

320 A 2

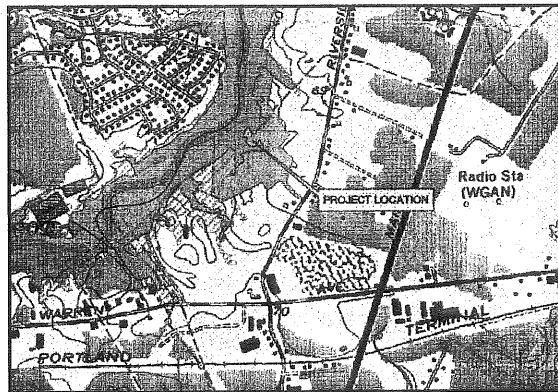
400 - 400 Riverside St

Riverside St

Riverside properties

PROJECT PARCEL SITE  
CITY OF PORTLAND TAX ASSESSOR'S MAP, LOT & BLOCK NUMBERS

MAP	BLOCK	LOTS
320	A	2



LOCATION MAP  
N.T.S.

**INDEX**

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- 12 EROSION CONTROL NOTES

**PREPARED BY**

**CIVIL ENGINEER:**  
**DeLuca-Hoffman Associates, Inc.**  
778 MAIN STREET, SUITE 8  
SOUTH PORTLAND, MAINE 04106  
(207) 775-1121

**GEOTECHNICAL ENGINEER:**  
**R.W. Gillespie & Associates, Inc.**  
86 INDUSTRIAL PARK ROAD, SUITE 4  
SACO, MAINE 04072

**ENVIRONMENTAL ENGINEER:**  
**Sebago Technics, Inc.**  
1 CHABOT STREET  
WESTBROOK, MAINE 04098

**OWNER:**  
RIST/BRUNET FAMILY TRUST d.b.a.  
THE GALLOWAY GROUP  
400 RIVERSIDE STREET, SUITE A7  
PORTLAND, MAINE 04103

**APPLICANT:**  
RIST/BRUNET FAMILY TRUST d.b.a.  
THE GALLOWAY GROUP  
400 RIVERSIDE STREET, SUITE A7  
PORTLAND, MAINE 04103

I HEREBY ACKNOWLEDGE THAT THESE PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MAINE AND THAT I AM COMPETENT TO PREPARE THIS DOCUMENT.

# 400 RIVERSIDE STREET PROPERTIES

## LOT 4

### 400 RIVERSIDE STREET

### PORTLAND, MAINE

**UTILITIES**

**SEWER**  
ATTN: FRANK BRANCELY  
PORTLAND PUBLIC WORKS  
55 PORTLAND STREET  
PORTLAND, MAINE 04101  
(207) 874-8300

**WATER**  
ATTN: DAVE COFFIN  
PORTLAND WATER DISTRICT  
225 DOUGLASS STREET  
P.O. BOX 3553  
PORTLAND, MAINE 04104-3553  
(207) 774-5961

**ELECTRIC**  
ATTN: MARK KREIDER  
CENTRAL MAINE POWER COMPANY  
162 CANCO ROAD  
P.O. BOX 1801  
PORTLAND, MAINE 04104  
(207) 828-2683

**GAS**  
ATTN: RICK BELLEMARE  
NORTHERN UTILITIES, INC.  
1075 FOREST AVENUE  
PORTLAND, MAINE 04103  
(207) 797-8002, EXT.6247

**TELEPHONE**  
ATTN: BRUCE CROSBY  
VERIZON  
5 DAVIS FARM ROAD  
PORTLAND, MAINE 04103  
(207) 797-1788

**CABLE**  
ATTN: DEBRA PAIEMENT AND/OR  
DON JOHNSON  
TIME WARNER CABLE  
118 JOHNSON ROAD  
PORTLAND, MAINE 04102  
(207) 253-2262 (DEBRA)  
(207) 253-2291 (DON)

**FIRE ALARM**  
ATTN: LT. GAYLEN McDOUGAL  
PORTLAND FIRE DEPT.  
CENTRAL FIRE STATION  
CONGRESS STREET  
PORTLAND, MAINE 04101  
(207) 8874-8300

**DIG SAFE**  
1-800-225-4977

**PERMITS**

**LOCAL**  
SITE PERMIT APPROVAL  
(DELEGATED AUTHORITY FOR SITE LAW REVIEW)

**BUILDING PERMIT/  
CERTIFICATE OF OCCUPANCY**

**STATE**  
NRPA TIER 1  
400 RIVERSIDE STREET PROPERTIES, TO BE  
INCLUDED WITH THIS APPLICATION

MAINE CONSTRUCTION GENERAL PERMIT (MCGP)

**GOVERNING BODY**  
DIRECTOR OF PLANNING AND  
ECONOMIC DEVELOPMENT  
CITY OF PORTLAND PLANNING AUTHORITY  
CITY HALL  
CONGRESS STREET  
PORTLAND, MAINE 04101  
(207)879-330  
ATTN: SARAH HOPKINS

**BUILDINGS AND CODE ENFORCEMENT OFFICE**  
CITY OF PORTLAND, CITY HALL  
CONGRESS STREET  
(207)874-8300  
ATTN: MIKE NUGENT

**MeDEP BUREAU OF LAND & WATER QUALITY**  
312 CANCO ROAD  
PORTLAND, MAINE 04103

**MeDEP BUREAU OF LAND & WATER QUALITY**  
312 CANCO ROAD  
PORTLAND, MAINE 04103

**STATUS**  
PREVIOUSLY SUBMITTED BY  
ENGINEER ON BEHALF OF OWNER

**TO BE SUBMITTED BY**  
OWNER/GENERAL CONTRACTOR

**MeDEP PERMIT APPROVAL**  
NO. L-7696-TB-G-N

**TO BE SUBMITTED 14 DAYS IN  
ADVANCE OF CONSTRUCTION**

**LEGEND**

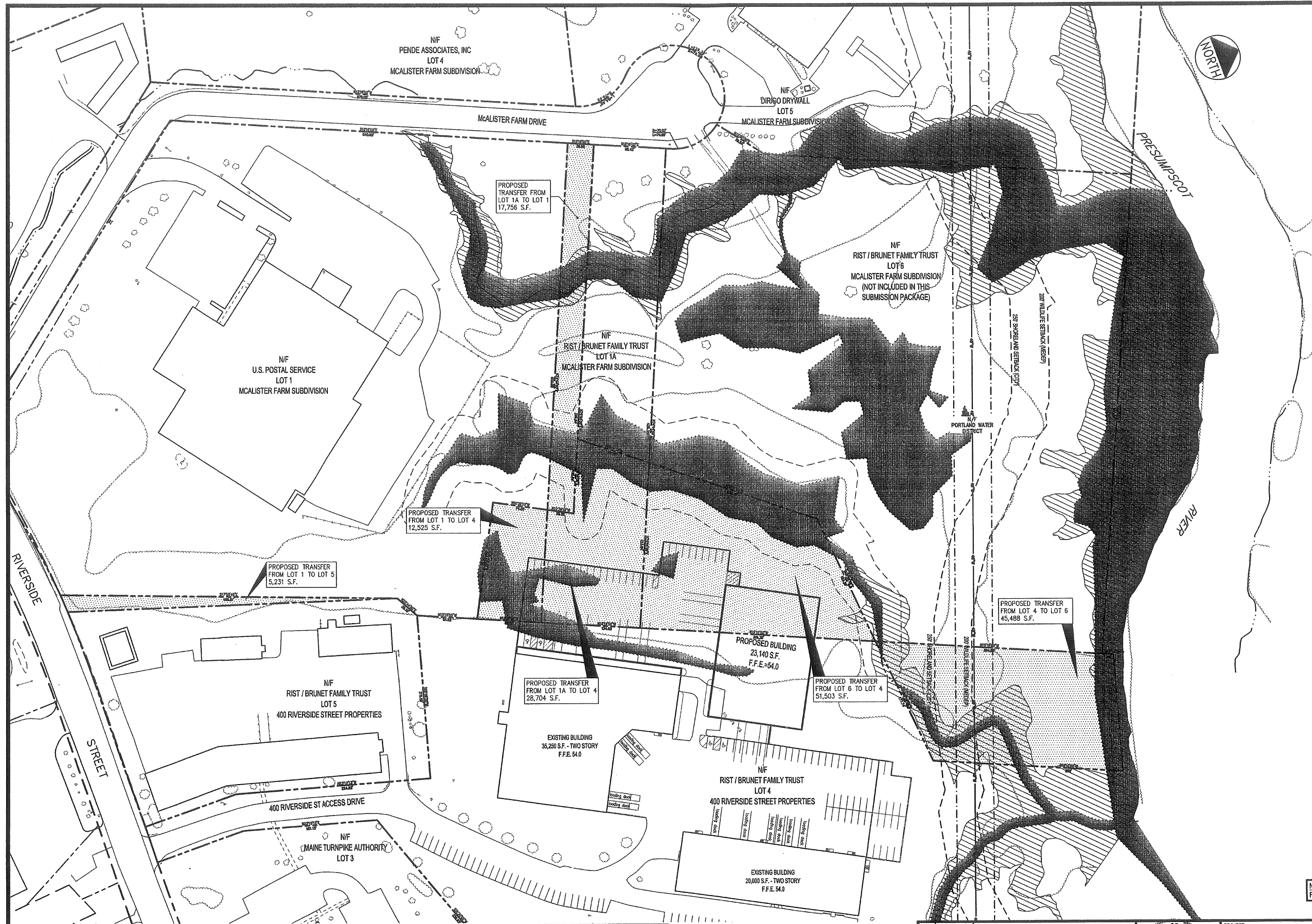
EXISTING	PROPOSED

**GENERAL NOTES:**

- THIS PROJECT IS SUBJECT TO THE TERMS AND CONDITIONS OF ALL REGULATIONS ADMINISTERED BY THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MAINE DEPARTMENT OF TRANSPORTATION, LOCAL UTILITY COMPANIES AND THE CITY OF PORTLAND.
- THE CONTRACTOR SHALL REFER TO THE DESIGN-BUILD PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF THE ENTRANCES, PAVING, EXITS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE POINTS.
- ALL REQUIRED AND NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL SERVICE CONNECTIONS.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ONSITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
- ALL MATERIAL SCHEDULES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL PREPARE HIS OWN MATERIAL SCHEDULES BASED UPON HIS PLAN REVIEW. ALL SCHEDULES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ORDERING MATERIALS OR PERFORMING WORK.
- ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, THE PROJECT SPECIFICATIONS, AND THE CITY OF PORTLAND TECHNICAL STANDARDS.
- TOPOGRAPHIC SURVEY INFORMATION WAS TAKEN FROM CITY OF PORTLAND AERIAL SURVEY, ELECTRONIC DATA PROVIDED BY CITY OF PORTLAND GIS DEPARTMENT.
- BOUNDARY SURVEY INFORMATION TAKEN FROM FINAL SUBDIVISION RECORDING PLAT, BY THE SHERIDAN CORPORATION, APPROVED BY THE PORTLAND PLANNING DEPARTMENT DATED 7.26.88. CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 176, PAGE 44.
- FEMA MAP COMMUNITY PANEL NUMBER 230051 0006B, EFFECTIVE DATE 7.17.86.
- WETLANDS HAVE BEEN DELINEATED BY MARK HAMPTON ASSOCIATES, INC. UNDER SEPARATE CONTRACT TO SHERIDAN CORP. AND THE GALLOWAY GROUP. WETLAND FLAGGING WAS LOCATED BY GPS METHODS AND PROVIDED TO DELUCA-HOFFMAN ASSOCIATES, INC. BY SEBAGO TECHNICS, INC.
- THE PROPERTY SHOWN ON THIS PLAN MAY BE DEVELOPED AND USED ONLY AS DEPICTED IN THIS APPROVED PLAN. ALL ELEMENTS AND FEATURES OF THE PLAN AND ALL THE PROPERTY WHICH APPEARS IN THE RECORD OF THE PLANNING BOARD PROCEEDINGS ARE CONDITIONS OF THE APPROVAL. NO CHANGE FROM THE CONDITIONS OF APPROVALS IS PERMITTED UNLESS AN AMENDED PLAN IS FIRST SUBMITTED TO AND APPROVED BY THE PLANNING AUTHORITY.
- LAND TRANSFER PLAN OF 400 RIVERSIDE STREET PREPARED FOR THE GALLOWAY GROUP BY SEBAGO TECHNICS, INC.
- ALL SIGNAGE SHALL CONFORM TO THE STANDARDS FOR SIZE, HEIGHT, LOCATION AND REFLECTIVITY SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PARKING STALLS SHALL BE MARKED OFF BY 4" SOLID YELLOW LINES EXCEPT AS SHOWN ON THE LAYOUT PLAN.
- ALL CURB SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS AS NOTED ON THE PLANS: GRANITE AND BITUMINOUS CONCRETE CURB SHALL MEET THE REQUIREMENTS OF MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS 609.03 AND 609.04 AND CITY OF PORTLAND TECHNICAL STANDARDS.
- ALL DIMENSIONING UNLESS OTHERWISE NOTED IS TO THE FACE OF CURB OR FACE OF BUILDING.
- BUILDING SUMMARY: LOT 4 PROPOSED 23,140 S.F.
- THE FACILITY IS SERVICED BY PUBLIC WATER AND OVERHEAD UTILITIES. IT IS OUR UNDERSTANDING THAT ACCORDING TO THE PORTLAND PUBLIC WORKS DEPARTMENT PUBLIC SEWER SERVICE IS NOW AVAILABLE ON RIVERSIDE STREET.
- THE CONTRACTOR OR DEVELOPER IS REQUIRED TO NOTIFY THE CITY OF PORTLAND PUBLIC WORKS INSPECTION SERVICES DIVISION (874-8300 EXT. 6838), CODE ENFORCEMENT OFFICE AND DEVELOPMENT REVIEW COORDINATOR IN WRITING THREE (3) DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION. SHOULD THE IMPROVEMENTS BE OF SIGNIFICANT CONCERN OR IN A SENSITIVE AREA, A PRECONSTRUCTION MEETING MAY BE REQUIRED AT THE DISCRETION OF THE PUBLIC WORKS AUTHORITY OR DEVELOPMENT REVIEW COORDINATOR.
- AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE. THE DEVELOPER, OR AN AUTHORIZED AGENT, MUST BE AVAILABLE AT ALL TIMES DURING CONSTRUCTION.
- WARNING SIGNS, MARKERS, BARRICADES OR FLAGMEN MUST BE EMPLOYED ON ADJACENT STREETS AS NECESSARY.
- CONSTRUCTION DEBRIS SHALL BE CONTAINERIZED AND DISPOSED OF IN ACCORDANCE WITH THE CITY OF PORTLAND'S SOLID WASTE ORDINANCE CHAPTER 12.
- ANY DAMAGE TO PUBLIC OR PRIVATE PROPERTY RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE DEVELOPER/CONTRACTOR AT THEIR EXPENSE.
- PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED AT ALL TIMES DURING CONSTRUCTION TO INSURE INTEGRITY. IF DISTURBED THEY SHALL BE REPLACED BY A SURVEYOR REGISTERED IN THE STATE OF MAINE AT THE CONTRACTOR/DEVELOPER'S EXPENSE.
- ALL SANITARY SERVICES AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT.
- A STREET OPENING PERMIT MUST BE OBTAINED FROM THE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT PRIOR TO BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
- RETAINING WALLS WITHIN LOADING DOCK AREAS SHALL BE CAST-IN-PLACE OR PRECAST MODULAR BLOCK SUBJECT TO GEOTECHNICAL REVIEW AND DESIGN BY THE CONTRACTOR OR PRECAST MODULAR BLOCK SUPPLIER.

**PRELIMINARY NOT FOR CONSTRUCTION**

		<b>PROJECT</b> LOT 4, 400 RIVERSIDE STREET PROPERTIES PORTLAND, MAINE	
<b>REVISIONS</b>		<b>SHEET TITLE</b> COVER SHEET, GENERAL NOTES & LEGEND	<b>DRAWN:</b> CMW <b>DATE:</b> JUNE 2005 <b>DESIGNED:</b> T.M. <b>SCALE:</b> AS NOTED <b>CHECKED:</b> SRB <b>JOB NO.:</b> 2314 <b>FILE NAME:</b> 2314-COV <b>SHEET</b> 1
3	06.05.05	AMENDED SITE PLAN REVIEW SUBMISSION - LOT 4 ONLY	
2	10.04.04	RESUBMITTED TO PLANNING AUTHORITY	
1	04.16.04	SITE PLAN REVIEW SUBMISSION	
REV	DATE	DESCRIPTION	P.E. STEPHEN BUSHEY LIC. #7429
<b>CLIENT</b> RIST / BRUNET FAMILY TRUST 400 RIVERSIDE STREET PORTLAND, MAINE 04103		<b>DeLUCA-HOFFMAN ASSOCIATES, INC.</b> 778 MAIN STREET, SUITE 8 SOUTH PORTLAND, ME 04106 207.775.1121 WWW.DELUCAHOFFMAN.COM	



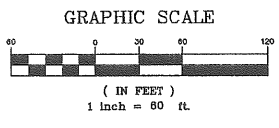
**LEGEND**

	IRON PIPE FOUND
	MONUMENT FOUND
	NOW OR FORMERLY
	UTILITY POLE
	SIGN
	TELEPHONE MANHOLE
	SEWER MANHOLE
	DRAIN MANHOLE
	CURB
	WATER VALVE
	TREELINE
	LIGHT POLE (UNLESS NOTED)
	EXISTING BUILDING
	CATCH BASIN
	EXISTING CONTOUR
	SEWER LINE
	STORM DRAIN LINE
	WATER LINE
	GAS LINE
	EDGE OF PAVEMENT
	STREAM
	SURVEY CONTROL POINT
	WETLAND LIMIT
	100 YEAR FLOOD PLAIN PER FEMA MAP

NOTE: FINAL PROPERTY SUMMARY PLAN TO BE PREPARED BY SEBAGO TECHNICS

- NOTES:**
1. WETLANDS HAVE BEEN DELINEATED BY MARK HAMPTON ASSOCIATES, INC. UNDER SEPARATE CONTRACT TO SHERIDAN CORP. AND THE GALLOWAY GROUP. WETLAND FLAGGING WAS LOCATED BY GPS METHODS AND PROVIDED TO DELUCA-HOFFMAN ASSOCIATES, INC. BY SEBAGO TECHNICS, INC.
  2. WETLANDS OF SPECIAL SIGNIFICANCE ARE ASSOCIATED WITH THE ONSITE STREAMS.
  3. THE LOCATION OF THE EXISTING 48" PORTLAND WATER DISTRICT TRANSMISSION MAIN IS APPROXIMATE.
  4. LOT BOUNDARIES ARE APPROXIMATE. METES AND BOUNDS INFORMATION IS BASED ON DATA PRESENTED ON PLAN REFERENCE #1 & #4.
  5. BENCHMARK CONTROL AND HORIZONTAL CONTROL AVAILABLE FROM SEBAGO TECHNICS, INC. OR CITY OF PORTLAND PUBLIC WORKS GIS DEPARTMENT.

