

320 A 2

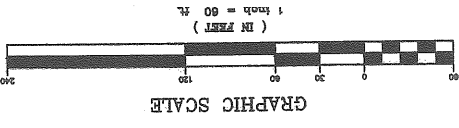
400 - 400 Riverside St

Riverside St

Riverside properties

LEGEND

EXISTING	DESCRIPTION
---	PROPERTY/ROW
---	SETBACK
---	EASEMENT
---	CENTRALINE
---	MONUMENT
---	IRON PIPE/ROD
---	DRILLHOLE
---	BUILDING
---	WETLAND
---	SIGN
---	STREAM
---	EDGE PAVEMENT
---	GRAVEL ROAD
---	CURBLINE
---	EDGE WATER
---	TREELINE



SPACE AND BULK REQUIREMENTS

PROVIDED	REQUIRED
MINIMUM LOT SIZE	NONE
MAXIMUM IMPERVIOUS SURFACE RATIO	15%
MAX BUILDING HT	26 FT
MIN SIDE YARD	3 FT
MIN REAR YARD	10 FT
MIN FRONT YARD	10 FT
MIN STREET FRONTAGE	60 FT
PAYMENT SETBACK FROM LOT BOUNDARIES	5 FT
PARKING STALL DIMENSION	9'x19'
PARKING SPACES	OFFICE (1/400 SF), 93 WAREHOUSE (1/1000 SF), 16

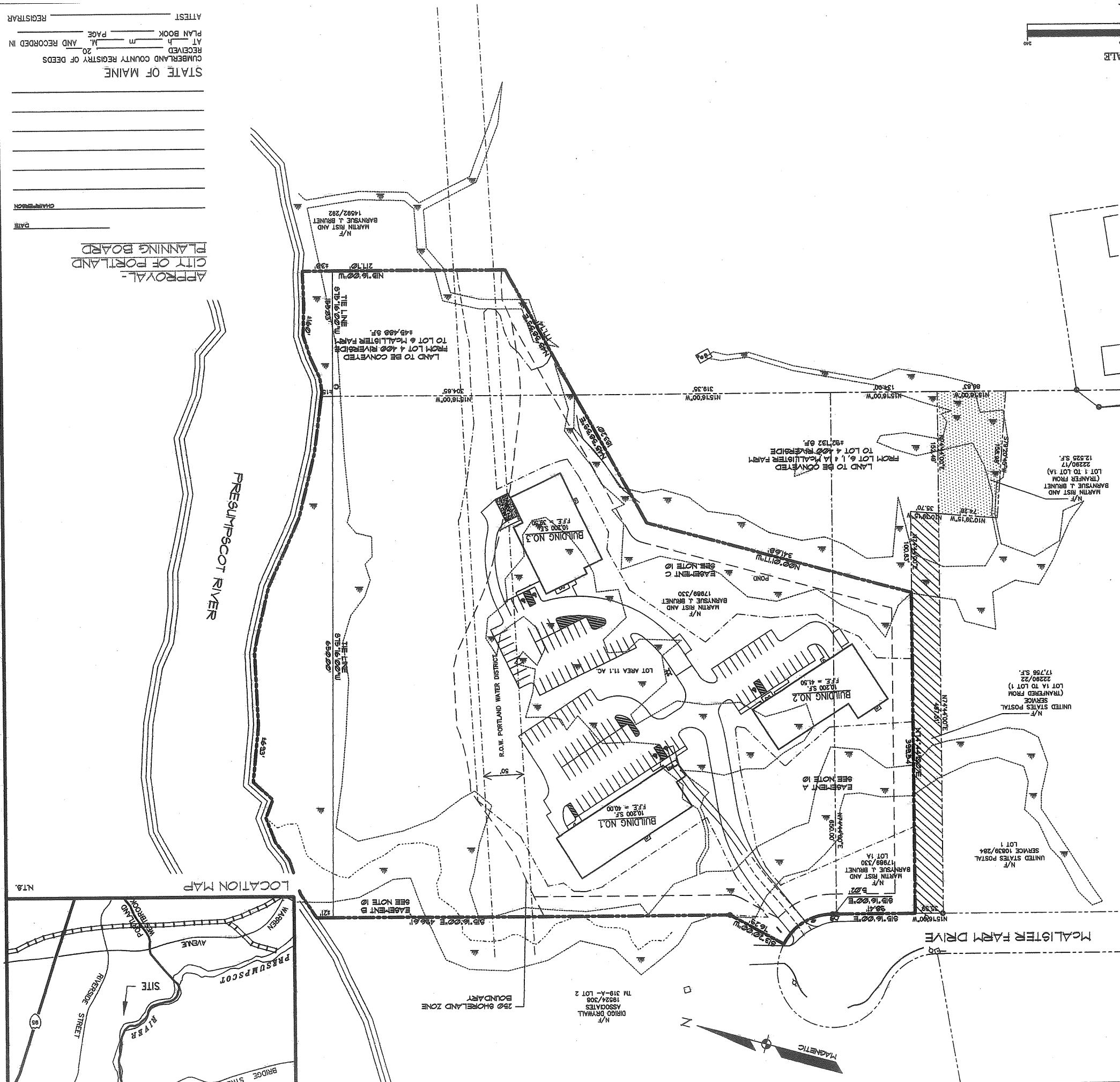
NOTE

LOT DATA
 MAP: 319 BLOCK A LOT 10
 MAP: 320 BLOCK A LOT 1
 MAP: 320 BLOCK A LOT 1

SIZE: 12.6 ACRES (116 PLANS)
 SIZE: 11.1 ACRES FROM (SIT. PLANS)

ZONE: MODERATE IMPACT INDUSTRIAL (M)

- GENERAL NOTES**
1. THE RECORD OWNER OF THE PARCEL IS MARTIN RIST AND BARNYSUE J. BRUNET BY PAGE 11. ALL DEEDS LISTED ARE RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (CORD).
 2. THE PROPERTY IS SHOWN AS LOTS 1 AND 1 ON BLOCK A OF THE CITY OF PORTLAND AND TAX MAP 320 AND LOT 10 ON BLOCK A MAP 319, AND IS LOCATED IN THE M, RPZ, AND SP ZONES.
 3. ALL PROPERTY LINE DATA TAKEN FROM "SUBDIVISION AMENDMENT-LOT 6" DATED 4/7/99 BY GEBAGO TECHNIC.
 4. TOTAL AREA OF PARCEL IS APPROXIMATELY 11.1 ACRES.
 5. ALL PROPOSED BUILDINGS AND OTHER IMPROVEMENTS TAKEN FROM PLAN BY MOHR & BERNDT, L.A.
 6. PLAN REFERENCES:
 A. FINAL SUBDIVISION PLAN OF McALISTER FARM SUBDIVISION BY THE SHERIDAN CORPORATION, DATED MARCH 1, 1969 AND LATER REVISED ON DECEMBER 29, 1989.
 B. ALTA SURVEY AT 400 RIVERSIDE IN PORTLAND FOR BONNIE BRUNET AND MARTIN RIST, BY DEALERSHIP & ASSOCIATES, INC., DATED JANUARY 20, 1999 AND LATER REVISED.
 C. THIRD AMENDED RECORDING PLAT OF DONALD O. BUTLER SUBDIVISION BY LAND USE CONSULTANTS, DATED APRIL 30, 1996 AND RECORDED IN PLAN BOOK 197, PAGE 119.
 D. WETLAND LIMITS HEREON WERE DELINEATED BY GEBAGO TECHNIC, INC.
 7. WETLAND AND PRESERVATION EASEMENTS A, B, & C AS SHOWN ON THIS PLAN ARE CONSERVATION AND PRESERVATION EASEMENTS AS REQUIRED BY THE WETLAND ORDER L-22207-TE-A-N WHICH HAS A SPECIFIED DECLARATION OF COVENANTS AND RESTRICTIONS TO BE RECORDED AT C.R.D. PRIOR TO CONSTRUCTION.
 8. A PORTION OF THE PROPERTY LIES WITHIN THE FLOOD HAZARD AREA OF THE PRESUMPSCOT RIVER AS DEFINED BY FEMA.



SUBDIVISION - REVISED LOT 6

OF: **McALISTER FARM & LOT 1**
& LOT 4, DONALD O BUTLER SUBDIVISION
 REVERED ST. AND McALISTER DRIVE, PORTLAND, MAINE
 PREPARED FOR DEVELOPER: **RIO TERRA LLC**
 OWNER OF RECORD: **MARTIN RIST & BARNYSUE J. BRUNET**
 400 RIVERSIDE STREET
 PORTLAND, MAINE 04103

OWEN HASKELL, INC.
 16 CASLO ST., PORTLAND, ME 04101 (207) 774-0434
 PROFESSIONAL LAND SURVEYORS

JOB NO. FIELD BOOK DESIGN CHKD DRAWN
 05-0887 - - - JWS RVC

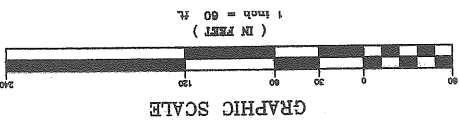
THIS PLAN HAS BEEN COMPILED BY OWEN HASKELL, INC. WITH NO FIELD SURVEY. CERTIFICATION IS MADE TO THE LOCATION OF THE PROPOSED IMPROVEMENTS ONLY.

DATE _____
 CHAIRMAN _____
 REGISTRAR _____

STATE OF MAINE
 CUMBERLAND COUNTY REGISTRY OF DEEDS
 RECEIVED _____ M. _____ P. _____
 AT _____ AND RECORDED IN _____
 PLAN BOOK _____ PAGE _____
 5/06/05 1"=60'
 SHEET 1 OF 1

LEGEND

EXISTING	DESCRIPTION
---	PROPERTY ROW
---	SETBACK
---	EASEMENT
---	CENTRALINE
---	MONUMENT
---	IRON PIPE/ROD
---	DRIPTHOLE
---	BUILDING
---	WETLAND
---	EDGE WETLAND
---	STRAIN
---	EDGE PAVEMENT
---	GRAVEL ROAD
---	QURELINE
---	EDGE WATER
---	TREELINE



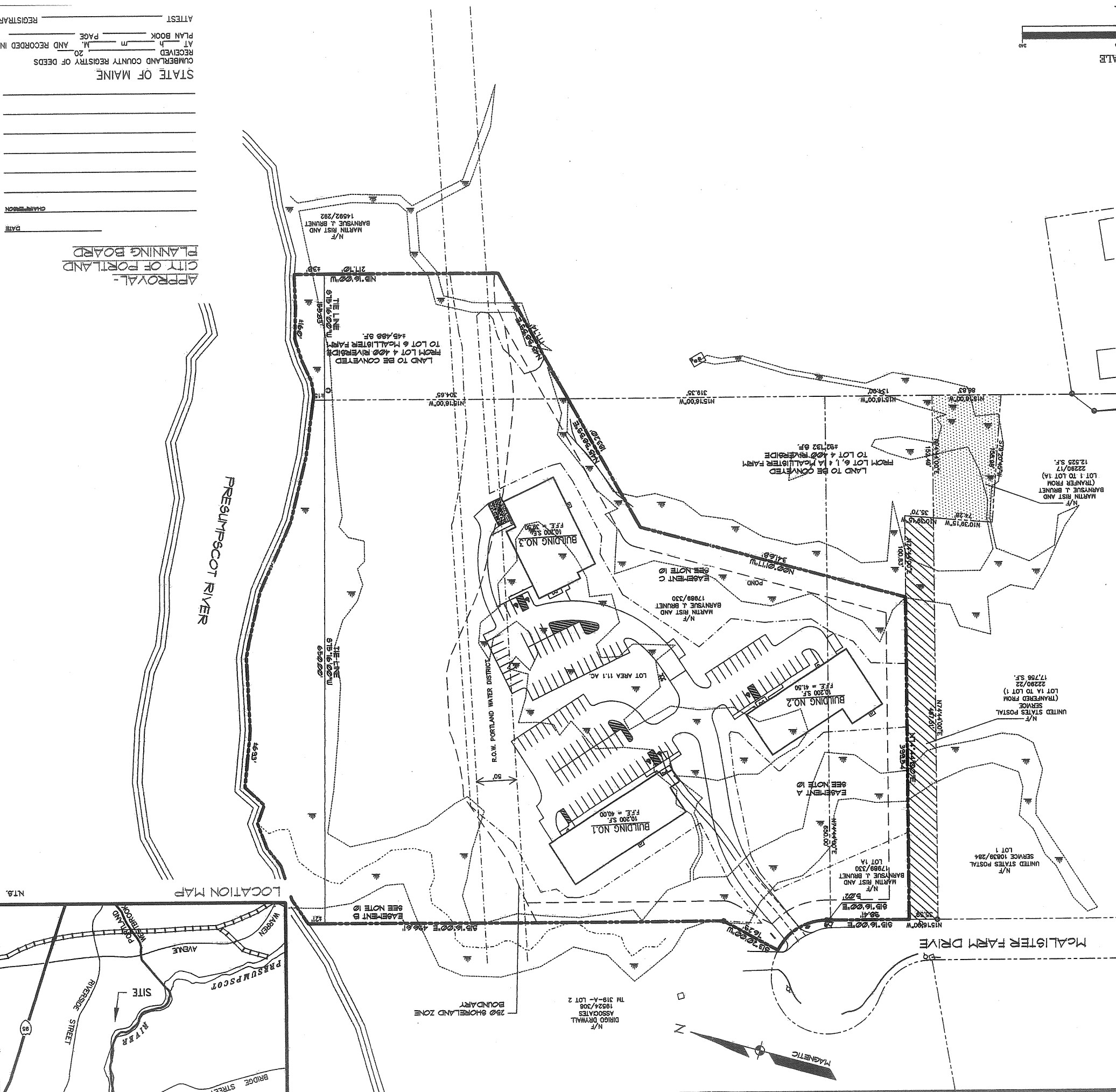
SPACE AND BULK REQUIREMENTS

REQUIRED	PROVIDED
MINIMUM LOT SIZE	NONE
MAXIMUM IMPERVIOUS SURFACE RATIO	15%
MAX BUILDING HT	75 FT
MIN SIDE YARD	3 FT
MIN REAR YARD	3 FT
MIN FRONT YARD	20 FT
MIN STREET FRONTAGE	60 FT
PAYMENT SETBACK	10 FT
FROM LOT BOUNDARIES	5 FT
PARKING STALL DIMENSION	9'x19'
PARKING SPACES	OFFICE (1400 SF), 29 WAREHOUSE (10000 SF), 16

