

320 A 2

400 - 400 Riverside St

Riverside St

Riverside properties



MOIR & SEREDIN  
Landscape Architects, Inc.  
18 Pleasant Street, Portland, Maine 04101  
ph: 1.207.871.0003  
fax: 1.207.871.1419

APPLICANT:  
Rio-Tierra, LLC  
655 Riverside Street  
Portland, Maine 04103  
p. 207.878.2024  
f. 207.878.2085

LOT 6 -- McALLISTER FARM SUBDIVISION  
McALLISTER FARM DRIVE  
PORTLAND, MAINE

Title: Grading, Drainage, Erosion Control Plan

No.	Date	Revision
1	3.3.05	PER DEP COMMENTS
2	4.12.05	P.B. WORKSHOP
3	4.26.05	Site Plan Submission
4	5.6.05	Per Peer Review

Job # 566 Dwg. No. L3.0  
Date: 18 Jan. 05  
Scale: 1" = 40'  
Drawn: MK  
Checked:

GRADING, DRAINAGE AND UTILITIES NOTES:

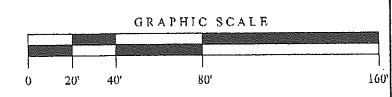
- REFER TO SHEET L1.0 FOR BOUNDARY AND TOPOGRAPHIC INFORMATION.
- PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL VERIFY ALL AFFECTED GRADES. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE OWNER OR OWNER'S REPRESENTATIVE.
- ALL AREAS NOT REQUIRING GRADING SHALL BE LEFT UNDISTURBED. CONTRACTOR SHALL NOT DISTURB THESE AREAS AND PRESERVE EXISTING VEGETATION.
- GRADE ALL NEW WORK FOR POSITIVE DRAINAGE AND NO PUDDLING. MATCH EXISTING GRADES SMOOTHLY AND CONTINUOUSLY.
- LEVEL LIP SPREADERS SHALL BE RIP-RAPPED UNLESS OTHERWISE SPECIFIED OR NOTED ON THE PLANS, OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- OWNER AND LANDSCAPE ARCHITECT WILL BE CLOSELY MONITORING FINISH GRADING IN THE FIELD. CONTRACTOR SHALL PERFORM FINISH WORK AS DIRECTED BY THE OWNER OR LANDSCAPE ARCHITECT TO ACHIEVE THE FINISH GRADE CONDITIONS SHOWN ON THE PLANS.
- ALL SITE IMPROVEMENTS INCLUDING UTILITIES MUST CONFORM TO THE MOST RECENT EDITION OF CITY OF PORTLAND'S TECHNICAL GUIDELINES AND STANDARDS.

CREATED WETLAND AREAS:

- WETLAND AREA 'A' = 19,025 SQUARE FEET
- WETLAND AREA 'B' = 11,220 SQUARE FEET
- WETLAND AREA 'C1' = 1,360 SQUARE FEET
- WETLAND AREA 'C2' = 180 SQUARE FEET
- TOTAL = 32,943 SQUARE FEET

LEGEND

EXISTING	PROPOSED
IRON PIPE OR ROD FOUND	EDGE OF PAVEMENT
MONUMENT FOUND	PAVEMENT
NOW OR FORMERLY	LIGHT POLE
UTILITY POLE	LIMIT OF WORK
SIGN	TREELINE
TELEPHONE MANHOLE	GUARDRAIL
SEWER MANHOLE	CONCRETE PAD
DRAIN MANHOLE	CONTOUR
CURB	SILT FENCE
WATER VALVE	RIP RAP
CONTOUR	WATER
SEWER LINE	UNDERGROUND TELEPHONE AND ELECTRICITY
STORM DRAIN LINE	STONE CHECK DAM
PROPERTY LINE	EROSION CONTROL MATTING
FEMA SETBACK	CREATED WETLAND
WETLAND	



CITY OF PORTLAND: SITE PLAN SUBMISSION



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**APPLICANT:**  
 Rio-Tierra, LLC  
 655 Riverside Street  
 Portland, Maine 04103  
 p. 207.878.2024  
 f. 207.878.2085

**LOT 6 -- McALLISTER FARM SUBDIVISION**  
 McALLISTER FARM DRIVE  
 PORTLAND, MAINE

Title:  
**Grading, Drainage, Erosion Control Plan**

No.	Date	Revision
1	3.3.05	PLR DUP COMMUNIS
2	4.12.05	P.D. WORKSHOP
3	4.26.05	Site Plan Submission
4	5.6.05	Per Peer Review

Job # 566 Dwg. No.  
 Date: 18 Jan. 05  
 Scale: 1" = 40'  
 Drawn: MK  
 Checked:

**L3.0**

**GRADING, DRAINAGE AND UTILITIES NOTES:**

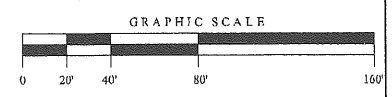
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**CREATED WETLAND AREAS:**

- WETLAND AREA 'A' = 19,025 SQUARE FEET
- WETLAND AREA 'B' = 11,220 SQUARE FEET
- WETLAND AREA 'C1' = 1,360 SQUARE FEET
- WETLAND AREA 'C2' = 780 SQUARE FEET
- TOTAL = 32,385 SQUARE FEET**

**LEGEND**

<b>EXISTING</b>	IRON PIPE OR ROD FOUND		<b>PROPOSED</b>	EDGE OF PAVEMENT	
MONUMENT FOUND		N/F	PAVEMENT		
NOW OR FORMERLY		UTILITY POLE	LIGHT POLE		
UTILITY POLE		SIGN	LIMIT OF WORK		
SIGN		TELEPHONE MANHOLE	TREELINE		
TELEPHONE MANHOLE		SEWER MANHOLE	GUARDRAIL		
SEWER MANHOLE		DRAIN MANHOLE	CONCRETE PAD		
DRAIN MANHOLE		CURB	CONTOUR		
CURB		WATER VALVE	SILT FENCE		
WATER VALVE		CONTOUR	RIP RAP		
CONTOUR		SEWER LINE	WATER		
SEWER LINE		STORM DRAIN LINE	UNDERGROUND TELEPHONE AND ELECTRICITY		
STORM DRAIN LINE		PROPERTY LINE	STONE CHECK DAM		
PROPERTY LINE		FEMA SETBACK	EROSION CONTROL MATTING		
FEMA SETBACK		WETLAND	CREATED WETLAND		
WETLAND					



CITY OF PORTLAND: SITE PLAN SUBMISSION



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**GENERAL NOTES**

1. THE RECORD OWNER OF THE PARCEL IS MARTIN RIST AND BARNYSUE J. BRUNET BY THE FOLLOWING DEEDS: BOOK 14992 PAGE 282, BOOK 17989 PAGE 330, AND BOOK 22290 PAGE 17. ALL DEEDS LISTED ARE RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (CORD).
2. THE PROPERTY IS SHOWN AS LOTS 1 AND 7 ON BLOCK A OF THE CITY OF PORTLAND TAX MAP 320 AND LOT 10 ON BLOCK A MAP 319, AND IS LOCATED IN THE IM, RPZ, AND SF ZONES.
3. ALL PROPERTY LINE DATA TAKEN FROM "SUBDIVISION AMENDMENT-LOT 6" DATED 4/21/05 BY SEBAGO TECHNICS.
4. TOTAL AREA OF PARCEL IS APPROXIMATELY 111 ACRES.
5. ALL PROPOSED BUILDINGS AND OTHER IMPROVEMENTS TAKEN FROM PLAN BY MOHR & SEREDIN, L.A.
6. PLAN REFERENCES:
  - A. FINAL SUBDIVISION PLAN OF McALISTER FARM SUBDIVISION BY THE SHERIDAN CORPORATION, DATED MARCH 1, 1988 AND LAST REVISED ON DECEMBER 29, 1988
  - B. ALTA SURVEY AT 400 RIVERSIDE IN PORTLAND FOR BONNIE BRUNET AND MARTIN RIST, BY DESLAURIERS & ASSOCIATES, INC., DATED JANUARY 28, 1999 AND LAST REVISED ON FEBRUARY 2, 1999.
  - C. THIRD AMENDED RECORDING PLAT OF DONALD O. BUTLER SUBDIVISION, BY LAND USE CONSULTANTS, DATED APRIL 30, 1996 AND RECORDED IN PLAN BOOK 191, PAGE 119.
7. WETLAND LIMITS SHOWN HEREON WERE DELINEATED BY SEBAGO TECHNICS, INC.
8. CONSERVATION AND PRESERVATION EASEMENTS A, B, & C AS SHOWN ON THIS PLAN ARE CONSERVATION AND PRESERVATION EASEMENTS AS REQUIRED BY THE MEDEP IN ORDER L-22207-TE-A-N WHICH HAS A SPECIFIED DECLARATION OF COVENANTS AND RESTRICTIONS TO BE RECORDED AT C.C.R.D. PRIOR TO CONSTRUCTION.
9. A PORTION OF THE PROPERTY LIES WITHIN THE FLOOD HAZARD AREA OF THE PRESUMPSCOT RIVER AS DEFINED BY FEMA.

**LOT DATA**

LOT(S) MAP: 319 BLOCK: A LOT: 10  
 MAP: 320 BLOCK: A LOT: 1  
 MAP: 320 BLOCK: A LOT: 1

**NOTE**

SIZE: 12.6 ACRES (1148 PLANS)  
 111 ACRES FROM (8.1, PLANS)  
 ZONE: MODERATE IMPACT INDUSTRIAL (IM)

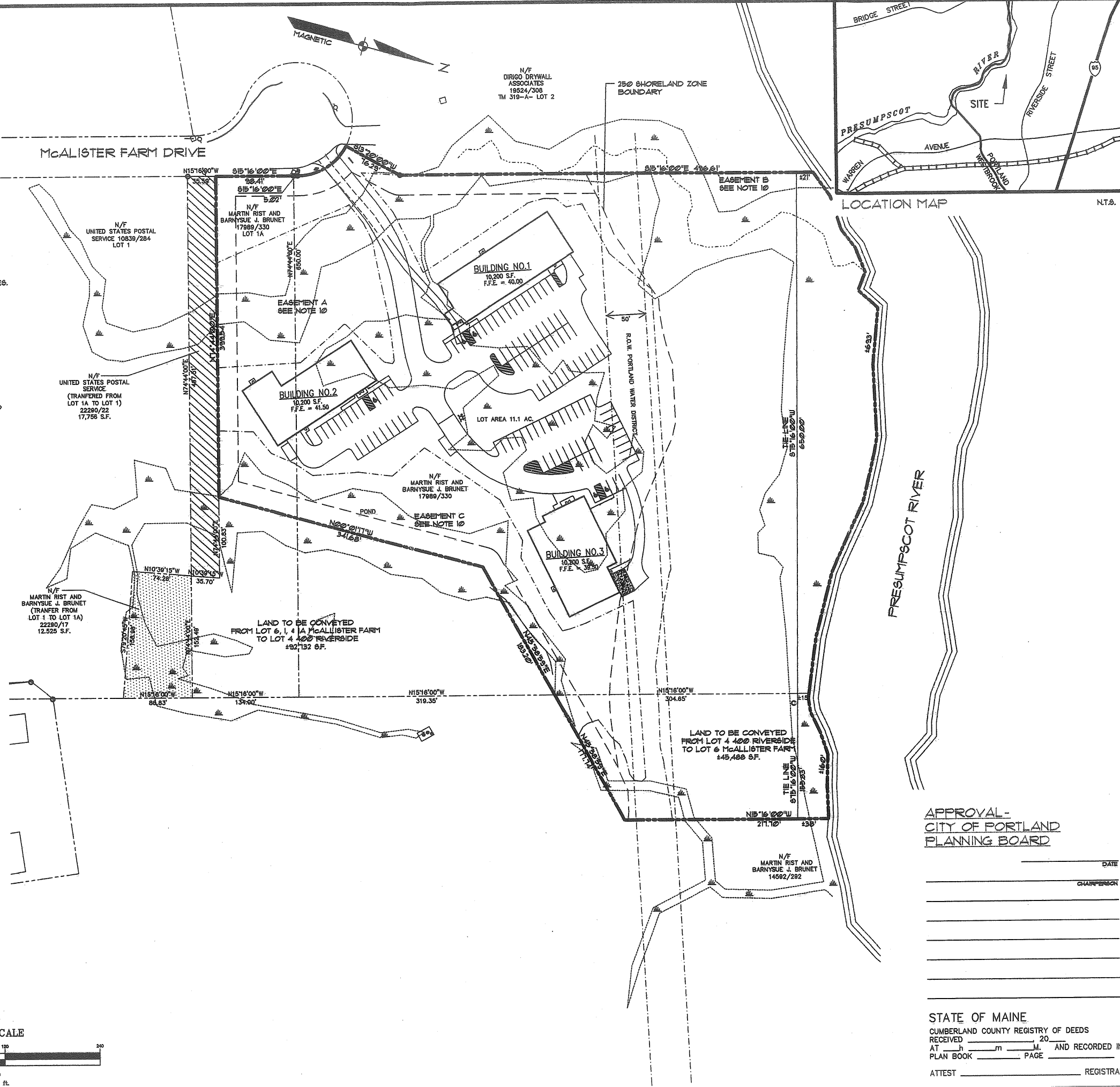
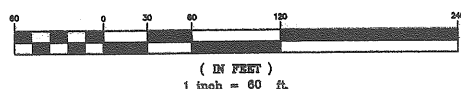
**SPACE AND BULK REQUIREMENTS**

	REQUIRED	PROVIDED
MINIMUM LOT SIZE	NONE	111 +/- AC
MAXIMUM IMPERVIOUS SURFACE RATIO	75%	16.7%
MAX BUILDING HT	75 FT	26FT
MIN SIDE YARD	FT/FT OF BLDG HT UP TO 25FT	3FT
MIN REAR YARD	FT/FT OF BLDG HT UP TO 25FT	420FT
MIN FRONT YARD	FT/FT OF BLDG HT	200FT
MIN STREET FRONTAGE	60 FT	175FT
PAVEMENT SETBACK FROM LOT BOUNDARIES	10 FT	65FT
PARKING STALL DIMENSION	9'x19'	9'x19'
PARKING SPACES	OFFICE (1/400 SF): 39 WAREHOUSE (1/1000SF): 16	112

**LEGEND**

EXISTING	DESCRIPTION
---	PROPERTY/ROW
---	SETBACK
---	EASEMENT
---	CENTERLINE
---	MONUMENT
---	IRON PIPE/ROD
---	DRILLHOLE
█	BUILDING
█	WETLANDS
---	EDGE WETLAND
---	SIGN
---	STREAM
---	EDGE PAVEMENT
---	GRAVEL ROAD
---	CURBLINE
---	EDGE WATER
---	TREELINE

**GRAPHIC SCALE**



**APPROVAL - CITY OF PORTLAND PLANNING BOARD**

DATE \_\_\_\_\_

CHAIRPERSON \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

STATE OF MAINE  
 CUMBERLAND COUNTY REGISTRY OF DEEDS  
 RECEIVED \_\_\_\_\_ 20\_\_\_\_  
 AT \_\_\_\_\_ h \_\_\_\_\_ m \_\_\_\_\_ M. AND RECORDED IN  
 PLAN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_  
 ATTEST \_\_\_\_\_ REGISTRAR

THIS PLAN HAS BEEN COMPILED BY OWEN HASKELL, INC. WITH NO FIELD SURVEY. CERTIFICATION IS MADE TO THE LOCATION OF THE PROPOSED IMPROVEMENTS ONLY.