- PLAN REFERENCES:**
1. FINAL SUBDIVISION RECORDING PLAT MCALISTER FARM SUBDIVISION, BY THE SHERIDAN CORPORATION, APPROVED BY THE PORTLAND PLANNING BOARD DATED 7.26.88 CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 176 PAGE 44.
  2. FEMA MAP COMMUNITY PANEL NUMBER 230051 0006 B, EFFECTIVE DATE 7.17.85.
  3. CITY OF PORTLAND AERIAL SURVEY, ELECTRONIC DATA PROVIDED BY CITY OF PORTLAND GIS DEPARTMENT.
  4. THIRD AMENDED RECORDING PLAT DONALD D. BUTLER SUBDIVISION, APPROVED BY THE PORTLAND PLANNING BOARD DATED 6.11.86.
  5. FIGURE 2 - EXPLORATION LOCATION PLAN BY R.W. GILLESPIE & ASSOCIATES CONTAINED IN A REPORT DATED OCTOBER 23, 2002.



REV	DATE	DESCRIPTION	REVISIONS
3	06.05.05	AMENDED SITE PLAN REVIEW SUBMISSION - LOT 4 ONLY	
2	10.04.04	RESUBMITTED TO PLANNING AUTHORITY	
1	04.16.04	SITE PLAN REVIEW SUBMISSION	

P.E. STEPHEN BUSHEY  
LIC. #7429

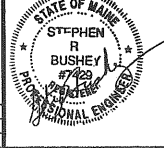
PROJECT  
LOT 4, 400 RIVERSIDE STREET PROPERTIES  
PORTLAND, MAINE

SHEET TITLE  
**OVERALL PROPERTY SUMMARY PLAN**

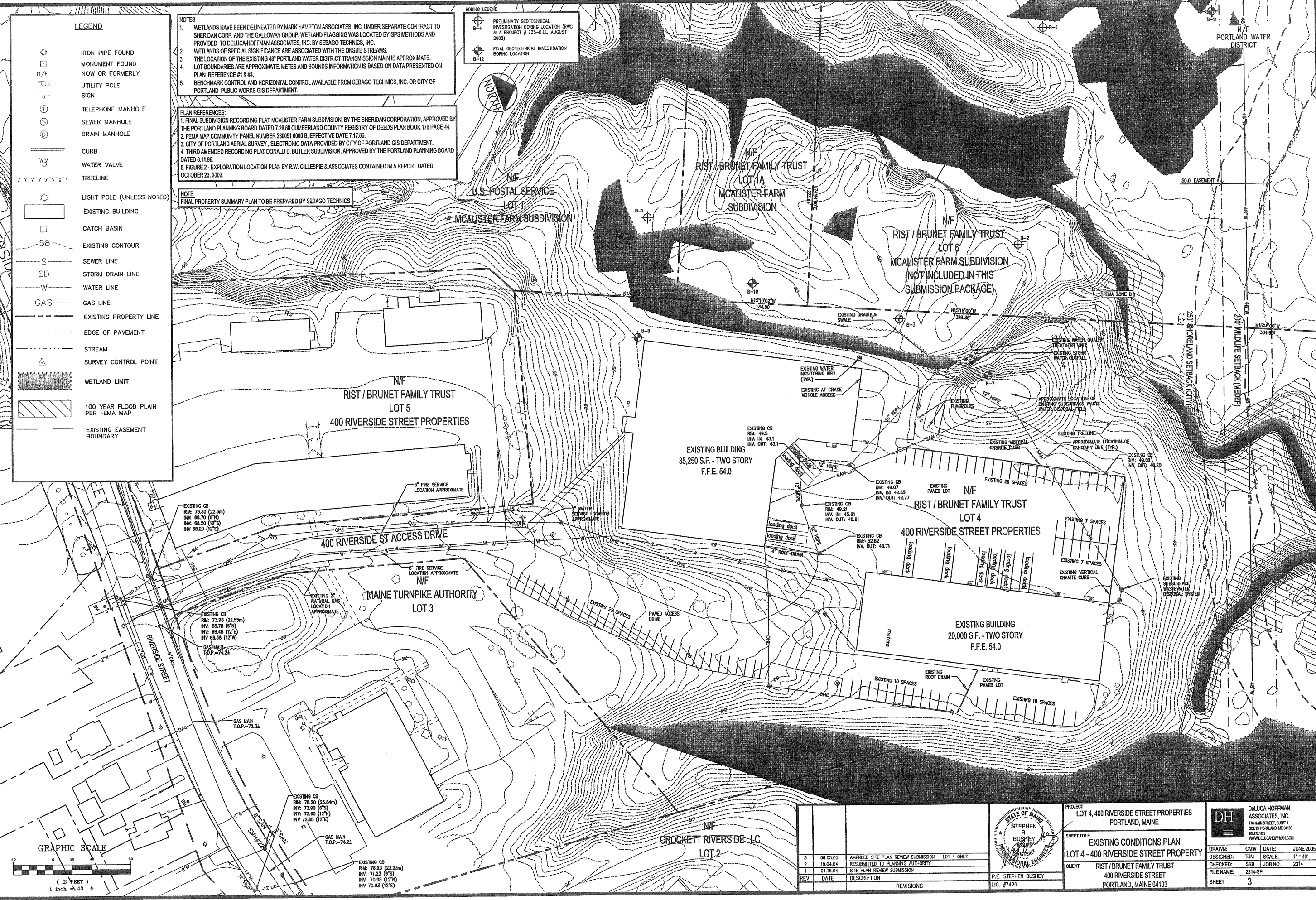
CLIENT  
RIST / BRUNET FAMILY TRUST  
400 RIVERSIDE STREET  
PORTLAND, MAINE 04103

**DeLUCA-HOFFMAN ASSOCIATES, INC.**  
778 MAIN STREET, SUITE 8  
SOUTH PORTLAND, ME 04105  
23755101  
WWW.DELUCAHOFFMAN.COM

DESIGNED: TJM SCALE: 1" = 60'  
CHECKED: SRB JOB NO. 2314  
FILE NAME: 2314-SP  
SHEET 2







**LEGEND**

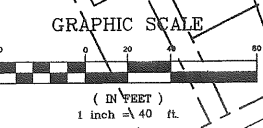
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- MONUMENT FOUND NOW OR FORMERLY
- UTILITY POLE SIGN
- TELEPHONE MANHOLE
- SEWER MANHOLE
- DRAIN MANHOLE
- CURB
- WATER VALVE
- TREE LINE
- LIGHT POLE (UNLESS NOTED)
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- SEWER LINE
- STORM DRAIN LINE
- WATER LINE
- GAS LINE
- EXISTING PROPERTY LINE
- EDGE OF PAVEMENT
- STREAM
- SURVEY CONTROL POINT
- WETLAND LIMIT
- 100 YEAR FLOOD PLAIN PER FEMA MAP
- EXISTING EASEMENT BOUNDARY

- NOTES**
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  - WETLANDS OF SPECIAL SIGNIFICANCE ARE ASSOCIATED WITH THE ONSITE STREAMS.
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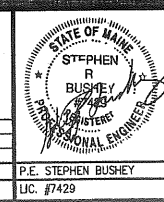
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  - FIGURE 2 - EXPLORATION LOCATION PLAN BY R.W. GILLESPIE & ASSOCIATES CONTAINED IN A REPORT DATED OCTOBER 23, 2002.

**NOTE:**  
FINAL PROPERTY SUMMARY PLAN TO BE PREPARED BY SEBAGO TECHNICS

- BORING LEGEND**
- PRELIMINARY GEOTECHNICAL INVESTIGATION BORING LOCATION (RWG & A PROJECT # 235-BILL, AUGUST 2002)
  - FINAL GEOTECHNICAL INVESTIGATION BORING LOCATION



REV	DATE	DESCRIPTION	REVISIONS
3	06.05.05	AMENDED SITE PLAN REVIEW SUBMISSION - LOT 4 ONLY	
2	10.04.04	RESUBMITTED TO PLANNING AUTHORITY	
1	04.16.04	SITE PLAN REVIEW SUBMISSION	



PROJECT  
LOT 4, 400 RIVERSIDE STREET PROPERTIES  
PORTLAND, MAINE

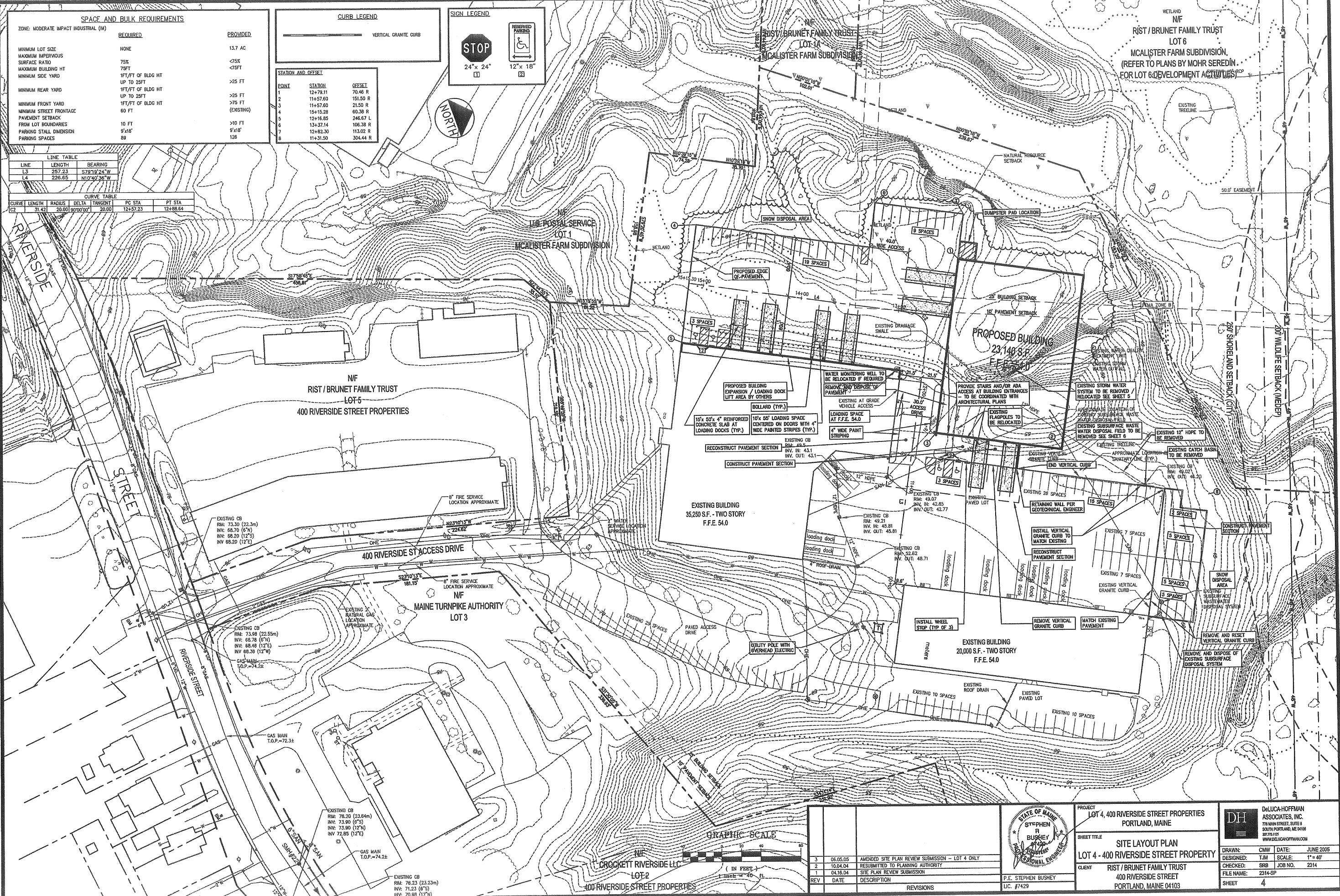
SHEET TITLE  
**EXISTING CONDITIONS PLAN**  
LOT 4 - 400 RIVERSIDE STREET PROPERTY

CLIENT  
RIST / BRUNET FAMILY TRUST  
400 RIVERSIDE STREET  
PORTLAND, MAINE 04103

**DH** DeLUCA-HOFFMAN ASSOCIATES, INC.  
778 MAIN STREET, SUITE 8  
SOUTH PORTLAND, ME 04106  
202.776.1570  
WWW.DELUCAHOFFMAN.COM

DRAWN: CMW DATE: JUNE 2005  
DESIGNED: TJM SCALE: 1" = 40'  
CHECKED: SRB JOB NO.: 2314  
FILE NAME: 2314-SP  
SHEET 3





**SPACE AND BULK REQUIREMENTS**

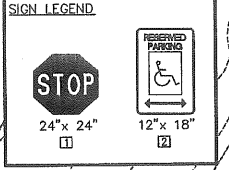
ZONE: MODERATE IMPACT INDUSTRIAL (M)	REQUIRED	PROVIDED
MINIMUM LOT SIZE	NONE	13.7 AC
MAXIMUM IMPERVIOUS SURFACE RATIO	75%	<75%
MAXIMUM BUILDING HT	75FT	<75FT
MINIMUM SIDE YARD	1FT/FT OF BLDG HT UP TO 25FT	>25 FT
MINIMUM REAR YARD	1FT/FT OF BLDG HT UP TO 25FT	>25 FT
MINIMUM FRONT YARD	1FT/FT OF BLDG HT UP TO 25FT	>25 FT
MINIMUM STREET FRONTAGE	60 FT	(EXISTING)
PAVEMENT SETBACK FROM LOT BOUNDARIES	10 FT	>10 FT
PARKING STALL DIMENSION	9'x18'	126
PARKING SPACES	89	126

**CURB LEGEND**

VERTICAL GRANITE CURB

**STATION AND OFFSET**

POINT	STATION	OFFSET
1	12+78.11	70.46 R
2	11+57.60	151.50 R
3	11+57.60	21.50 R
4	15+15.28	60.38 R
5	12+16.85	246.67 L
6	13+37.14	106.38 R
7	12+82.30	113.02 R
8	11+31.50	304.44 R



**LINE TABLE**

LINE	LENGTH	BEARING
L3	257.23	S79°18'24"W
L4	226.65	N10°40'36"W

**CURVE TABLE**

CURVE	LENGTH	RADIUS	DELTA	TANGENT	PC STA	PT STA
C2	31.42	20.00	90°00'00"	20.00	12+57.23	12+88.64

G:\131\DWG\PERMIT SET\1314-SP.dwg, SITE LAYOUT-5, 6/13/2005 10:01:38 AM, cwh/termdm

**PROJECT**  
LOT 4, 400 RIVERSIDE STREET PROPERTIES  
PORTLAND, MAINE

**SHEET TITLE**  
SITE LAYOUT PLAN  
LOT 4 - 400 RIVERSIDE STREET PROPERTY

**CLIENT**  
RIST / BRUNET FAMILY TRUST  
400 RIVERSIDE STREET  
PORTLAND, MAINE 04103

**DESIGNER**  
STEPHEN BUSHEY  
LIC. #7429

**REVISIONS**

REV	DATE	DESCRIPTION
3	06.05.05	AMENDED SITE PLAN REVIEW SUBMISSION - LOT 4 ONLY
2	10.04.04	RESUBMITTED TO PLANNING AUTHORITY
1	04.18.04	SITE PLAN REVIEW SUBMISSION

**DRAWN:** CMW **DATE:** JUNE 2005  
**DESIGNED:** TJM **SCALE:** 1" = 40'  
**CHECKED:** SRB **JOB NO.:** 2314  
**FILE NAME:** 2314-SP  
**SHEET:** 4

**DeLUCA-HOFFMAN ASSOCIATES, INC.**  
770 MAIN STREET, SUITE 6  
PORTLAND, ME 04106  
207.775.1120  
WWW.DELOUCAHOFFMAN.COM