NOTE

LOT DATA
 MAP: 319 BLOCK A LOT 10
 MAP: 320 BLOCK A LOT 1
 SIZE: 12.6 ACRES (148 PLANS)
 111 ACRES FROM (211 PLANS)
 ZONE: MODERATE IMPACT INDUSTRIAL (M1)

- GENERAL NOTES**
1. THE RECORD OWNER OF THE PARCEL IS MARTIN RIST AND BARNYSUE J. BRUNET BY PAGE 17. ALL DEEDS LISTED ARE RECORDED IN THE CUMBERLAND COUNTY REGISTRY.
 2. THE PROPERTY IS SHOWN AS LOTS 1 AND 7 ON BLOCK A OF THE CITY OF PORTLAND TAX MAP 320 AND LOT 10 ON BLOCK A MAP 319, AND IS LOCATED IN THE M, RZ, AND SP ZONES.
 3. ALL PROPERTY LINE DATA TAKEN FROM 'SUBDIVISION AMENDMENT-LOT 6' DATED 4/27/99 BY SEBAGO TECHNIC.
 4. TOTAL AREA OF PARCEL IS APPROXIMATELY 111 ACRES.
 5. ALL PROPOSED BUILDINGS AND OTHER IMPROVEMENTS TAKEN FROM PLAN BY MOHR & BERDIN L.A.
 6. PLAN REFERENCES:
 A. FINAL SUBDIVISION PLAN OF McALISTER FARM SUBDIVISION BY THE SHERIDAN CORPORATION DATED MARCH 1, 1989 AND LAST REVISED ON DECEMBER 29, 1989.
 B. ALTA SURVEY AT 400 RIVERSIDE IN PORTLAND FOR BONNIE BRUNET AND MARTIN RIST, BY DEBLUMIERE & ASSOCIATES, INC. DATED JANUARY 29, 1999 AND LAST REVISED ON FEBRUARY 2, 1999.
 C. THIRD AMENDED RECORDING PLAT OF DONALD O. BUTLER SUBDIVISION, BY LAND USE CONSULTANTS, DATED APRIL 30, 1996 AND RECORDED IN PLAN BOOK 191, PAGE 116.
 7. WETLAND LIMITS SHOWN HEREON WERE DELINEATED BY SEBAGO TECHNIC, INC.
 8. CONSERVATION AND PRESERVATION EASEMENTS A, B, & C AS SHOWN ON THIS PLAN ARE CONSERVATION AND PRESERVATION EASEMENTS AS REQUIRED BY THE MEDER IN ORDER L-22207-7E-A-N WHICH HAS A SPECIFIED DECLARATION OF COVENANTS AND RESTRICTIONS TO BE RECORDED AT CCRD, PRIOR TO CONSTRUCTION.
 9. A PORTION OF THE PROPERTY LIES WITHIN THE FLOOD HAZARD AREA OF THE PRESUMPSCOT RIVER AS DEFINED BY FEMA.



SHEET 1 OF 1

DATE: 5/06/05
 SCALE: 1"=60'

SUBDIVISION - REVISED LOT 6

OF: LOTS 1, 1A, 28 McALISTER FARM & LOT 4 & LOT 4 DONALD O BUTLER SUBDIVISION
 RIVERSIDE ST AND McALISTER DRIVE, PORTLAND, MAINE
 PREPARED FOR DEVELOPER: RIO TIERRA LLC
 655 RIVERSIDE ST PORTLAND, MAINE 04103

OWNER OF RECORD: MARTIN RIST & BARNYSUE J. BRUNET
 400 RIVERSIDE STREET PORTLAND, MAINE 04103

OWEN HASKELL, INC.
 16 CASCO ST., PORTLAND, ME 04101 (207) 774-0484
 PROFESSIONAL LAND SURVEYORS

JOB NO.	FIELD BOOK	DESIGN	CHKD	DRAWN
05-088P				

THIS PLAN HAS BEEN COMPILED BY OWEN HASKELL, INC. WITH NO FIELD SURVEY. CERTIFICATION IS MADE TO THE LOCATION OF THE PROPOSED IMPROVEMENTS ONLY.

STATE OF MAINE
 CUMBERLAND COUNTY REGISTRY OF DEEDS
 RECEIVED IN _____
 AT _____
 PLAN BOOK _____
 PAGE _____
 AND RECORDED IN _____
 ATTEST _____
 REGISTRAR

APPROVAL-
 CITY OF PORTLAND
 PLANNING BOARD

DATE _____
 CHAIRPERSON _____

LEGEND

EXISTING	DESCRIPTION
	BUILDING
	WETLANDS
	SIGN
	EDGE WETLAND
	STREET
	EDGE PAVEMENT
	GRAVEL ROAD
	CURBLE LINE
	EDGE WATER
	TREE LINE

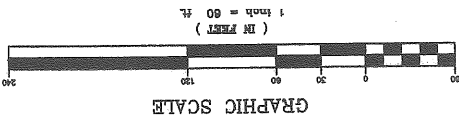
SPACE AND BULK REQUIREMENTS

REQUIRED	PROVIDED
MINIMUM LOT SIZE	NONE
MAXIMUM IMPERVIOUS SURFACE RATIO	16.1%
MAX BUILDING HT	26 FT
MIN SIDE YARD	3 FT
MIN REAR YARD	20 FT
MIN FRONT YARD	20 FT
MIN STREET FRONTAGE	60 FT
PAYMENT SETBACK FROM LOT BOUNDARIES	10 FT
PARKING STALL DIMENSION	9'x19'
PARKING SPACES	OFFICE (1/400 SF) 39 WAREHOUSE (1/1000 SF) 16

NOTE

LOT DATA
 MAP: 320 BLOCK A LOT 1
 MAP: 320 BLOCK A LOT 1
 MAP: 319 BLOCK A LOT 10
 SIZE: 12.6 ACRES (146 PLANS)
 111 ACRES FROM (6.11 PLANS)
 ZONE: MODERATE IMPACT INDUSTRIAL (MI)

- GENERAL NOTES**
1. THE RECORD OWNER OF THE PARCEL IS MARTIN RIST AND BARNYSUE J. BRUNET BY PAGE 11. ALL DEEDS LISTED ARE RECORDED IN THE CUMBERLAND COUNTY REGISTRY PAGE 11. ALL DEEDS LISTED ARE RECORDED IN THE CUMBERLAND COUNTY REGISTRY PAGE 11. ALL DEEDS LISTED ARE RECORDED IN THE CUMBERLAND COUNTY REGISTRY PAGE 11.
 2. THE PROPERTY IS SHOWN AS LOTS 1 AND 1 ON BLOCK A OF THE CITY OF PORTLAND TAX MAP 320 AND LOT 10 ON BLOCK A MAP 319, AND IS LOCATED IN THE M, RPZ, AND SF ZONES.
 3. ALL PROPERTY LINE DATA TAKEN FROM SUBDIVISION AMENDMENT-LOT 6 DATED 4/7/03 BY SEBAGO TECHNIC.
 4. TOTAL AREA OF PARCEL IS APPROXIMATELY 111 ACRES.
 5. ALL PROPOSED BUILDINGS AND OTHER IMPROVEMENTS TAKEN FROM PLAN BY MOHR & SEBARD L.A.
 6. PLAN REFERENCES:
 A. FINAL SUBDIVISION PLAN OF MCALISTER FARM SUBDIVISION BY THE GUERIAN CORPORATION, DATED MARCH 1, 1988 AND LAST REVISED ON DECEMBER 29, 1999.
 B. ALTA SURVEY AT 400 RIVERSIDE IN PORTLAND FOR BONNIE BRUNET AND MARTIN RIST, BY DEWLEIGH & ASSOCIATES, INC. DATED JANUARY 28, 1999 AND LAST REVISED ON FEBRUARY 2, 1999.
 C. THIRD AMENDED RECORDING PLAT OF DONALD O. BUTLER SUBDIVISION BY LAND USE CONSULTANTS, DATED APRIL 30, 1996 AND RECORDED IN PLAN BOOK 197, PAGE 118.
 7. WETLAND LIMITS HEREON WERE DELINEATED BY SEBAGO TECHNIC, INC.
 8. CONSERVATION AND PRESERVATION EASEMENTS A, B, & C AS SHOWN ON THIS PLAN ARE CONSERVATION AND PRESERVATION EASEMENTS AS REQUIRED BY THE MEDP IN ORDER L-22301-TE-A-N WHICH HAS A SPECIFIED DECLARATION OF COVENANTS AND RESTRICTIONS TO BE RECORDED AT C.R.P.D. PRIOR TO CONSTRUCTION.
 9. A PORTION OF THE PROPERTY LIES WITHIN THE FLOOD HAZARD AREA OF THE PRESUMPSCOT RIVER AS DEFINED BY FEMA.

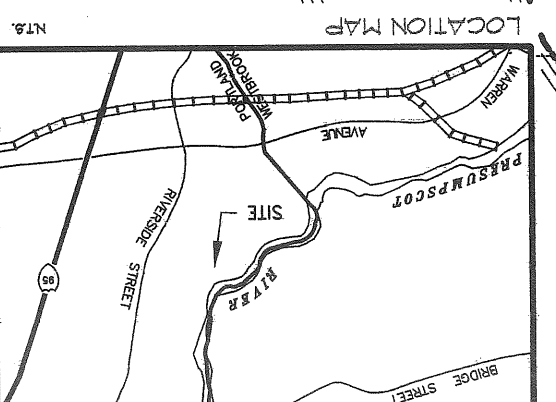
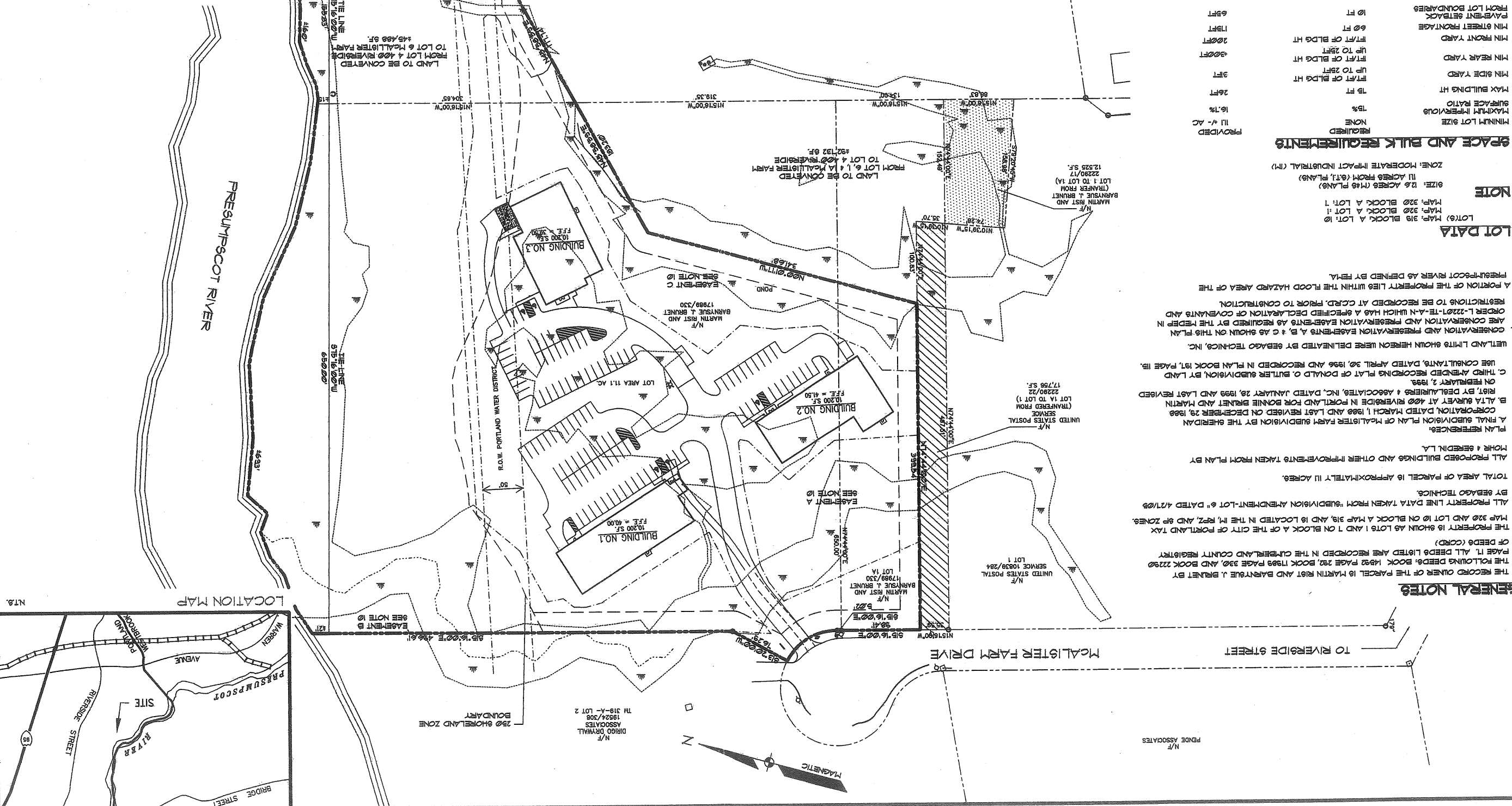