**OWEN HASKELL, INC.**  
 16 CASCO ST., PORTLAND, ME 04101 (207)774-0484  
 PROFESSIONAL LAND SURVEYORS

JOB NO.	FIELD BOOK	DESIGN	CHKD	DRAWN
05-068P				

**SUBDIVISION - REVISED LOT 6**  
 OF:  
**LOTS 1, 1A, & 6 McALISTER FARM & LOT 4 DONALD O BUTLER SUBDIVISION & LOT 4 McALLISTER FARM TO LOT 4 400 RIVERSIDE**  
 RIVERSIDE ST. AND McALISTER DRIVE, PORTLAND, MAINE  
 PREPARED FOR DEVELOPER:  
**MARTIN RIST & BARNYSUE J. BRUNET**  
 400 RIVERSIDE STREET  
 PORTLAND, MAINE 04103  
 PREPARED FOR DEVELOPER:  
**RIO TERRA LLC**  
 655 RIVERSIDE ST.  
 PORTLAND, MAINE 04103

SHEET 1 OF 1

\\MCALESTR\MCALEISR.dwg Fri May 06 14:03:02 2005

**GENERAL NOTES**

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9. A PORTION OF THE PROPERTY LIES WITHIN THE FLOOD HAZARD AREA OF THE PRESUMPSCOT RIVER AS DEFINED BY FEMA.

**LOT DATA**

LOT(S) MAP: 319 BLOCK A LOT: 10  
 MAP: 320 BLOCK A LOT: 1  
 MAP: 320 BLOCK A LOT: 1

**NOTE**

SIZE: 12.6 ACRES (114.6 PLANS)  
 111 ACRES FROM (8.T.I. PLANS)  
 ZONE: MODERATE IMPACT INDUSTRIAL (IM)

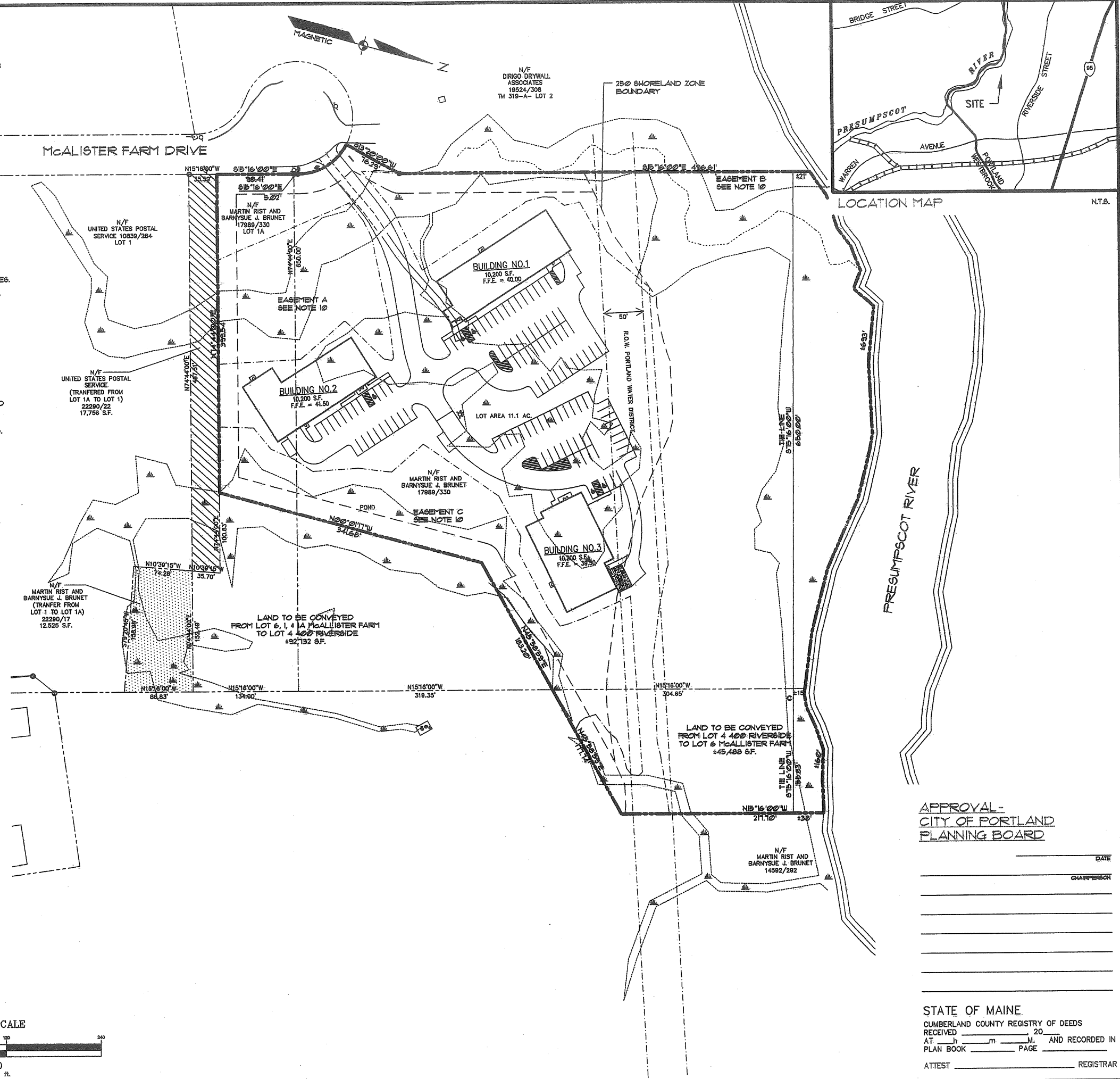
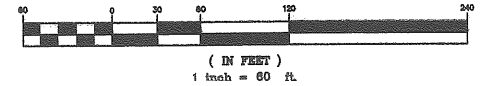
**SPACE AND BULK REQUIREMENTS**

	REQUIRED	PROVIDED
MINIMUM LOT SIZE	NONE	111 +/- AC
MAXIMUM IMPERVIOUS SURFACE RATIO	75%	16.7%
MAX BUILDING HT	75 FT	26FT
MIN SIDE YARD	FT/FT OF BLDG HT UP TO 25FT	3FT
MIN REAR YARD	FT/FT OF BLDG HT UP TO 25FT	300FT
MIN FRONT YARD	FT/FT OF BLDG HT	200FT
MIN STREET FRONTAGE	60 FT	175FT
PAVEMENT SETBACK FROM LOT BOUNDARIES	10 FT	65FT
PARKING STALL DIMENSION	9'x19'	9'x19'
PARKING SPACES	OFFICE (1/400 SF): 39 WAREHOUSE (1/1000SF): 16	112

**LEGEND**

EXISTING	DESCRIPTION
---	PROPERTY/ROW
---	SETBACK
---	EASEMENT
---	CENTERLINE
---	MONUMENT
---	IRON PIPE/ROD
---	DRILLHOLE
█	BUILDING
█	WETLANDS
█	EDGE WETLAND
█	8'GN
---	STREAM
---	EDGE PAVEMENT
---	GRAVEL ROAD
---	CURELINE
---	EDGE WATER
---	TREELINE

**GRAPHIC SCALE**



**APPROVAL - CITY OF PORTLAND PLANNING BOARD**

DATE \_\_\_\_\_

CHAIRPERSON \_\_\_\_\_

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\_\_\_\_\_

\_\_\_\_\_

STATE OF MAINE  
 CUMBERLAND COUNTY REGISTRY OF DEEDS  
 RECEIVED \_\_\_\_\_ 20\_\_\_\_  
 AT \_\_\_\_\_ h \_\_\_\_\_ m \_\_\_\_\_ J. AND RECORDED IN  
 PLAN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_  
 ATTEST \_\_\_\_\_ REGISTRAR

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**OWEN HASKELL, INC.**  
 16 CALICO ST., PORTLAND, ME 04101 (207) 774-0484  
 PROFESSIONAL LAND SURVEYORS

JOB NO.	05-088P
FIELD BOOK	
DESIGN	
CHKD	
DRAWN	
JNS	
RWC	

**SUBDIVISION - REVISED LOT 6**  
 OF LOTS 1, 1A, & 66 McALISTER FARM & LOT 4 DONALD O BUTLER SUBDIVISION RIVERSIDE ST. AND McALISTER DRIVE PORTLAND, MAINE  
 PREPARED FOR DEVELOPER: OWNER OF RECORD: **MARTIN RIST & BARNYSUE J. BRUNET**  
**RIO TERRA LLC**  
 655 RIVERSIDE ST. PORTLAND, MAINE 04103

DATE 5/06/05 SCALE 1"=80'

SHEET 1 OF 1

Att. 7

THIS PROJECT COMPLIES WITH THE CITY OF PORTLAND ORDINANCES RELATING TO DIVISION 26 SHORELAND REGULATIONS SEC. 14-446 → 449 AND DIVISION 26-5 FLOOD PLAIN MANAGEMENT REGULATIONS SEC. 14-450.1 → 14-450.8

APPROVED BY THE PORTLAND PLANNING BOARD JULY 26, 1988  
*Judene L. Blum*  
*Michael S. Carr*

7/26/88

THIS PLAT SUPERSEDES THE PLAT APPROVED BY THE PLANNING BOARD ON JUNE 9, 1986

**NOTES:**

DEVELOPER: D & B PROPERTIES  
 OWNER: 2 CITY CENTER, PORTLAND, MAINE; OWNERS OF LOTS 4, 5 & 6  
 DESIGNER: THE SHELDON CORPORATION, P.O. BOX 1089, WEST BROMFIELD, ME 04092  
 LOT USAGE TO CONFORM TO THE REQUIREMENTS IN THE I-1 ZONE.  
 NATURAL DRAINAGE COURSE SHALL NOT BE ALTERED OR OBSTRUCTED EXCEPT AS INDICATED ON PLAT DEEDS TO LOTS 4, 5 & 6. SHALL CONTAIN ESTHETIC COVENANTS TO THIS EFFECT FOR THE BENEFIT OF EACH OTHER LOT.  
 R.O.W.'S SHALL SERVICE ALL LOTS.  
 100 YEAR FLOOD PLAIN (ELEV. 35.7') NOT TO BE DISTURBED. ADDITIONAL AREAS NOT TO BE DISTURBED ARE AS SHOWN & NOTED.  
 ELEVATION DATUM IS BENCH MARK CATCH BASIN RIM ON RIVERSIDE STREET, ELEV. 54.32 U.S.G.S. MEAN SEA LEVEL.

TOTAL SUBDIVISION AREA = 57.2 AC.  
 6 LOTS PROPOSED

PREVIOUSLY RECORDED APPROVED PLAT USED FOR REFERENCE MAY BE FOUND IN BOOK # 165, PAGE 61 DATE: 3/23/87 TIME 3:45 PM RECORDED IN CUMBERLAND COUNTY REG. OF DEEDS.

200' WILDLIFE BUFFER IS AS ESTABLISHED BY DEP SITE LOCATION ORDER DATED 9/16/87 FOR DEVELOPMENT OF LOT #4 AS DESCRIBED IN PLAN BOOK 165, PAGE 61.  
 State of Maine, Cumberland ss Registry of Deeds  
 Received January 4 1989  
 at 3:14 PM and recorded in Plan Book 176, Page 44  
 Attest: *Judene L. Blum*

**LEGEND**

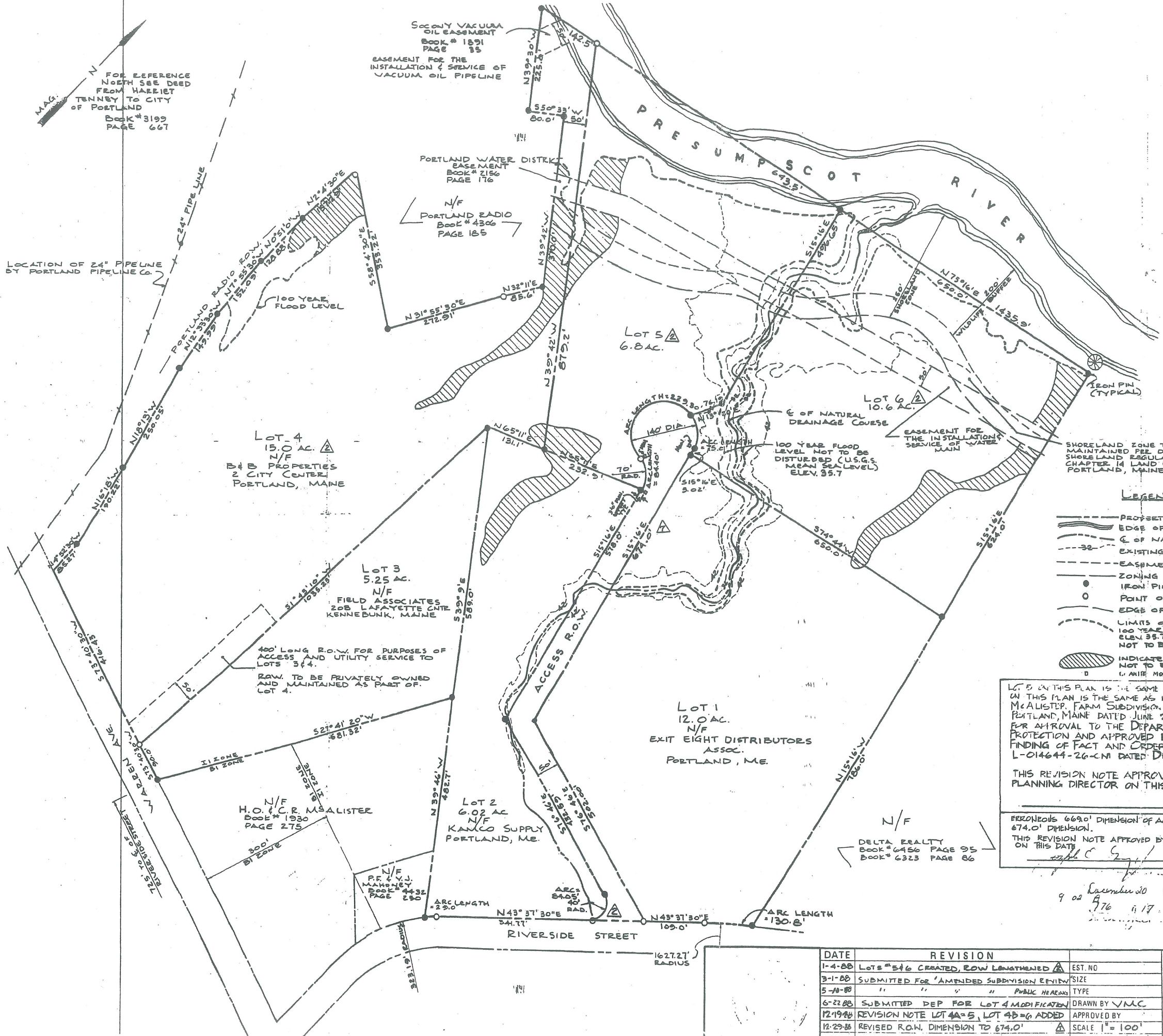
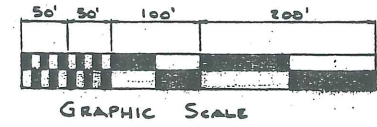
- PROPERTY LINE
- ~ EDGE OF RIVER
- - - E OF NATURAL DRAINAGE COURSE
- EXISTING CONTOURS
- - - EASEMENT LINE
- ZONING BOUNDARY
- IRON PIN FOUND OR SET
- POINT OF TANGENCY
- - - EDGE OF SHORELAND ZONE
- - - LIMITS OF FLOOD PLAIN
- 100 YEAR (U.S.G.S. MEAN SEA LEVEL ELEV. 35.7')
- 100 YEAR FLOOD PLAIN NOT TO BE DISTURBED.
- ▨ INDICATES ADDITIONAL AREA NOT TO BE DISTURBED.
- ANTI MONUMENT