**GRADING & DRAINAGE NOTES:**

- ALL STORM DRAIN PIPE SHALL BE SMOOTH BORE INTERIOR PROVIDING A MANNINGS ROUGHNESS COEFFICIENT OF  $n = 0.013$  OR LESS, UNLESS A SPECIFIC PIPE MATERIAL IS CALLED FOR ON THE CONTRACT DRAWINGS. C/PV AND PVD PIPING SHALL NOT BE USED IN AREAS OF EXPOSED SUNLIGHT.
- ALL SLOPES STEEPER THAN 3:1 ARE TO RECEIVE RIPRAP SLOPE PROTECTION.
- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION DURING EARTHWORK OPERATIONS TO INSURE THAT THE STEEP SLOPE AREAS ARE NOT DISTURBED. THE LIMITS OF CLEARING SHALL BE 1' BEYOND THE GRADING LIMITS AS SHOWN ON THE SITE LAYOUT PLAN AS WELL AS ON THIS PLAN SHEET.
- THE CONTRACTOR IS HEREBY CAUTIONED THAT ALL SITE FEATURES SHOWN HERE ON ARE BASED ON FIELD OBSERVATIONS BY THE SURVEYOR AND BY INFORMATION PROVIDED BY UTILITY COMPANIES. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT THE UTILITY COMPANIES AT LEAST THREE (3) BUT NOT MORE THAN THIRTY (30) DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES.
- NO HOLES, TRENCHES OR STRUCTURES SHALL BE LEFT OPEN OVERNIGHT IN ANY EXCAVATION ACCESSIBLE TO THE PUBLIC OR IN PUBLIC RIGHTS-OF-WAY.
- THE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ANY CHANGES AND DEVIATION FROM APPROVED PLANS NOT AUTHORIZED BY THE ARCHITECT/ENGINEER AND/OR CLIENT/OWNER.
- CONTRACTOR SHALL INCORPORATE PROVISIONS AS NECESSARY IN CONSTRUCTION TO PROTECT EXISTING STRUCTURES, PHYSICAL FEATURES, AND MAINTAIN SITE STABILITY DURING CONSTRUCTION. CONTRACTOR SHALL RESTORE ALL AREAS TO ORIGINAL CONDITION AS DIRECTED BY DESIGN DRAWINGS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO FABRICATION AND ERECTION OF ANY MATERIAL. ANY UNUSUAL CONDITIONS SHALL BE REPORTED TO THE ATTENTION OF THE ENGINEER.
- ALL TOPSOIL, ORGANIC MATERIAL, DEBRIS, UNCONTROLLED FILL, AND OTHER UNSUITABLE FOUNDATION BEARING MATERIALS SHOULD BE REMOVED FROM THE AREAS RECEIVING NEW CONSTRUCTED FACILITIES.
- SITE GRADING SHOULD PROVIDE POSITIVE DRAINAGE AWAY FROM CONSTRUCTED FACILITIES BOTH DURING AND AFTER CONSTRUCTION.
- DEWATERING REQUIREMENTS WILL VARY ACROSS THE SITE BASED ON GROUNDWATER LEVELS ENCOUNTERED DURING CONSTRUCTION AND SOIL TYPE. IN GENERAL, IT SHOULD BE PRACTICAL TO ACCOMPLISH CONSTRUCTION DEWATERING FROM WITHIN EXCAVATIONS BY OPEN PUMPING METHODS TO DEPTHS OF ONE TO TWO FEET BELOW GROUNDWATER. SURFACE RUNOFF AND INFILTRATION OF GROUNDWATER SHOULD BE CONTROLLED SO THAT EXCAVATION, FILLING, AND FOUNDATION CONSTRUCTION CAN BE COMPLETED IN-THE-DAY. ALL DEWATERING METHODS SHALL BE COMPLETED IN ACCORDANCE WITH SECTION C-3 - CONSTRUCTION DEWATERING OF THE MAINE EROSION AND SEDIMENT CONTROL BMP MANUAL.
- EXCAVATIONS SHOULD BE MADE USING A SMOOTH EDGED BUCKET TO MINIMIZE DISTURBANCE TO SUBSOILS. EXPOSED SUBSOILS SHOULD BE PROTECTED FROM DISTURBANCE, MOISTURE, AND FREEZING, UNTIL THE FOOTINGS AND GROUND FLOOR SLABS ARE IN PLACE.
- STRUCTURAL FILL FOR SUPPORT OF FOOTINGS, FLOOR SLABS, AND FOR USE AS BACKFILL SHOULD BE A CLEAN, WELL-GRADED SAND AND GRAVEL MIXTURE MEETING THE FOLLOWING GRADATION:



**PIPE SCHEDULE**

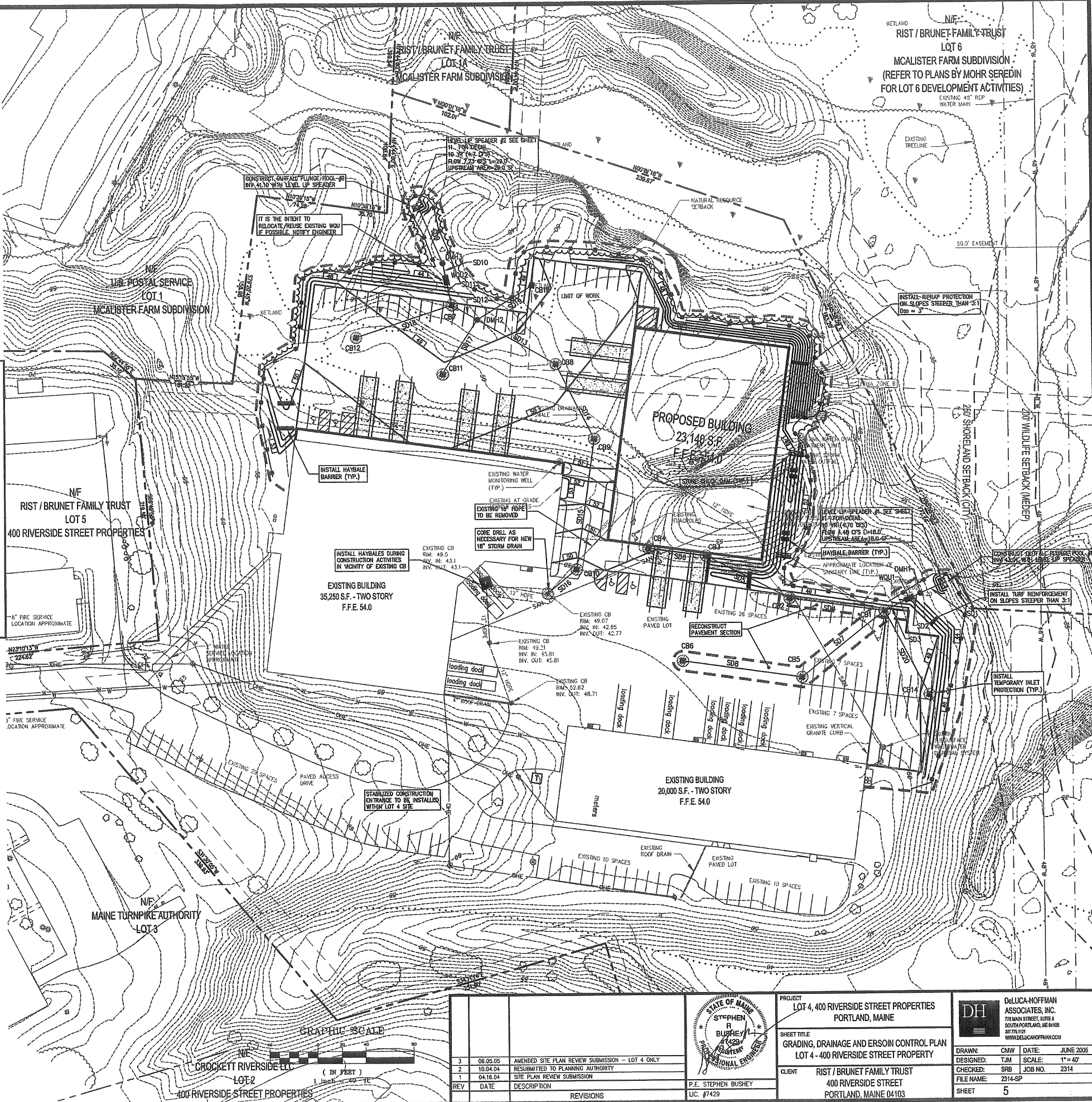
Chg	From	To	Length	Slope	Size/Line
SD 1	DMH 1	Outfall	15'	0.0020	24" HDPE
SD 2	WOU 1	DMH 1	5'	0.0030	24" HDPE
SD 3	CB 1	WOU 1	10'	0.0075	24" HDPE
SD 4	CB 2	CB 1	76'	0.0030	18" HDPE
SD 5	CB 3	CB 2	74'	0.0030	18" HDPE
SD 6	CB 4	CB 3	44'	0.0050	18" HDPE
SD 7	CB 5	CB 4	64'	0.0050	18" HDPE
SD 8	CB 6	CB 5	90'	0.0030	18" HDPE
SD 9	DMH 3	Outfall	48'	0.0030	24" HDPE
SD 10	WOU 2	DMH 3	6'	0.0020	24" HDPE
SD 11	DMH 4	WOU 2	15'	0.0030	24" HDPE
SD 12	CB 7	DMH 4	20'	0.0060	24" HDPE
SD 13	CB 8	CB 7	70'	0.0024	24" HDPE
SD 14	CB 9	CB 8	65'	0.0030	24" HDPE
SD 15	CB 10	CB 9	106'	0.0030	24" HDPE
SD 16	Ex. CB	CB 10	26'	0.0030	18" HDPE/Core Drill
SD 17	CB 11	CB 12	48'	0.0125	18" HDPE
SD 18	CB 12	CB 7	80'	0.0100	18" HDPE
SD 19	CB 20	CB 8	48'	0.0104	18" HDPE
SD 20	CB 14	CB 1	76'	0.0040	18" HDPE

**STRUCTURE SCHEDULE**

Structure	Rim	Inverts In	Inverts Out	Description
EXIST. CB	49.07	42.85	42.77	4" Dia./Core Drill
CB 1	49.75	43.37 (SD 4)	43.27 (SD 7)	6" Dia.
CB 2	49.75	43.70	43.60	4" Dia.
CB 3	49.75	44.02	43.92	4" Dia.
CB 4	49.75	44.34	44.24	4" Dia.
CB 5	49.50	43.89	43.79	4" Dia.
CB 6	49.75	44.18	44.08	4" Dia.
CB 7	49.25	41.50 (SD 12)	41.40 (SD 18)	6" Dia.
CB 8	49.50	41.87	41.77	4" Dia.
CB 9	50.50	42.27	42.17	4" Dia.
CB 10	49.50	42.89	42.79	4" Dia.
CB 11	49.10	42.80	42.70	4" Dia.
CB 12	49.30	42.80	42.70	4" Dia.
CB 13	48.75	42.50	42.40	4" Dia.
CB 14	48.75	43.67	43.57	4" Dia.
DMH 1	45.25	43.14	43.04	6" Dia.
DMH 2	48.85	42.00 (SD 19)	41.60 (SD 13)	6" Dia.
DMH 3	46.50	41.34	41.24	6" Dia.
WOU 1	46.25	43.15	43.15	
WOU 2	46.00	41.35	41.35	

**EROSION CONTROL NOTES:**

- LAND DISTURBING ACTIVITIES SHALL BE ACCOMPLISHED IN A MANNER AND SEQUENCE THAT CAUSES THE LEAST PRACTICAL DISTURBANCE OF THE SITE.
- PRIOR TO BEGINNING ANY CLEARING/LAND DISTURBING ACTIVITIES, THE CONTRACTOR SHALL INSTALL THE PERIMETER SILT FENCES AND THE STABILIZED CONSTRUCTION ENTRANCES.
- ALL GROUND AREAS DISTURBED DURING CONSTRUCTION WILL BE GRADED, LOAMED AND SEEDED AS SOON AS POSSIBLE.
- SILT BARRIERS SHALL BE INSPECTED, REPAIRED AND CLEANED IN ACCORDANCE WITH THE MADEP EROSION CONTROL BMP MANUAL.
- THE CONTRACTOR SHALL REPAIR AND ADD STONE TO THE CONSTRUCTION ENTRANCES AS THEY BECOME SATURATED WITH MUD TO ENSURE THAT THEY WORK AS PLANNED DURING CONSTRUCTION AND SHALL KEEP RIVERSIDE STREET AND McALISTER FARM DRIVE CLEAR OF DIRT AND MUD.
- SILT REMOVED FROM AROUND INLETS AND BEHIND THE SILT FENCES SHALL BE PLACED ON A TOPSOIL STOCKPILE AND MIXED INTO IT FOR LATER USE IN LANDSCAPING OPERATIONS.
- CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITIES IN THE AREA OF PROPOSED EXCAVATION OR BLASTING AT LEAST THREE (3) BUT NOT MORE THAN (30) DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION. CONTRACTORS SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF 23 M.R.S. §3604-A.
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL NECESSARY ELECTRICAL SERVICES IN CONJUNCTION TO NIGHT LIGHTING, COMPLYING WITH APPLICABLE CODES. COORDINATE WITH OWNER AND ARCHITECTURAL AND CIP PLANS. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CONFIRM WITH CIP, CABLE AND TELEPHONE COMPANIES INDIVIDUAL UTILITY REQUIREMENTS FOR INSTALLATION AND LOCATIONS OF UTILITIES.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION.
- FILL AREAS UNDER PAVEMENT SHALL BE GRANULAR BORROW. ALL OTHER FILL AREAS SHALL BE A COMMON BORROW MATERIAL SUITABLE FOR EMBANKMENT CONSTRUCTION, FREE FROM FROZEN MATERIAL, PERISHABLE RUBBLE, PEAT, ORGANICS, ROCKS LARGER THAN 12" IN DIAMETER, VEGETATION AND OTHER MATERIAL UNSUITABLE FOR ROADWAY AND SUBGRADE CONSTRUCTION. EXCAVATED ON-SITE MATERIALS MAY BE USED FOR FILL PROVIDED THE MATERIAL IS FREE FROM UNSUITABLE MATERIAL DESCRIBED IN THIS NOTE AND UPON APPROVAL OF THE ENGINEER. GRANULAR BORROW AND COMMON BORROW SHALL COMPLY WITH THE MOST SPECIFICATIONS.
- ALL FILLS SHALL BE PLACED IN LAYERS NOT MORE THAN 12" LOOSE DEPTH AND COMPACTED BY HEAVY COMPACTOR EQUIPMENT. MINIMUM COMPACTON SHALL BE 95% OF MAXIMUM DENSITY ASTM 1557, MODIFIED AND FIELD DENSITY ASTM D2922 (NUCLEAR METHODS).
- IMMEDIATELY UPON COMPLETION OF CUTS/FILLS, THE CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH EROSION CONTROL NOTES AS SPECIFIED ON PLANS.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH MADEP "MAINE EROSION AND SEDIMENT CONTROL BMP'S," DATED MARCH 2003. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.
- ALL EARTHWORK ACTIVITY AND FOUNDATION PREPARATION SHALL BE COMPLETED IN ACCORDANCE WITH THE GEOTECHNICAL RECOMMENDATIONS SET FORTH BY B.W. GILLESPIE AND ASSOCIATES.



		PROJECT LOT 4, 400 RIVERSIDE STREET PROPERTIES PORTLAND, MAINE	DeLUCA-HOFFMAN ASSOCIATES, INC. 77 MAIN STREET, SUITE 4 SOUTH PORTLAND, ME 04106 207.781.1131 WWW.DELOUCAHOFFMAN.COM
SHEET TITLE GRADING, DRAINAGE AND EROSION CONTROL PLAN LOT 4 - 400 RIVERSIDE STREET PROPERTY		DRAWN: CMW DATE: JUNE 2005 DESIGNED: TJM SCALE: 1" = 40' CHECKED: SRB JOB NO. 2314 FILE NAME: 2314-SP SHEET 5	CLIENT RIST / BRUNET FAMILY TRUST 400 RIVERSIDE STREET PORTLAND, MAINE 04103
REV 3 06.05.05 AMENDED SITE PLAN REVIEW SUBMISSION - LOT 4 ONLY 2 10.04.04 RESUBMITTED TO PLANNING AUTHORITY 1 04.16.04 SITE PLAN REVIEW SUBMISSION	REV DATE DESCRIPTION REVISIONS	P.E. STEPHEN BUSHEY LIC. #7429	