STATE OF MAINE
 CUMBERLAND COUNTY REGISTRY OF DEEDS
 RECEIVED _____
 AT _____ M. _____ P. _____
 5/06/05 DATE
 1"=60' SCALE
 SHEET 1 OF 1

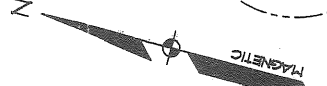
SUBDIVISION - REVISED LOT 6
 OF:
 LOTS 1, 1A, 200, MCALISTER FARM & LOT 4 & LOT 4 DONALD O BUTLER SUBDIVISION
 RIVERSIDE ST. AND MCALISTER DRIVE, PORTLAND, MAINE
 PREPARED FOR DEVELOPER:
 RIO TERRA LLC
 655 RIVERSIDE ST.
 PORTLAND, MAINE 04103
 OWNER OF RECORD:
 MARTIN RIST & BARNYSUE J. BRUNET
 400 RIVERSIDE STREET
 PORTLAND, MAINE 04103

OWEN HASKELL, INC.
 16 CADDO ST., PORTLAND, ME 04101 (207) 774-0434
 PROFESSIONAL LAND SURVEYORS
 JOB NO. FIELD BOOK DESIGN CHKD DRAWN
 05-0887 - - - JMS RVC

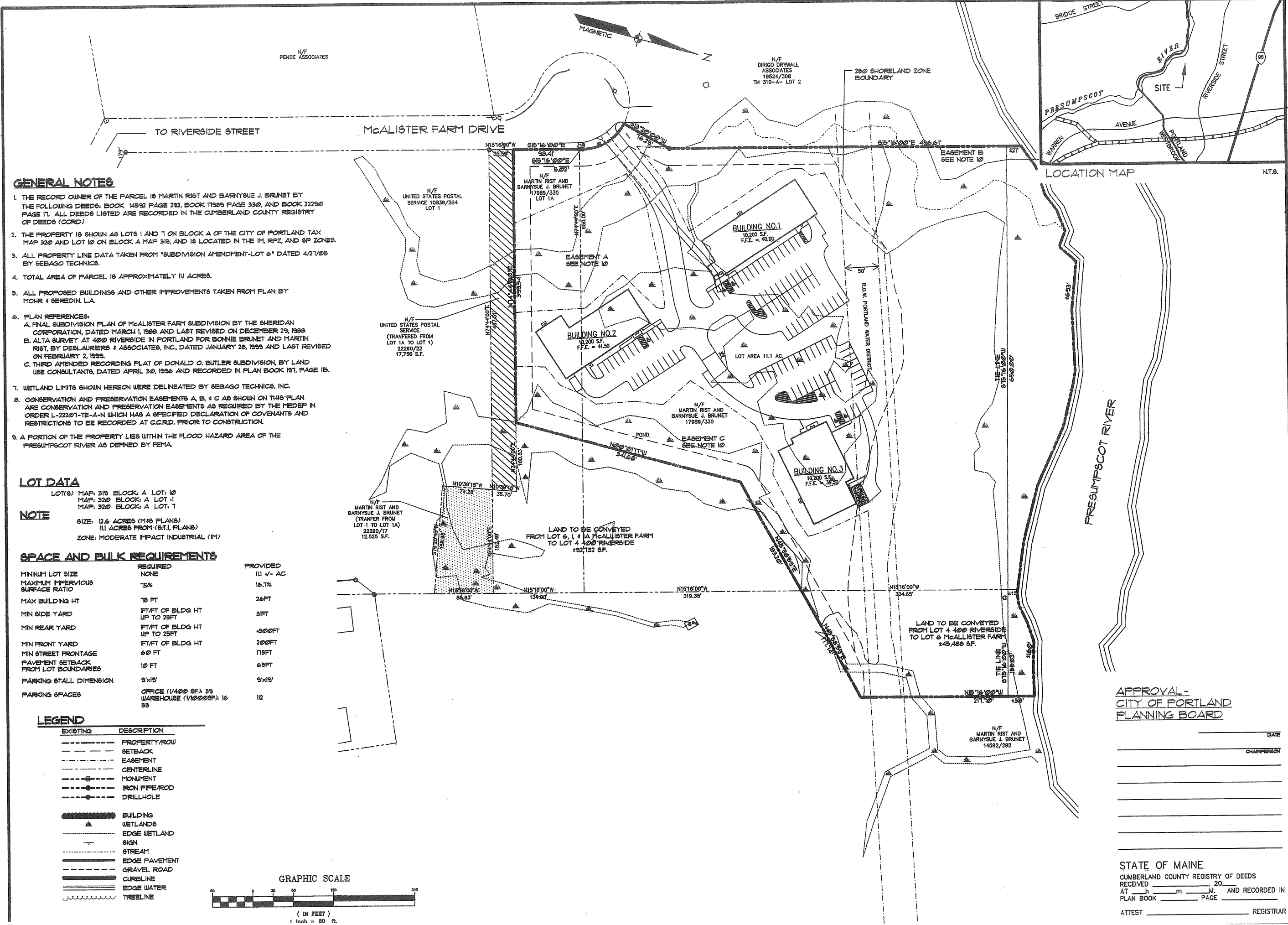
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N/F
 DIRIGO ORNAMENT ASSOCIATES
 1924/208
 TM 319-A-LOT 2



\\MCALESTR\MCALEISR.dwg Fri May 06 14:03:02 2005



GENERAL NOTES

1. THE RECORD OWNER OF THE PARCEL IS MARTIN RIST AND BARNYSUE J. BRUNET BY THE FOLLOWING DEEDS: BOOK 1492 PAGE 292, BOOK 1799 PAGE 330, AND BOOK 22290 PAGE 11. ALL DEEDS LISTED ARE RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (CORD).
2. THE PROPERTY IS SHOWN AS LOTS 1 AND 7 ON BLOCK A OF THE CITY OF PORTLAND TAX MAP 320 AND LOT 10 ON BLOCK A MAP 319, AND IS LOCATED IN THE IM, RFPZ, AND SF ZONES.
3. ALL PROPERTY LINE DATA TAKEN FROM "SUBDIVISION AMENDMENT-LOT 6" DATED 4/21/05 BY SEBAGO TECHNICS.
4. TOTAL AREA OF PARCEL IS APPROXIMATELY 111 ACRES.
5. ALL PROPOSED BUILDINGS AND OTHER IMPROVEMENTS TAKEN FROM PLAN BY MOHR & BEREDIN L.A.
6. PLAN REFERENCES:
 - A. FINAL SUBDIVISION PLAN OF McALISTER FARM SUBDIVISION BY THE SHERIDAN CORPORATION, DATED MARCH 1, 1988 AND LAST REVISED ON DECEMBER 29, 1988
 - B. ALTA SURVEY AT 400 RIVERSIDE IN PORTLAND FOR BONNIE BRUNET AND MARTIN RIST, BY DESLAURIERS & ASSOCIATES, INC., DATED JANUARY 28, 1999 AND LAST REVISED ON FEBRUARY 2, 1999.
 - C. THIRD AMENDED RECORDING PLAT OF DONALD O. BUTLER SUBDIVISION, BY LAND USE CONSULTANTS, DATED APRIL 30, 1996 AND RECORDED IN PLAN BOOK 191, PAGE 115.
7. WETLAND LIMITS SHOWN HEREON WERE DELINEATED BY SEBAGO TECHNICS, INC.
8. CONSERVATION AND PRESERVATION EASEMENTS A, B, & C AS SHOWN ON THIS PLAN ARE CONSERVATION AND PRESERVATION EASEMENTS AS REQUIRED BY THE MEDEP IN ORDER L-22207-TE-A-N WHICH HAS A SPECIFIED DECLARATION OF COVENANTS AND RESTRICTIONS TO BE RECORDED AT C.C.R.D. PRIOR TO CONSTRUCTION.
9. A PORTION OF THE PROPERTY LIES WITHIN THE FLOOD HAZARD AREA OF THE PRESUMPSCOT RIVER AS DEFINED BY FEMA.

LOT DATA

LOT(6) MAP: 319 BLOCK A LOT: 10
 MAP: 320 BLOCK A LOT: 1
 MAP: 320 BLOCK A LOT: 1

NOTE

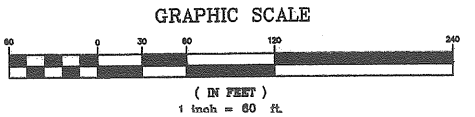
SIZE: 12.6 ACRES (146 PLANS)
 111 ACRES FROM (87), PLANS)
 ZONE: MODERATE IMPACT INDUSTRIAL (IM)

SPACE AND BULK REQUIREMENTS

	REQUIRED	PROVIDED
MINIMUM LOT SIZE	NONE	111 +/- AC
MAXIMUM IMPERVIOUS SURFACE RATIO	75%	16.7%
MAX BUILDING HT	75 FT	26FT
MIN SIDE YARD	FT/FT OF BLDG HT UP TO 25FT	3FT
MIN REAR YARD	FT/FT OF BLDG HT UP TO 25FT	300FT
MIN FRONT YARD	FT/FT OF BLDG HT	200FT
MIN STREET FRONTAGE	60 FT	115FT
PAVEMENT SETBACK FROM LOT BOUNDARIES	10 FT	65FT
PARKING STALL DIMENSION	9'x19'	9'x19'
PARKING SPACES	OFFICE (1/400 SF): 33 WAREHOUSE (1/1000SF): 16	112

LEGEND

- | EXISTING | DESCRIPTION |
|----------|---------------|
| --- | PROPERTY/ROW |
| --- | SETBACK |
| --- | EASEMENT |
| --- | CENTERLINE |
| --- | MONUMENT |
| --- | IRON PIPE/ROD |
| --- | DRILLHOLE |
| █ | BUILDING |
| █ | WETLANDS |
| --- | EDGE WETLAND |
| --- | SIGN |
| --- | STREAM |
| --- | EDGE PAVEMENT |
| --- | GRAVEL ROAD |
| --- | CURBLINE |
| --- | EDGE WATER |
| --- | TREELINE |



THIS PLAN HAS BEEN COMPILED BY OWEN HASKELL, INC. WITH NO FIELD SURVEY. CERTIFICATION IS MADE TO THE LOCATION OF THE PROPOSED IMPROVEMENTS ONLY.

OWEN HASKELL, INC.
 16 Casco St., Portland, ME 04101 (207) 774-0484
 PROFESSIONAL LAND SURVEYORS

JOB NO.	FIELD BOOK	DESIGN	CHKD	DRAWN
05-068P	-	-	JWS	RWC

SUBDIVISION - REVISED LOT 6
 OF: **LOTS 1, 1A, & 6 McALISTER FARM & LOT 4, DONALD O BUTLER SUBDIVISION**
 RIVERSIDE ST. AND McALISTER DRIVE, PORTLAND, MAINE
 PREPARED FOR DEVELOPER: OWNER OF RECORD:
RIO TERRA LLC MARTIN RIST & BARNYSUE J. BRUNET
 855 RIVERSIDE ST. PORTLAND, MAINE 04103

APPROVAL - CITY OF PORTLAND PLANNING BOARD

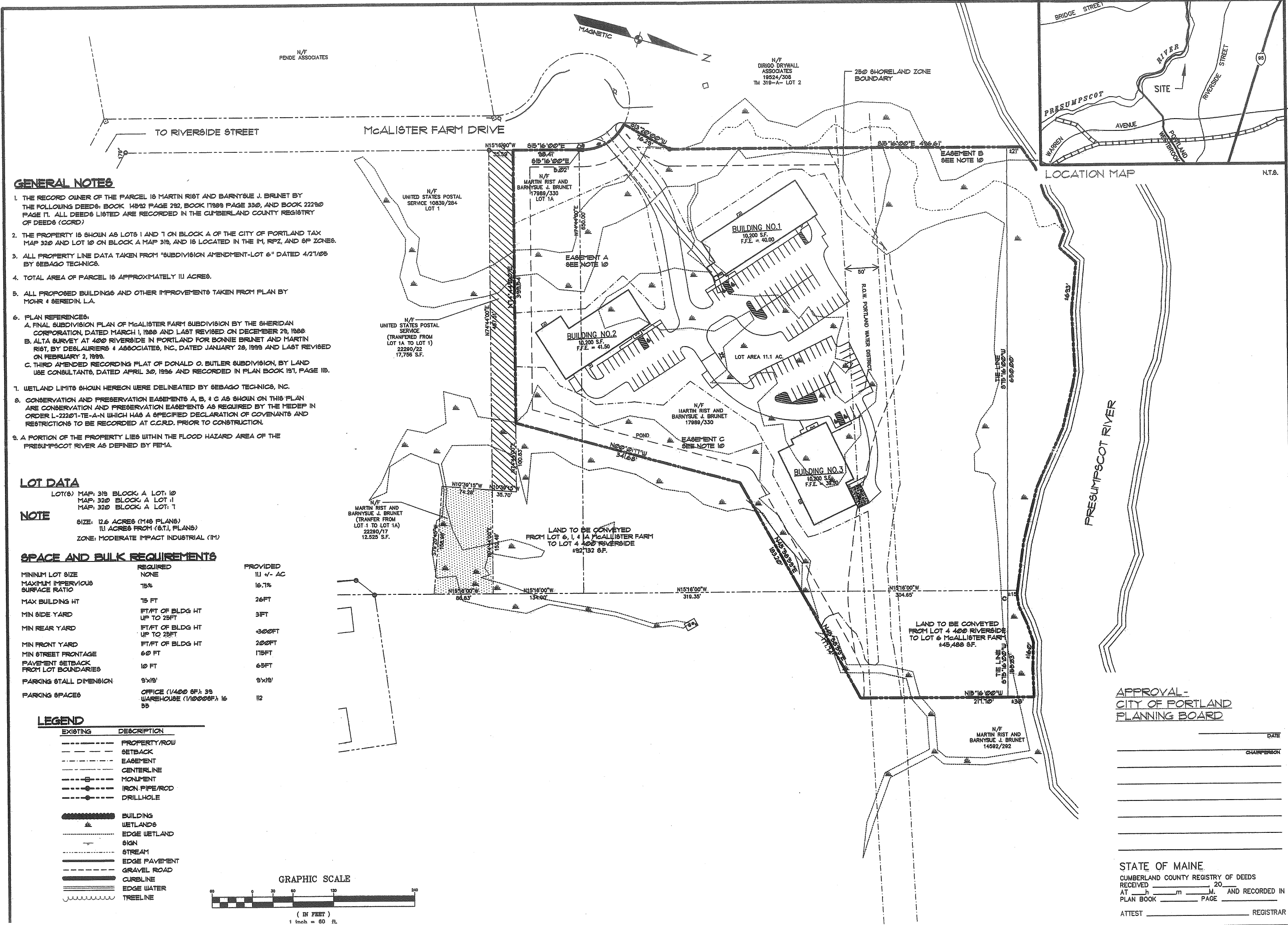
DATE _____
 CHAIRPERSON _____

STATE OF MAINE
 CUMBERLAND COUNTY REGISTRY OF DEEDS
 RECEIVED _____ 20____
 AT _____ h _____ m _____ AND RECORDED IN
 PLAN BOOK _____ PAGE _____

