRUCTURES TO BE DESIGNED FOR H-20 LOADING.
 3. PIPE SIZES AND INVERTS AS NOTED ON PLANS.
 4. CATCH BASIN FRAME AND GRATE TO BE ETHERIDGE FOUNDRY 8A248, TYPE M OR C OR APPROVED EQUAL.
 5. DRAINAGE MANHOLE FRAME AND COVER TO BE ETHERIDGE FOUNDRY H2485 OR APPROVED EQUAL. COVER SHALL BE MARKED "DRAIN".

TYPICAL CATCH BASIN
NOT TO SCALE

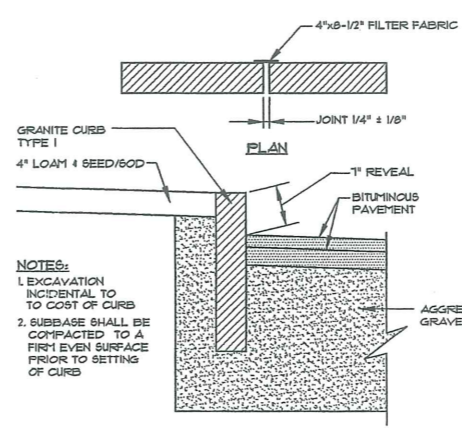


SIZE	A	B	C	D	E	F	G	H
6 IN.	5 1/2"	13 3/8"	13 3/4"	5 3/8"	5 7/8"	11 5/8"	6 1/2"	7 1/4"
8 IN.	7 1/2"	15"	15 3/8"	5 1/2"	5 3/8"	13 3/4"	8 3/4"	9 3/8"
10 IN.	9 1/2"	16"	16 1/4"	6"	4 1/2"	14 1/8"	11 1/2"	12 3/8"
12 IN.	11 1/2"	17"	22"	8"	3 1/2"	17"	12 1/2"	13 3/8"

CASCO TRAP
NOT TO SCALE

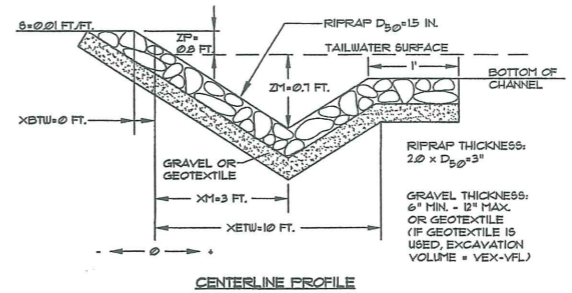


SEWER CLEANOUT IN PAVEMENT AREAS
NOT TO SCALE

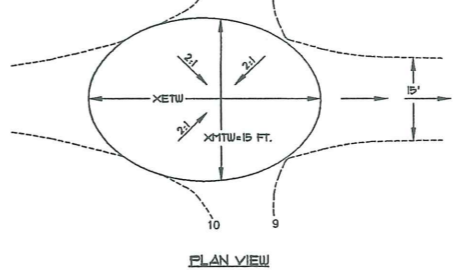


VERTICAL GRANITE CURB
NOT TO SCALE

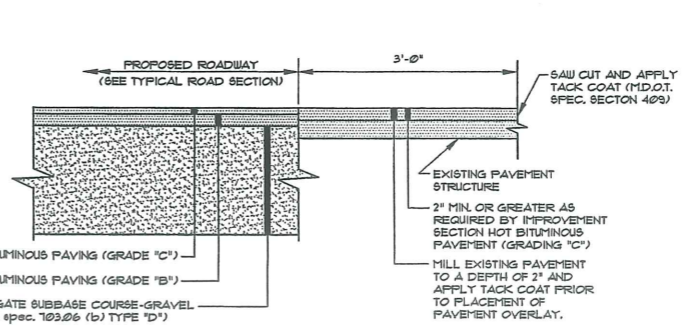
- NOTES:**
1. EXCAVATION INCIDENTAL TO COST OF CURB.
 2. SUBBASE SHALL BE COMPACTED TO A FIRM EVEN SURFACE PRIOR TO SETTING OF CURB.