LOT 5 ON THIS PLAN IS THE SAME AS LOT 4A AND LOT 4 ON THIS PLAN IS THE SAME AS LOT 4B ON A PLAN OF McALISTER FARM SUBDIVISION ON RIVERSIDE STREET, PORTLAND, MAINE DATED JUNE 22, 1982 SUBMITTED FOR APPROVAL TO THE DEPARTMENT OF ENVIRONMENTAL PROTECTION AND APPROVED BY THEM BY THEIR FINDING OF FACT AND ORDER NUMBER L-014644-26-CM DATED DECEMBER 5, 1985.

THIS REVISION NOTE APPROVED BY THE PLANNING DIRECTOR ON THIS DATE

ERRONEOUS 669.0' DIMENSION OF ACCESS R.O.W. CHANGED TO 674.0' DIMENSION.  
 THIS REVISION NOTE APPROVED BY THE PLANNING DIRECTOR ON THIS DATE  
*Joseph C. G... 1/7/89*

9 02 December 20 88  
 976 117



MAG. N  
 FOR REFERENCE NORTH SEE DEED FROM HARRIET TENNEY TO CITY OF PORTLAND  
 BOOK # 3199 PAGE 667

LOCATION OF 24" PIPELINE BY PORTLAND PIPELINE CO.

SOCONY VACUUM OIL EASEMENT BOOK # 1891 PAGE 35  
 EASEMENT FOR THE INSTALLATION & SERVICE OF VACUUM OIL PIPELINE

PORTLAND WATER DISTRICT EASEMENT BOOK # 2156 PAGE 176  
 N/F PORTLAND RADIO BOOK # 4306 PAGE 185

LOT 4 15.0 AC. N/F B & B PROPERTIES 2 CITY CENTER PORTLAND, MAINE

LOT 3 5.25 AC. N/F FIELD ASSOCIATES 208 LAFAYETTE CENTER KENNEDUNK, MAINE

LOT 1 12.0 AC. N/F EXIT EIGHT DISTRIBUTORS ASSOC. PORTLAND, ME.

LOT 2 6.02 AC N/F KANCO SUPPLY PORTLAND, ME.

N/F H.O. & C.R. McALISTER BOOK # 1930 PAGE 275

N/F DELTA REALTY BOOK # 6450 PAGE 95 BOOK # 6323 PAGE 86

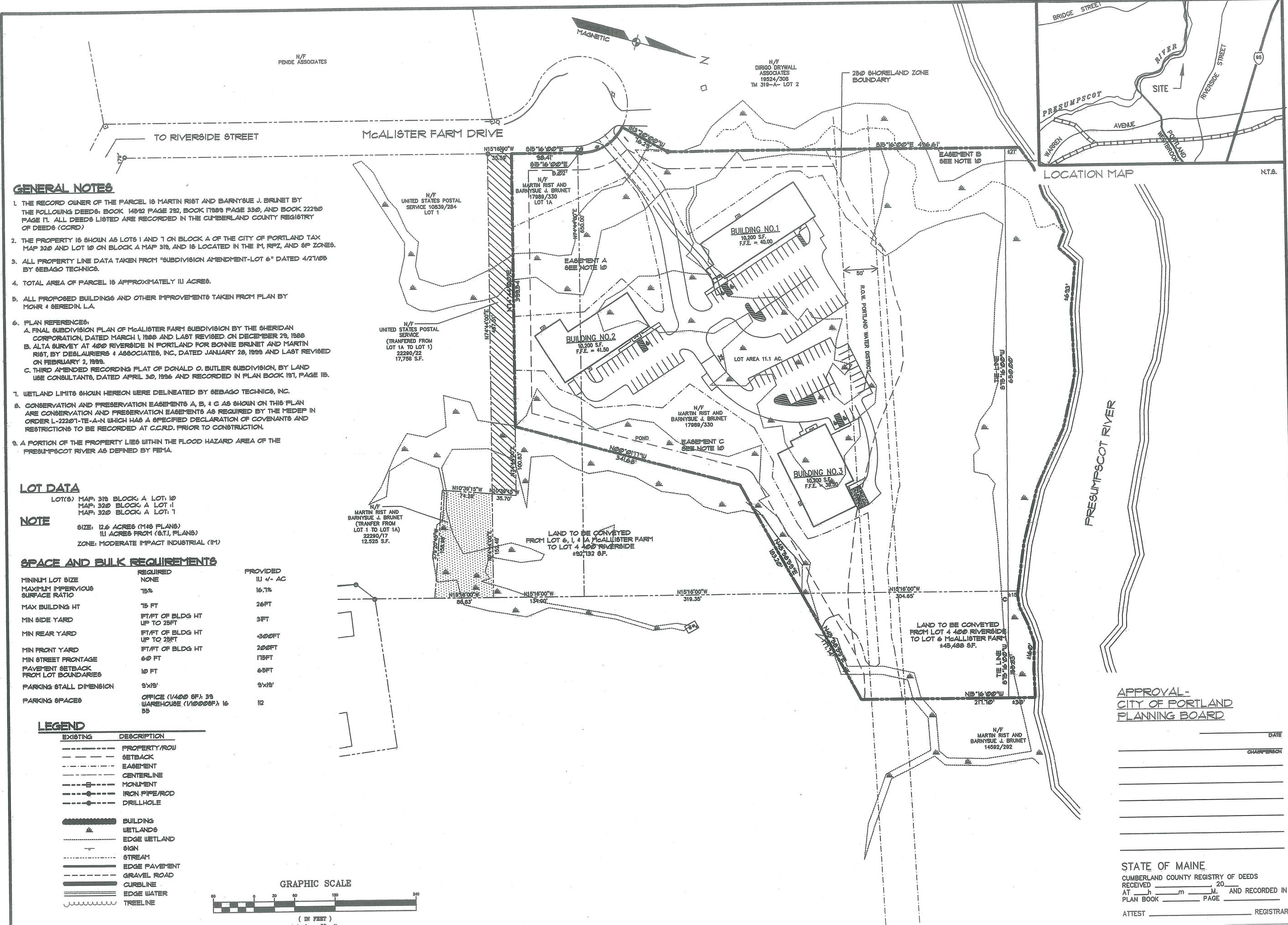
DATE	REVISION	EST. NO.	JOB NO.
1-4-88	LOTS # 5 & 6 CREATED, ROW LENGTHENED		MSALISTER FARM SUBDIVISION RIVERSIDE STREET PORTLAND, MAINE
3-1-88	SUBMITTED FOR 'AMENDED SUBDIVISION REVIEW'	SIZE	
5-28-88	" " " " " " " " " "	TYPE	
6-22-88	SUBMITTED DEP FOR LOT 4 MODIFICATION	DRAWN BY VMC	
12-19-88	REVISION NOTE LOT 4A=5, LOT 4B=6 ADDED	APPROVED BY	
12-29-88	REVISED R.O.W. DIMENSION TO 674.0'	SCALE 1" = 100'	
		DATE MARCH 4, 1989	DWG. NO. PLAT 1 OF 1



FAIRFIELD S. PORTLAND MAINE



8



**GENERAL NOTES**

1. THE RECORD OWNER OF THE PARCEL IS MARTIN RIST AND BARNYSUE J. BRUNET BY THE FOLLOWING DEEDS: BOOK 14932 PAGE 232, BOOK 11989 PAGE 330, AND BOOK 22290 PAGE 11. ALL DEEDS LISTED ARE RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (CORD)
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  - C. THIRD AMENDED RECORDING PLAT OF DONALD O. BUTLER SUBDIVISION, BY LAND USE CONSULTANTS, DATED APRIL 30, 1996 AND RECORDED IN PLAN BOOK 191, PAGE 115.
7. WETLAND LIMITS SHOWN HEREON WERE DELINEATED BY SEBAGO TECHNICOS, INC.
8. CONSERVATION AND PRESERVATION EASEMENTS A, B, & C AS SHOWN ON THIS PLAN ARE CONSERVATION AND PRESERVATION EASEMENTS AS REQUIRED BY THE MEDEP IN ORDER L-22201-TE-A-N WHICH HAS A SPECIFIED DECLARATION OF COVENANTS AND RESTRICTIONS TO BE RECORDED AT C.C.R.D. PRIOR TO CONSTRUCTION.
9. A PORTION OF THE PROPERTY LIES WITHIN THE FLOOD HAZARD AREA OF THE PRESUMPSCOT RIVER AS DEFINED BY FEMA.

**LOT DATA**

LOT(S) MAP: 319 BLOCK A LOT: 10  
 MAP: 320 BLOCK A LOT: 1  
 MAP: 320 BLOCK A LOT: 1

**NOTE**

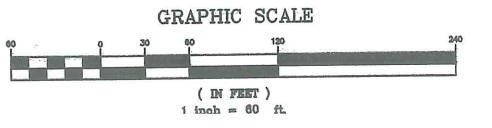
SIZE: 12.6 ACRES (1146 PLANS)  
 111 ACRES FROM (S.T.), PLANS)  
 ZONE: MODERATE IMPACT INDUSTRIAL (IM)

**SPACE AND BULK REQUIREMENTS**

	REQUIRED	PROVIDED
MINIMUM LOT SIZE	NONE	11 +/- AC
MAXIMUM IMPERVIOUS SURFACE RATIO	75%	16.7%
MAX BUILDING HT	75 FT	26FT
MIN SIDE YARD	FT/FT OF BLDG HT UP TO 25FT	3FT
MIN REAR YARD	FT/FT OF BLDG HT UP TO 25FT	300FT
MIN FRONT YARD	FT/FT OF BLDG HT	200FT
MIN STREET FRONTAGE	60 FT	175FT
PAVEMENT SETBACK FROM LOT BOUNDARIES	10 FT	65FT
PARKING STALL DIMENSION	9'x19'	9'x19'
PARKING SPACES	OFFICE (1/1000 SF): 39 WAREHOUSE (1/10000 SF): 16	112

**LEGEND**

EXISTING	DESCRIPTION
---	PROPERTY/ROW
---	SETBACK
---	EASEMENT
---	CENTERLINE
---	MONUMENT
---	IRON PIPE/ROD
---	DRILLHOLE
█	BUILDING
█	WETLANDS
█	EDGE WETLAND
█	SIGN
---	STREAM
---	EDGE PAVEMENT
---	GRAVEL ROAD
---	CURLINE
---	EDGE WATER
---	TREELINE



THIS PLAN HAS BEEN COMPILED BY OWEN HASKELL, INC. WITH NO FIELD SURVEY. CERTIFICATION IS MADE TO THE LOCATION OF THE PROPOSED IMPROVEMENTS ONLY.