ATTEST _____ REGISTRAR

DATE _____ SCALE _____
 5/06/05 1"=80'

SHEET 1 OF 1



GENERAL NOTES

1. THE RECORD OWNER OF THE PARCEL IS MARTIN RIST AND BARNYSUE J. BRUNET BY THE FOLLOWING DEEDS: BOOK 14582 PAGE 282, BOOK 11988 PAGE 330, AND BOOK 22280 PAGE 11. ALL DEEDS LISTED ARE RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (CORD).
2. THE PROPERTY IS SHOWN AS LOTS 1 AND 7 ON BLOCK A OF THE CITY OF PORTLAND TAX MAP 320 AND LOT 10 ON BLOCK A MAP 319, AND IS LOCATED IN THE IM, RPZ, AND SF ZONES.
3. ALL PROPERTY LINE DATA TAKEN FROM "SUBDIVISION AMENDMENT-LOT 6" DATED 4/21/05 BY SEBAGO TECHNIC.
4. TOTAL AREA OF PARCEL IS APPROXIMATELY 111 ACRES.
5. ALL PROPOSED BUILDINGS AND OTHER IMPROVEMENTS TAKEN FROM PLAN BY MOHR & SEREDIN, L.A.
6. PLAN REFERENCES:
 - A. FINAL SUBDIVISION PLAN OF McALISTER FARM SUBDIVISION BY THE SHERIDAN CORPORATION, DATED MARCH 1, 1988 AND LAST REVISED ON DECEMBER 29, 1988
 - B. ALTA SURVEY AT 400 RIVERSIDE IN PORTLAND FOR BONNIE BRUNET AND MARTIN RIST, BY DESLAURIERS & ASSOCIATES, INC., DATED JANUARY 28, 1995 AND LAST REVISED ON FEBRUARY 2, 1999.
 - C. THIRD AMENDED RECORDING PLAT OF DONALD O. BUTLER SUBDIVISION, BY LAND USE CONSULTANTS, DATED APRIL 30, 1996 AND RECORDED IN PLAN BOOK 191, PAGE 115.
7. WETLAND LIMITS SHOWN HEREON WERE DELINEATED BY SEBAGO TECHNIC, INC.
8. CONSERVATION AND PRESERVATION EASEMENTS A, B, & C AS SHOWN ON THIS PLAN ARE CONSERVATION AND PRESERVATION EASEMENTS AS REQUIRED BY THE MEDEP IN ORDER L-22201-TE-A-N WHICH HAS A SPECIFIED DECLARATION OF COVENANTS AND RESTRICTIONS TO BE RECORDED AT C.C.R.D. PRIOR TO CONSTRUCTION.
9. A PORTION OF THE PROPERTY LIES WITHIN THE FLOOD HAZARD AREA OF THE PRESUMPSCOT RIVER AS DEFINED BY FEMA.

LOT DATA

LOT(6) MAP: 319 BLOCK: A LOT: 10
 MAP: 320 BLOCK: A LOT: 1
 MAP: 320 BLOCK: A LOT: 1

NOTE

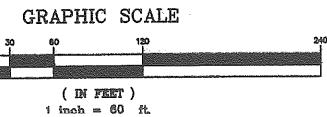
SIZE: 126 ACRES (116 PLANS)
 111 ACRES FROM (6.T), PLANS)
 ZONE: MODERATE IMPACT INDUSTRIAL (IM)

SPACE AND BULK REQUIREMENTS

	REQUIRED	PROVIDED
MINIMUM LOT SIZE	NONE	111 +/- AC
MAXIMUM IMPERVIOUS SURFACE RATIO	75%	16.7%
MAX BUILDING HT	75 FT	26FT
MIN SIDE YARD	FT/FT OF BLDG HT UP TO 25FT	3FT
MIN REAR YARD	FT/FT OF BLDG HT UP TO 25FT	300FT
MIN FRONT YARD	FT/FT OF BLDG HT	200FT
MIN STREET FRONTAGE	60 FT	115FT
PAVEMENT SETBACK FROM LOT BOUNDARIES	10 FT	65FT
PARKING STALL DIMENSION	9'x19'	9'x19'
PARKING SPACES	OFFICE (1/400 SF): 35 WAREHOUSE (1/1000SF): 16	12

LEGEND

- EXISTING PROPERTY/ROW
- SETBACK
- EASEMENT
- CENTERLINE
- MONUMENT
- IRON PIPE/ROD
- DRILLHOLE
- BUILDING
- WETLANDS
- EDGE WETLAND
- SIGN
- STREAM
- EDGE PAVEMENT
- GRAVEL ROAD
- CURBLINE
- EDGE WATER
- TREELINE



THIS PLAN HAS BEEN COMPILED BY OWEN HASKELL, INC. WITH NO FIELD SURVEY. CERTIFICATION IS MADE TO THE LOCATION OF THE PROPOSED IMPROVEMENTS ONLY.

OWEN HASKELL, INC.
 16 Casco St., Portland, ME 04101 (807) 774-0484
 PROFESSIONAL LAND SURVEYORS

JOB NO.	FIELD BOOK	DESIGN	CHKD	DRAWN	RWC
05-088P					

SUBDIVISION - REVISED LOT 6
 OF LOTS 1, 1A, & 66 McALISTER FARM & LOT 4 & 10 DONALD O BUTLER SUBDIVISION RIVERSIDE ST. AND McALISTER DRIVE, PORTLAND, MAINE
 PREPARED FOR DEVELOPER: MARTIN RIST & BARNYSUE J. BRUNET
 RIO TERRA LLC
 655 RIVERSIDE ST. PORTLAND, MAINE 04103

APPROVAL - CITY OF PORTLAND PLANNING BOARD

DATE _____
 CHAIRPERSON _____

STATE OF MAINE
 CUMBERLAND COUNTY REGISTRY OF DEEDS
 RECEIVED _____ 20____
 AT _____ h _____ m _____ M. AND RECORDED IN
 PLAN BOOK _____ PAGE _____

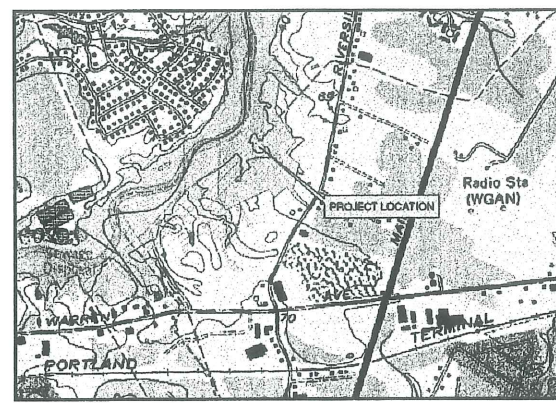
ATTEST _____ REGISTRAR

SHEET 1 OF 1

AH. 15

PROJECT PARCEL SITE
CITY OF PORTLAND TAX ASSESSOR'S MAP, LOT & BLOCK NUMBERS
MAP 320 BLOCK A LOTS 1 & 2

McALISTER FARM SUBDIVISION - LOT 6 McALISTER FARM DRIVE & 400 RIVERSIDE STREET PROPERTIES - LOT 4 400 RIVERSIDE STREET PORTLAND, MAINE



LOCATION MAP
N.T.S.

INDEX

- 1 COVER SHEET, GENERAL NOTES & LEGEND
- 2 OVERALL PROPERTY SUMMARY PLAN
- 2A EXISTING CONDITIONS PLAN
- 2B EXISTING CONDITIONS PLAN
- 3A SITE LAYOUT PLAN
- 3B SITE LAYOUT PLAN
- 4A GRADING, DRAINAGE AND EROSION CONTROL PLAN
- 4B GRADING, DRAINAGE AND EROSION CONTROL PLAN
- 5A UTILITY PLAN
- 5B UTILITY PLAN
- 6 SITE DETAILS
- 7 SITE DETAILS
- 8 UTILITY DETAILS
- 9 STORMDRAIN DETAILS
- 10 EROSION CONTROL DETAILS
- 11 EROSION CONTROL NOTES

PREPARED BY

CIVIL ENGINEER:
DeLuca-Hoffman Associates, Inc.
778 MAIN STREET, SUITE 8
SOUTH PORTLAND, MAINE 04106
(207) 775-1121

GEOTECHNICAL ENGINEER:
R.W. Gillespie & Associates, Inc.
86 INDUSTRIAL PARK ROAD, SUITE 4
SACO, MAINE 04072

ENVIRONMENTAL ENGINEER:
Sebago Technics, Inc.
1 CHABOT STREET
WESTBROOK, MAINE 04098

OWNER:
RIST/BRUNET FAMILY TRUST d.b.a.
THE GALLOWAY GROUP
400 RIVERSIDE STREET, SUITE A7
PORTLAND, MAINE 04103

APPLICANT:
RIST/BRUNET FAMILY TRUST d.b.a.
THE GALLOWAY GROUP
400 RIVERSIDE STREET, SUITE A7
PORTLAND, MAINE 04103

UTILITIES

SEWER
ATTN: FRANK BRANCELY
PORTLAND PUBLIC WORKS
55 PORTLAND STREET
PORTLAND, MAINE 04104
(207) 874-8300

WATER
ATTN: DAVE COFFIN
PORTLAND WATER DISTRICT
225 DOUGLAS STREET
P.O. BOX 3553
PORTLAND, MAINE 04102-3553
(207) 774-5961

ELECTRIC
ATTN: MARK KREIDER
CENTRAL MAINE POWER COMPANY
162 CANCO ROAD
P.O. BOX 1801
PORTLAND, MAINE 04104
(207) 828-2683

GAS
ATTN: RICK BELLEMARE
NORTHERN UTILITIES, INC.
1075 FOREST AVENUE
PORTLAND, MAINE 04103
(207) 797-8002, EXT.6247

TELEPHONE
ATTN: BRUCE CROSBY
BELL ATLANTIC TELEPHONE COMPANY
5 DAVIS FARM ROAD
PORTLAND, MAINE 04103
(207) 797-1788

CABLE
ATTN: DEBRA PAIEMENT AND/OR
DON JOHNSON
TIME WARNER CABLE
118 JOHNSON ROAD
PORTLAND, MAINE 04102
(207) 253-2262 (DEBRA)
(207) 253-2291 (DON)

FIRE ALARM
ATTN: LT. GAYLEN McDOUGAL
PORTLAND FIRE DEPT.
CENTRAL FIRE STATION
CONGRESS STREET
PORTLAND, MAINE 04101
(207) 8874-8300

DIG SAFE
1-800-225-4977

PERMITS

LOCAL
SITE PERMIT APPROVAL
(DELEGATED AUTHORITY FOR SITE LAW REVIEW)

**BUILDING PERMIT/
CERTIFICATE OF OCCUPANCY**

STATE
NRPA TIER 2
McALISTER FARM SUBDIVISION - LOT 6, NOT
INCLUDED WITH THIS APPLICATION

NRPA TIER 1
400 RIVERSIDE STREET PROPERTIES, TO BE
INCLUDED WITH THIS APPLICATION

MAINE CONSTRUCTION GENERAL PERMIT (MCGP)

GOVERNING BODY
DIRECTOR OF PLANNING AND
ECONOMIC DEVELOPMENT
CITY OF PORTLAND PLANNING AUTHORITY
CITY HALL
CONGRESS STREET
PORTLAND, MAINE 04102
(207) 879-330
ATTN: SARAH HOPKINS