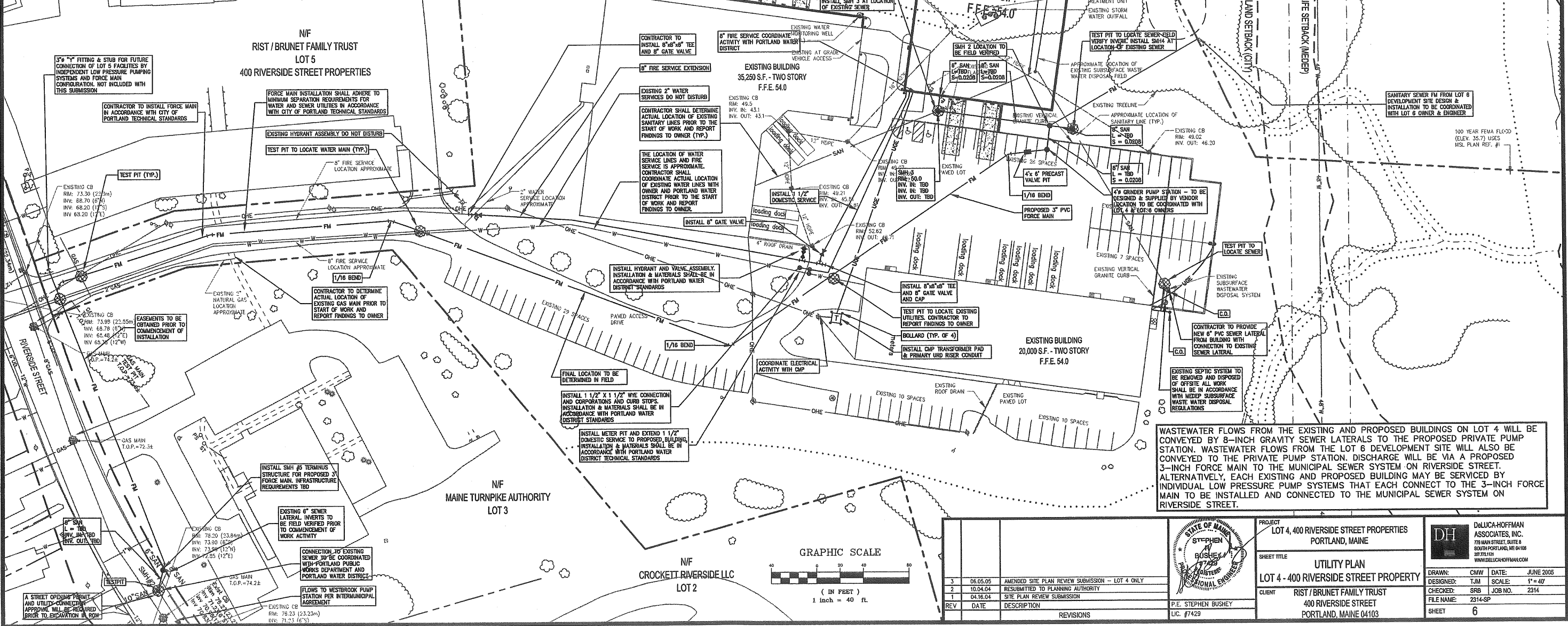


**LUMINAIRE SCHEDULE**

SYMBOL	QUANTITY	LABEL	LUMENS	L.F.	DESCRIPTION
⊙	4	AC	12,000	0.85	AC 2417-M (175MM)
⊙	6				

ADDITIONAL EQUIPMENT - (4) PS4519CIBZ POLES  
 FIXTURE MOUNTING HEIGHT - 19' AFE  
 TILT ANGLE - 0 DEGREES

- NOTES**
- ALL REQUIRED UTILITIES SERVING THE PROJECT SHALL BE COORDINATED AND CONSTRUCTED BY THE DIVISION 2 CONTRACTOR TO WITHIN 5 FEET OF THE BUILDINGS, AT A LOCATION COORDINATED WITH THE DIVISION 15 OR 16 CONTRACTOR AND THE BUILDING PLANS. DIVISION 2 WORK WITHIN 6 FEET OF UNDERSLAB UTILITIES SHALL CONSIST OF TRENCHING AND BACKFILLING. ACTUAL UTILITY INSTALLATION SHALL BE BY THE DIVISION 15/16 CONTRACTOR. ALL REQUIRED CONNECTION FEES SHALL BE PAID BY THE GENERAL CONTRACTOR.
  - THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF AND/OR RELOCATION OF OVERHEAD AND UNDERGROUND TELEPHONE WITH APPROPRIATE UTILITY COMPANY. CONTRACTOR SHALL BE RESPONSIBLE FOR CONDUITS, PULL WIRES, TRENCHING AND BACKFILLING NECESSARY TO COMPLETE THE WORK.
  - ALL SANITARY SEWER WORK SHALL MEET THE STANDARDS OF THE MAINE STATE PLUMBING CODE AND CITY OF PORTLAND PUBLIC WORKS.
  - THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ELECTRIC SERVICE WITH CENTRAL MAINE POWER.
  - COORDINATE ALL UTILITY WORK WITH THE APPROPRIATE UTILITY COMPANY. ALL UTILITY WORK SHALL CONFORM TO THE STANDARDS OF THE MAINE STATE PLUMBING CODE AND CITY OF PORTLAND PUBLIC WORKS.
  - THE LOCATIONS OF THE NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH THE SERVING UTILITY COMPANY.
  - UNDERGROUND ELECTRICAL CONDUIT MATERIAL AND INSTALLATION SHALL CONFORM TO UTILITY COMPANY STANDARDS AND PROJECT SPECIFICATIONS, WHICH EVER IS MORE STRINGENT.
  - ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
  - ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
  - THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATES TO THE OWNER PRIOR TO COMPLETION OF THE PROJECT.
  - THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL BOXES, FITTINGS, CONNECTORS, COVER PLATES AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL, AT NO EXTRA EXPENSE TO THE OWNER.
  - A 10 FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18 INCH OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER AND SANITARY SEWER CROSSINGS.
  - THE CONTRACTOR SHALL PHASE UTILITY CONSTRUCTION AND PROVIDE TEMPORARY SERVICES AS REQUIRED TO PROVIDE CONTINUOUS SERVICE TO THE JOBSITE. TEMPORARY SERVICES SHALL COMPLY WITH ALL FEDERAL, STATE, LOCAL AND UTILITY COMPANY STANDARDS. COORDINATE ALL TEMPORARY SERVICES WITH UTILITY COMPANY, OWNER AND AFFECTED BUSINESSES.



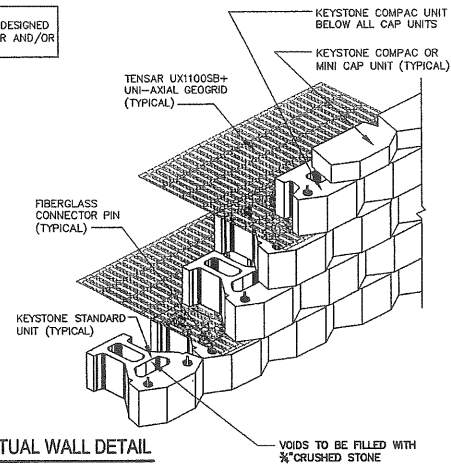
WASTEWATER FLOWS FROM THE EXISTING AND PROPOSED BUILDINGS ON LOT 4 WILL BE CONVEYED BY 8-INCH GRAVITY SEWER LATERALS TO THE PROPOSED PRIVATE PUMP STATION. WASTEWATER FLOWS FROM THE LOT 6 DEVELOPMENT SITE WILL ALSO BE CONVEYED TO THE PRIVATE PUMP STATION. DISCHARGE WILL BE VIA A PROPOSED 3-INCH FORCE MAIN TO THE MUNICIPAL SEWER SYSTEM ON RIVERSIDE STREET. ALTERNATIVELY, EACH EXISTING AND PROPOSED BUILDING MAY BE SERVICED BY INDIVIDUAL LOW PRESSURE PUMP SYSTEMS THAT EACH CONNECT TO THE 3-INCH FORCE MAIN TO BE INSTALLED AND CONNECTED TO THE MUNICIPAL SEWER SYSTEM ON RIVERSIDE STREET.

PROJECT LOT 4, 400 RIVERSIDE STREET PROPERTIES PORTLAND, MAINE			PROJECT LOT 4, 400 RIVERSIDE STREET PROPERTIES PORTLAND, MAINE UTILITY PLAN LOT 4 - 400 RIVERSIDE STREET PROPERTY CLIENT RIST / BRUNET FAMILY TRUST 400 RIVERSIDE STREET PORTLAND, MAINE 04103	DRAWN: CMW DATE: JUNE 2005 DESIGNED: SRB SCALE: 1" = 40' CHECKED: TRM JOB NO. 2314 FILE NAME: 2314-SP SHEET 6
SHEET TITLE LOT 4 - 400 RIVERSIDE STREET PROPERTY				
REV	DATE	DESCRIPTION	REVISIONS	
3	08.05.05	AMENDED SITE PLAN REVIEW SUBMISSION - LOT 4 ONLY		
2	10.04.04	RESUBMITTED TO PLANNING AUTHORITY		
1	04.16.04	SITE PLAN REVIEW SUBMISSION		

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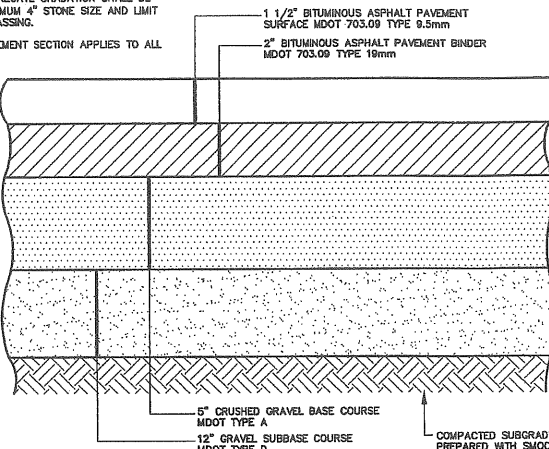


NOTE:  
RETAINING WALLS TO BE DESIGNED  
AND REVIEWED BY VENDOR AND/OR  
GEOTECHNICAL ENGINEER

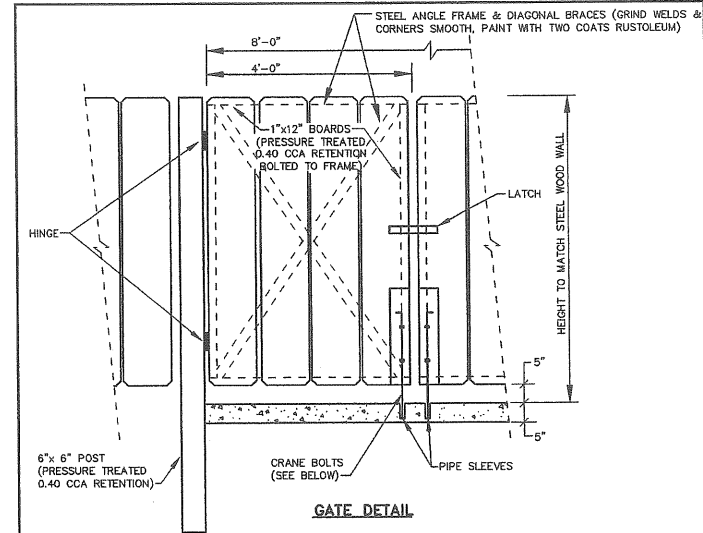


**(A) CONCEPTUAL WALL DETAIL**  
N.T.S.

NOTES:  
1. MDOT TYPE D AGGREGATE GRADATION SHALL BE MODIFIED FOR A MAXIMUM 4" STONE SIZE AND LIMIT #200 SIEVE TO 5% PASSING.  
2. THIS TYPICAL PAVEMENT SECTION APPLIES TO ALL PARKING LOT AREAS.

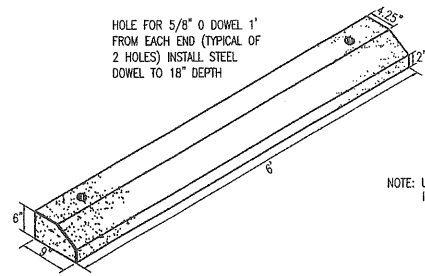


**(D) PAVEMENT SECTION DETAIL**  
N.T.S.

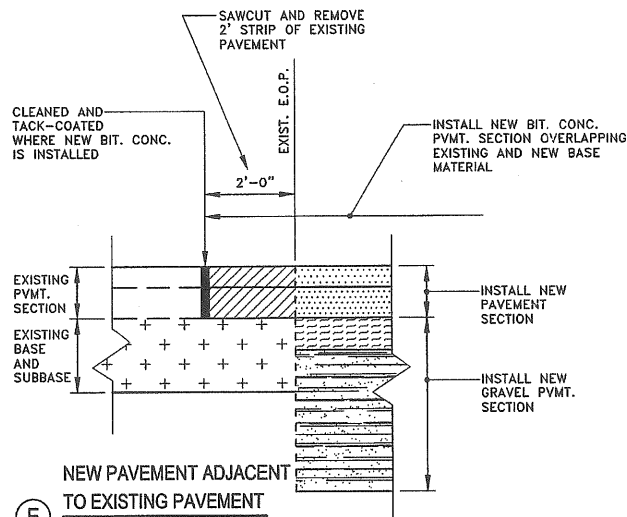


**GATE DETAIL**

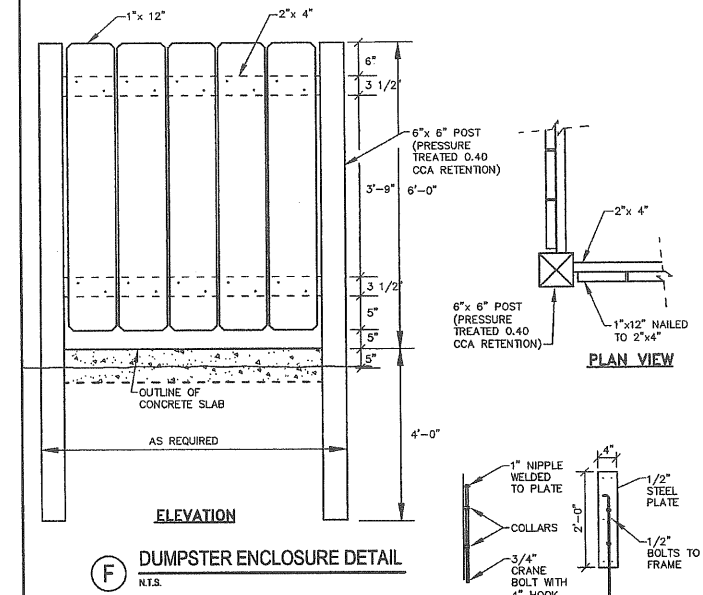
HOLE FOR 5/8" Ø DOWEL 1' FROM EACH END (TYPICAL OF 2 HOLES) INSTALL STEEL DOWEL TO 18" DEPTH



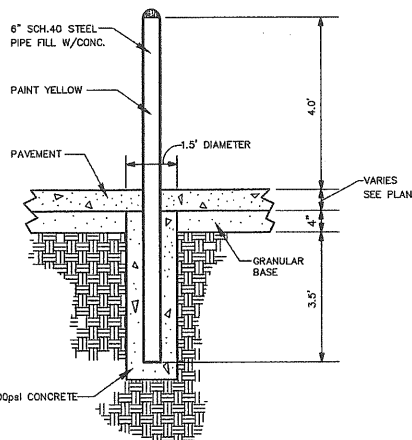
**(B) PRECAST CURBING WHEEL STOP DETAIL**  
N.T.S.



**(E) NEW PAVEMENT ADJACENT TO EXISTING PAVEMENT**  
N.T.S.



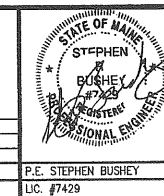
**(F) DUMPSTER ENCLOSURE DETAIL**  
N.T.S.



**(C) BOLLARD DETAIL**  
N.T.S.

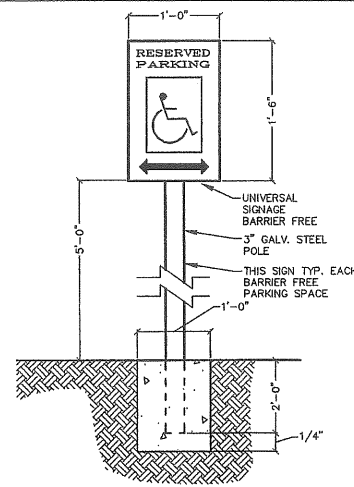
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REV	DATE	DESCRIPTION
3	06.05.05	AMENDED SITE PLAN REVIEW SUBMISSION - LOT 4 ONLY
2	10.04.04	RESUBMITTED TO PLANNING AUTHORITY
1	04.16.04	SITE PLAN REVIEW SUBMISSION

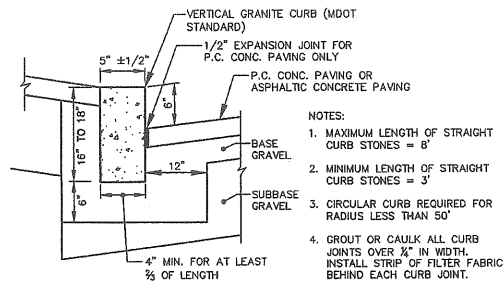


PROJECT  
LOT 4, 400 RIVERSIDE STREET PROPERTIES  
PORTLAND, MAINE  
SHEET TITLE  
SITE DETAILS  
CLIENT  
RIST / BRUNET FAMILY TRUST  
400 RIVERSIDE STREET  
PORTLAND, MAINE 04103

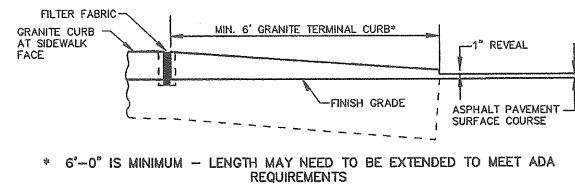
DeLUCA-HOFFMAN ASSOCIATES, INC.  
77 MAIN STREET, SUITE 8  
SOUTH PORTLAND, ME 04106  
307.774.1101  
WWW.DELUCAHOFFMAN.COM  
DRAWN: CMW DATE: JUNE 2005  
DESIGNED: TJM SCALE: 1" = 40'  
CHECKED: SRB JOB NO. 2314  
FILE NAME: 2314-SP  
SHEET 7



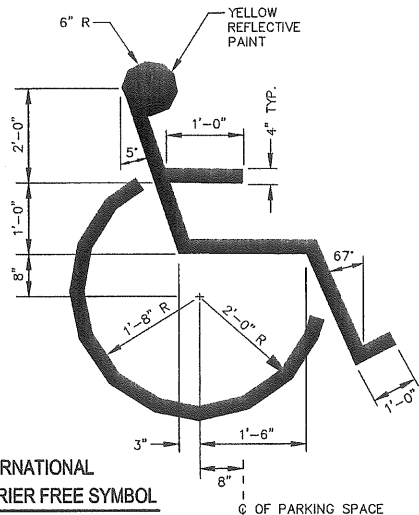
**A** BARRIER FREE PARKING SIGN  
N.T.S.



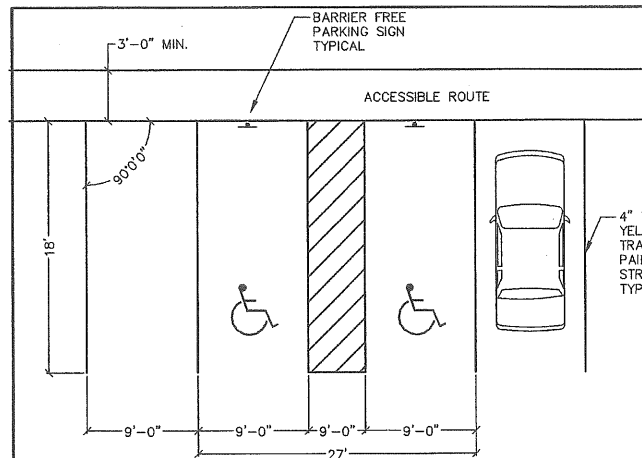
**D** VERTICAL GRANITE CURB  
N.T.S.



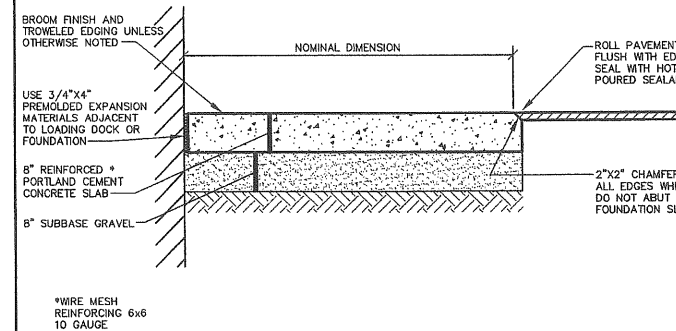
**G** TERMINAL CURB DETAIL  
N.T.S.



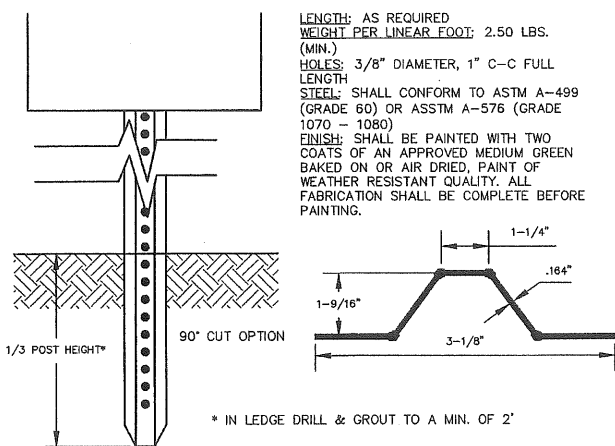
**B** INTERNATIONAL BARRIER FREE SYMBOL  
N.T.S.