**OWEN HASKELL, INC.**  
 16 Casco St., Portland, ME 04101 (207) 774-0484  
 PROFESSIONAL LAND SURVEYORS

JOB NO.	05-088P
FIELD BOOK	
DESIGN	
CHKD	
DRAWN	
JWS	
RWC	

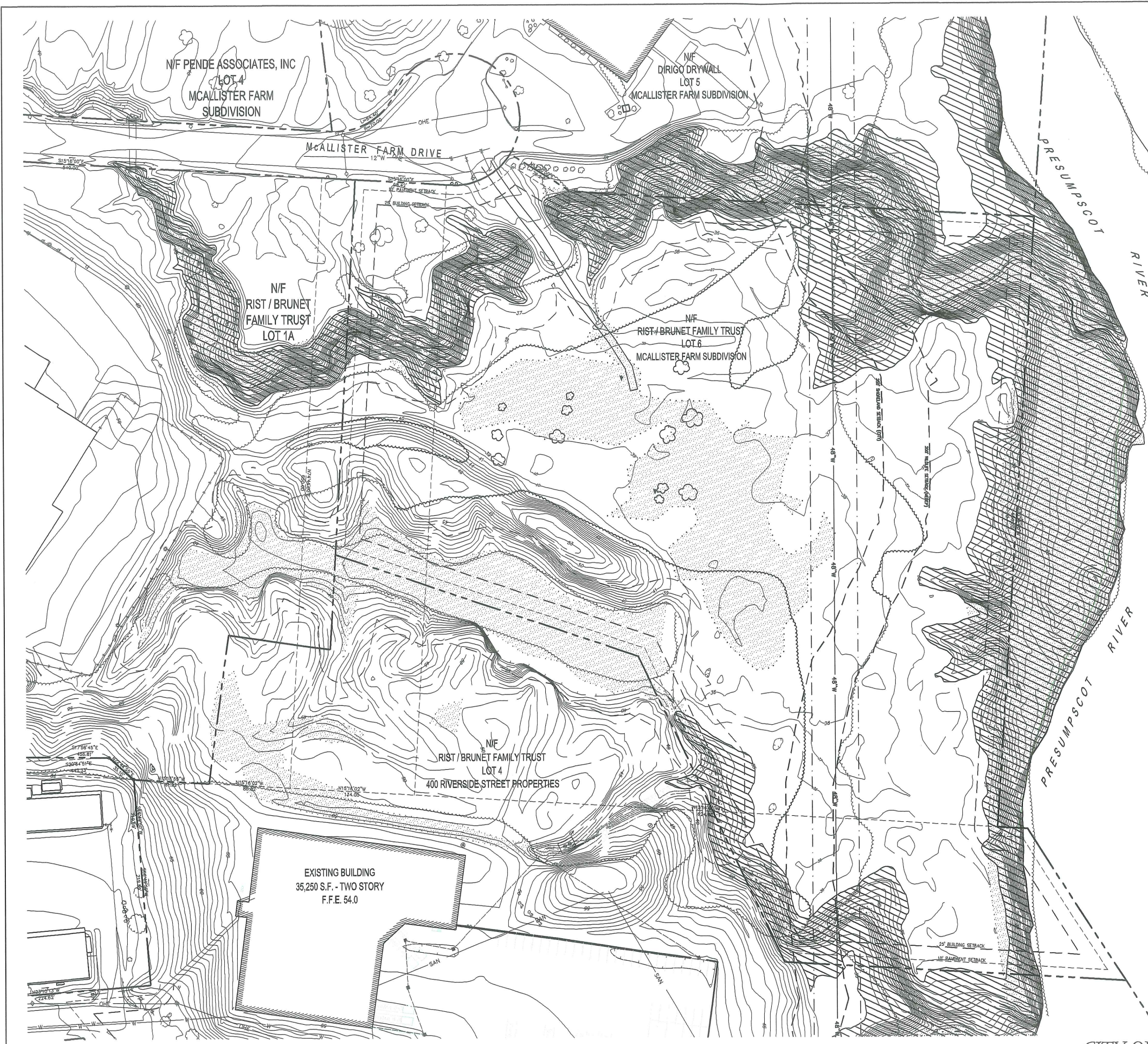
**SUBDIVISION - REVISED LOT 6**  
 OF: **LOTS 1, 1A, & 6 McALISTER FARM & LOT 4 & DONALD O BUTLER SUBDIVISION**  
 RIVERSIDE ST. AND McALISTER DRIVE, PORTLAND, MAINE  
 PREPARED FOR DEVELOPER: **MARTIN RIST & BARNYSUE J. BRUNET**  
**RIO TERRA LLC**  
 655 RIVERSIDE ST. PORTLAND, MAINE 04103

**APPROVAL - CITY OF PORTLAND PLANNING BOARD**

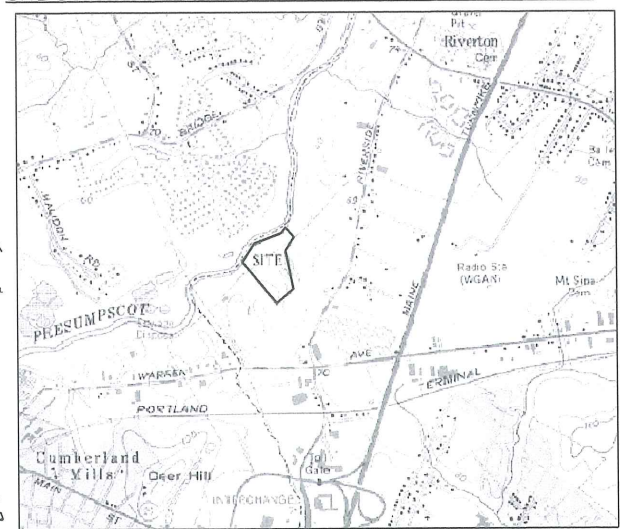
DATE \_\_\_\_\_  
 CHAIRPERSON \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

STATE OF MAINE  
 CUMBERLAND COUNTY REGISTRY OF DEEDS  
 RECEIVED \_\_\_\_\_ 20\_\_\_\_  
 AT \_\_\_\_\_ M. AND RECORDED IN  
 PLAN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_  
 ATTEST \_\_\_\_\_ REGISTRAR

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**SITE LOCATION PLAN:**



**PLAN REFERENCES:**

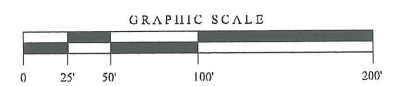
1. FINAL SUBDIVISION RECORDING PLAT, BY THE SHERIDAN CORPORATION, APPROVED BY THE PORTLAND PLANNING BOARD DATED 1.26.88 CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 176 PAGE 44.
2. FEMA MAP COMMUNITY PANEL NUMBER 230051 0006 B, EFFECTIVE DATE 1/1/86.
3. CITY OF PORTLAND AERIAL SURVEY, ELECTRONIC DATA PROVIDED BY CITY OF PORTLAND GIS DEPARTMENT.
4. THIRD AMENDED RECORDING PLAT DONALD D. BUTLER SUBDIVISION, APPROVED BY THE PORTLAND PLANNING BOARD DATED 6/11/86.

**GENERAL NOTES:**

1. ALL BASE ELECTRONIC DATA PROVIDED TO MOHR & SEREDIN LANDSCAPE ARCHITECTS BY DELUCA-HOFFMAN ASSOCIATES, DECEMBER 2004.
2. WETLANDS HAVE BEEN DELINEATED BY MARK HAMPTON ASSOCIATES, INC. UNDER SEPARATE CONTRACT TO SHERIDAN CORP. AND THE GALLOWAY GROUP. WETLAND FLAGGING WAS LOCATED BY GPS METHODS AND PROVIDED TO DELUCA-HOFFMAN ASSOCIATES, INC. BY SEBAGO TECHNIQS, INC.
3. WETLANDS OF SPECIAL SIGNIFICANCE ARE ASSOCIATED WITH THE ONSITE STREAMS.
4. THE LOCATION OF THE EXISTING 48" PORTLAND WATER DISTRICT TRANSMISSION MAIN IS APPROXIMATE.
5. LOT BOUNDARIES ARE APPROXIMATE. METES AND BOUNDS INFORMATION IS BASED ON DATA PRESENTED ON PLAN REFERENCE #1.
5. BENCHMARK CONTROL AND HORIZONTAL CONTROL AVAILABLE FROM SEBAGO TECHNIQS, INC. OR CITY OF PORTLAND PUBLIC WORKS GIS DEPARTMENT.

**LEGEND**

EXISTING	
IRON PIPE OR ROD FOUND	
MONUMENT FOUND	
NOW OR FORMERLY	N/F
UTILITY POLE	
SIGN	
TELEPHONE MANHOLE	
SEWER MANHOLE	
DRAIN MANHOLE	
CURB	
WATER VALVE	
CONTOUR	
SEWER LINE	
STORM DRAIN LINE	
PROPERTY LINE	
FEMA SETBACK	
WETLAND	



CITY OF PORTLAND: SITE PLAN SUBMISSION

**MOHR & SEREDIN**  
Landscape Architects, Inc.  
18 Pleasant Street, Portland, Maine 04101  
ph: 1.207.871.0003  
fax: 1.207.871.1419

**APPLICANT:**  
Rio-Tierra, LLC  
655 Riverside Street  
Portland, Maine 04103  
p. 207.878.2024  
f. 207.878.2085

AH.9

**LOT 6 -- McALLISTER FARM SUBDIVISION**  
McALLISTER FARM DRIVE,  
PORTLAND, MAINE

Title: Existing Conditions

No.	Date	Revision
1	4.12.05	P.B. Workshop
2	4.26.05	Site Plan Submission

Job # 566      Dwg. No. **L1.0**  
Date: 18 Jan. 05  
Scale: 1" = 50'  
Drawn: MK  
Checked:



**APPLICANT:**  
 Rio-Tierra, LLC  
 655 Riverside Street  
 Portland, Maine 04103  
 p. 207.878.2024  
 f. 207.878.2085

**LOT 6 -- McALLISTER FARM SUBDIVISION**  
 McALLISTER FARM DRIVE  
 PORTLAND, MAINE

Title:  
**Layout and Materials Plan**

No.	Date	Revision
1	4.26.05	Site Plan Submission

Job # 566      Dwg. No.  
 Date: 18 Jan. 05      **L2.0**  
 Scale: 1" = 30'  
 Drawn: MK  
 Checked:

- LAYOUT AND MATERIALS NOTES:**
- REFER TO SHEET L1.0 ABOVE FOR BOUNDARY AND TOPOGRAPHIC INFORMATION.
  - ALL DIMENSIONS, LOCATIONS AND CONTROLS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION ACTIVITIES. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE OWNER OR OWNER'S REPRESENTATIVE.
  - DO NOT SCALE THE DRAWINGS FOR REQUIRED DIMENSIONS. ANY DISCREPANCIES IN DIMENSIONING SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE.
  - ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE SHOWN.
  - ALL EDGES OF PAVING SHALL BE STAKED OUT BY THE CONTRACTOR AND REVIEWED BY THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
  - PROVIDE A SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING.
  - ALL DISTURBED AREAS NOT OTHERWISE TREATED SHALL BE LOAMED AND SEED.
  - PLACE TREE PROTECTION PRIOR TO COMMENCING ANY RELATED CONSTRUCTION ACTIVITIES.
  - LIMITS OF TREE CLEARING TO BE FLAGGED AND REVIEWED BY OWNER AND OWNER'S REPRESENTATIVE PRIOR TO ANY CUTTING ACTIVITIES. ANY TREES THAT ARE CUT OR DAMAGED OUTSIDE OF CLEARING LIMITS SHALL BE REPLACED BY CONTRACTOR AT CONTRACTOR'S COST. (REFER TO SPECIFICATIONS)
  - CENTERLINE OF ROAD, CENTERLINE OF WALKWAYS, PROPOSED PARKING LOTS, PROPOSED UTILITY LINES AND PROPOSED BUILDINGS SHALL BE LOCATED AND LAID OUT BY PROFESSIONALLY LICENSED SURVEYOR.

**LOT DATA:**

LOT(S): MAP: 319    BLOCK: A    LOT: 10  
 MAP: 320    BLOCK: A    LOT: 1  
 MAP: 320    BLOCK: A    LOT: 7

SIZE: 12.6 ACRES  
 ZONE: MODERATE IMPACT INDUSTRIAL (IM)

**SPACE AND BULK REQUIREMENTS**

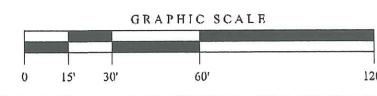
	REQUIRED	PROVIDED
MINIMUM LOT SIZE	NONE	12.6 ACRES
MAXIMUM IMPERVIOUS SURFACE RATIO	75%	16.1%
MAXIMUM BUILDING HT	75 FEET	26 FEET
MINIMUM SIDE YARD	1 FT/FT OF BLDG HT UP TO 25 FT	31 FEET
MINIMUM REAR YARD	1 FT/FT OF BLDG HT UP TO 25 FT	+300 FEET
MINIMUM FRONT YARD	1 FT/FT OF BLDG HT	200 FEET
MINIMUM STREET FRONTAGE	60 FEET	175 FEET
PAVEMENT SETBACK FROM LOT BOUNDARIES	10 FEET	65 FEET
PARKING STALL DIMENSION	4'x14'	4'x14'
PARKING SPACES	OFFICE (1/400 S.F.) 34	55      112
	WAREHOUSE (1/1000 S.F.) 16	

**LIGHTING SCHEDULE:**

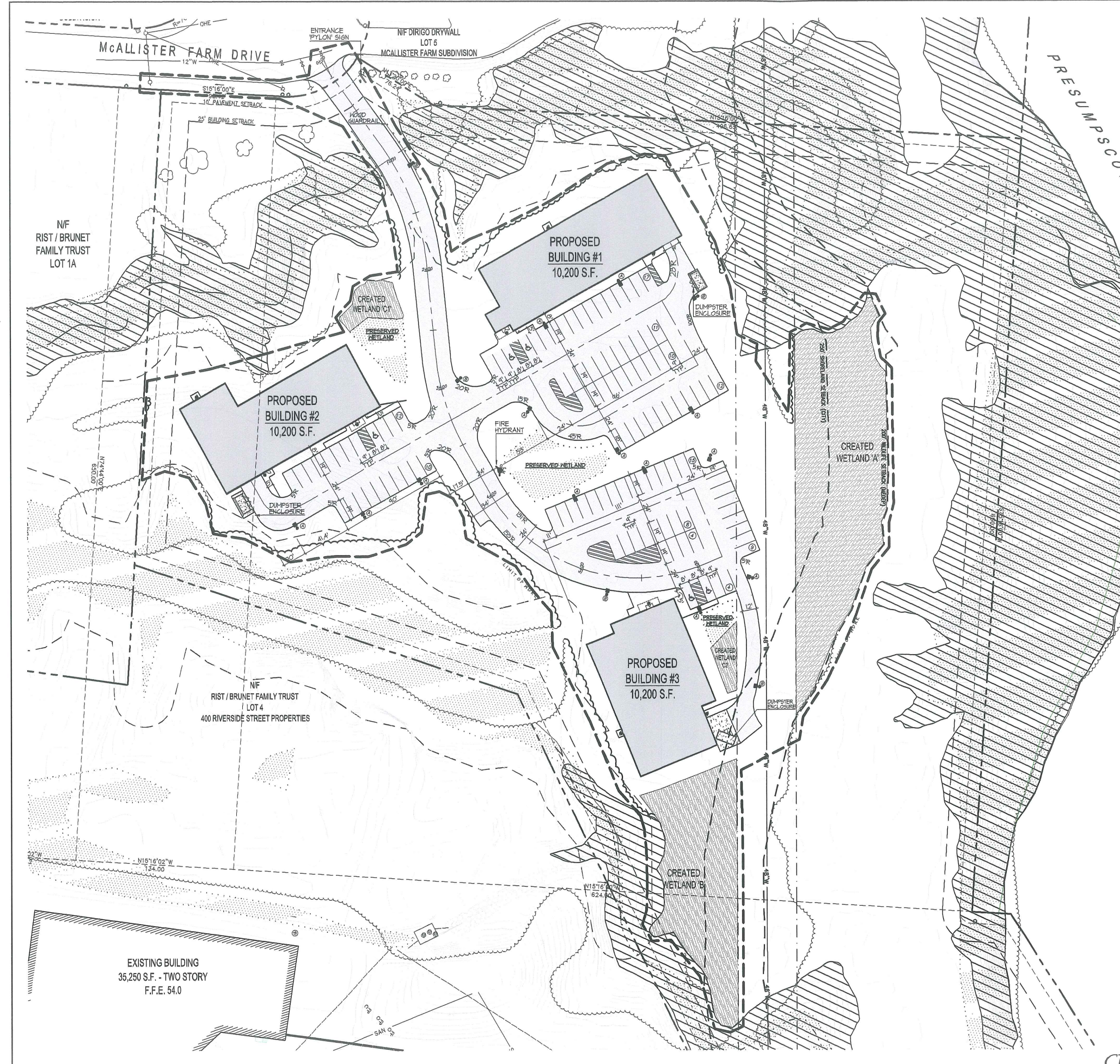
SYMBOL	QUANTITY	SIZE	LIGHT TYPE	NOTE
①	13	20'	250W METAL HALIDE	FORWARD THROW
②	5	20'	250W METAL HALIDE	TYPE II THROW
☼	9	--	100W INCANDESCENT	BUILDING MOUNTED
★	1	--	75W METAL HALIDE	GROUND MOUNTED (FOR SIGN)