BUILDINGS AND CODE ENFORCEMENT OFFICE
CITY OF PORTLAND, CITY HALL
CONGRESS STREET
(207) 874-8300
ATTN: MIKE NUGENT

MeDEP BUREAU OF LAND & WATER QUALITY
312 CANCO ROAD
PORTLAND, MAINE 04103

MeDEP BUREAU OF LAND & WATER QUALITY
312 CANCO ROAD
PORTLAND, MAINE 04103

MeDEP BUREAU OF LAND & WATER QUALITY
312 CANCO ROAD
PORTLAND, MAINE 04103

STATUS
TO BE SUBMITTED BY
ENGINEER ON BEHALF OF OWNER

**TO BE SUBMITTED BY
OWNER/GENERAL CONTRACTOR**

**TO BE SUBMITTED BY
ENVIRONMENTAL ENGINEER**

**TO BE SUBMITTED BY
ENVIRONMENTAL ENGINEER**

**TO BE SUBMITTED 14 DAYS IN
ADVANCE OF CONSTRUCTION**

LEGEND

EXISTING	PROPOSED
○	— 25' — CONTOUR LINE
□	— EDGE OF PAVEMENT
N/F	— SILT FENCE
○	— UTILITY LINE
○	— BUILDING SIGN
○	— BOLLARD
○	— CATCH BASIN
○	— INLET SEDIMENT BARRIER
○	— STORM DRAIN MANHOLE
○	— STORM DRAIN LINE
○	— EXISTING TREE TO BE REMOVED
○	— EXISTING TREE TO REMAIN
○	— GRANITE CURB
○	— BITUMINOUS CURB
○	— PROPOSED BUILDING NUMBER
○	— IRON PIPE FOUND
○	— MONUMENT FOUND
○	— NOW OR FORMERLY
○	— UTILITY POLE SIGN
○	— TELEPHONE MANHOLE
○	— SEWER MANHOLE
○	— DRAIN MANHOLE
○	— CURB
○	— WATER VALVE
○	— TREELINE
○	— LIGHT POLE (UNLESS NOTED)
○	— EXISTING BUILDING
○	— CATCH BASIN
○	— EXISTING CONTOUR
○	— SEWER LINE
○	— STORM DRAIN LINE
○	— WATER LINE
○	— GAS LINE
○	— EDGE OF PAVEMENT
○	— STREAM
○	— SURVEY CONTROL POINT
○	— WETLAND LIMIT
○	— 100 YEAR FLOOD PLAIN PER FEMA MAP

GENERAL NOTES:

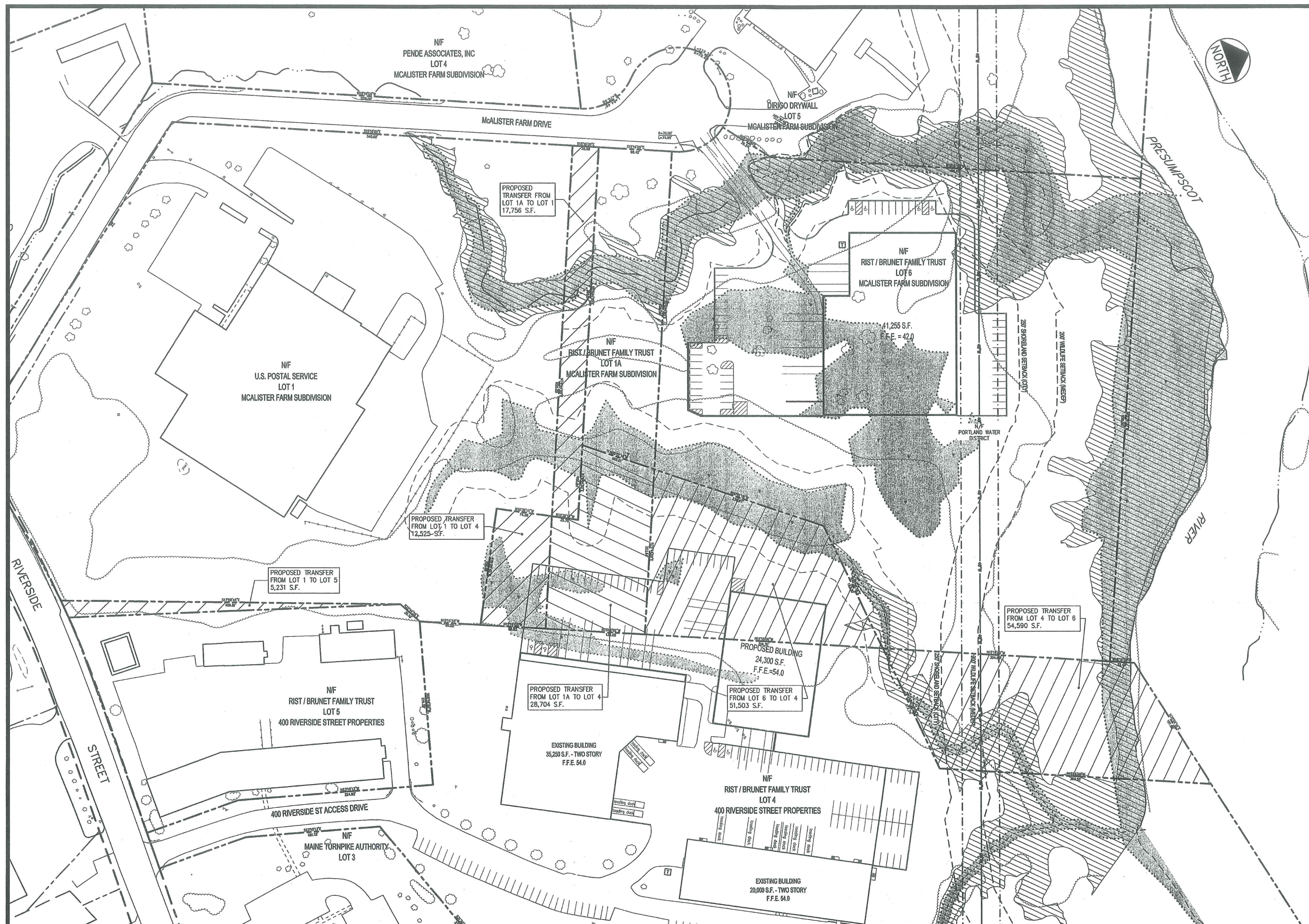
- THIS PROJECT IS SUBJECT TO THE TERMS AND CONDITIONS OF ALL REGULATIONS ADMINISTERED BY THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MAINE DEPARTMENT OF TRANSPORTATION, LOCAL UTILITY COMPANIES AND THE CITY OF PORTLAND.
- THE CONTRACTOR SHALL REFER TO THE DESIGN-BUILD PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF THE ENTRANCES, PAVING, EXITS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE POINTS.
- ALL REQUIRED AND NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL SERVICE CONNECTIONS.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ONSITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
- ALL MATERIAL SCHEDULES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL PREPARE HIS OWN MATERIAL SCHEDULES BASED UPON HIS PLAN REVIEW. ALL SCHEDULES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ORDERING MATERIALS OR PERFORMING WORK.
- ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, THE PROJECT SPECIFICATIONS, AND THE CITY OF PORTLAND TECHNICAL STANDARDS.
- TOPOGRAPHIC SURVEY INFORMATION WAS TAKEN FROM CITY OF PORTLAND AERIAL SURVEY, ELECTRONIC DATA PROVIDED BY CITY OF PORTLAND GIS DEPARTMENT.
- BOUNDARY SURVEY INFORMATION TAKEN FROM FINAL SUBDIVISION RECORDING PLAT, BY THE SHERIDAN CORPORATION, APPROVED BY THE PORTLAND PLANNING DEPARTMENT DATED 7.26.88. CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 176, PAGE 44.
- FEMA MAP COMMUNITY PANEL NUMBER 230051 0006B, EFFECTIVE DATE 7.17.86.
- WETLANDS HAVE BEEN DELINEATED BY MARK HAMPTON ASSOCIATES, INC. UNDER SEPARATE CONTRACT TO SHERIDAN CORP. AND THE GALLOWAY GROUP. WETLAND FLAGGING WAS LOCATED BY GPS METHODS AND PROVIDED TO DELUCA-HOFFMAN ASSOCIATES, INC. BY SEBAGO TECHNICS, INC.
- THE PROPERTY SHOWN ON THIS PLAN MAY BE DEVELOPED AND USED ONLY AS DEPICTED IN THIS APPROVED PLAN. ALL ELEMENTS AND FEATURES OF THE PLAN AND ALL THE PROPERTY WHICH APPEAR IN THE RECORD OF THE PLANNING BOARD PROCEEDINGS ARE CONDITIONS OF THE APPROVAL. NO CHANGE FROM THE CONDITIONS OF APPROVALS IS PERMITTED UNLESS AN AMENDED PLAN IS FIRST SUBMITTED TO AND APPROVED BY THE PLANNING AUTHORITY.
- LAND TRANSFER PLAN OF 400 RIVERSIDE STREET PREPARED FOR THE GALLOWAY GROUP BY SEBAGO TECHNICS, INC.
- ALL SIGNAGE SHALL CONFORM TO THE STANDARDS FOR SIZE, HEIGHT, LOCATION AND REFLECTIVITY SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PARKING STALLS SHALL BE MARKED OFF BY 4" SOLID YELLOW LINES EXCEPT AS SHOWN ON THE LAYOUT PLAN.
- ALL CURB SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS AS NOTED ON THE PLANS: GRANITE AND BITUMINOUS CONCRETE CURB SHALL MEET THE REQUIREMENTS OF MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS 609.03 AND 609.04 AND CITY OF PORTLAND TECHNICAL STANDARDS.
- ALL DIMENSIONING UNLESS OTHERWISE NOTED IS TO THE FACE OF CURB OR FACE OF BUILDING.
- BUILDING SUMMARY: LOT 6 PROPOSED 41,255 S.F.
LOT 4 PROPOSED 24,300 S.F.
- THE FACILITY IS SERVICED BY PUBLIC WATER AND OVERHEAD UTILITIES. PUBLIC SEWER SERVICE IS TO BE AVAILABLE ON RIVERSIDE STREET BY THE END OF 2004 ACCORDING TO THE PORTLAND PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR OR DEVELOPER IS REQUIRED TO NOTIFY THE CITY OF PORTLAND PUBLIC WORKS INSPECTION SERVICES DIVISION (874-8300 EXT. 8838), CODE ENFORCEMENT OFFICE AND DEVELOPMENT REVIEW COORDINATOR IN WRITING THREE (3) DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION. SHOULD THE IMPROVEMENTS BE OF SIGNIFICANT CONCERN OR IN A SENSITIVE AREA, A PRECONSTRUCTION MEETING MAY BE REQUIRED AT THE DISCRETION OF THE PUBLIC WORKS AUTHORITY OR DEVELOPMENT REVIEW COORDINATOR.
- AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE. THE DEVELOPER, OR AN AUTHORIZED AGENT, MUST BE AVAILABLE AT ALL TIMES DURING CONSTRUCTION.
- WARNING SIGNS, MARKERS, BARRICADES OR FLAGMEN MUST BE EMPLOYED ON ADJACENT STREETS AS NECESSARY.
- CONSTRUCTION DEBRIS SHALL BE CONTAINERIZED AND DISPOSED OF IN ACCORDANCE WITH THE CITY OF PORTLAND'S SOLID WASTE ORDINANCE CHAPTER 12.
- ANY DAMAGE TO PUBLIC OR PRIVATE PROPERTY RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE DEVELOPER/CONTRACTOR AT THEIR EXPENSE.
- PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED AT ALL TIMES DURING CONSTRUCTION TO INSURE INTEGRITY. IF DISTURBED THEY SHALL BE REPLACED BY A SURVEYOR REGISTERED IN THE STATE OF MAINE AT THE CONTRACTOR/DEVELOPER'S EXPENSE.
- ALL SANITARY SERVICES AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT.
- A STREET OPENING PERMIT MUST BE OBTAINED FROM THE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT PRIOR TO BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
- RETAINING WALLS WITHIN LOADING DOCK AREAS SHALL BE CAST-IN-PLACE OR PRECAST MODULAR BLOCK SUBJECT TO GEOTECHNICAL REVIEW AND DESIGN BY THE CONTRACTOR OR PRECAST MODULAR BLOCK SUPPLIER.

I HEREBY ACKNOWLEDGE THAT THESE PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MAINE AND THAT I AM COMPETENT TO PREPARE THIS DOCUMENT.

PRELIMINARY NOT FOR CONSTRUCTION

	PROJECT LOT 6 McALISTER FARM SUBDIVISION & LOT 4 400 RIVERSIDE STREET PROPERTIES PORTLAND, MAINE	DeLUCA-HOFFMAN ASSOCIATES, INC. 778 MAIN STREET, SUITE 8 SOUTH PORTLAND, ME 04106 (207) 775-1121 DR@DELUCAHOFFMAN.COM
	SHEET TITLE COVER SHEET, GENERAL NOTES & LEGEND	
CLIENT RIST / BRUNET FAMILY TRUST 400 RIVERSIDE STREET PORTLAND, ME 04103	DRAWN: CMW DATE: DEC 2003 DESIGNED: TJM SCALE: AS NOTED CHECKED: SRB JOB NO. 2314 FILE NAME: 2314-COV SHEET 1	

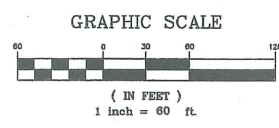
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LEGEND	
	IRON PIPE FOUND
	MONUMENT FOUND
	NOW OR FORMERLY
	UTILITY POLE
	SIGN
	TELEPHONE MANHOLE
	SEWER MANHOLE
	DRAIN MANHOLE
	CURB
	WATER VALVE
	TREELINE
	LIGHT POLE (UNLESS NOTED)
	EXISTING BUILDING
	CATCH BASIN
	EXISTING CONTOUR
	SEWER LINE
	STORM DRAIN LINE
	WATER LINE
	GAS LINE
	EDGE OF PAVEMENT
	STREAM
	SURVEY CONTROL POINT
	WETLAND LIMIT
	100 YEAR FLOOD PLAIN PER FEMA MAP

NOTES:
 1. WETLANDS HAVE BEEN DELINEATED BY MARK HAMPTON ASSOCIATES, INC. UNDER SEPARATE CONTRACT TO SHERIDAN CORP. AND THE GALLOWAY GROUP. WETLAND FLAGGING WAS LOCATED BY GPS METHODS AND PROVIDED TO DELUCA-HOFFMAN ASSOCIATES, INC. BY SEBAGO TECHNICS, INC.
 2. WETLANDS OF SPECIAL SIGNIFICANCE ARE ASSOCIATED WITH THE ONSITE STREAMS.
 3. THE LOCATION OF THE EXISTING 48" PORTLAND WATER DISTRICT TRANSMISSION MAIN IS APPROXIMATE
 4. LOT BOUNDARIES ARE APPROXIMATE. METES AND BOUNDS INFORMATION IS BASED ON DATA PRESENTED ON PLAN REFERENCE #1.
 5. BENCHMARK CONTROL AND HORIZONTAL CONTROL AVAILABLE FROM SEBAGO TECHNICS, INC. OR CITY OF PORTLAND PUBLIC WORKS GIS DEPARTMENT.