**E** TYPICAL PARKING SPACE DIMENSIONS  
N.T.S.



**H** DUMPSTER PAD DETAIL  
N.T.S.



**C** TYPICAL U-CHANNEL SIGN POST  
N.T.S.

TABLE: CONDUIT SIZES FOR JACKETED CABLE  
MINIMUM SIZE REQUIRED IN INCHES

CABLE TYPE	CABLE SIZE	NUMBER OF CONDUCTORS			
		1	2	3	4
15KV	URD #2 STRANDED	2"	3"	4"	5"
	4/0 XLP	2"	4"	4"	5"
POWER	500 KCM XLP	3"	5"	5"	6"
	750 KCM XLP	3"	5"	6"	6"
35KV	URD 1/0 XLP	2 1/2"	4"	5"	5"
	4/0 XLP	3"	5"	6"	6"
POWER	500 KCM XLP	3"	5"	7"	7"
	750 KCM XLP	3"	6"	6"	7"

**F** 3 PHASE RISER - GENERAL INFORMATION  
N.T.S.

- CONNECT RISER TAPS TO THE APPROPRIATE PHASE AS REQUIRED. IF THE RISER FEEDS A 3 $\phi$  DEAD-FRONT PADMOUNT TRANSFORMER END OF THE SPARE CABLE SHOULD BE PARKED ON A BUSHING AND PLACED ON A PARKING STAND. IF THE RISER FEEDS A 3 $\phi$  LIVE-FRONT PADMOUNT TRANSFORMER, THEN THE TRANSFORMER END OF THE SPARE CABLE SHOULD BE BOLTED TO THE BUSHING OR PLACED ON THE PIN TERMINAL OF THE SAME PHASE TO WHICH THE OTHER END OF THE CABLE IS ATTACHED. FOR BOTH LIVE-FRONT AND DEAD-FRONT TRANSFORMERS THE RISER END OF THE SPARE CABLE WILL HAVE A TERMINATOR AND WILL CONNECT TO ONE OF THE OUTSIDE CUTOUPS ALONG WITH THE REGULAR PHASE CABLE. IN ALL CASES, THE SPARE CABLE SHOULD BE MARKED "SPARE" ON BOTH ENDS (IN ADDITION TO ALL OTHER REQUIRED MARKINGS).
- THE RISER CONDUIT SHALL EXTEND A MINIMUM OF 4" ABOVE THE NEUTRAL BRACKET BOLT AND/OR 22" ABOVE THE SECONDARY CABLE SPREADER BRACKET BOLT (IF SECONDARIES ARE PRESENT).
- AFTER CABLE INSTALLATION, THE TOP OF THE RISER CONDUIT SHALL BE SEALED AGAINST MOISTURE WITH POLYURETHANE SEALER.
- CUTOUPS FOR TAP LINES SHALL BE PLACED ON THE MAIN LINE JUNCTION POLE OR ON THE POLE ONE SECTION IN, WHICHEVER IS BETTER FOR THAT PARTICULAR INSTALLATION.
- A LOOP RISER SHALL HAVE ALL CUTOUPS ON THE RISER POLE.
- RISER CONDUIT SHALL BE BONDED TO THE NEUTRAL. SEE PRIMARY URD RISER CONDUIT DETAIL.
- WHEN USING A NON-PORCELAIN TERMINATOR AND A CABLE POSITIONING BRACKET LEAVE 2 TO 3 INCHES OF CABLE BETWEEN THE TOP OF THE BRACKET AND THE BOTTOM OF THE TERMINATOR.
- TWIST CONCENTRIC NEUTRAL WIRES INTO A BUNDLE AND CONNECT TO THE SYSTEM NEUTRAL WIRE.
- CONNECT THE ARRESTER TO THE SYSTEM NEUTRAL WIRE WITH AS SHORT A LEAD AS PRACTICAL.
- USE THE PROPER CABLE TERMINATOR FOR RATED VOLTAGE AND SIZE OF CABLE.

REV	DATE	DESCRIPTION
3	08.05.05	AMENDED SITE PLAN REVIEW SUBMISSION - LOT 4 ONLY
2	10.04.04	RESUBMITTED TO PLANNING AUTHORITY
1	04.16.04	SITE PLAN REVIEW SUBMISSION

STATE OF MAINE  
STEPHEN R. BUSHEY  
REGISTERED PROFESSIONAL ENGINEER  
LIC. #7429

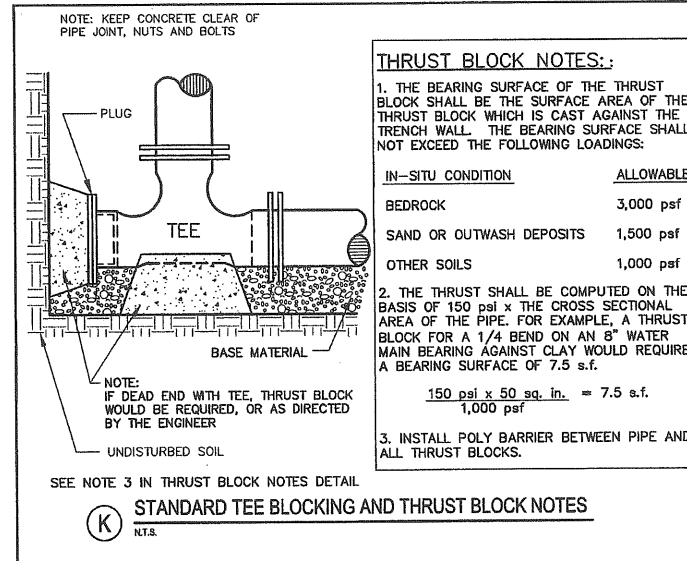
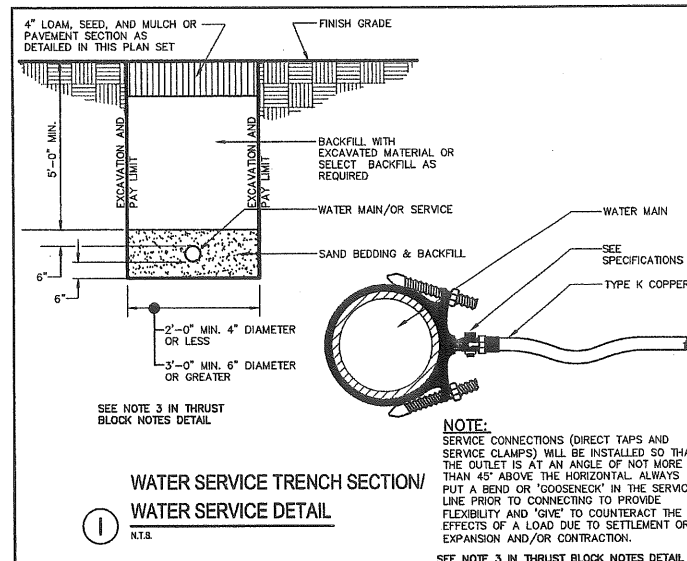
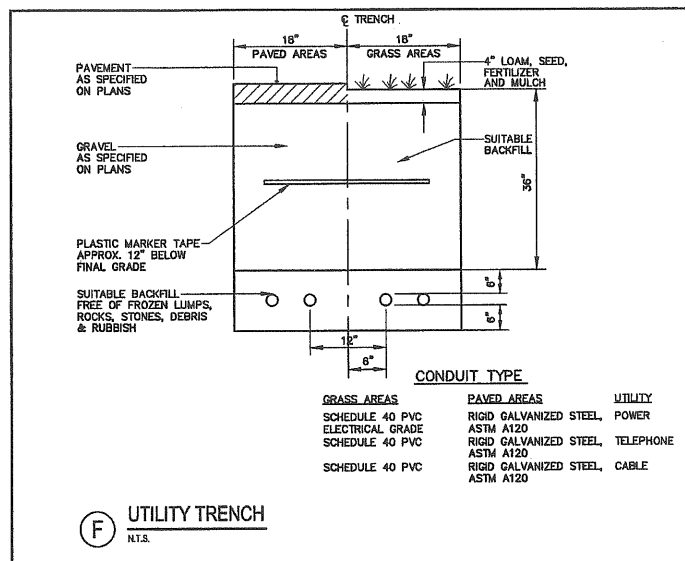
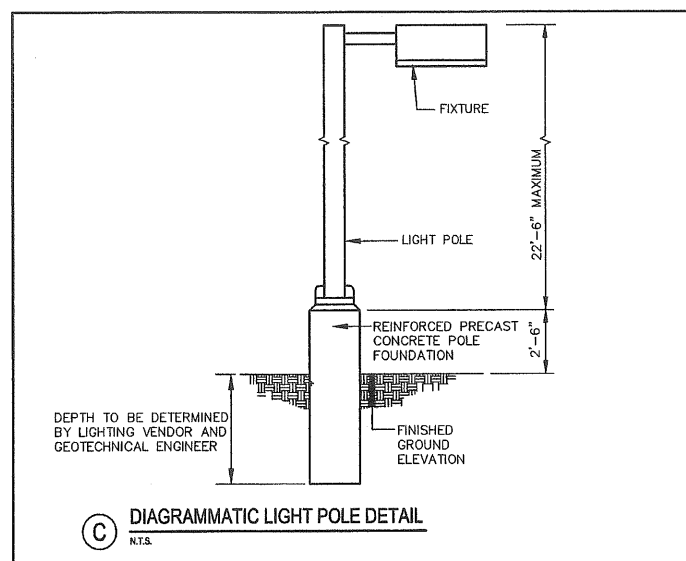
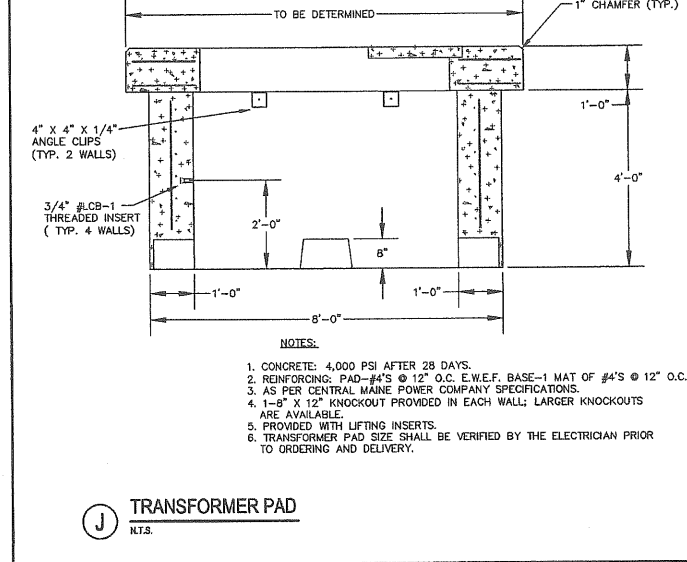
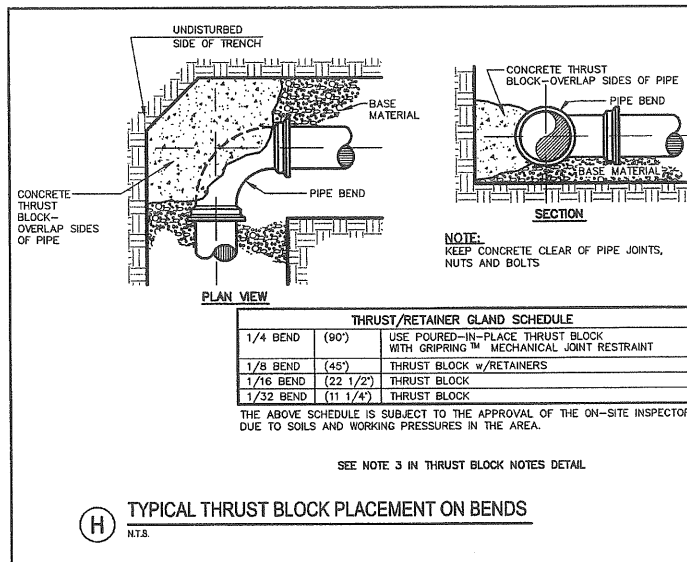
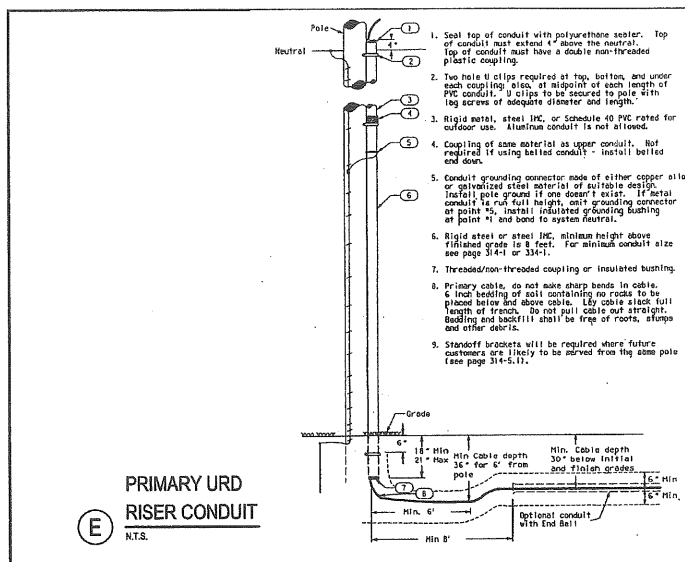
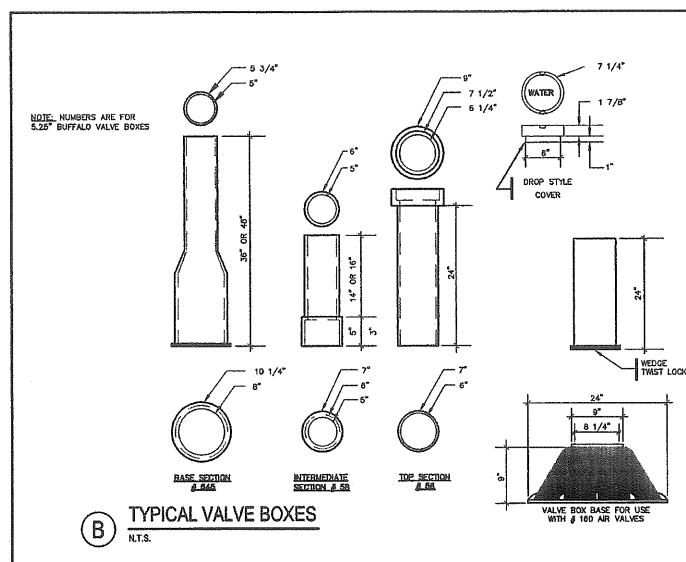
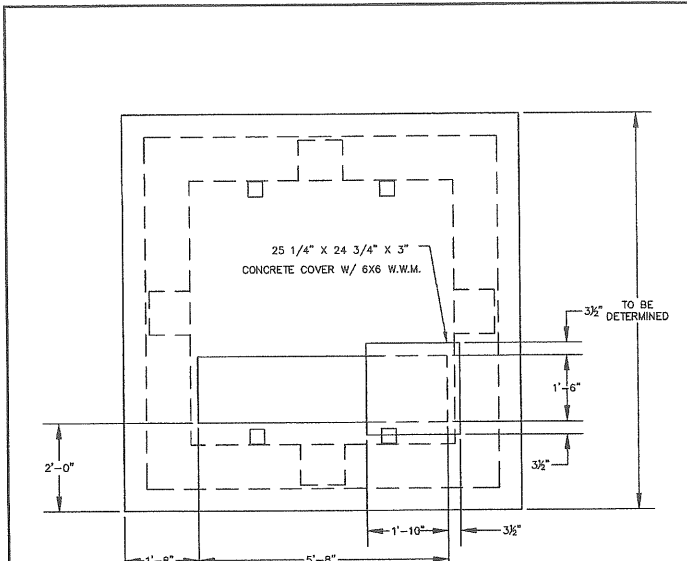
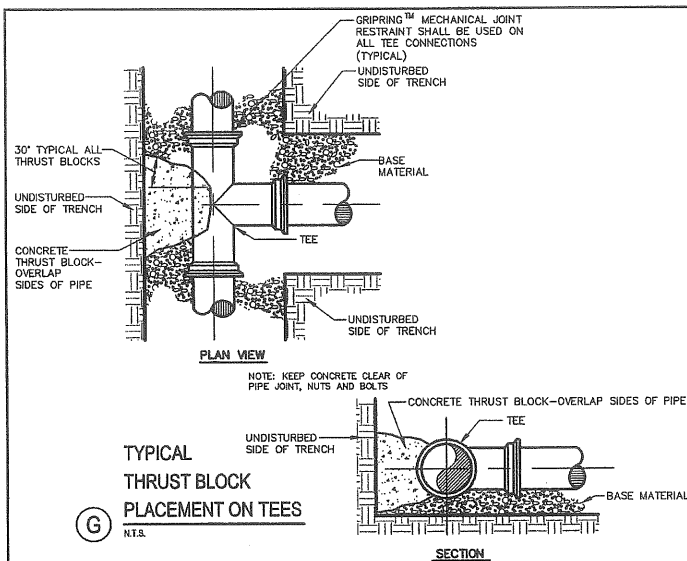
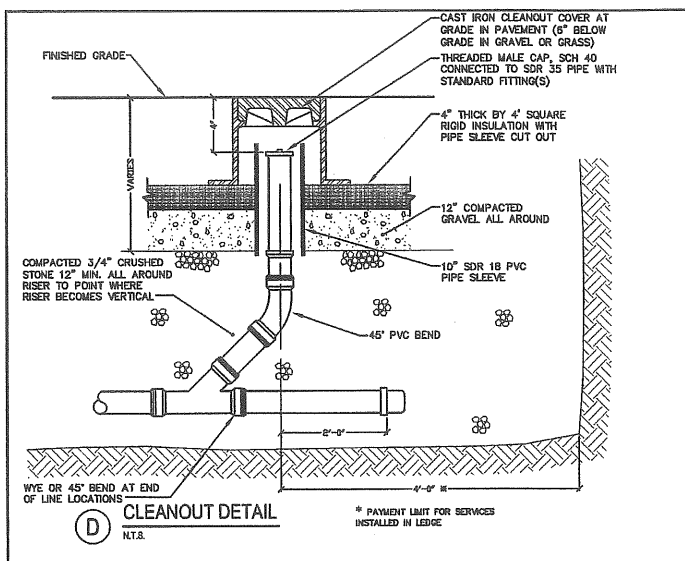
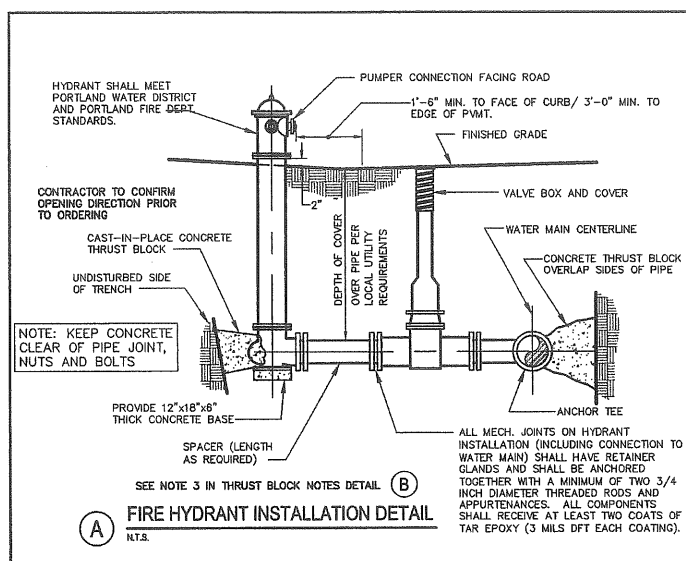
PROJECT  
LOT 4, 400 RIVERSIDE STREET PROPERTIES  
PORTLAND, MAINE