**LEGEND**

<b>EXISTING</b>		<b>PROPOSED</b>	
IRON PIPE OR ROD FOUND	○	EDGE OF PAVEMENT	=====
MONUMENT FOUND	□	PAVEMENT	
NOW OR FORMERLY	N/F	LIGHT POLE	●
UTILITY POLE	○	LIMIT OF WORK	--- --
SIGN	□	TREELINE	~ ~ ~ ~
TELEPHONE MANHOLE	⊕	GUARDRAIL	- - - -
SEWER MANHOLE	⊙	CONCRETE PAD	▣
DRAIN MANHOLE	⊙		
CURB	=====		
WATER VALVE	W		
CONTOUR	- - - -		
SEWER LINE	S		
STORM DRAIN LINE	SD		
PROPERTY LINE	---		
FEMA SETBACK	//////		
WETLAND			



CITY OF PORTLAND: SITE PLAN SUBMISSION



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**APPLICANT:**  
Rio-Tierra, LLC  
655 Riverside Street  
Portland, Maine 04103  
p. 207.878.2024  
f. 207.878.2085

**LOT 6 -- McALLISTER FARM SUBDIVISION**  
McALLISTER FARM DRIVE  
PORTLAND, MAINE



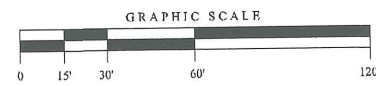
**LIGHTING AND PHOTOMETRICS NOTE:**  
1. PHOTOMETRIC CALCULATIONS PERFORMED BY CHARRON, INC., MANCHESTER, NEW HAMPSHIRE APRIL 24, 2005.

**LIGHTING SCHEDULE:**

SYMBOL	QUANTITY	SIZE	LIGHT TYPE	NOTE
● A	13	20'	250W METAL HALIDE	FORWARD THROW
● B	5	20'	250W METAL HALIDE	TYPE II THROW
★	1	--	100W INCANDESCENT	BUILDING MOUNTED
★	1	--	75W METAL HALIDE	GROUND MOUNTED (FOR SIGN)

**LEGEND**

EXISTING	PROPOSED
IRON PIPE OR ROD FOUND	EDGE OF PAVEMENT
MONUMENT FOUND	PAVEMENT
NOW OR FORMERLY	LIGHT POLE
UTILITY POLE	LIMIT OF WORK
SIGN	TREELINE
TELEPHONE MANHOLE	GUARDRAIL
SEWER MANHOLE	CONCRETE PAD
DRAIN MANHOLE	
CURB	
WATER VALVE	
CONTOUR	
SEWER LINE	
STORM DRAIN LINE	
PROPERTY LINE	
FEMA SETBACK	
WETLAND	



CITY OF PORTLAND: SITE PLAN SUBMISSION

Title: **Lighting and Photometric Plan**

No.	Date	Revision
1	4.26.05	Site Plan Submission

Job # 566      Dwg. No. **L2.1**  
Date: 18 Jan. 05  
Scale: 1" = 30'  
Drawn: MK  
Checked:

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MOIR & SEREDIN  
Landscape Architects, Inc.  
18 Pleasant Street, Portland, Maine 04101  
ph: 1.207.871.0003  
fax: 1.207.871.1419

APPLICANT:  
Rio-Tierra, LLC  
655 Riverside Street  
Portland, Maine 04103  
p. 207.878.2024  
f. 207.878.2085

**LOT 6 -- McALLISTER FARM SUBDIVISION**  
McALLISTER FARM DRIVE  
PORTLAND, MAINE

Title:  
**Grading, Drainage, Erosion Control Plan**

No.	Date	Revision
1	3.3.05	PER DEP COMMENTS
2	4.12.05	P.D. WORKSHOP
3	4.26.05	Site Plan Submission
4	5.6.05	Per Peer Review

Job # 566  
Date: 18 Jan. 05  
Scale: 1" = 40'  
Drawn: MK  
Checked:

Dwg. No.  
**L3.0**

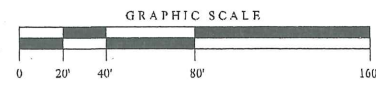
- GRADING, DRAINAGE AND UTILITIES NOTES:**
1. REFER TO SHEET L1.0 FOR BOUNDARY AND TOPOGRAPHIC INFORMATION.
  2. PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL VERIFY ALL AFFECTED GRADES. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE OWNER OR OWNER'S REPRESENTATIVE.
  3. ALL AREAS NOT REQUIRING GRADING SHALL BE LEFT UNDISTURBED. CONTRACTOR SHALL NOT DISTURB THESE AREAS AND PRESERVE EXISTING VEGETATION.
  4. GRADE ALL NEW WORK FOR POSITIVE DRAINAGE AND NO PUDDLING. MATCH EXISTING GRADES SMOOTHLY AND CONTINUOUSLY.
  5. LEVEL LIP SPREADERS SHALL BE RIP-RAPPED UNLESS OTHERWISE SPECIFIED OR NOTED ON THE PLANS, OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
  6. OWNER AND LANDSCAPE ARCHITECT WILL BE CLOSELY MONITORING FINISH GRADING IN THE FIELD. CONTRACTOR SHALL PERFORM FINISH WORK AS DIRECTED BY THE OWNER OR LANDSCAPE ARCHITECT TO ACHIEVE THE FINISH GRADE CONDITIONS SHOWN ON THE PLANS.
  7. ALL SITE IMPROVEMENTS INCLUDING UTILITIES MUST CONFORM TO THE MOST RECENT EDITION OF CITY OF PORTLAND'S TECHNICAL GUIDELINES AND STANDARDS.

**CREATED WETLAND AREAS:**

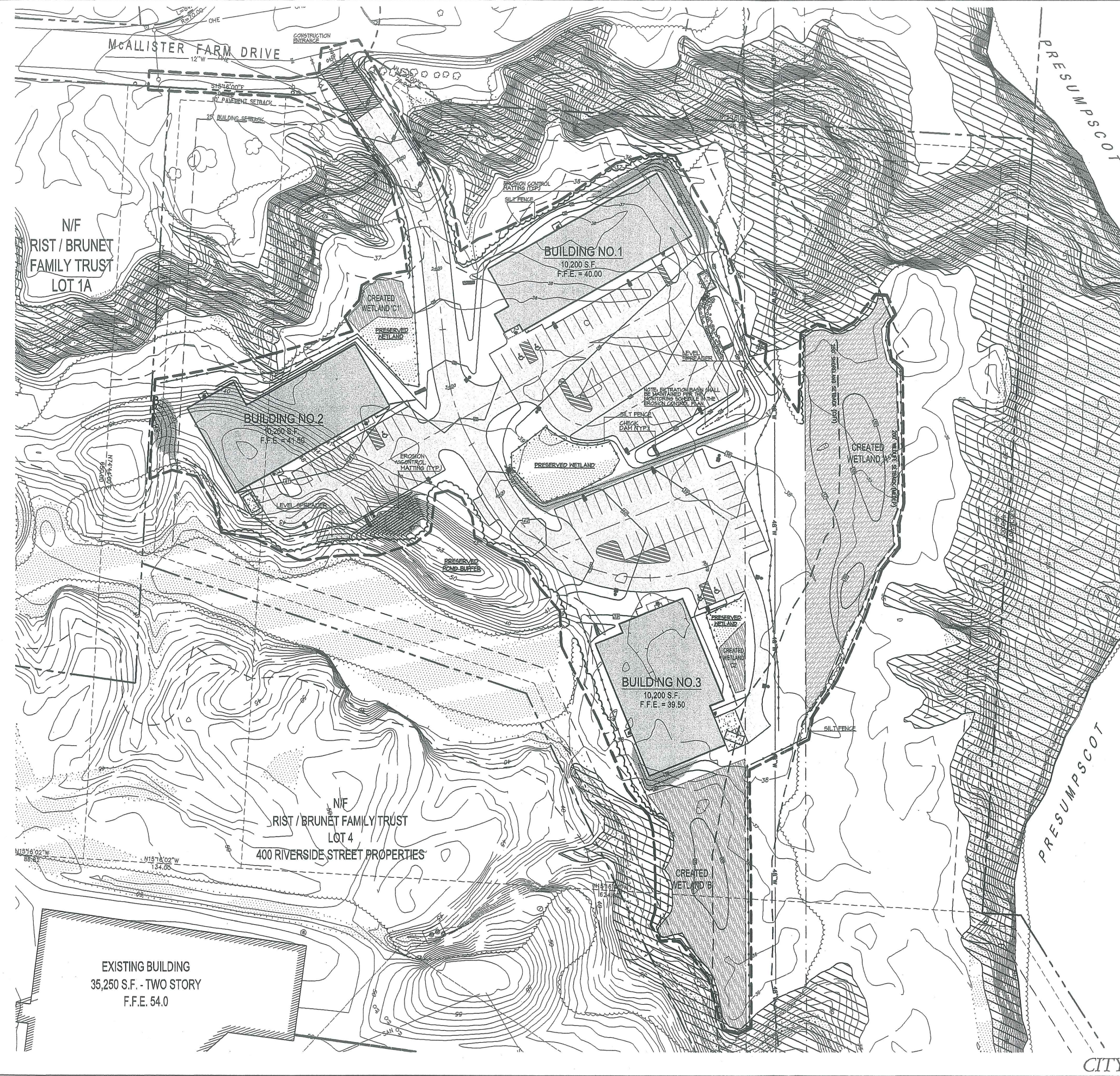
- WETLAND AREA 'A' = 19,025 SQUARE FEET
- WETLAND AREA 'B' = 11,220 SQUARE FEET
- WETLAND AREA 'C1' = 1,360 SQUARE FEET
- WETLAND AREA 'C2' = 122 SQUARE FEET
- TOTAL = 32,943 SQUARE FEET

**LEGEND**

EXISTING	PROPOSED
IRON PIPE OR ROD FOUND	EDGE OF PAVEMENT
MONUMENT FOUND	PAVEMENT
NOW OR FORMERLY	LIGHT POLE
UTILITY POLE	LIMIT OF WORK
SIGN	TREELINE
TELEPHONE MANHOLE	GUARDRAIL
SEWER MANHOLE	CONCRETE PAD
DRAIN MANHOLE	CONTOUR
CURB	SILT FENCE
WATER VALVE	RIP RAP
CONTOUR	WATER
SEWER LINE	UNDERGROUND TELEPHONE AND ELECTRICITY
STORM DRAIN LINE	STONE CHECK DAM
PROPERTY LINE	EROSION CONTROL MATTING
FEMA SETBACK	CREATED WETLAND
WETLAND	



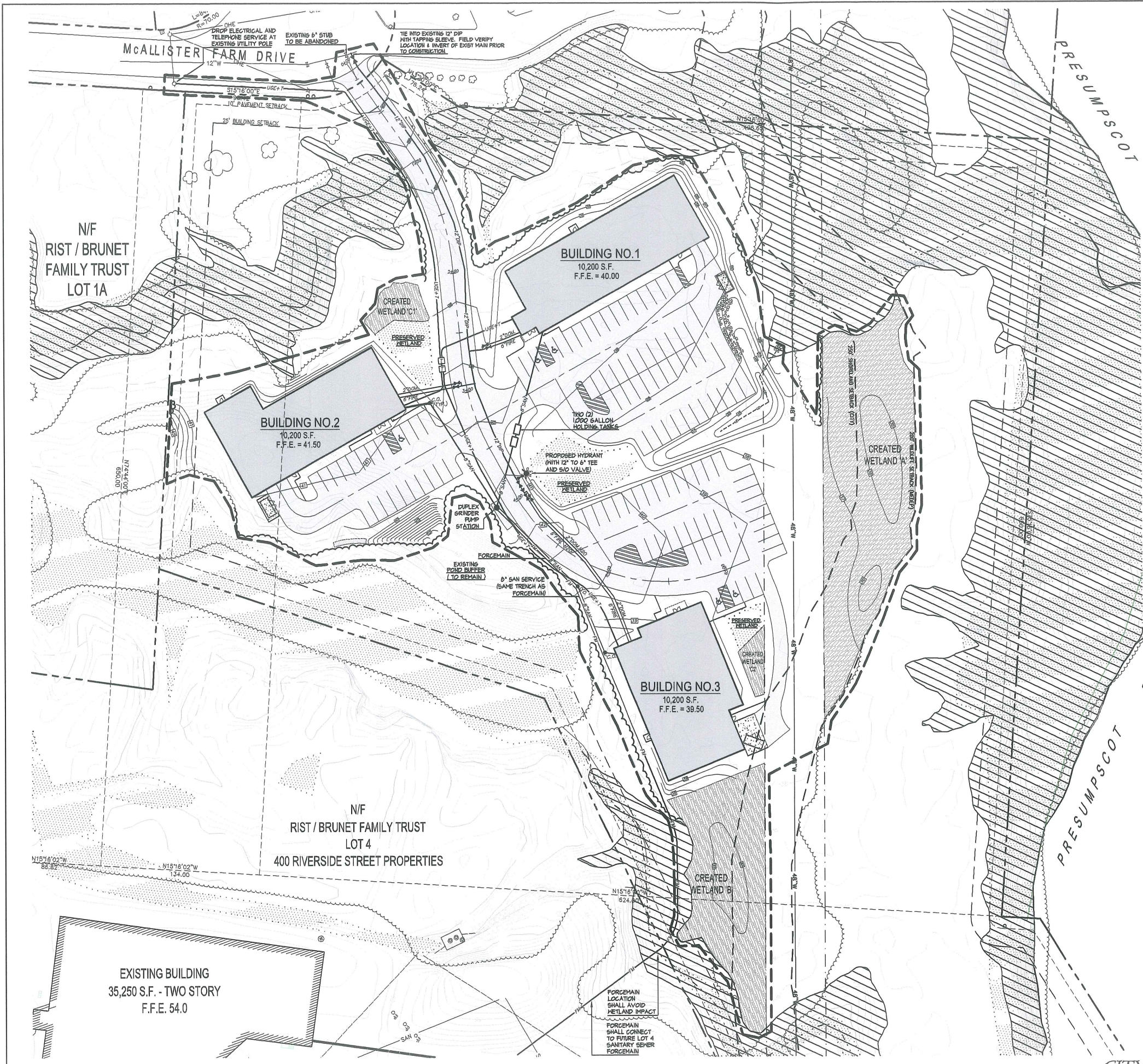
CITY OF PORTLAND: SITE PLAN SUBMISSION



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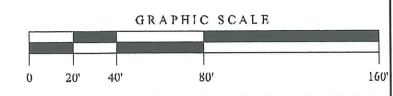
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- UTILITIES NOTES:**
- REFER TO SHEET L1.0 FOR BOUNDARY AND TOPOGRAPHIC INFORMATION.
  - PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL VERIFY ALL AFFECTED GRADES. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE OWNER OR OWNER'S REPRESENTATIVE.
  - ALL AREAS NOT REQUIRING GRADING SHALL BE LEFT UNDISTURBED. CONTRACTOR SHALL NOT DISTURB THESE AREAS AND PRESERVE EXISTING VEGETATION.
  - GRADE ALL NEW WORK FOR POSITIVE DRAINAGE AND NO PUDDLING. MATCH EXISTING GRADES SMOOTHLY AND CONTINUOUSLY.
  - LEVEL LIP SPREADERS SHALL BE RIP-RAPPED UNLESS OTHERWISE SPECIFIED OR NOTED ON THE PLANS, OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
  - OWNER AND LANDSCAPE ARCHITECT WILL BE CLOSELY MONITORING FINISH GRADING IN THE FIELD. CONTRACTOR SHALL PERFORM FINISH WORK AS DIRECTED BY THE OWNER OR LANDSCAPE ARCHITECT TO ACHIEVE THE FINISH GRADE CONDITIONS SHOWN ON THE PLANS.
  - ALL SITE IMPROVEMENTS INCLUDING UTILITIES MUST CONFORM TO THE MOST RECENT EDITION OF CITY OF PORTLAND'S TECHNICAL GUIDELINES AND STANDARDS.