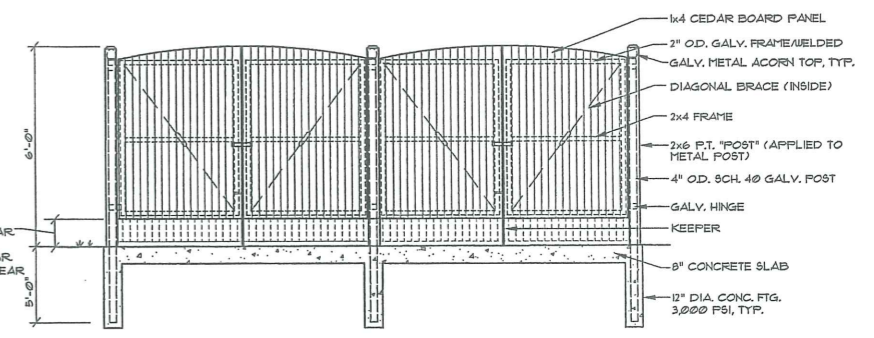
STONE LINED PLUNGE POOL
NOT TO SCALE



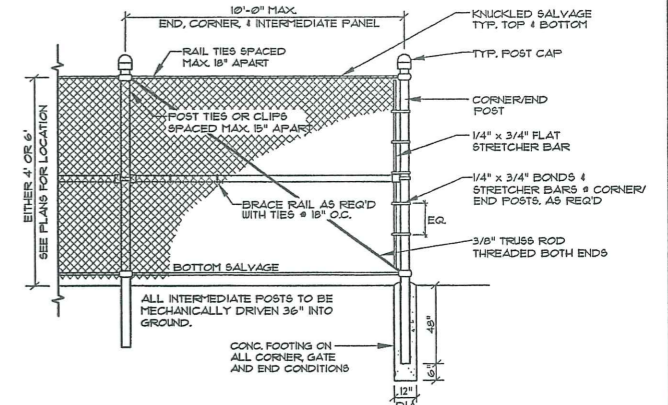
TYPICAL PAVEMENT JOINT
NOT TO SCALE



TYPICAL PAVEMENT JOINT
NOT TO SCALE



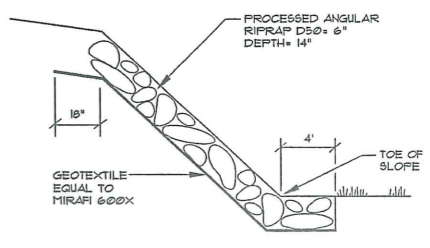
TYPICAL DUMPSTER ENCLOSURE
NOT TO SCALE



TYPICAL CHAIN LINK FENCE
NOT TO SCALE

- NOTES:**
1. CORNER OR END POST, NOMINAL 3" O.D. GALVANIZED STEEL PIPE, MIN. 875 LB/LF.
 2. INTERMEDIATE POST, NOMINAL 2-1/2" O.D. GALVANIZED STEEL PIPE, MIN. 365 LB/LF.
 3. BRACES (TOP & BOTTOM) NOMINAL 1-5/8" O.D. GALVANIZED STEEL PIPE, MIN. 221 LB/LF.
 4. THE OUTSIDE OF THE FENCE FABRIC SHALL BE 3" INSIDE THE EDGE OF PAVEMENT.
 5. BRACE RAIL AND DIAGONAL BRACE ROD SHALL BE INSTALLED AT EACH 18' CORNER SECTION OF ENCLOSURE.
 6. CONCRETE SHALL HAVE MINIMUM COMPRESSIVE STRENGTH (f_c) OF 3000 PSI WITH 6% AIR ENTRAINMENT.
 7. SUBMIT SHOP DRAWINGS FOR OWNER'S/ENGINEER'S APPROVAL.
 8. FENCE FABRIC, POST, RAILS AND APPURTENANCES SHALL BE VINYL CLAD! COLOR: BLACK.

TYPICAL CHAIN LINK FENCE
NOT TO SCALE



SIDE SLOPE RIPRAP
NOT TO SCALE

5C

PROJECT NO.	11-22-02	ISSUED FOR WORKSHOP REVIEW
DATE:	11-22-02	STATUS:
BY:		
CHKD:		
DRAWN:		