SHEET TITLE  
SITE DETAILS

CLIENT  
RIST / BRUNET FAMILY TRUST  
400 RIVERSIDE STREET  
PORTLAND, MAINE 04103

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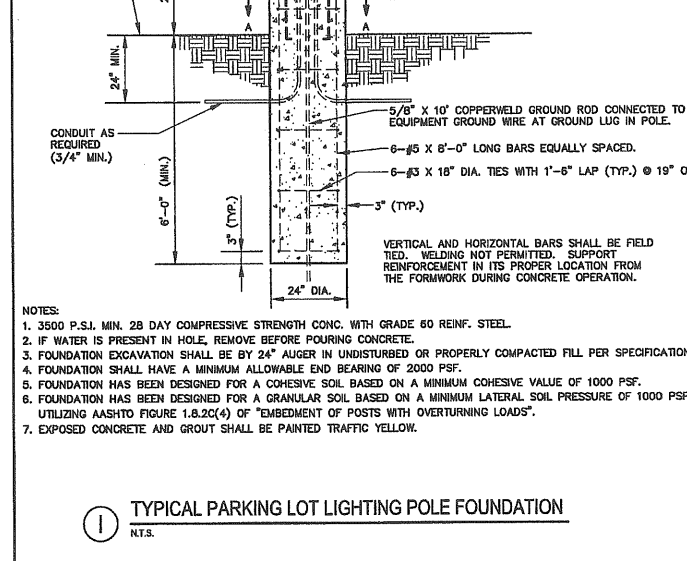
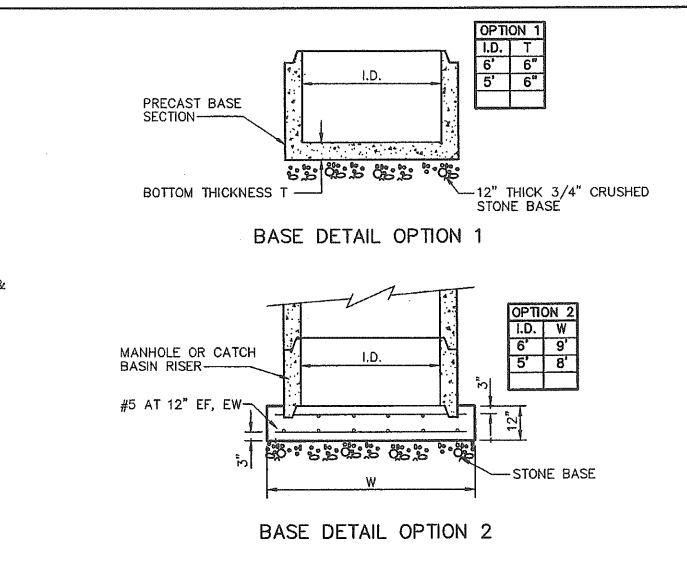
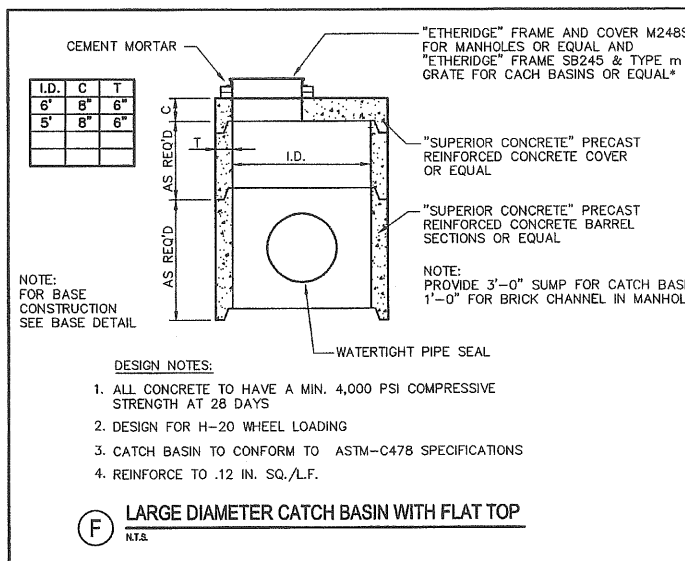
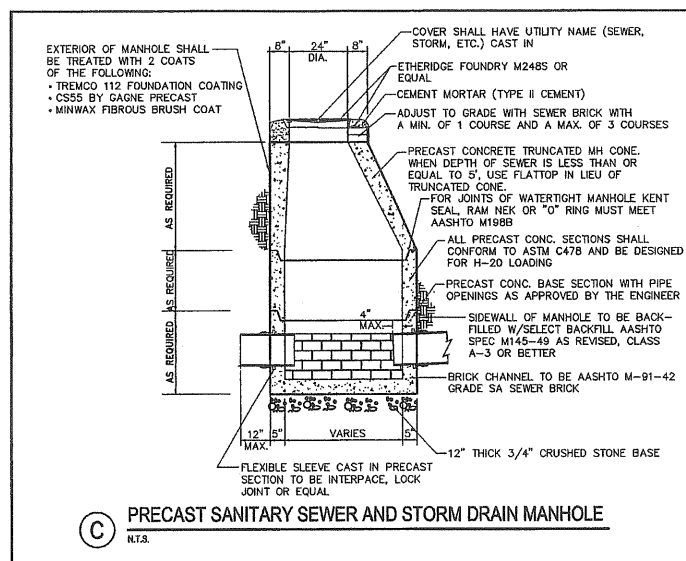
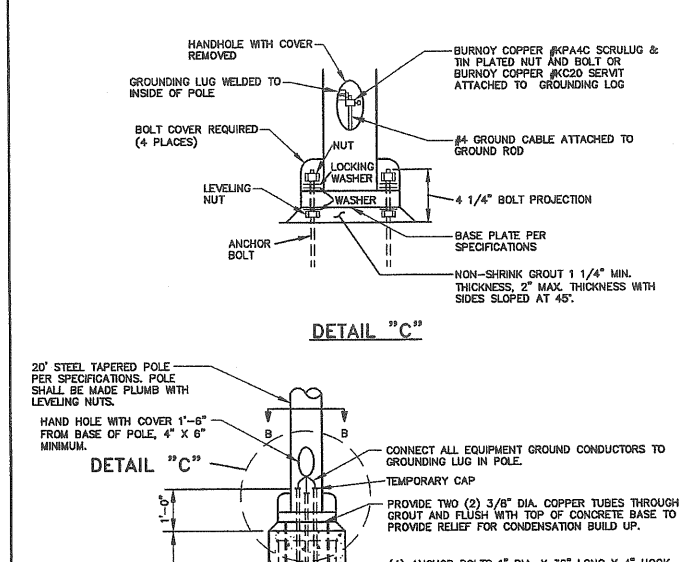
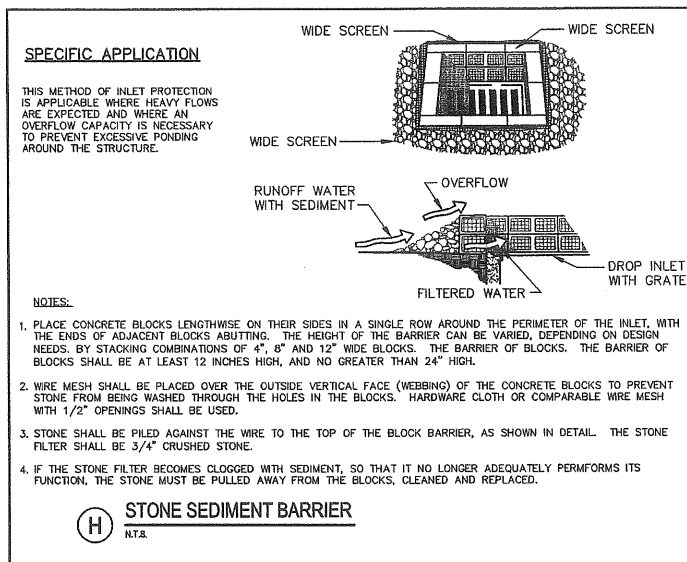
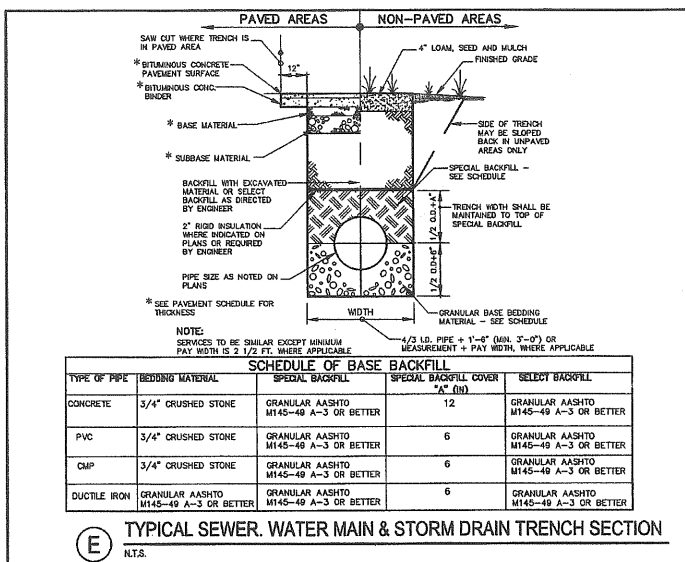
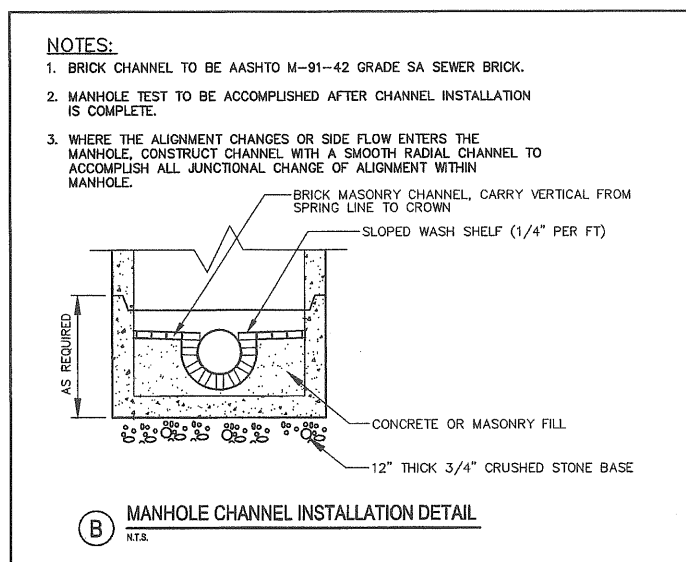
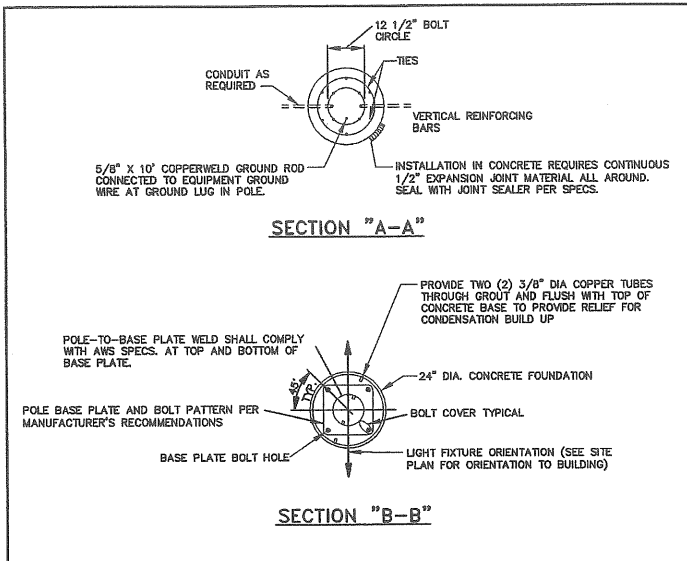
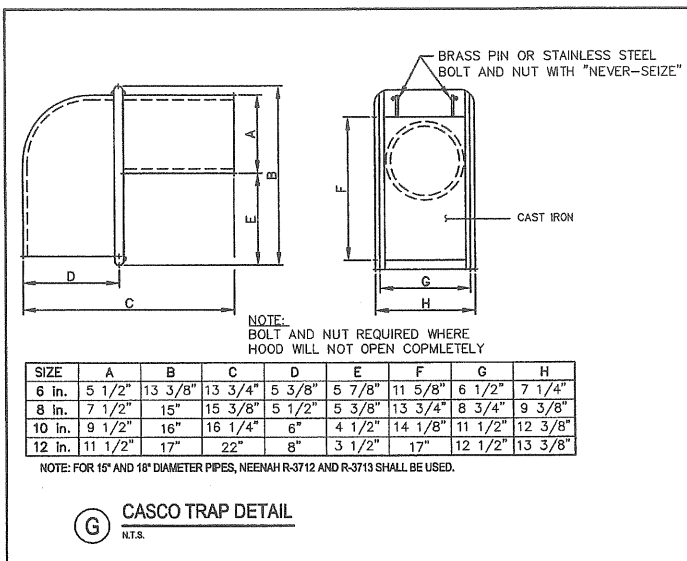
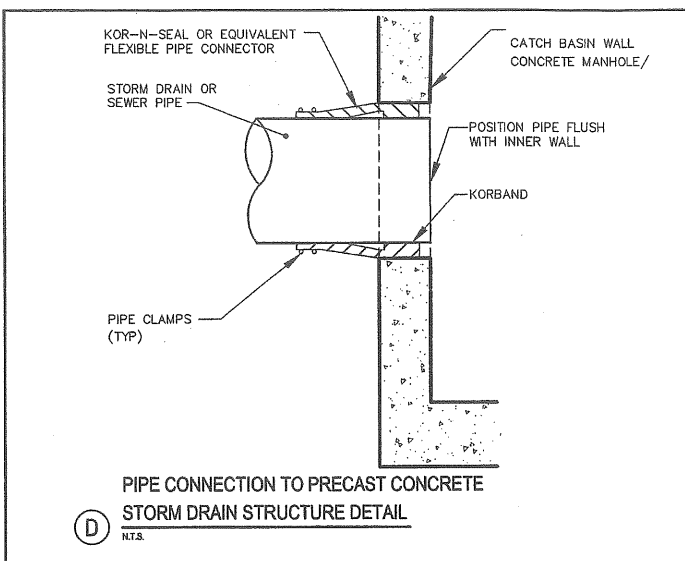
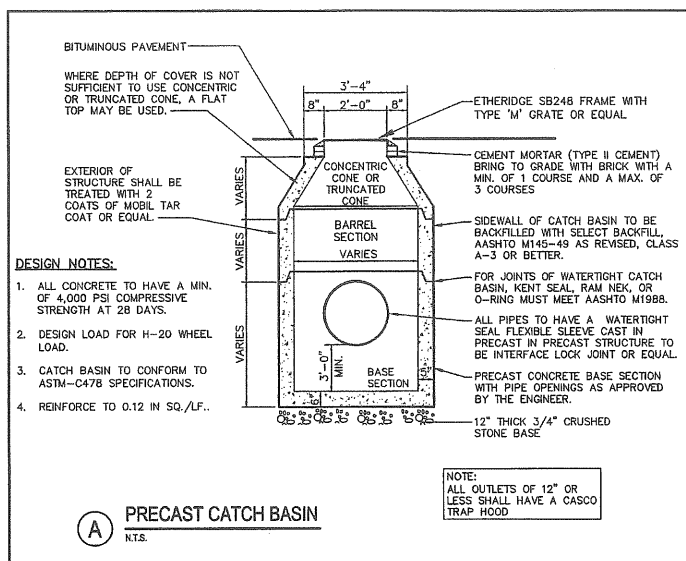
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DESIGNED: TJM SCALE: 1" = 40'  
CHECKED: SRB JOB NO. 2314  
FILE NAME: 2314-SP  
SHEET 8