**LEGEND**

EXISTING	PROPOSED
IRON PIPE OR ROD FOUND	EDGE OF PAVEMENT
MONUMENT FOUND	PAVEMENT
NON OR FORMERLY	LIGHT POLE
UTILITY POLE	LIMIT OF WORK
SIGN	TREELINE
TELEPHONE MANHOLE	GUARDRAIL
SEWER MANHOLE	CONCRETE PAD
DRAIN MANHOLE	CONTOUR
CURB	SILT FENCE
WATER VALVE	RIP RAP
CONTOUR	WATER MAIN
SEWER LINE	UNDERGROUND TELEPHONE AND ELECTRICITY
STORM DRAIN LINE	SANITARY SEWER
PROPERTY LINE	FORCEMAIN
FEMA SETBACK	2" DOMESTIC WATER
WETLAND	6" FIRE WATER
	TRANSFORMER
	DUPLEX GRINDER PUMP
	SANITARY HOLDING TANK
	CLEAN OUT
	SHUT-OFF/GATE VALVE
	12" TO 6" REDUCER VALVE
	FIRE HYDRANT
	CREATED WETLAND



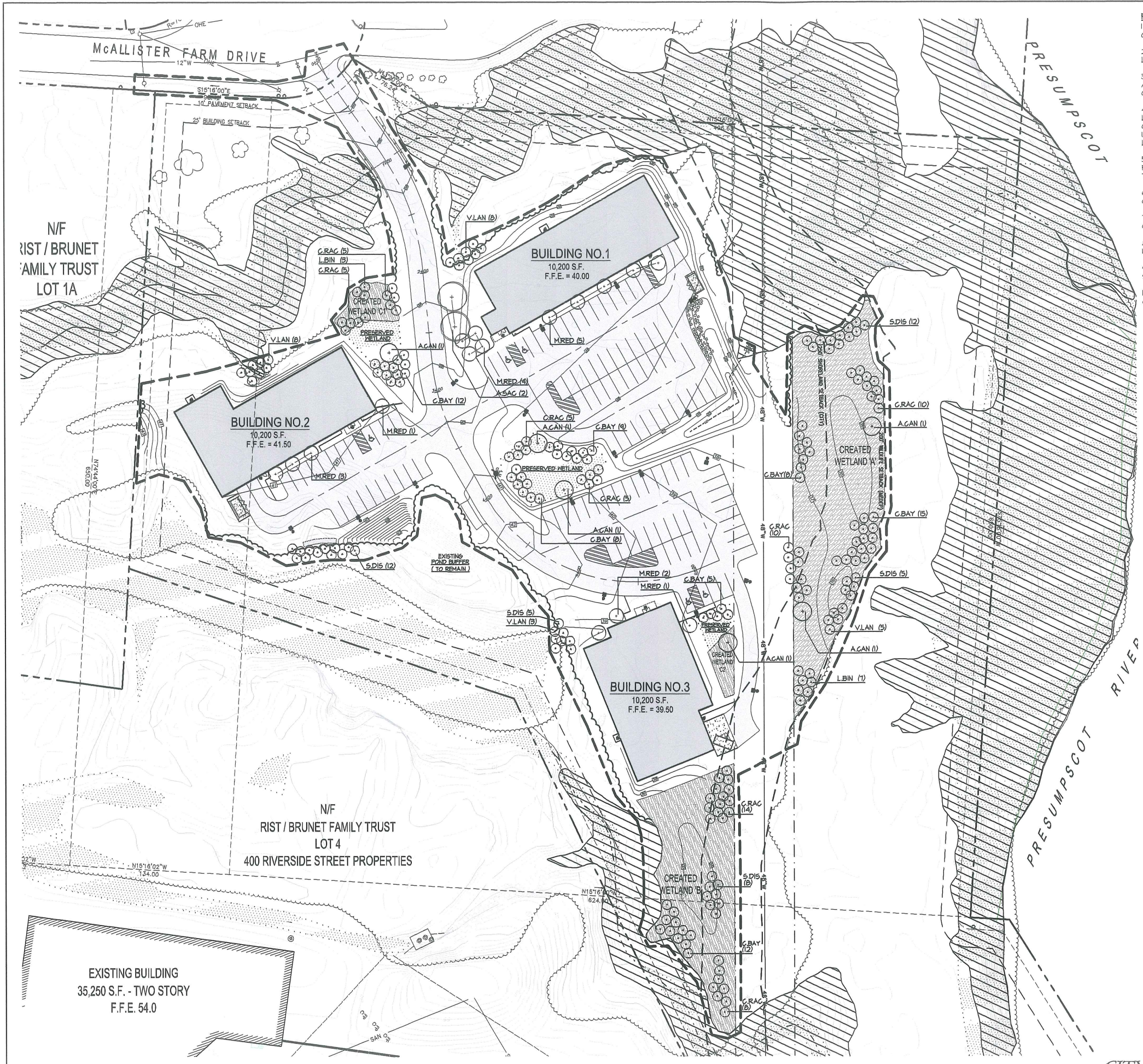
**APPLICANT:**  
 Rio-Tierra, LLC  
 655 Riverside Street  
 Portland, Maine 04103  
 p. 207.878.2024  
 f. 207.878.2085

**LOT 6 -- McALLISTER FARM DRIVE SUBDIVISION**  
 McALLISTER FARM DRIVE  
 PORTLAND, MAINE

Title: Utilities Plan

No.	Date	Revision
1	4.26.05	Site Plan Submission

Job # 566 Dwg. No.  
 Date: 18 Jan. 05  
 Scale: 1" = 40'  
 Drawn: MK  
 Checked:



- PLANTING NOTES:**
1. THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE PLAN.
  2. ANY SUBSTITUTION OF SPECIFIED PLANT MATERIAL SHALL BE APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT.
  3. ALL TREE AND SHRUB LOCATIONS SHALL BE STAKED OR MARKED BY CONTRACTOR AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO PLANTING. CONTRACTOR MUST GIVE A MINIMUM 3 DAY NOTICE BETWEEN STAKING AND PLANTING.
  4. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE EXISTENCE OF UNDERGROUND UTILITIES, THE LOCATION OF WHICH SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY EXCAVATION OPERATIONS. SHOULD THE LOCATION OF PROPOSED PLANTINGS CONFLICT WITH ANY OF SAID UTILITIES, ADJUST PLANT LOCATIONS ACCORDINGLY AFTER CONSULTATION WITH OWNER AND LANDSCAPE ARCHITECT.
  5. THE CONTRACTOR SHALL REPLACE OR REPAIR TO ORIGINAL CONDITION ANY AND ALL UTILITIES, PAVING, CURBING, ETC., DAMAGED AS A RESULT OF THEIR OPERATIONS AT NO ADDITIONAL COST TO THE OWNER.
  6. MULCH PLANTING BEDS AND TREE PITS WITH 3" FINELY SHREDDED AND AGED PINE BARK MULCH OR AS SPECIFIED ON THE PLAN.
  7. ALL DISTURBED LAWN AREAS TO BE LOAMED AND SEEDED AS NECESSARY AT NO ADDITIONAL COST TO OWNER.
  8. PLANT MATERIALS SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER PLANTING. ANY DEAD, UNSIGHTLY, OR UNHEALTHY PLANTS SHALL BE REPLACED IN KIND AT NO COST TO THE OWNER.
  9. CHALK MARK NORTH AT TREE BASE PRIOR TO DIGGING AT NURSERY. REPLANT ON SITE WITH SAME NORTH ORIENTATION FOR ALL TREES.
  10. A PRECONSTRUCTION MEETING SHALL BE HELD PRIOR TO LANDSCAPE CONTRACTOR BEGINNING CONSTRUCTION OR ORDERING PLANT MATERIALS.

99

**MOIR & SEREDIN**  
Landscape Architects, Inc.  
18 Pleasant Street, Portland, Maine 04101  
ph: 1.207.871.0003  
fax: 1.207.871.1419

**APPLICANT:**  
Rio-Tierra, LLC  
655 Riverside Street  
Portland, Maine 04103  
p. 207.878.2024  
f. 207.878.2085

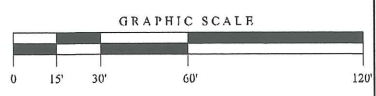
**LOT 6 -- McALLISTER FARM SUBDIVISION**  
McALLISTER FARM DRIVE,  
PORTLAND, MAINE

**PLANTING SCHEDULE:**

SYMBOL	QUANTITY	SIZE	BOTANICAL NAME	COMMON NAME	NOTES
<b>TREES</b>					
A.SAC	3	2.5" CAL.	Acer Saccharum	Sugar Maple	
M.RED	15	1.5" CAL.	Malus 'Red Jade'	Red Jade Apple	Weeping
<b>SHRUBS</b>					
A.CAN	6	6' ht.	Amelanchier canadensis	Shadblow	
C.BAY	69	2-3' ht.	Cornus sericea 'Bailey'	Red Twig Dogwood	
C.RAC	62	2-3' ht.	Cornus racemosa	Gray Dogwood	
L.BIN	10	#2 gal.	Lindera benzoin	Spicebush	
S.DIS	42	#3 gal.	Salix discolor	Fussy willow	
V.LAN	24	#3 gal.	Viburnum lantanoides	Hobblebush	
<b>HERBACEOUS (CREATED WETLAND AREAS)</b>					
AREA A	AREA B	AREAS C1 + C2	BOTANICAL NAME	COMMON NAME	
50	40	20	Juncus effusus	Soft Rush	
140	100	50	Leersia hexandra	Rice Cut Grass	
110	90	60	Scirpus atrovirens	Green Bulrush	
35	30	20	Scirpus cyperinus	Wool Grass	

**LEGEND**

EXISTING	PROPOSED
IRON PIPE OR ROD FOUND	EDGE OF PAVEMENT
MONUMENT FOUND	PAVEMENT
NOW OR FORMERLY	LIGHT POLE
UTILITY POLE	LIMIT OF WORK
SIGN	TREELINE
TELEPHONE MANHOLE	GUARDRAIL
SEWER MANHOLE	CONCRETE PAD
DRAIN MANHOLE	
CURB	
WATER VALVE	
CONTOUR	
SEWER LINE	
STORM DRAIN LINE	
PROPERTY LINE	
FEMA SETBACK	
WETLAND	



CITY OF PORTLAND: SITE PLAN SUBMISSION

\\Server\Projects\566-Porter\CAD\Civil\Resubm\April05\1.L5.dwg, L5.0-PDF, 05/06/2005 09:22:08 AM

Title:  
**Landscape and Planting Plan**

No.	Date	Revision
1	4.26.05	Site Plan Submission

Job # 566  
Date: 18 Jan. 05  
Scale: 1" = 30'  
Drawn: MK  
Checked:

Dwg. No.  
**L5.0**





18 Pleasant Street, Portland, Maine 04101  
 ph: 1.207.871.0083  
 fax: 1.207.871.1419

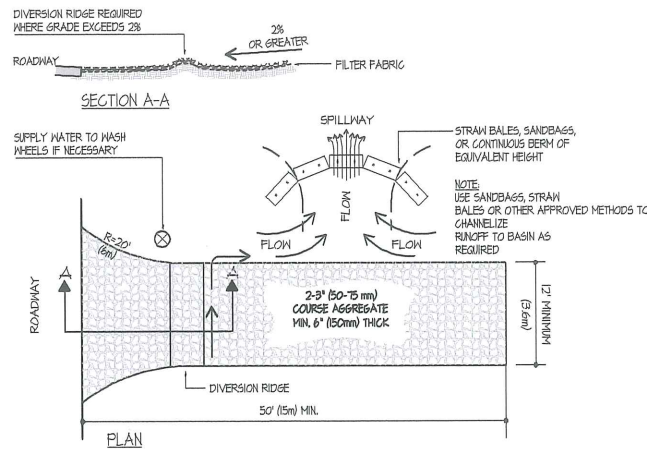
APPLICANT:  
 Rio-Tierra, LLC  
 655 Riverside Street  
 Portland, Maine 04103  
 p. 207.878.2024  
 f. 207.878.2085

LOT 6 -- McALLISTER FARM SUBDIVISION  
 McALLISTER FARM DRIVE  
 PORTLAND, MAINE

Title:  
 Site Details

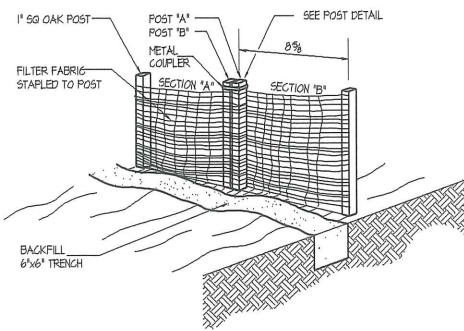
No.	Date	Revision
1	4.26.05	Site Plan Submission

Job # 566 Dwg. No.  
 Date: 18 Jan. 05  
 Scale: As Shown L6.0  
 Drawn: MK  
 Checked:



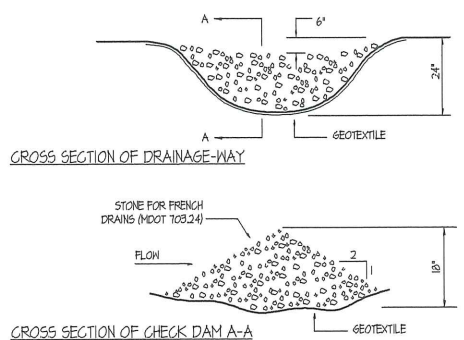
- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
  2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
  3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS ONTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

1 TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT  
 L6.0 NOT TO SCALE



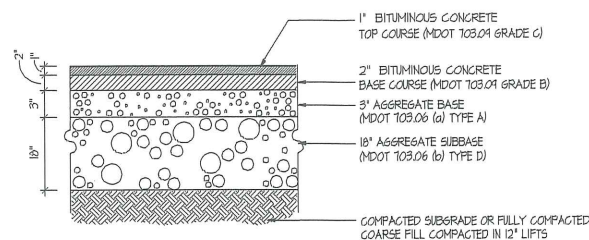
- NOTES:
1. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
  2. SILT FENCE SHALL BE MAINTAINED CONTINUALLY THROUGHOUT THE ENTIRE CONSTRUCTION CYCLE.