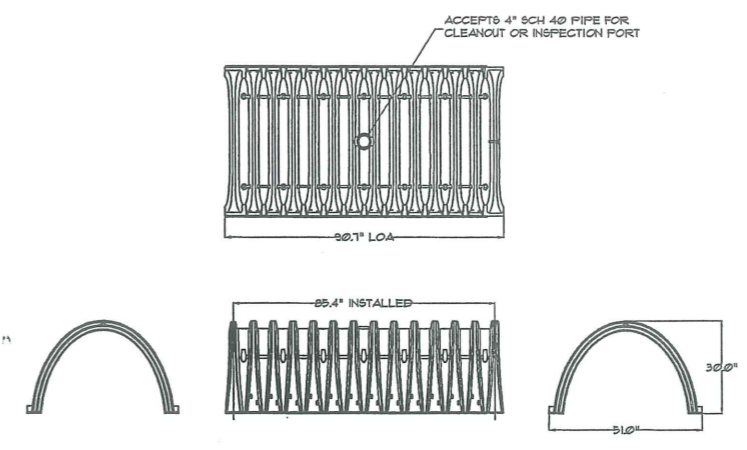
Sebago Technics
Engineering Experts You Can Build On
One Chubb Street
Westbrook, Me 04098-1339
Tel (207) 858-0277

DETAIL SHEET
OF: **HARVEY INDUSTRIES**
401 RIVERSIDE STREET
PORTLAND, MAINE
FOR: **HARVEY INDUSTRIES**
1100 MAIN STREET
PORTLAND, MAINE

DATE: 11-22-02
SCALE: AS NOTED

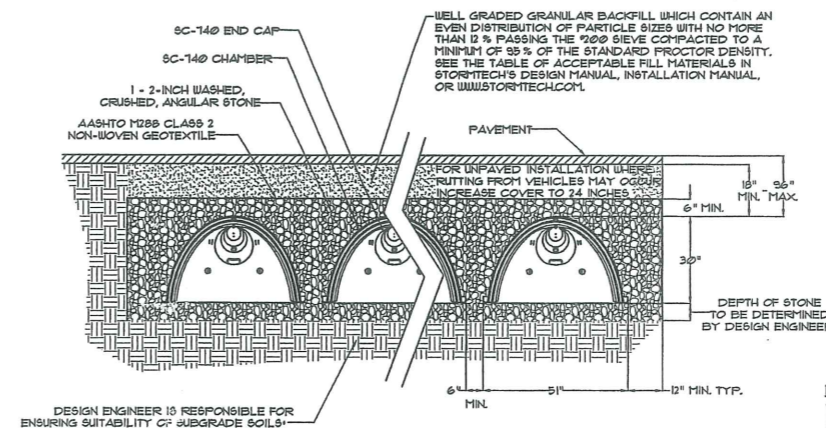
SHEET 4 OF 4

5D

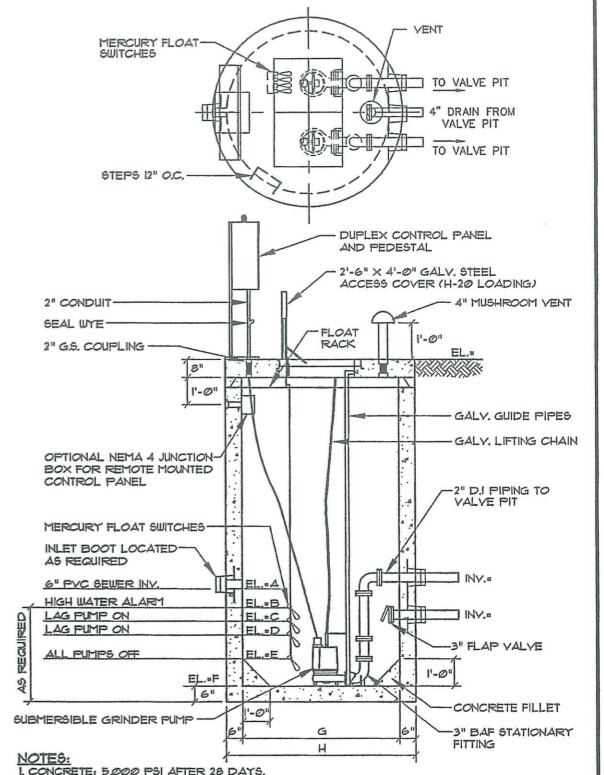


STORMTECH SC-740 CHAMBER

NOMINAL CHAMBER SPECIFICATIONS
 SIZE (W x H x INSTALLED LENGTH) 51.0" x 30.0" x 85.4"
 CHAMBER STORAGE 45.5 CUBIC FEET
 MINIMUM INSTALLED STORAGE 14.3 CUBIC FEET
 WEIGHT 15 LBS.