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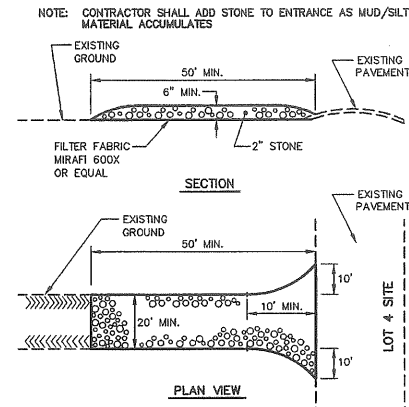
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SHEET TITLE <b>UTILITY DETAILS</b>		CLIENT <b>RIST / BRUNET FAMILY TRUST</b> 400 RIVERSIDE STREET PORTLAND, MAINE 04103	DRAWN: CMW DATE: JUNE 2005 DESIGNED: TJM SCALE: 1"=40' CHECKED: SRB JOB NO. 2314 FILE NAME: 2314-SP SHEET: 9
3 08.05.05 AMENDED SITE PLAN REVIEW SUBMISSION - LOT 4 ONLY 2 10.04.04 RESUBMITTED TO PLANNING AUTHORITY 1 04.16.04 SITE PLAN REVIEW SUBMISSION	REV DATE DESCRIPTION REVISIONS	P.E. STEPHEN BUSHEY LIC. #7429	



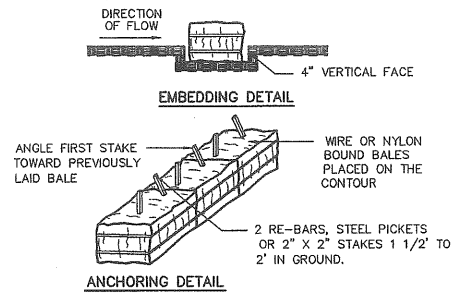


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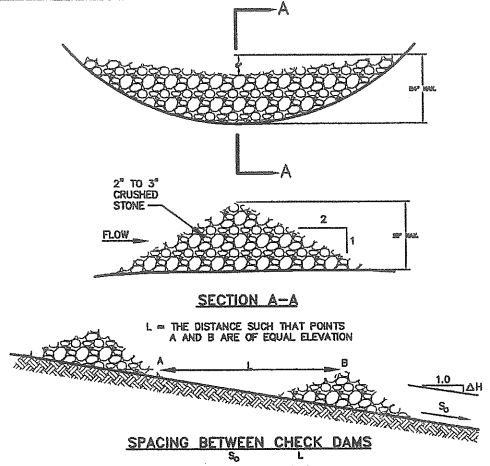
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2	10.04.04	RESUBMITTED TO PLANNING AUTHORITY			
3	04.16.04	SITE PLAN REVIEW SUBMISSION			
REV	DATE	DESCRIPTION			



**A** STABILIZED CONSTRUCTION ENTRANCE  
N.T.S.

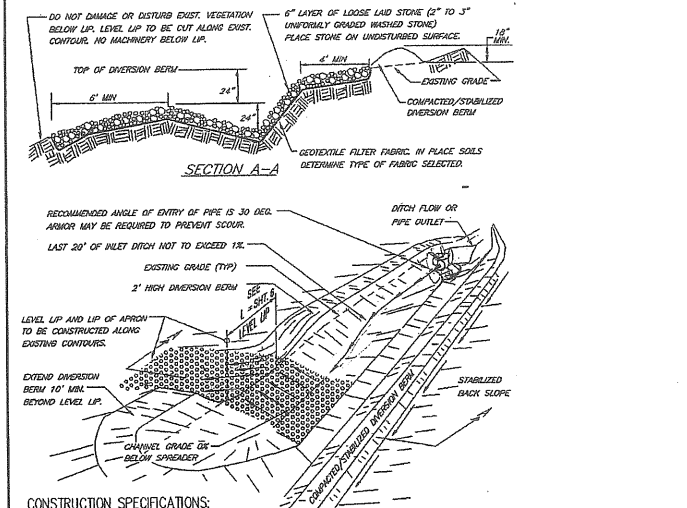


**E** STRAW OR HAY BALE BARRIER  
N.T.S.



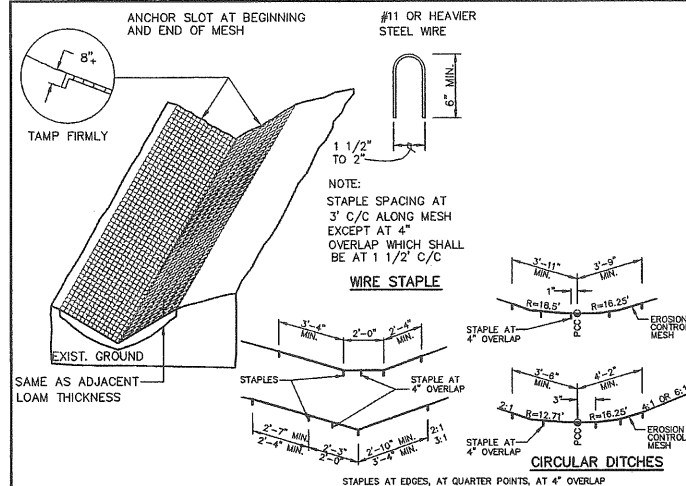
**H** STONE CHECK DAM  
N.T.S.

SPACING BETWEEN CHECK DAMS	
$S_b$	$L$
(FT./FT.)	(FT.)
0.020	75
0.030	50
0.040	40
0.050	30
0.060	20
0.100	10

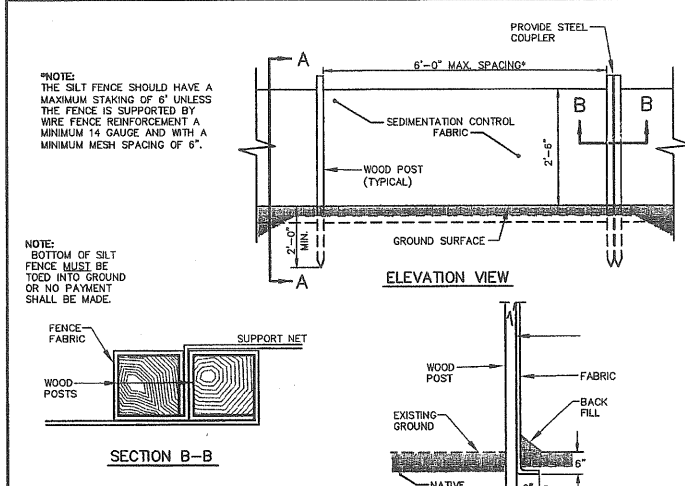


**K** LEVEL LIP SPREADER  
N.T.S.

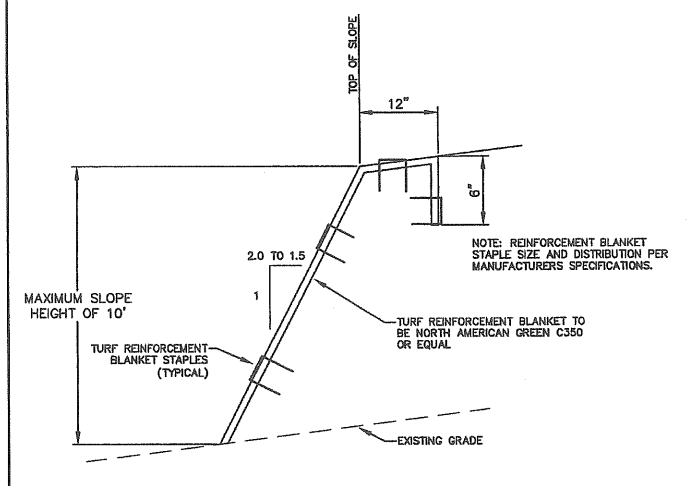
- CONSTRUCTION SPECIFICATIONS:**
- SPREADERS SHALL BE INSTALLED WITH A LEVEL INSTRUMENT. CONSTRUCT LEVEL LIP TO EX. GRADE TO ENSURE UNIFORM SHEET FLOW. LEVEL SPREADER SHALL BE CONSTRUCTED ON UNDISTURBED SOIL (NOT FILL).
  - SELECT SUITABLE PLANT BASED ON UNDISTURBED SOILS (SHADE, TEXT, CLAY, ETC.).
  - PLACE 6" LAYER OF UNIFORMLY GRADED STONE 2" TO 3" IN DIA. ROWS TO FORM SMOOTH UNIFORM SURFACE. DO NOT FILL Voids IN STONE.
  - THE INLET DITCH SHALL NOT EXCEED A 1% GRADE FOR AT LEAST 50 FEET BEFORE ENTERING THE SPREADER.
  - STORM RUN-OFF CONVERTED TO SHEET FLOW ACROSS OUTLET APPROX SHALL FLOW ONTO STABILIZED AREAS. RUN-OFF SHALL NOT BE RECONCENTRATED IMMEDIATELY BELOW THE POINT OF DISCHARGE.
  - PERIODIC INSPECTION AND REQUIRED MAINTENANCE SHALL BE PROVIDED.
  - CONSTRUCTION OF LEVEL LIP SPREADER SHALL BE FROM UPHILL SIDE ONLY. LEVEL LIP & AREA BELOW SPREADER SHALL BE AT EXISTING GRADES & UNDISTURBED BY EARTHWORK OR EQUIPMENT.
  - CONSTRUCT SPREADER WITH LIP AT EXISTING ELEVATION AS SPECIFIED.
  - DOWNSTREAM RECEIVING AREA MUST BE NATURALLY WELL VEGETATED.
  - DISCHARGE NOT PERMITTED WITHIN 25' OF A STREAM OR WETLAND. CONSULT DEP # STRUCTURE MUST BE WITHIN 75' OF STREAM OR WATER BODY.



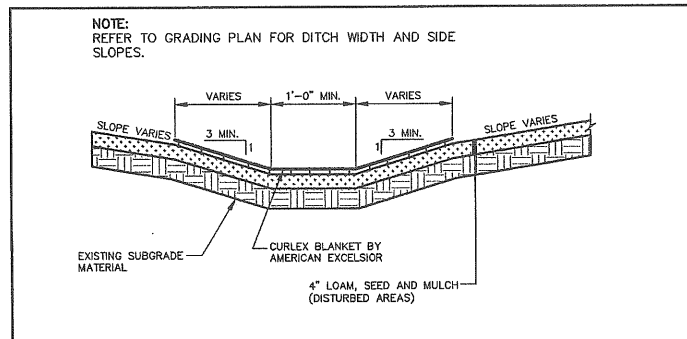
**B** EROSION CONTROL MESH  
N.T.S.



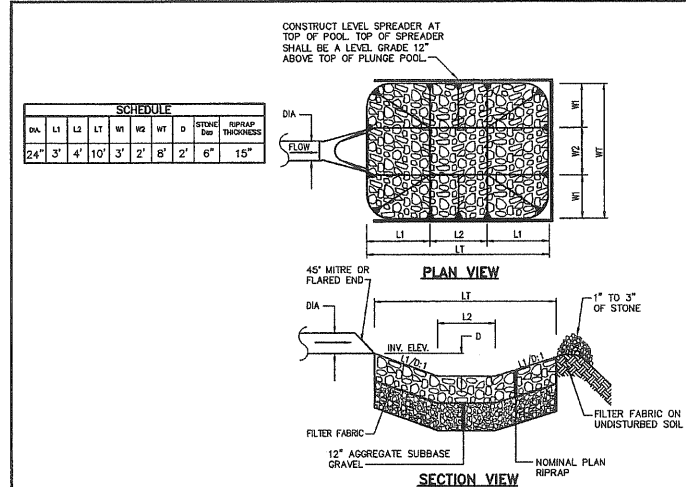
**F** SILTATION FENCE DETAIL  
N.T.S.



**I** TURF REINFORCEMENT DETAIL  
N.T.S.

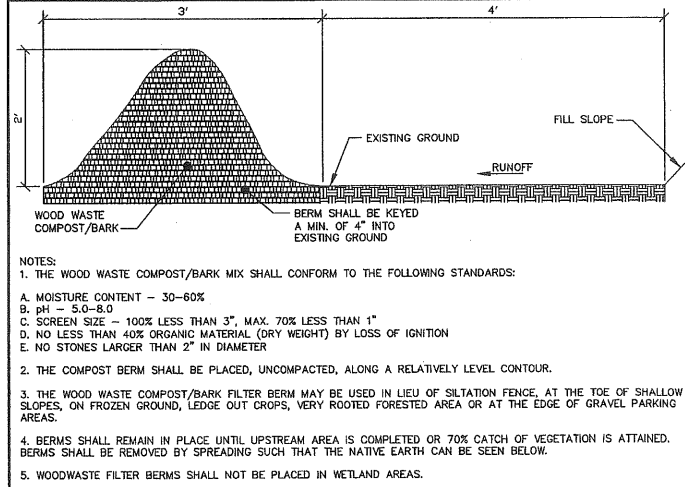


**L** VEGETATED DRAINAGE SWALE  
N.T.S.



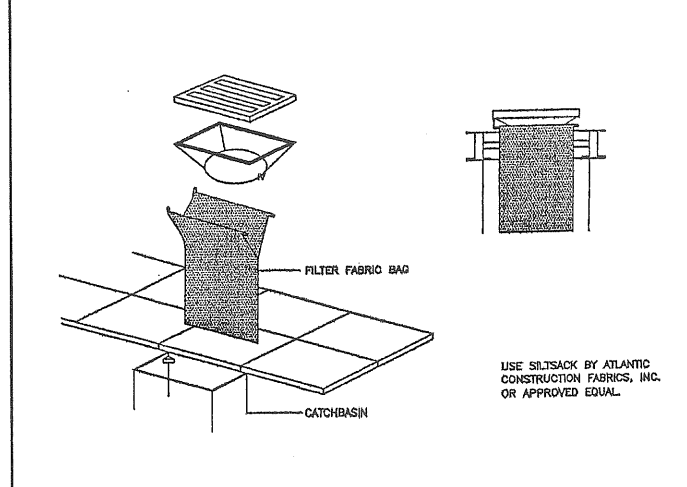
**C** RIPRAP PLUNGE POOL WITH LEVEL LIP SPREADER DETAIL  
N.T.S.

SCHEDULE										
DIA.	L1	L2	LT	WT	WT	D	STONE DIA.	RIPRAP THICKNESS		
24"	3'	4'	10'	3'	2'	8'	2'	6"	15"	



**G** WOOD WASTE COMPOST/BARK FILTER BERM DETAIL  
N.T.S.

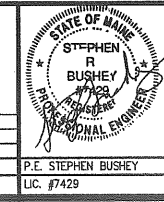
- NOTES:**
- THE WOOD WASTE COMPOST/BARK MIX SHALL CONFORM TO THE FOLLOWING STANDARDS:
    - A. MOISTURE CONTENT - 30-60%
    - B. pH - 5.0-8.0
    - C. SCREEN SIZE - 100% LESS THAN 3", MAX. 70% LESS THAN 1"
    - D. NO LESS THAN 40% ORGANIC MATERIAL (DRY WEIGHT) BY LOSS OF IGNITION
    - E. NO STONES LARGER THAN 2" IN DIAMETER
  - THE COMPOST BERM SHALL BE PLACED, UNCOMPACTED, ALONG A RELATIVELY LEVEL CONTOUR.
  - THE WOOD WASTE COMPOST/BARK FILTER BERM MAY BE USED IN LIEU OF SILTATION FENCE, AT THE TOE OF SHALLOW SLOPES, ON FROZEN GROUND, LEDGE OUT CROPS, VERY ROOTED FORESTED AREA OR AT THE EDGE OF GRAVEL PARKING AREAS.
  - BERMS SHALL REMAIN IN PLACE UNTIL UPSTREAM AREA IS COMPLETED OR 70% CATCH OF VEGETATION IS ATTAINED. BERMS SHALL BE REMOVED BY SPREADING SUCH THAT THE NATIVE EARTH CAN BE SEEN BELOW.
  - WOODWASTE FILTER BERMS SHALL NOT BE PLACED IN WETLAND AREAS.



**J** FILTER BAG DETAIL  
N.T.S.

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REV	DATE	DESCRIPTION	REVISIONS
3	08.05.05	AMENDED SITE PLAN REVIEW SUBMISSION - LOT 4 ONLY	
2	10.04.04	RESUBMITTED TO PLANNING AUTHORITY	
1	04.16.04	SITE PLAN REVIEW SUBMISSION	



PROJECT  
LOT 4, 400 RIVERSIDE STREET PROPERTIES  
PORTLAND, MAINE

SHEET TITLE  
**EROSION CONTROL DETAILS**

CLIENT  
RIST / BRUNET FAMILY TRUST  
400 RIVERSIDE STREET  
PORTLAND, MAINE 04103

DeLUCA-HOFFMAN ASSOCIATES, INC.  
178 MAIN STREET, SUITE 8  
SOUTHPORTLAND, ME 04106  
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DESIGNED: CMW DATE: JUNE 2005  
CHECKED: TJM SCALE: 1" = 40'  
FILE NAME: 2314-SP  
SHEET 11

**EROSION AND SEDIMENT CONTROL NOTES**

The primary emphasis of the erosion/sedimentation control plan to be implemented for this project are as follows:  
 Development of a careful construction sequence. Rapid revegetation of denuded areas to minimize the period of soil exposure. Rapid stabilization of drainage paths to avoid fill and gully erosion. The use of onsite measures to capture sediment (hay bales/silt fence, etc.) The provisions for long term erosion/sediment and pollutant treatment by the incorporation of permanent Best Management Practices.

**Description and Location of Limits of All Proposed Earth Movements**

The construction of the development will require the following on-site improvements.

Earthwork activity including cuts and fills to bring the paved and gravel areas to subgrade.

Construction of stormwater measures.  
 Construction of parking lots, drive aisles, walkways and installation of storm drains.  
 Construction of building foundations including such alternatives as piles, preload and wick drains.

**Erosion/Sedimentation Control Devices**

The following erosion and sediment control devices will be implemented by the Contractor as part of the site development. These devices shall be installed as indicated on the plans. For further reference, see the Maine Erosion and Sediment Control Handbook for Construction: Best Management Practices.