2 PREFABRICATED SILT FENCE  
 L6.0 NOT TO SCALE

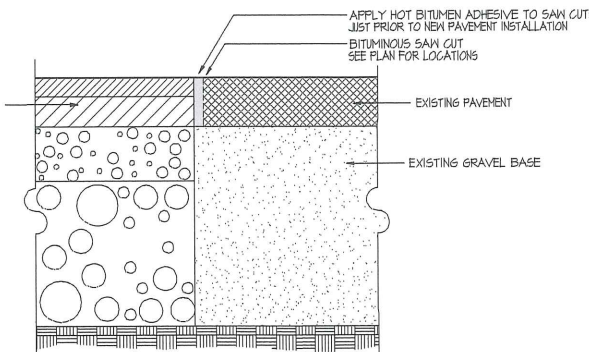


- NOTES:
- 1) ONCE THE AREAS UPSTREAM FROM THE CHECK DAM ARE STABILIZED BY VEGETATION, THE SEDIMENT TRAPPED BEHIND/WITHIN THE DAM SHALL BE RELOCATED TO AN AREA UNDERSOON FINAL GRADINGS.
  - 2) THE CHECK DAMS SHALL BE FLATTENED AND GRADED IN A MANNER WHICH PROTECTS THE AREA FROM EROSION AND CHANNEL BLOCKAGE. (GEOTEXTILE MUST BE REMOVED).
  - 3) THE GEOTEXTILE SHALL BE DISPOSED OFF-SITE.
  - 4) THE AREA CONTRIBUTORY TO THE CHECK DAM SHALL NOT EXCEED 10 ACRES.

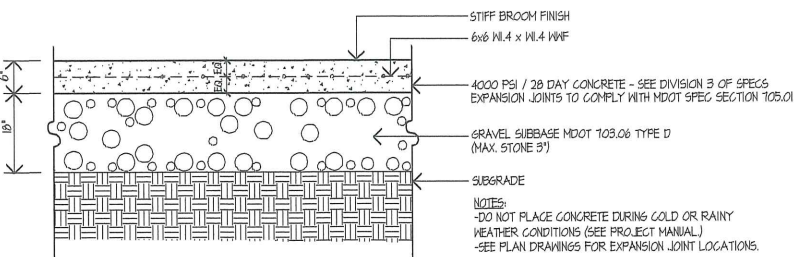
3 TEMPORARY STONE CHECK DAM IN DRAINAGE-WAY  
 L6.0 NOT TO SCALE



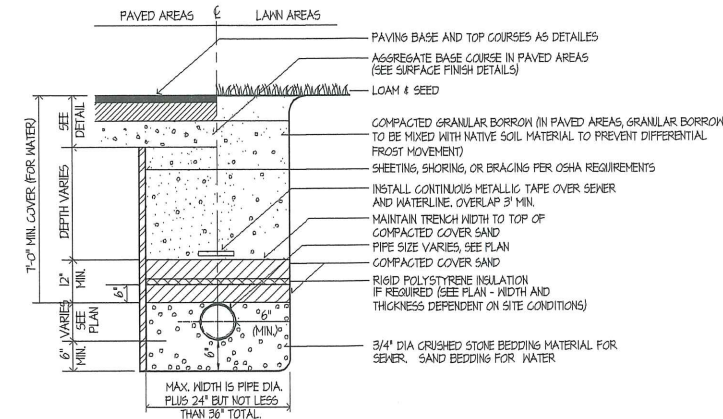
4 BITUMINOUS CONCRETE DRIVEWAY  
 L6.0 NOT TO SCALE



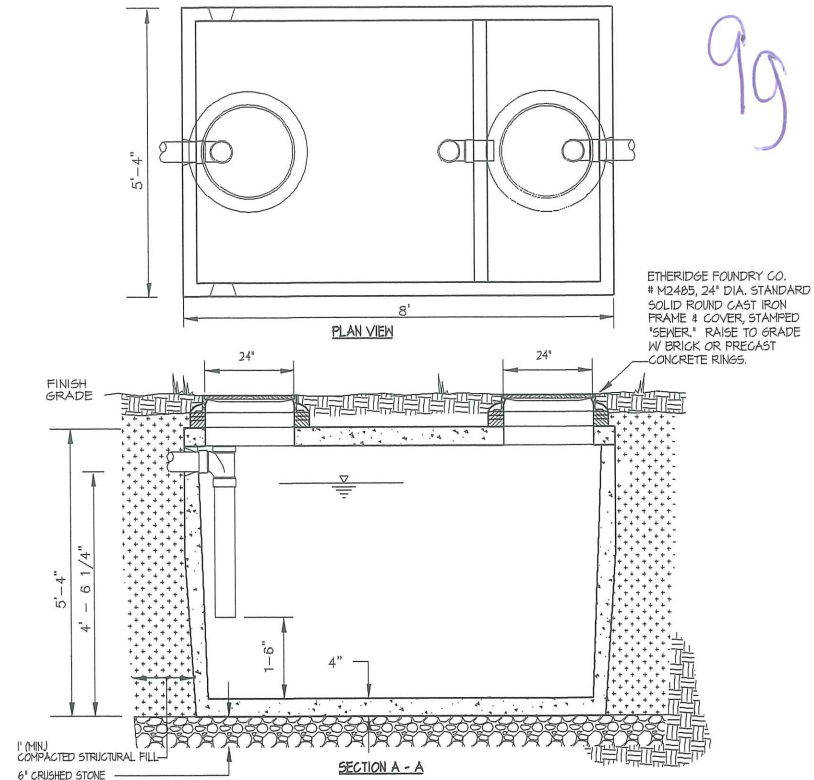
5 PAVEMENT JOINT DETAIL  
 L6.0 NOT TO SCALE



6 CONCRETE PAD  
 L6.0 NOT TO SCALE

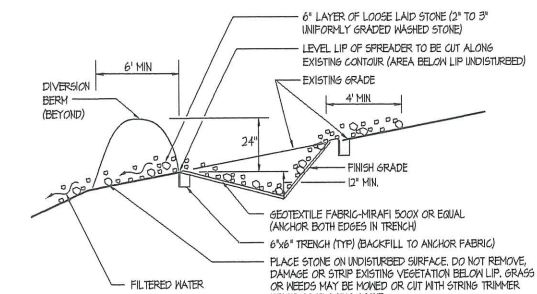


7 TYPICAL PIPE BEDDING DETAIL  
 L6.0 NOT TO SCALE



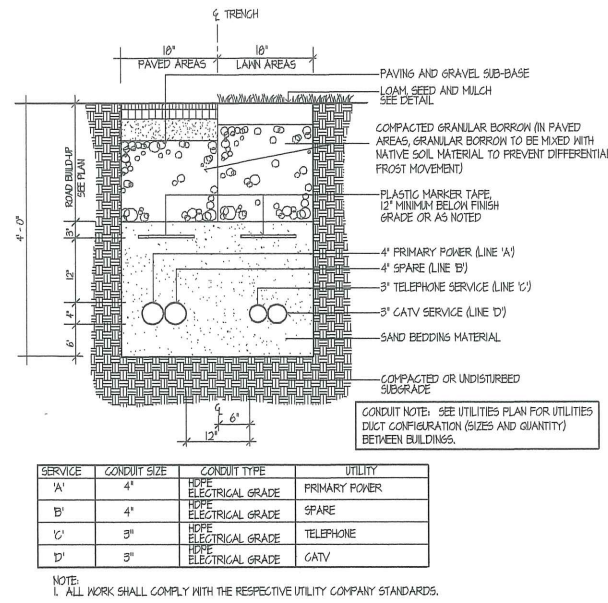
- GENERAL NOTES:
1. 4,000 PSI CONCRETE @ 28 DAYS.
  2. H-20 HEAVY DUTY STRUCTURE, AMERICAN CONCRETE INDUSTRIES, # 8850 OR FPROVED EQUAL.
  3. JOINT SEALED WITH BUTYL RUBBER.
  4. ALL INLETS AND OUTLETS FITTED WITH PVC COUPLINGS.
  5. EXCAVATIONS MUST BE 12\"/>

8 1000 GAL. SANITARY HOLDING TANK  
 L6.0 NOT TO SCALE



- CONSTRUCTION SPECIFICATIONS:
1. LEVEL SPREADERS SHALL BE INSTALLED UNDER THE DIRECT SUPERVISION OF THE ENGINEER.
  2. CONSTRUCT LEVEL LIP TO ZERO PERCENT GRADE TO ENSURE UNIFORM SPREADERS OF SEDIMENT-FREE RUN-OFF (CONVERTING CHANNEL FLOW TO SHEET FLOW).
  3. LEVEL SPREADER SHALL BE CONSTRUCTED ON UNDISTURBED SOIL (NOT FILL).
  4. PLACE GEOTEXTILE LINING ON SPREADER AS SHOWN, ANCHOR BOTH EDGES IN 6\"/>

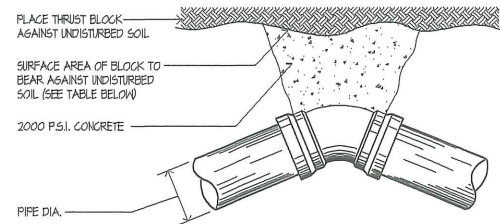
9 LEVEL LIP SPREADER  
 L6.0 NOT TO SCALE



SERVICE	CONDUIT SIZE	CONDUIT TYPE	UTILITY
A'	4"	HOPE ELECTRICAL GRADE	PRIMARY POWER
B'	4"	HOPE ELECTRICAL GRADE	SPARE
C'	3"	HOPE ELECTRICAL GRADE	TELEPHONE
D'	3"	HOPE ELECTRICAL GRADE	GATV

NOTE:  
1. ALL WORK SHALL COMPLY WITH THE RESPECTIVE UTILITY COMPANY STANDARDS.

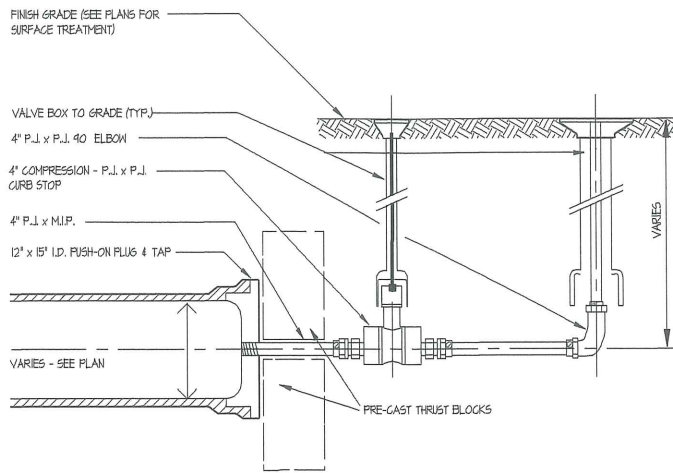
1 UNDERGROUND UTILITY TRENCH (MULTIPLE PIPE)  
L6.1 NOT TO SCALE



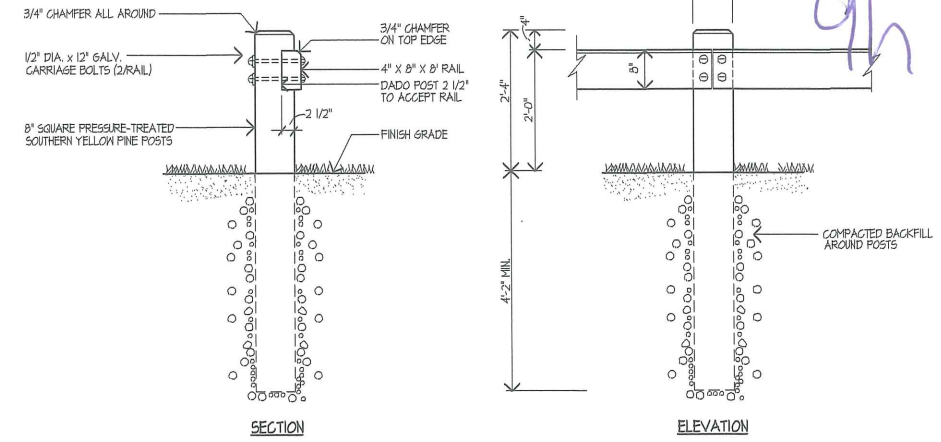
PIPE DIA.	BEARING AREA (SQ. FT.)				
	90° BEND	45° BEND	22.5° BEND	11.25° BEND	TIE
2"	2.0	2.0	2.0	2.0	2.0
3"	2.0	2.0	2.0	2.0	2.0
4"	2.0	2.0	2.0	2.0	2.0
6"	2.6	2.0	2.0	2.0	2.5
8"	4.6	3.5	2.0	2.0	4.4
10"	7.2	5.0	2.6	2.0	6.5
12"	10.4	6.8	3.4	2.0	8.4
14"	14.2	9.2	4.6	2.3	12.0
16"	18.5	11.4	5.8	2.4	14.8
18"	23.4	12.8	7.3	3.2	20.0

NOTES:  
1. THIS TABLE IS BASED ON ALLOWABLE SOIL BEARING PRESSURE NO LESS THAN 1800 LB./SQ. FT. (i.e. SILTY SOILS). IN SOFT CLAYS, THE ABOVE BEARING AREAS MAY NEED TO BE INCREASED. CONSULT WITH UTILITY COMPANY OR ARCHITECT/ENGINEER.  
2. THRUST BLOCKS TO BE USED AT ALL DIRECTIONAL CHANGES IN WATER MAINS AND SEWER FORCE MAINS.