PLAN REFERENCES:
 1. FINAL SUBDIVISION RECORDING PLAT, BY THE SHERIDAN CORPORATION, APPROVED BY THE PORTLAND PLANNING BOARD DATED 7.28.88 CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 178 PAGE 44
 2. FEMA MAP COMMUNITY PANEL NUMBER 230051 0006 B, EFFECTIVE DATE 7.17.86
 3. CITY OF PORTLAND AERIAL SURVEY, ELECTRONIC DATA PROVIDED BY CITY OF PORTLAND GIS DEPARTMENT
 4. THIRD AMENDED RECORDING PLAT DONALD D. BUTLER SUBDIVISION, APPROVED BY THE PORTLAND PLANNING BOARD DATED 6.11.96.
 5. FIGURE 2 - EXPLORATION LOCATION PLAN BY R.W. GILLESPIE & ASSOCIATES CONTAINED IN A REPORT DATED OCTOBER 23, 2002.



1	4.16.04	SITE PLAN REVIEW SUBMISSION
REV	DATE	DESCRIPTION
REVISIONS		
		P.E. STEPHEN BUSHEY LIC. # 7429

PROJECT LOT 6 McALISTER FARM SUBDIVISION & LOT 4 400 RIVERSIDE STREET PROPERTIES PORTLAND, MAINE
 SHEET TITLE **OVERALL PROPERTY SUMMARY PLAN**
 CLIENT RIST / BRUNET FAMILY TRUST
 400 RIVERSIDE STREET
 PORTLAND, ME 04103

	DRAWN: DED DATE: DEC 2003 DESIGNED: SRB SCALE: 1" = 60' CHECKED: SRB JOB NO. 2314 FILE NAME: 2314-SP SHEET 2	
	DelUCA-HOFFMAN ASSOCIATES, INC. 170 MAIN STREET, SUITE 9 SOUTH PORTLAND, ME 04106 WWW.DELUCAHOFFMAN.COM	

NOTES:

1. WETLANDS HAVE BEEN DELINEATED BY MARK HAMPTON ASSOCIATES, INC. UNDER SEPARATE CONTRACT TO SHERIDAN CORP. AND THE GALLOWAY GROUP. WETLAND FLAGGING WAS LOCATED BY GPS METHODS AND PROVIDED TO DELUCA-HOFFMAN ASSOCIATES, INC. BY SEBAGO TECHNIQS, INC.
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PLAN REFERENCES:

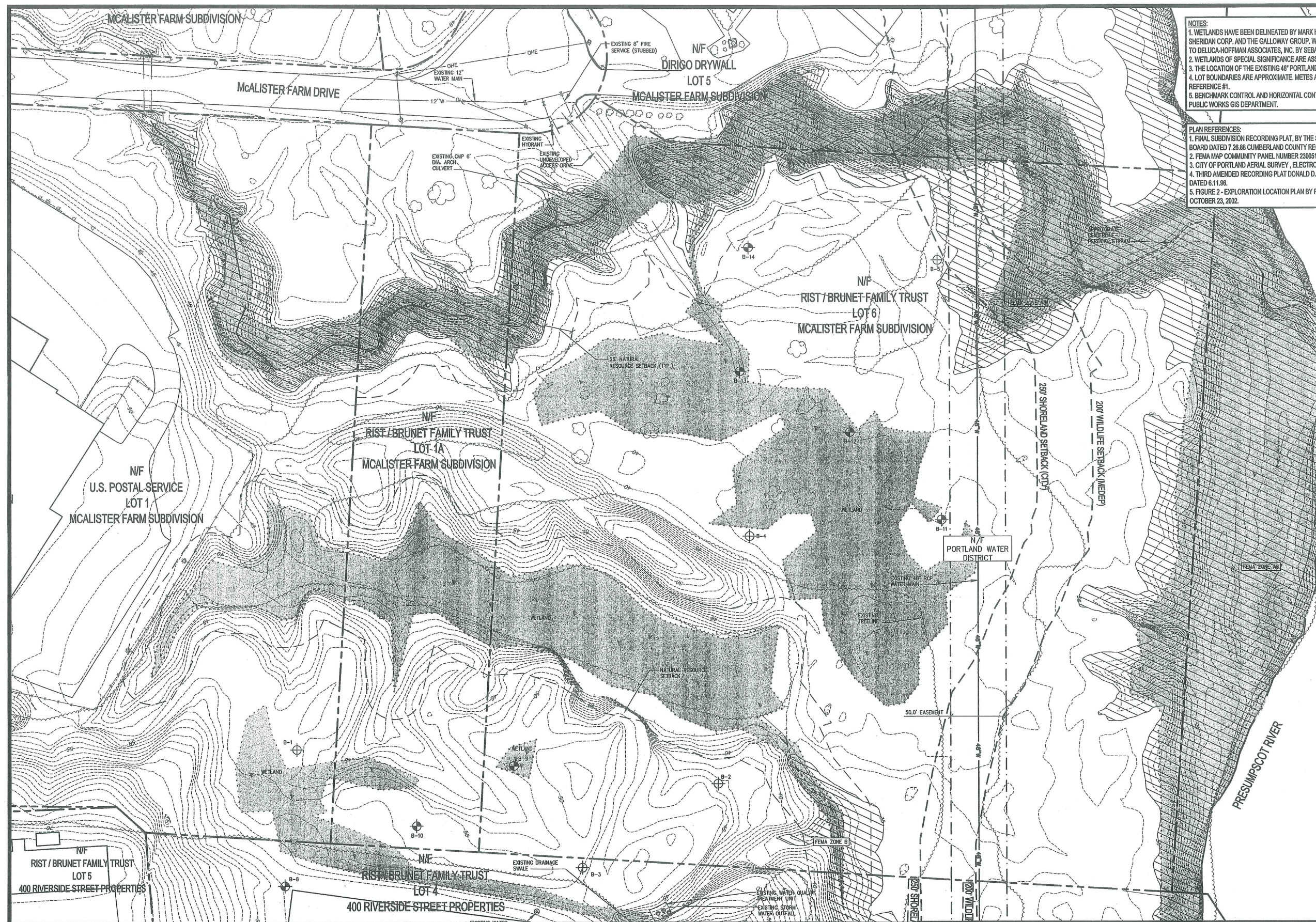
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4. THIRD AMENDED RECORDING PLAT DONALD D. BUTLER SUBDIVISION, APPROVED BY THE PORTLAND PLANNING BOARD DATED 6.11.88.
5. FIGURE 2 - EXPLORATION LOCATION PLAN BY R.W. GILLESPIE & ASSOCIATES CONTAINED IN A REPORT DATED OCTOBER 23, 2002.

BORING LEGEND

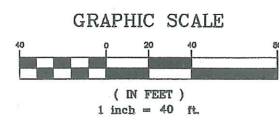
- B-4 PRELIMINARY GEOTECHNICAL INVESTIGATION BORING LOCATION (R/W & A PROJECT # 2314-BLL, AUGUST 2002)
- B-12 FINAL GEOTECHNICAL INVESTIGATION BORING LOCATION

LEGEND

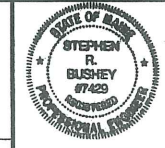
- IRON PIPE FOUND
- MONUMENT FOUND
- N/F NOW OR FORMERLY
- UTILITY POLE
- SIGN
- TELEPHONE MANHOLE
- SEWER MANHOLE
- DRAIN MANHOLE
- CURB
- WATER VALVE
- TREELINE
- ☆ LIGHT POLE (UNLESS NOTED)
- EXISTING BUILDING
- CATCH BASIN
- 58 EXISTING CONTOUR
- S SEWER LINE
- SD STORM DRAIN LINE
- W WATER LINE
- GAS GAS LINE
- EXISTING PROPERTY LINE
- EDGE OF PAVEMENT
- STREAM
- ▲ SURVEY CONTROL POINT
- WETLAND LIMIT
- 100 YEAR FLOOD PLAIN PER FEMA MAP
- EXISTING EASEMENT BOUNDARY



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REV	DATE	DESCRIPTION	REVISIONS
1	4.16.04	SITE PLAN REVIEW SUBMISSION	



PROJECT LOT 6 McALISTER FARM SUBDIVISION & LOT 4 400 RIVERSIDE STREET PROPERTIES PORTLAND, MAINE

SHEET TITLE **EXISTING CONDITIONS PLAN**
LOT 6 - McALISTER FARM SUBDIVISION

CLIENT RIST / BRUNET FAMILY TRUST
400 RIVERSIDE STREET
PORTLAND, MAINE 04103

DeLUCA-HOFFMAN ASSOCIATES, INC.
778 HAN STREET, SUITE 8
SOUTH PORTLAND, ME 04106
207.776.1121
WWW.DELUCAHOFFMAN.COM

DRAWN: DED DATE: DEC 2003
DESIGNED: SRB SCALE: 1" = 40'
CHECKED: SRB JOB NO. 2314
FILE NAME: 2314-SP
SHEET 2A



150

LEGEND

- IRON PIPE FOUND
- MONUMENT FOUND NOW OR FORMERLY
- U UTILITY POLE SIGN
- ⊕ TELEPHONE MANHOLE
- ⊙ SEWER MANHOLE
- ⊙ DRAIN MANHOLE
- CURB
- W WATER VALVE
- TREELINE
- ★ LIGHT POLE (UNLESS NOTED)
- ▭ EXISTING BUILDING
- CATCH BASIN
- 58 EXISTING CONTOUR
- S SEWER LINE
- SD STORM DRAIN LINE
- W WATER LINE
- GAS GAS LINE
- - - EXISTING PROPERTY LINE
- - - EDGE OF PAVEMENT
- - - STREAM
- △ SURVEY CONTROL POINT
- ▨ WETLAND LIMIT
- ▨ 100 YEAR FLOOD PLAIN PER FEMA MAP
- - - EXISTING EASEMENT BOUNDARY

NOTES:

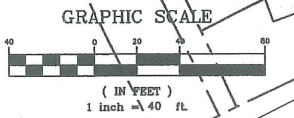
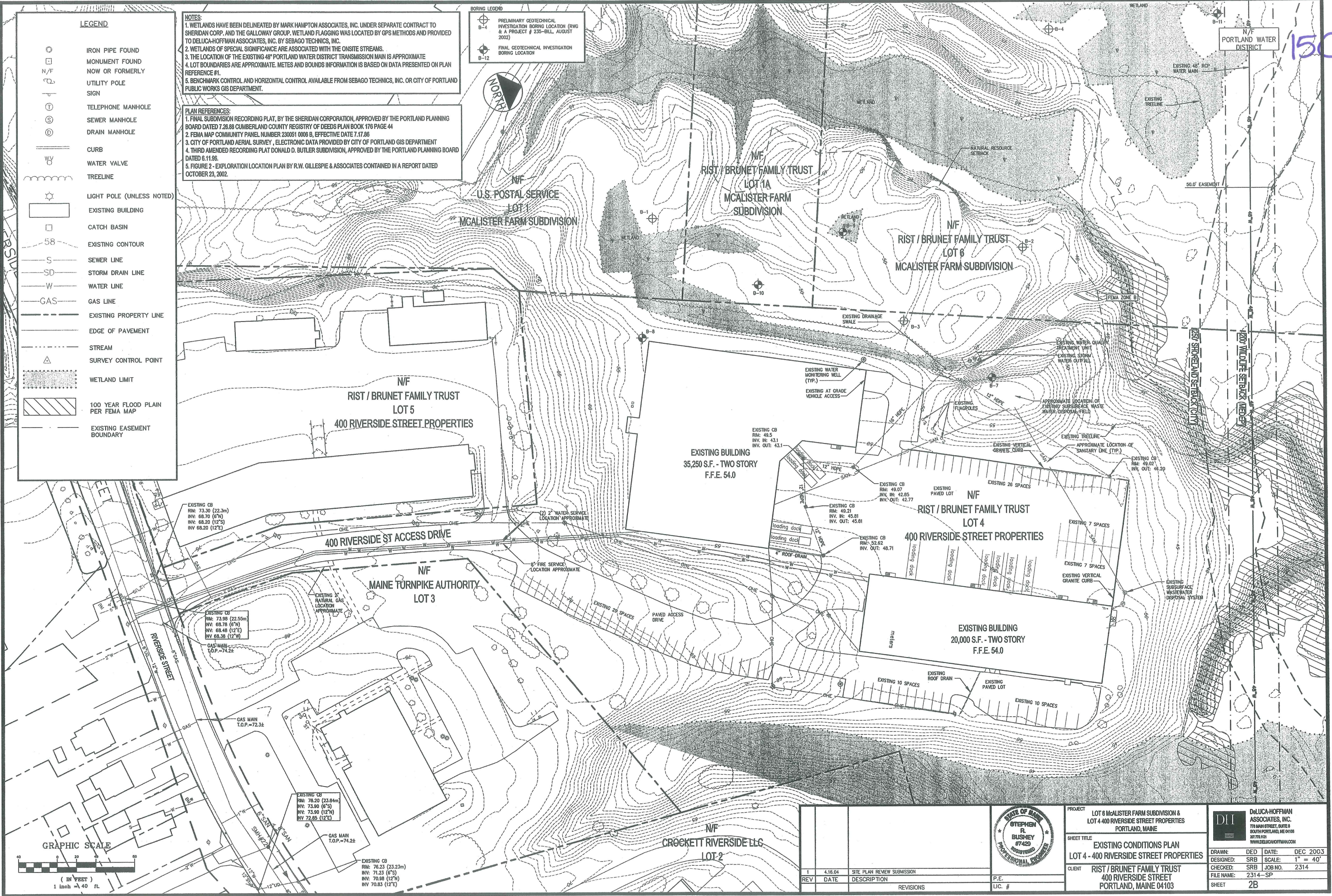
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4. LOT BOUNDARIES ARE APPROXIMATE. METES AND BOUNDS INFORMATION IS BASED ON DATA PRESENTED ON PLAN REFERENCE #1.
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PLAN REFERENCES:

1. FINAL SUBDIVISION RECORDING PLAT, BY THE SHERIDAN CORPORATION, APPROVED BY THE PORTLAND PLANNING BOARD DATED 7.26.88 CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 176 PAGE 44
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4. THIRD AMENDED RECORDING PLAT DONALD D. BUTLER SUBDIVISION, APPROVED BY THE PORTLAND PLANNING BOARD DATED 6.11.98.
5. FIGURE 2 - EXPLORATION LOCATION PLAN BY R.W. GILLESPIE & ASSOCIATES CONTAINED IN A REPORT DATED OCTOBER 23, 2002.

BORING LEGEND

- ⊕ B-4 PRELIMINARY GEOTECHNICAL INVESTIGATION BORING LOCATION (R/W & A PROJECT # 235-BILL, AUGUST 2002)
- ⊕ B-12 FINAL GEOTECHNICAL INVESTIGATION BORING LOCATION



REV	DATE	DESCRIPTION	REVISIONS
1	4.16.04	SITE PLAN REVIEW SUBMISSION	

PROJECT: LOT 6 McALISTER FARM SUBDIVISION & LOT 4 400 RIVERSIDE STREET PROPERTIES PORTLAND, MAINE

SHEET TITLE: EXISTING CONDITIONS PLAN LOT 4 - 400 RIVERSIDE STREET PROPERTIES

CLIENT: RIST / BRUNET FAMILY TRUST 400 RIVERSIDE STREET PORTLAND, MAINE 04103

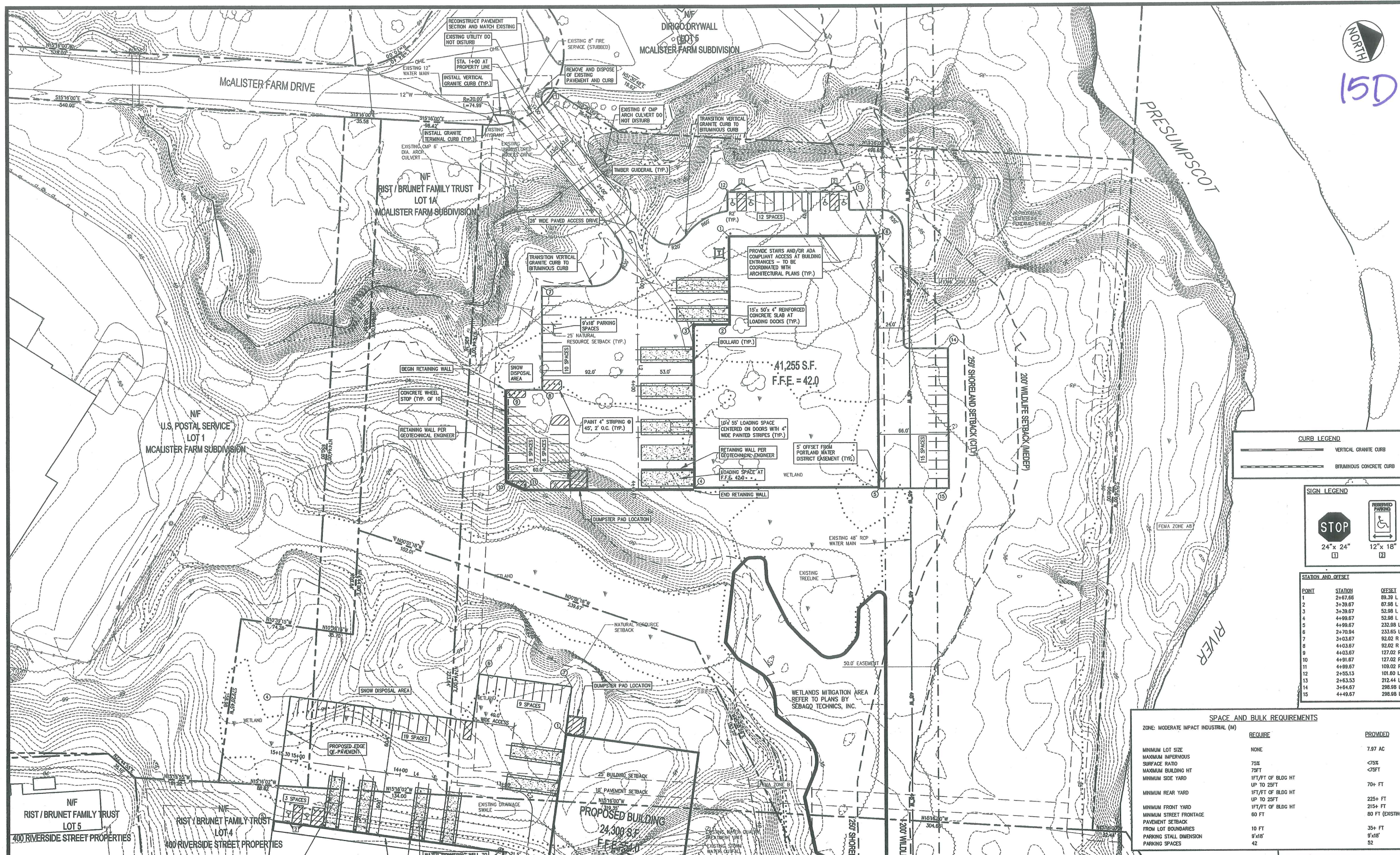
DelUCA-HOFFMAN ASSOCIATES, INC. 775 MAIN STREET, SUITE 8 SOUTH PORTLAND, ME 04106 207.775.1211 WWW.DELUCAHOFFMAN.COM

DESIGNED: SRB DATE: DEC 2003
 CHECKED: SRB SCALE: 1" = 40'
 FILE NAME: 2314-SP JOB NO. 2314
 SHEET 2B

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15D



CURB LEGEND

	VERTICAL GRANITE CURB
	BITUMINOUS CONCRETE CURB

SIGN LEGEND

	24' x 24'
	12' x 18'

STATION AND OFFSET

POINT	STATION	OFFSET
1	2+67.66	89.39 L
2	3+39.67	87.98 L
3	3+39.67	52.98 L
4	4+99.67	52.98 L
5	4+99.67	232.98 L
6	2+70.94	233.65 L
7	3+03.67	92.02 R
8	4+03.67	92.02 R
9	4+03.67	127.02 R
10	4+91.67	127.02 R
11	4+99.67	109.02 R
12	2+55.13	101.80 L
13	2+63.53	212.44 L
14	3+64.67	298.98 L
15	4+49.67	298.98 L

SPACE AND BULK REQUIREMENTS

ZONE: MODERATE IMPACT INDUSTRIAL (M)

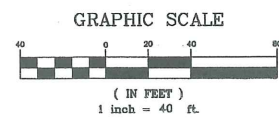
	REQUIRE	PROVIDED
MINIMUM LOT SIZE	NONE	7.97 AC
MAXIMUM IMPERVIOUS SURFACE RATIO	75%	<75%
MAXIMUM BUILDING HT	75FT	<75FT
MINIMUM SIDE YARD	1FT/FT OF BLDG HT UP TO 25FT	70+ FT
MINIMUM REAR YARD	1FT/FT OF BLDG HT UP TO 25FT	225+ FT
MINIMUM FRONT YARD	1FT/FT OF BLDG HT UP TO 25FT	215+ FT
MINIMUM STREET FRONTAGE	60 FT	80 FT (EXISTING)
PAVEMENT SETBACK FROM LOT BOUNDARIES	10 FT	35+ FT
PARKING STALL DIMENSION	9'x18'	9'x18'
PARKING SPACES	42	52

LINE TABLE

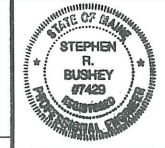
LINE	LENGTH	BEARING
L1	144.57	N32°15'05"E
L2	225.73	S71°23'22"W

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	TANGENT	PC STA	PT STA
C1	29.37	43.00	39°08'17"	15.29	2+44.57	2+73.94



REV	DATE	DESCRIPTION
1	4.16.04	SITE PLAN REVIEW SUBMISSION



PROJECT: LOT 6 MCALISTER FARM SUBDIVISION & LOT 4 400 RIVERSIDE STREET PROPERTIES PORTLAND, MAINE

SHEET TITLE: **SITE LAYOUT AND LANDSCAPE PLAN**
LOT 6 - MCALISTER FARM SUBDIVISION

CLIENT: RIST / BRUNET FAMILY TRUST
400 RIVERSIDE STREET
PORTLAND, ME 04103

DELUCA-HOFFMAN ASSOCIATES, INC.
778 MAIN STREET, SUITE 9
SOUTH PORTLAND, ME 04106
207.761.0101
WWW.DELUCAHOFFMAN.COM

DESIGNED: TJM DATE: DEC 2003
CHECKED: SRB SCALE: 1" = 40'
FILE NAME: 2314-SP JOB NO. 2314
SHEET 3A

G:\2314\DWG\PERMIT SET\2314-SP.dwg, SITE LAYOUT-A, 4/16/2004 11:05:03 AM, DDw6

15E

SPACE AND BULK REQUIREMENTS
ZONE: MODERATE IMPACT INDUSTRIAL (M)

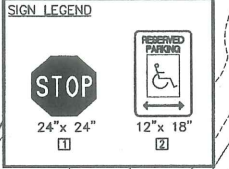
REQUIRE	PROVIDED
MINIMUM LOT SIZE	13.7 AC
MAXIMUM IMPERVIOUS SURFACE RATIO	<75%
MAXIMUM BUILDING HT	<75 FT
MINIMUM SIDE YARD	1 FT/FT OF BLDG HT UP TO 25 FT >25 FT
MINIMUM REAR YARD	1 FT/FT OF BLDG HT UP TO 25 FT >25 FT
MINIMUM FRONT YARD	1 FT/FT OF BLDG HT UP TO 25 FT >75 FT
MINIMUM STREET FRONTAGE	60 FT (EXISTING)
PAVEMENT SETBACK FROM LOT BOUNDARIES	10 FT >10 FT
PARKING STALL DIMENSION	9'x18'
PARKING SPACES	88

CURB LEGEND

VERTICAL GRANITE CURB
BITUMINOUS CONCRETE CURB

STATION AND OFFSET

POINT	STATION	OFFSET
1	12+79.11	70.46 R
2	11+57.60	151.50 R
3	11+57.60	21.50 R
4	15+15.28	60.38 R
5	12+16.85	246.67 L
6	13+37.14	106.38 R
7	12+82.30	113.02 R
8	11+31.50	304.44 R