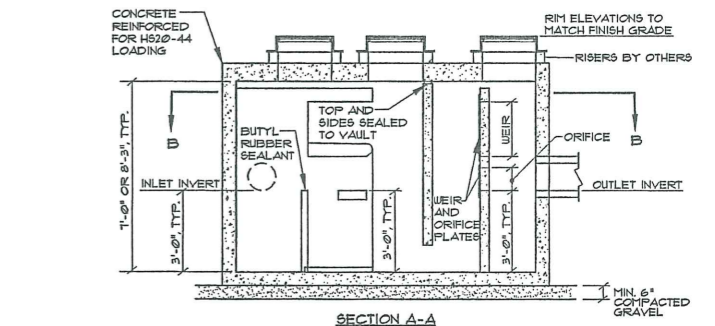
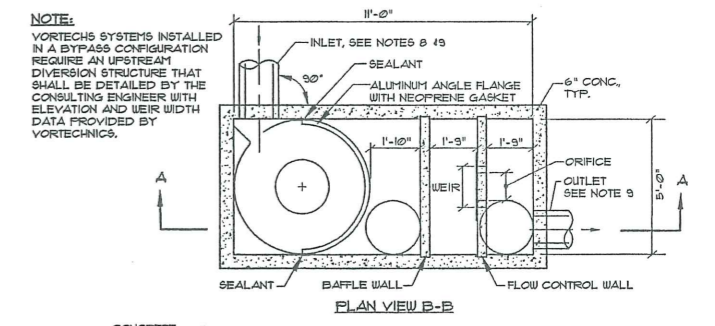
**STORMTECH SC-740 CHAMBER SYSTEM
 TYPICAL CROSS SECTION DETAIL**
 NOT TO SCALE
 *SEE STORMTECH'S DESIGN MANUAL



NOTES:
 1. CONCRETE: 5,000 PSI AFTER 28 DAYS.
 2. REINFORCING: WALLS: 1 FLOOR 4x4/4x4 W/WM.
 3. PUMP STATION TO BE SUPERIOR CONCRETE ITEM 3101A OR APPROVED EQUAL.

PUMP STATION	MEASUREMENT (ft)								
	A	B	C	D	E	F	G	H	I
1	204.43	203.45	202.52	201.59	200.66	199.00	6	5	210

**PUMP STATION
 NOT TO SCALE**



NOTES:
 1. STORMWATER TREATMENT SYSTEM (SUTS) SHALL HAVE:
 PEAK TREATMENT CAPACITY: 45 CFS
 SEDIMENT STORAGE: 175 CU YD.
 SEDIMENT CHAMBER DIA: 5' MIN.
 2. SUTS SHALL BE CONTAINED IN ONE RECTANGULAR STRUCTURE.
 3. SUTS SHALL REMOVE 80% OF ANNUAL TSS LOADING.
 4. SUTS SHALL RETAIN FLOATABLES AND TRAPPED SEDIMENT UP TO AND INCLUDING PEAK TREATMENT CAPACITY.
 5. SUTS INVERTS IN AND OUT SHALL BE AT THE SAME ELEVATION.
 6. SUTS SHALL NOT BE COMPROMISED BY EFFECTS OF DOWNSTREAM TAILWATER.
 7. SUTS SHALL HAVE NO INTERNAL COMPONENTS THAT OBSTRUCT MAINTENANCE ACCESS.
 8. INLET PIPE MUST BE PERPENDICULAR TO THE STRUCTURE.
 9. PIPE ORIENTATION MAY VARY. SEE SITE PLAN FOR SIZE AND LOCATION.
 10. PURCHASER SHALL NOT BE RESPONSIBLE FOR ASSEMBLY OF UNIT.
 11. HANGHOLE FRAMES AND PERFORATED COVERS SUPPLIED WITH SYSTEM, NOT INSTALLED.
 12. PURCHASER TO PREPARE EXCAVATION AND PROVIDE LIFTING EQUIPMENT.

**STORMWATER TREATMENT SYSTEM
 VORTECHS MODEL 3000
 NOT TO SCALE**

Sebago Technics
 Engineering Experts You Can Build On
 401 RIVERSIDE STREET
 FORTLAND, MAINE
 (207) 856-0277

DETAIL SHEET
 OF:
HARVEY INDUSTRIES, INC.
 401 RIVERSIDE STREET
 FORTLAND, MAINE
 (207) 856-0277
HARVEY INDUSTRIES, INC.

DATE	SCALE
11-22-02	AS N

SHEET 5 OF