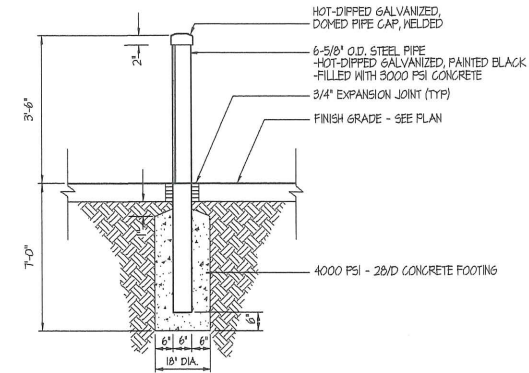
2 THRUST BLOCK DETAIL  
L6.1 NOT TO SCALE



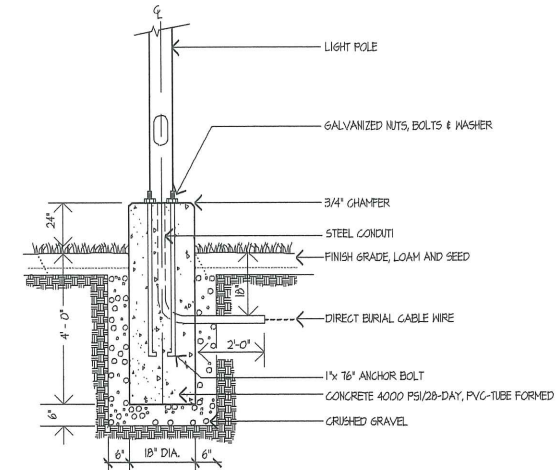
4 BLOW-OFF  
L6.1 NOT TO SCALE



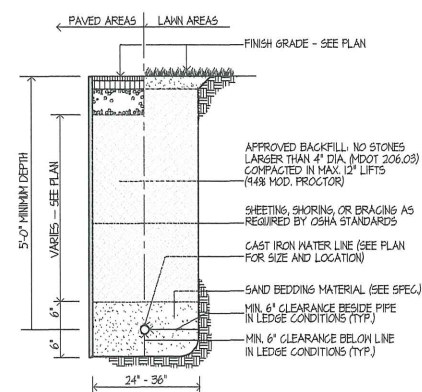
7 WOOD GUARD RAIL  
L6.1 NOT TO SCALE



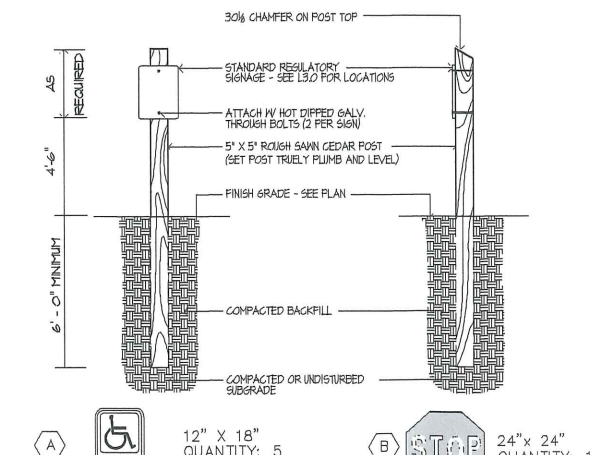
5 STEEL BOLLARD  
L6.1 NOT TO SCALE



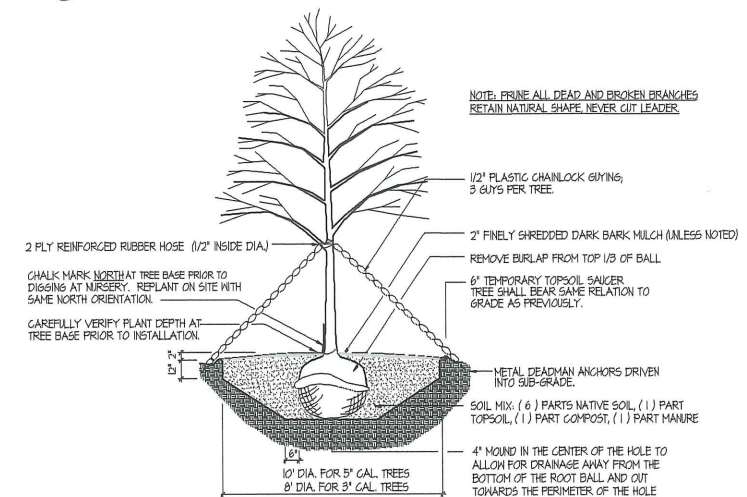
8 CONCRETE LIGHT POLE BASE  
L6.1 NOT TO SCALE



3 WATER SUPPLY TRENCH  
L6.1 NOT TO SCALE



6 SIGN DETAIL  
L6.1 NOT TO SCALE



9 DECIDUOUS TREE PLANTING  
L6.1 NOT TO SCALE



18 Pleasant Street, Portland, Maine 04101  
ph: 1.207.871.0003  
fax: 1.207.871.1419

APPLICANT:  
Rio-Tierra, LLC  
655 Riverside Street  
Portland, Maine 04103  
p. 207.878.2024  
f. 207.878.2085

LOT 6 -- McALLISTER FARM SUBDIVISION  
McALLISTER FARM DRIVE  
PORTLAND, MAINE

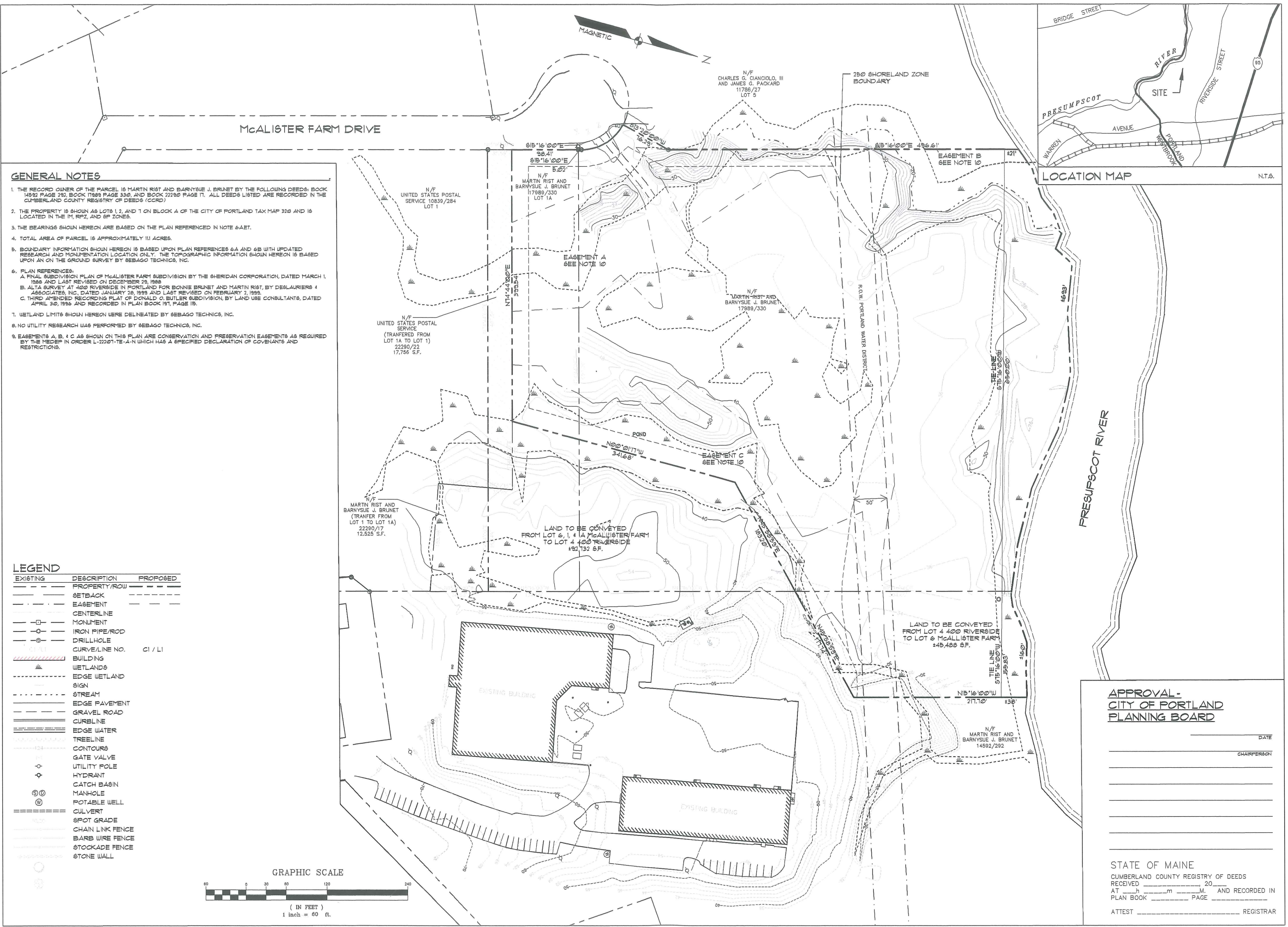
Site Details

No.	Date	Revision
1	4.24.05	Site Plan Submission

Job # 566 Dwg. No.  
Date: 18 Jan. 05  
Scale: As Shown  
Drawn: MK  
Checked:

L6.1

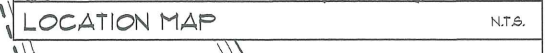
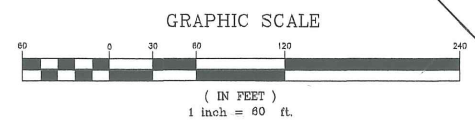
91



- GENERAL NOTES**
- THE RECORD OWNERS OF THE PARCEL IS MARTIN RIST AND BARNYSUE J. BRUNET BY THE FOLLOWING DEEDS: BOOK 14570 PAGE 291, BOOK 17889 PAGE 830, AND BOOK 22290 PAGE 11. ALL DEEDS LISTED ARE RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (CCRD).
  - THE PROPERTY IS SHOWN AS LOTS 1, 2, AND 1 ON BLOCK A OF THE CITY OF PORTLAND TAX MAP 320 AND IS LOCATED IN THE IM, RPZ, AND SP ZONES.
  - THE BEARINGS SHOWN HEREON ARE BASED ON THE PLAN REFERENCED IN NOTE 6A ET.
  - TOTAL AREA OF PARCEL IS APPROXIMATELY 111 ACRES.
  - BOUNDARY INFORMATION SHOWN HEREON IS BASED UPON PLAN REFERENCES 6A AND 6B WITH UPDATED RESEARCH AND MONUMENTATION LOCATION ONLY. THE TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON AN ON THE GROUND SURVEY BY SEBAGO TECHNICS, INC.
  - PLAN REFERENCES:
    - FINAL SUBDIVISION PLAN OF McALLISTER FARM SUBDIVISION BY THE SHERIDAN CORPORATION, DATED MARCH 1, 1988 AND LAST REVISED ON DECEMBER 29, 1989
    - ALTA SURVEY AT 400 RIVERSIDE IN PORTLAND FOR BONNIE BRUNET AND MARTIN RIST, BY DELAURIERS & ASSOCIATES, INC., DATED JANUARY 28, 1993 AND LAST REVISED ON FEBRUARY 2, 1995.
    - THIRD AMENDED RECORDING PLAT OF DONALD O. BUTLER SUBDIVISION, BY LAND USE CONSULTANTS, DATED APRIL 30, 1996 AND RECORDED IN PLAN BOOK 191, PAGE 119.
  - WETLAND LIMITS SHOWN HEREON WERE DELINEATED BY SEBAGO TECHNICS, INC.
  - NO UTILITY RESEARCH WAS PERFORMED BY SEBAGO TECHNICS, INC.
  - EASEMENTS A, B, & C AS SHOWN ON THIS PLAN ARE CONSERVATION AND PRESERVATION EASEMENTS AS REQUIRED BY THE MDRP IN ORDER L-22021-TE-A-N WHICH HAS A SPECIFIED DECLARATION OF COVENANTS AND RESTRICTIONS.

**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	SETBACK	---
---	EASEMENT	---
---	CENTERLINE	---
---	MONUMENT	---
---	IRON PIPE/ROD	---
---	DRILLHOLE	---
---	CURVE/LINE NO.	CI / LI
---	BUILDING	---
---	WETLANDS	---
---	EDGE WETLAND SIGN	---
---	STREAM	---
---	EDGE PAVEMENT	---
---	GRAVEL ROAD CURBLINE	---
---	EDGE WATER TREELINE	---
---	CONTOURS	---
---	GATE VALVE	---
---	UTILITY POLE	---
---	HYDRANT	---
---	CATCH BASIN	---
---	MANHOLE	---
---	POTABLE WELL	---
---	CULVERT	---
---	SPOT GRADE	---
---	CHAIN LINK FENCE	---
---	BARB WIRE FENCE	---
---	STOCKADE FENCE	---
---	STONE WALL	---



**APPROVAL - CITY OF PORTLAND PLANNING BOARD**

DATE \_\_\_\_\_

CHAIRPERSON \_\_\_\_\_

STATE OF MAINE

CUMBERLAND COUNTY REGISTRY OF DEEDS

RECEIVED \_\_\_\_\_ 20\_\_\_\_

AT \_\_\_\_\_ h \_\_\_\_\_ m \_\_\_\_\_ M. AND RECORDED IN

PLAN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_

ATTEST \_\_\_\_\_ REGISTRAR

REV.	BY:	DATE:	STATUS:

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

**Sebago Technics**  
 Engineering Expertise You Can Build On  
 One Chebot Street  
 Westbrook, Me 04098-1339  
 Tel (207) 686-0277

PROJECT NO. FIELD BOOK DESIGN CHKD DRAWN  
 010785C - - - - - MWE MWE

**SUBDIVISION AMENDMENT**

OF: **LOTS 1, 1A, & 6 McALLISTER FARM & LOT RIVERSIDE AND McALLISTER DRIVE, PORTLAND, MAINE & LOT 4 DONALD O BUTLER SUBDIVISION**

FOR RECORD OWNER: **MARTIN RIST & BONNIE BRUNET**  
 400 RIVERSIDE STREET, SUITE A7  
 PORTLAND, MAINE 04103

DATE SCALE  
 4/27/05 1"=60'

**SHEET 1 OF 1**