Siltation fence shall be installed downstream of any disturbed areas to trap runoff borne sediments until the site is revegetated. The silt fence shall be installed per the details provided in the plan set and inspected immediately after each rainfall and at least daily during prolonged rainfall. Repairs shall be made immediately by the Contractor if there are any signs of erosion or sedimentation below the fence line. Proper placement of stakes and fabric into the ground is critical to the fence's effectiveness. If there are signs of undercutting at the center or the edges, or impounding of large volumes of water behind the fence, the barrier shall be replaced with a stone check dam.  
 Straw or hay mulch including hydroseeding is intended to provide cover for denuded or seeded areas until revegetation is established. Mulch placed on slopes of less than 10 percent shall be anchored by applying water; mulch placed on slopes steeper than 10 percent shall be covered with a fabric netting and anchored with staples in accordance with the manufacturer's recommendations. Slopes steeper than 3:1 which are to be revegetated shall receive Turf Reinforcement by North American Green or equal. Mulch application rates are provided at the end of this section. Hay mulch shall be available on site at all times in order to provide immediate temporary stabilization when necessary.  
 Riprap slopes, ditch linings, stone check dams, hay bale barriers and culvert outlet aprons are intended to reduce runoff velocities and protect denuded soil surfaces from concentrated flows. Installation details and stone sizes are provided in the construction plan set on the erosion control detail sheets.  
 Construction entrance will be constructed at all access points onto the site to prevent tracking of soil onto Riverside Street.  
 Storm drain catch basin inlet protection shall be provided through the use of stone sediment barriers or a premanufactured SiltSack™ as distributed by A. H. Harris. Stone sediment barrier installation details are provided in the plan set. The barriers shall be inspected after each rainfall and repairs made as necessary. Sediment shall be removed and the barrier restored to its original dimensions when the sediment has accumulated to 1/2 the design depth of the barrier. The barrier shall be removed when the tributary drainage area has been stabilized.  
 Loam and seed is intended to serve as the primary permanent revegetative measure for all denuded areas not provided with other erosion control measures, such as riprap. Application rates are provided for temporary and permanent seeding in non-wetland areas.

**Temporary Erosion/Sedimentation Control Measures**

The following are planned as temporary erosion/sedimentation control measures during construction:

Crushed stone stabilized construction entrance(s) shall be placed at the site access to Lot 4 at 400 Riverside Street Properties.

Siltation fence or an organic filter barrier shall be installed along the downgradient side of all disturbed areas. The siltation barrier will remain in place and properly maintained until the site is acceptably revegetated.

Temporary stockpiles of stumps, grubblings, or common excavation will be protected as follows:

Temporary stockpiles shall not be located within 100 feet of the wetlands or 25' from the top of bank and shall be located away from drainage swales.

Stockpiles shall be stabilized within 7 days by either temporarily seeding the stockpile with a hydroseed method containing an emulsified mulch tackifier or by covering the stockpile with mulch.

All denuded areas that are within 100 feet of a wetland which have been rough graded and are not located within the building pad or pavement subbase area, shall receive mulch or erosion control mesh fabric within 7 days of initial disturbance of soil. In other areas, the time period may be extended to 14 days.

For work which is conducted between November 1 and April 15 of any calendar year, all denuded areas will be covered with hay mulch, applied at twice the normal application rate and anchored with a fabric netting. The time period for applying mulch shall be limited to 7 days for all areas or immediately in advance of a predicted rainfall event.

The access drive to Lot 4 400 Riverside Street Properties shall be swept to control mud and dust as necessary. A street sweeper shall be available on immediate notice.

During grubbing operations stone check dams or hay bale barriers will be installed at any evident concentrated flow discharge points.

Silt fencing with a maximum stake spacing of 6 feet should be used, unless the fence is supported by wire fence reinforcement of minimum 14 gauge and with a maximum mesh spacing of 6 inches, in which case stakes may be spaced a maximum of 10 feet apart. The bottom of the fence should be properly anchored a minimum of 6" per the plan detail and backfilled. Any silt fence identified by the owner or reviewing agencies as not being properly installed during construction shall be immediately repaired in accordance with the installation details.

**Permanent Erosion Control Measures**

The following permanent erosion control measures have been designed as part of the Erosion/Sedimentation Control Plan:

All storm drain pipes shall have riprap aprons and plunge pools at their outlet to protect the outlets and receiving channels of the culverts from scour and deterioration. Installation details are provided in the plan set. The aprons and plunge pools shall be installed and stabilized prior to directing runoff to the tributary pipes or culverts.

The water quality units will discharge to riprap stabilized outlets.

All areas disturbed during construction, but not subject to other restoration (paving, riprap, etc.) will be loamed, limed, fertilized, mulched, and seeded. Fabric netting, anchored with staples, shall be placed over the mulch in areas where the finish grade slope is greater than 10 percent. All areas within 100' of a wetland shall receive protection within 7 days. Native topsoil shall be stockpiled temporarily stabilized with seed and mulch and reused for final restoration when it is of sufficient quality.

Catch basins will be provided with 2' sediment sumps and Casco traps over the outlet pipes.

**Timing and Sequence of Erosion/Sedimentation Control Measures**

The following construction sequence shall be required to insure the effectiveness of the erosion and sedimentation control measures are optimized. The sequence applies to all phases of construction.

For all grading activities, the contractor shall exercise extreme caution not to overexpose the site by limiting the disturbed areas.  
 Install crushed stone stabilized construction entrances as shown on plans.  
 Install perimeter siltation barriers as indicated on the plans.  
 Clear and grub areas necessary for the stormwater systems and building foundation areas.  
 Begin excavation.  
 Excess materials shall be stockpiled and stabilized for use as fills for later grading operations. Install silt barriers at toe of berms for erosion protection.  
 Perform earthwork to bring pavement areas and building pads to subgrade.  
 Begin installation of drainage appurtenances and piping and utilities.  
 Commence additional earthwork in fill areas of the parking areas.  
 Complete earthwork and grading to subgrade as necessary for parking areas.  
 Complete installation of storm drainage appurtenances within paved areas.  
 Structures within the parking areas shall be temporarily set to subgrade and shall be reset upon placement of gravel and asphalt during a future phase.  
 Complete all remaining earthwork operations including fine grading of slopes.  
 Install subbase and base gravels within paved and gravel areas.  
 Install base course paving for parking areas.  
 Loam, lime, fertilize, seed and mulch disturbed area and complete all landscaping.  
 Install surface course paving for pavement areas. Stripe per plans.  
 Remove accumulated sediment from ahead of any sediment barriers as necessary.  
 Once the site is stabilized and a 75% catch of vegetation has been obtained, remove all temporary erosion control measures.  
 Touch up loam and seed.  
 Note: All denuded areas not subject to final paving, riprap or gravel, shall be revegetated. Due to the timing and size of the project, completion of the facilities within a summer construction season may not occur. For all work which will be conducted between November 1 and April 15 of the calendar year, the Contractor shall submit a schedule which will satisfy the following criteria:  
 Limit the amount of exposed area to those areas in which work is expected to be undertaken during the proceeding 15 days.  
 During the construction process, all disturbed areas shall be covered with mulch within 7 days of final grading.  
 Once final grades have been established, the contractor may choose to dormant seed the disturbed areas prior to placement of mulch and placement of fabric netting anchored with staples.  
 If dormant seeding is used for the site, all disturbed areas shall receive 4" of loam and seed at an application rate of 5#/1000 s.f.

All areas seeded during the winter months will be inspected in the spring for adequate catch. All areas in sufficiently vegetated (less than 75 percent catch) shall be revegetated by replacing loam, seed and mulch.  
 If dormant seeding is not used for the site, all disturbed areas shall be revegetated in the spring.  
 The area of denuded non-stabilized construction shall be limited to the minimum area practicable. An area shall be considered to be denuded until the subbase gravel is installed in parking areas, the base slab gravel is installed in building areas, or the areas of future loam and seed have been loamed, seeded, and mulched. The mulch rate shall be twice the rate specified. [For example, 115#/1,000 s.f. x 2 = 230#/1,000s.f.] Within the exposed work area, temporary sedimentation sumps shall be provided at the interface between parking areas and graded slopes. This shall be accomplished by creating an area 18" below adjacent temporary grades. The sedimentation area shall have a bottom width of 3' and 3:1 side slopes.  
 Culverts to allow access shall be installed by the Contractor. Along the sedimentation sumps, barriers shall be provided at sufficient intervals to permit runoff to be accumulated to a minimum depth of 12" before overflowing. The schedule shall be subject to the approval of the Owner.

The Contractor must install any added measures which may be necessary to control erosion/sedimentation from the site dependent upon the actual site and weather conditions.

The Contractor shall note that no area within 100 feet of a wetland shall remain denuded for a period of over 7 days before it is temporarily stabilized. Temporary stabilization shall be the installation of gravel or mulching. All other areas shall be stabilized within 14 days. For construction between November 1 and April 15 of any calendar year, all areas shall be temporarily stabilized within 7 days or prior to a forecasted rainfall event.

**PERMANENT SEEDING PLAN NON-WETLAND AREAS**

Project 400 Riverside Street Properties  
 Site Location Portland, Maine  
 Permanent Seeding X Temporary Seeding  
 1. Area to be seeded: <1 acre, OR 20M Sq. Ft.  
 2. Instructions on preparation of soil: Prepare a good seed bed for planting method used.  
 3. Apply lime as follows: #/acres, OR 138#/M Sq. Ft.  
 4. Fertilize with pounds of N-P-K/ac. OR 18.4 pounds of 10 - 20 - 20 N-P-K/M Sq. Ft.  
 5. Method of applying lime and fertilizer: Spread and work into the soil before seeding.  
 6. Seed with the following mixture:  
 45% Kentucky Bluegrass  
 45% Creeping Red Fescue  
 10% Perennial Ryegrass  
 When using small grain as nurse crop seed it at one-half the normal seeding rate.  
 7. Mulching instructions: Apply at the rate of tons per acre. OR 115 pounds per M. Sq. Ft.  
 Amount Unit #, Tons, Etc.  
 8. TOTAL LIME 138 #/1000 sq. ft.  
 9. TOTAL FERTILIZER 18.4 #/1000 sq. ft.  
 10. TOTAL SEED 1.03 #/1000 sq. ft.  
 11. TOTAL MULCH 115 #/1000 sq. ft.  
 12. TOTAL other materials, seeds, etc.

13. REMARKS  
 Spring seeding is recommended, however, late summer (prior to September 1) seeding can be made. Permanent seeding should be made prior to August 5 or as a dormant seeding after the first killing frost and before the first snowfall. If seeding cannot be done within these seeding dates, temporary seeding and mulching shall be used to protect the site. Permanent seeding shall be delayed until the next recommended seeding period.

Fertilizer requirements shall be subject to actual test results of the topsoil used for the project. The Contractor shall be responsible for providing topsoil test results for pH and recommended fertilizer application rates to the owner.

**TEMPORARY SEEDING PLAN NON-WETLAND AREAS**

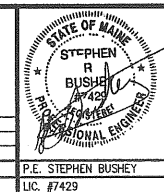

Project Lot 4 400 Riverside Street Properties  
 Site Location Portland, Maine  
 Permanent Seeding X Temporary Seeding  
 1. Area to be seeded: <1 acre, OR 20M Sq. Ft.  
 2. Instructions on preparation of soil: Prepare a good seed bed for planting method used.  
 3. Apply lime as follows: #/acres, OR 138#/M Sq. Ft.  
 4. Fertilize with pounds of N-P-K/ac. OR 18.4 pounds of 10 - 20 - 20 N-P-K/M Sq. Ft.  
 5. Method of applying lime and fertilizer: Spread and work into the soil before seeding.  
 6. Seed with the following mixture:  
 50% Perennial Ryegrass  
 50% Winter Rye  
 When using small grain as nurse crop seed it at one-half the normal seeding rate.  
 7. Mulching instructions: Apply at the rate of tons per acre. OR 230 pounds per M. Sq. Ft.  
 Amount Unit #, Tons, Etc.

8. TOTAL LIME 138 #/1000 sq. ft.  
 9. TOTAL FERTILIZER 18.4 #/1000 sq. ft.  
 10. TOTAL SEED 1.75 #/1000 sq. ft.  
 11. TOTAL MULCH 230 #/1000 sq. ft.  
 12. TOTAL other materials, seeds, etc.

13. REMARKS  
 Recommended seeding dates after August 15.  
 For areas with slopes >10%, waterways, areas within 100 feet of wetlands, and fall and winter erosion control areas, mulch netting shall be used per manufacturer's specifications.







Fertilizer requirements shall be subject to actual test results of the topsoil used for the project. The Contractor shall be responsible for providing topsoil test results for pH and recommended fertilizer application rates to the owner.

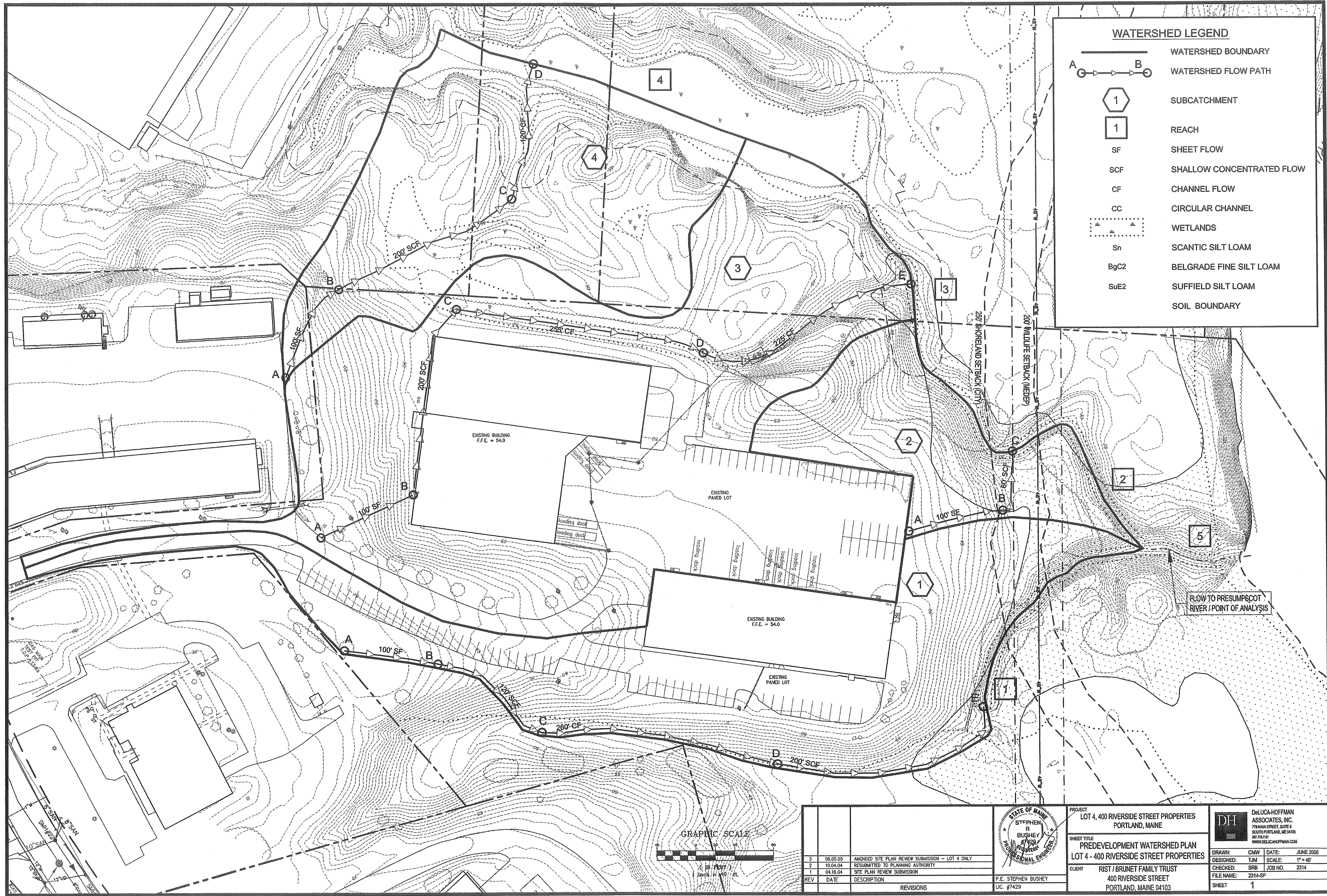
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		PROJECT <b>LOT 4, 400 RIVERSIDE STREET PROPERTIES</b> PORTLAND, MAINE		 DeLUCA-HOFFMAN ASSOCIATES, INC. 776 MAIN STREET, SUITE 8 SOUTH PORTLAND, ME 04106 207.778.1170 WWW.DELUCAHOFFMAN.COM	
SHEET TITLE <b>EROSION CONTROL NOTES</b>		CLIENT <b>RIST / BRUNET FAMILY TRUST</b> 400 RIVERSIDE STREET PORTLAND, MAINE 04103			
3 06.05.05 AMENDED SITE PLAN REVIEW SUBMISSION - LOT 4 ONLY	2 10.04.04 RESUBMITTED TO PLANNING AUTHORITY	1 04.16.04 SITE PLAN REVIEW SUBMISSION	DATE DESCRIPTION REVISIONS	DRAWN: CMW DESIGNED: TJM CHECKED: SRB FILE NAME: 2314-SP SHEET: 12	DATE: JUNE 2005 SCALE: 1" = 40' JOB NO.: 2314


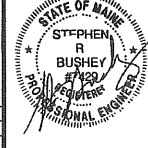



**WATERSHED LEGEND**

-  WATERSHED BOUNDARY
-  WATERSHED FLOW PATH
-  SUBCATCHMENT
-  REACH
- SF SHEET FLOW
- SCF SHALLOW CONCENTRATED FLOW
- CF CHANNEL FLOW
- CC CIRCULAR CHANNEL
-  WETLANDS
- Sn SCANTIC SILT LOAM
- BgC2 BELGRADE FINE SILT LOAM
- SuE2 SUFFIELD SILT LOAM
-  SOIL BOUNDARY



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			PROJECT LOT 4, 400 RIVERSIDE STREET PROPERTIES PORTLAND, MAINE	 DeLUCA-HOFFMAN ASSOCIATES, INC. 778 MAIN STREET, SUITE 8 SOUTH PORTLAND, ME 04106 203.789.1101 WWW.DELUCAHOFFMAN.COM
SHEET TITLE PREDEVELOPMENT WATERSHED PLAN LOT 4 - 400 RIVERSIDE STREET PROPERTIES			CLIENT RIST / BRUNET FAMILY TRUST 400 RIVERSIDE STREET PORTLAND, MAINE 04103	
REV	DATE	DESCRIPTION	REVISIONS	
3	05.05.05	AMENDED SITE PLAN REVIEW SUBMISSION - LOT 4 ONLY		
2	10.04.04	RESUBMITTED TO PLANNING AUTHORITY		
1	04.16.04	SITE PLAN REVIEW SUBMISSION		

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