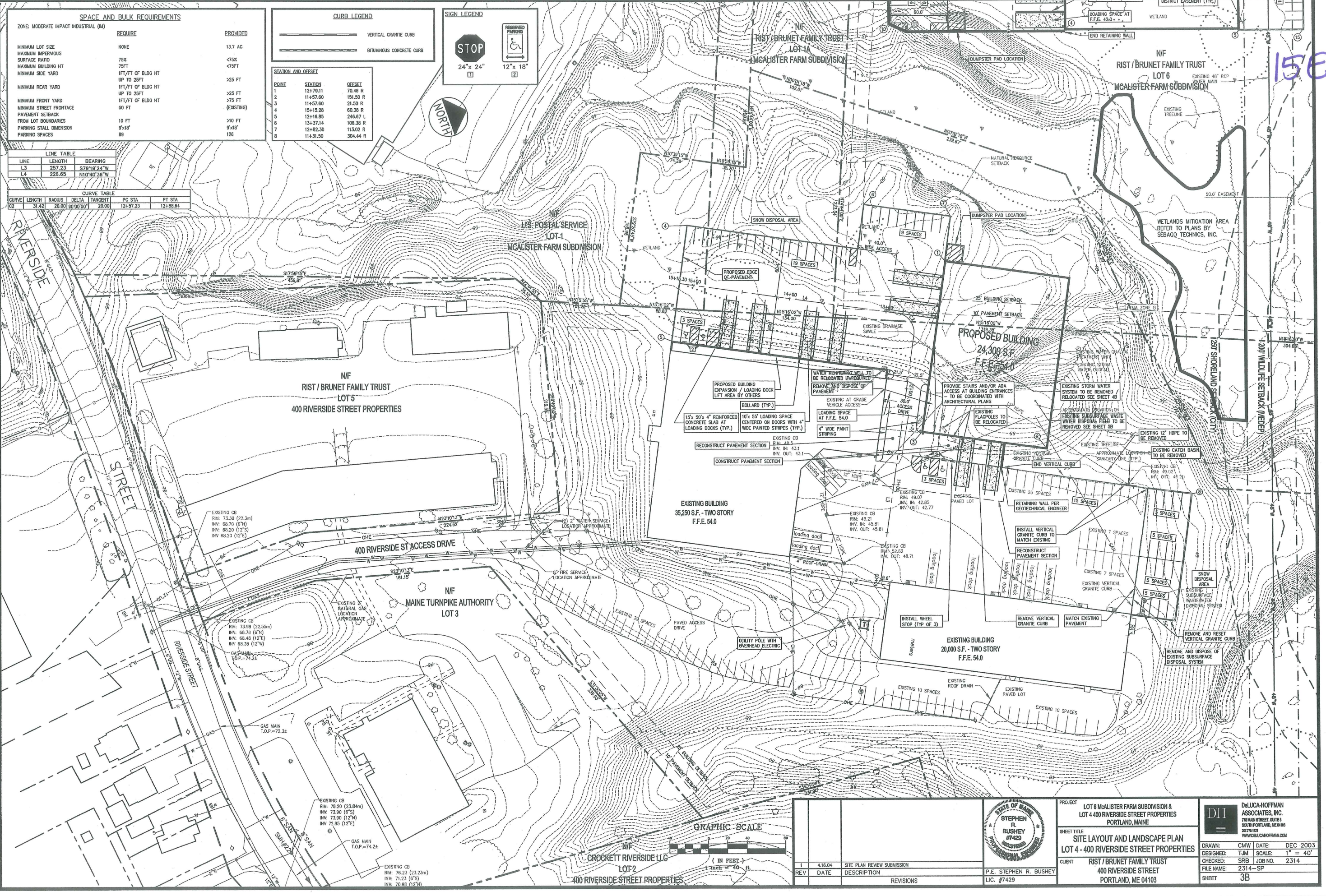


LINE TABLE

LINE	LENGTH	BEARING
L3	257.23	S79°18'24"W
L4	226.65	N10°40'35"W

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	TANGENT	PC STA	PT STA
C2	31.42	20.00	90°00'00"	20.00	12+57.23	12+88.64



G:\2314\DWG\PERMIT SET\2314-SP.dwg, SITE LAYOUT-8, 4/16/2004 11:08:17 AM, D:\dare

STATE OF MAINE
STEPHEN R. BUSHEY
REGISTERED PROFESSIONAL ENGINEER
LIC. #7429

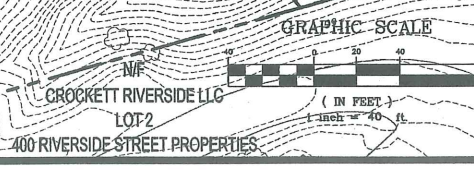
PROJECT: LOT 6 MCALESTER FARM SUBDIVISION & LOT 4 400 RIVERSIDE STREET PROPERTIES, PORTLAND, MAINE
SHEET TITLE: SITE LAYOUT AND LANDSCAPE PLAN, LOT 4 - 400 RIVERSIDE STREET PROPERTIES
CLIENT: RIST / BRUNET FAMILY TRUST, 400 RIVERSIDE STREET, PORTLAND, ME 04103

DESIGNED: TJM
CHECKED: SRB
FILE NAME: 2314-SP
SHEET: 3B

DATE: DEC 2003
SCALE: 1" = 40'
JOB NO. 2314

DATE: DEC 2003
SCALE: 1" = 40'
JOB NO. 2314

DATE: DEC 2003
SCALE: 1" = 40'
JOB NO. 2314



REVISIONS

REV	DATE	DESCRIPTION
1	4.16.04	SITE PLAN REVIEW SUBMISSION

NORTH
15F

GRADING & DRAINAGE NOTES:

- ALL STORM DRAIN PIPE SHALL BE SMOOTH BORE INTERIOR PROVIDING A MANNINGS ROUGHNESS COEFFICIENT OF N = 0.013 OR LESS. UNLESS A SPECIFIC PIPE MATERIAL IS CALLED FOR ON THE CONTRACT DRAWINGS, CPP AND PVC PIPING SHALL NOT BE USED IN AREAS OF EXPOSED SUNLIGHT.
 - ALL SLOPES STEEPER THAN 3:1 ARE TO RECEIVE RIPRAP SLOPE PROTECTION OR TURF REINFORCEMENT.
 - THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION DURING EARTHWORK OPERATIONS TO INSURE THAT THE STEEP SLOPE AREAS ARE NOT DISTURBED. THE LIMITS OF CLEARING SHALL BE 1' BEYOND THE GRADING LIMITS AS SHOWN ON THE SITE LAYOUT PLAN AND AS WELL AS ON THIS PLAN SHEET.
 - THE CONTRACTOR IS HEREBY CAUTIONED THAT ALL SITE FEATURES SHOWN HEREON ARE BASED ON FIELD OBSERVATIONS BY THE SURVEYOR AND BY INFORMATION PROVIDED BY UTILITY COMPANIES. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT DIG SAFE (1-888-DIGSAFE) AT LEAST THREE (3) BUT NOT MORE THAN THIRTY (30) DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES.
 - NO HOLES, TRENCHES OR STRUCTURES SHALL BE LEFT OPEN OVERNIGHT IN ANY EXCAVATION ACCESSIBLE TO THE PUBLIC OR IN PUBLIC RIGHTS-OF-WAY.
 - THE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ANY CHANGES AND DEVIATION OF APPROVED PLANS NOT AUTHORIZED BY THE ARCHITECT/ENGINEER AND/OR CLIENT/OWNER.
 - CONTRACTOR SHALL INCORPORATE PROVISIONS AS NECESSARY IN CONSTRUCTION TO PROTECT EXISTING STRUCTURES, PHYSICAL FEATURES, AND MAINTAIN SITE STABILITY DURING CONSTRUCTION. CONTRACTOR SHALL RESTORE ALL AREAS TO ORIGINAL CONDITION AND AS DIRECTED BY DESIGN DRAWINGS.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO FABRICATION AND ERECTION OF ANY MATERIAL. ANY UNUSUAL CONDITIONS SHALL BE REPORTED TO THE ATTENTION OF THE ENGINEER.
 - ALL TOPSOIL, ORGANIC MATERIAL, DEBRIS, UNCONTROLLED FILL, AND OTHER UNSUITABLE FOUNDATION BEARING MATERIALS SHOULD BE REMOVED FROM THE AREAS RECEIVING NEW CONSTRUCTED FACILITIES.
 - SITE GRADING SHOULD PROVIDE POSITIVE DRAINAGE AWAY FROM CONSTRUCTED FACILITIES BOTH DURING AND AFTER CONSTRUCTION.
 - DEWATERING REQUIREMENTS WILL VARY ACROSS THE SITE BASED ON GROUNDWATER LEVELS ENCOUNTERED DURING CONSTRUCTION AND SOIL TYPE. IN GENERAL, IT SHOULD BE PRACTICAL TO ACCOMPLISH CONSTRUCTION DEWATERING FROM WITHIN EXCAVATIONS BY OPEN PUMPING METHODS TO DEPTHS OF ONE TO TWO FEET BELOW GROUNDWATER. SURFACE RUNOFF AND INFILTRATION OF GROUNDWATER SHOULD BE CONTROLLED SO THAT EXCAVATION, FILLING, AND FOUNDATION CONSTRUCTION CAN BE COMPLETED IN-THE-DRY. ALL DEWATERING METHODS SHALL BE COMPLETED IN ACCORDANCE WITH SECTION G-3-CONSTRUCTION DEWATERING OF THE MAINE EROSION AND SEDIMENT CONTROL BMP MANUAL.
 - EXCAVATIONS SHOULD BE MADE USING A SMOOTH EDGED BUCKET TO MINIMIZE DISTURBANCE TO SUBSOILS. EXPOSED SUBGRADES SHOULD BE PROTECTED FROM DISTURBANCE, MOISTURE, AND FREEZING, UNTIL THE FOOTINGS AND GROUND FLOOR SLABS ARE IN PLACE.
 - STRUCTURAL FILL FOR SUPPORT OF FOOTINGS, FLOOR SLABS, AND FOR USE AS BACKFILL SHOULD BE A CLEAN, WELL-GRADED SAND AND GRAVEL MIXTURE MEETING THE FOLLOWING GRADATION:
- | SCREEN OR SIEVE SIZE | PERCENT PASSING |
|----------------------|-----------------|
| 3/8 INCHES | 100 |
| No. 4 | 35-100 |
| No. 40 | 25-70 |
| No. 200 | 0-5 |
- NOTE: MAXIMUM PARTICLE SIZE LIMITED TO 3 INCHES WITHIN TWO FEET OF WALLS AND GROUND FLOOR SLABS.
- IN OPEN AREAS, STRUCTURAL FILL SHOULD BE PLACED IN LEVEL, UNIFORM LIFTS NOT EXCEEDING 8 INCHES IN UNCOMPACTED THICKNESS AND COMPACTED WITH SELF-PROPELLED COMPACTION EQUIPMENT. IN CONFINED AREAS, STRUCTURAL FILL SHOULD BE PLACED IN LIFTS NOT EXCEEDING 4 INCHES IN UNCOMPACTED THICKNESS (NOTE: MAXIMUM PARTICLE SIZE 3 INCHES) AND COMPACTED WITH HAND-OPERATED COMPACTION EQUIPMENT. STRUCTURAL FILL SHOULD BE COMPACTED TO AT LEAST 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY 5TH DENSITY TEST METHOD FOR LABORATORY COMPACTION CHARACTERISTICS OF SOIL USING MODIFIED EFFORT (56,000 FT-LBF/FT³) (2,700 KPa IN-PAK).
 - ONLY STRUCTURAL FILL SHOULD BE USED AS FILL TO RAISE GRADE AND SUPPORT SLAB-ON-GRADE FLOORS FOR THE PROPOSED BUILDINGS.
 - AN "AS-BUILT" CERTIFICATION OF THE STORMWATER DRAINAGE SYSTEM BY QUALIFIED REPRESENTATIVE IS REQUIRED PRIOR TO THE OWNER ACCEPTING THE BUILDING AND PROPERTY. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT ANY DEVIATION FROM THE PLANS MAY DELAY THE ACCEPTANCE OF THE PROJECT.
 - ALL DISTURBED AREAS NOT TO BE PAVED, SODDED OR OTHERWISE TREATED SHALL RECEIVE 4" LOAM, SEED, FERTILIZER AND MULCH.
- | LOCATION | MINIMUM COMPACTION |
|---|--------------------|
| SUBBASE AND BASE GRAVEL BELOW PAVED OR CONCRETE AREAS | 95% |
| SUBGRADE FILL BELOW PAVED AREAS | 90% |
| TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL | 95% |
| BELOW LOAM AND SEED AREAS | 90% |
- ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557.
- ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
 - CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE FREE OF LOW SPOTS AND PONING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCE AND EXIT RAMPS ADJACENT TO THE BUILDING AND ALONG NEW CURBED AREAS.
 - ALL SUBGRADE SURFACES SHALL BE SLOPED AT NO LESS THAN 1% TO PROMOTE ADEQUATE DRAINAGE TOWARDS SUBSURFACE DRAINAGE SYSTEMS.
 - PROVIDE STABILIZATION OR SEPARATION GEOTEXTILE FABRIC OVER UNSTABLE SOILS AS DIRECTED BY THE OWNER'S REPRESENTATIVE OR GEOTECHNICAL CONSULTANT.
 - ALL ROOF DRAIN PIPE SHALL CONFORM WITH THE PROJECT SPECIFICATIONS AND SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR THE NUMBER AND LOCATION OF ALL ROOF DRAINS.

EROSION CONTROL NOTES:

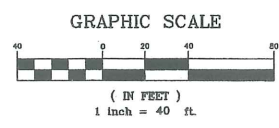
- LAND DISTURBING ACTIVITIES SHALL BE ACCOMPLISHED IN A MANNER AND SEQUENCE THAT CAUSES THE LEAST PRACTICAL DISTURBANCE OF THE SITE.
- PRIOR TO BEGINNING ANY CLEARING/LAND DISTURBING ACTIVITIES, THE CONTRACTOR SHALL INSTALL THE PERIMETER SILT FENCES AND THE STABILIZED CONSTRUCTION ENTRANCES.
- ALL GROUND AREAS DISTURBED DURING CONSTRUCTION WILL BE GRADED, LOAMED AND SEEDDED AS SOON AS POSSIBLE.
- SILT BARRIERS SHALL BE INSPECTED, REPAIRED AND CLEANED IN ACCORDANCE WITH THE MDEP EROSION CONTROL BMP MANUAL.
- THE CONTRACTOR SHALL REPAIR AND ADD STONE TO THE CONSTRUCTION ENTRANCES AS THEY BECOME SATURATED WITH MUD TO ENSURE THAT THEY WORK AS PLANNED DURING CONSTRUCTION AND SHALL KEEP RIVERSIDE STREET AND MCALISTER FARM DRIVE CLEAR OF DIRT AND MUD.
- SILT REMOVED FROM AROUND INLETS AND BEHIND THE SILT FENCES SHALL BE PLACED ON A TOPSOIL STOCKPILE AND MIXED INTO IT FOR LATER USE IN LANDSCAPING OPERATIONS.
- CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITIES IN THE AREA OF PROPOSED EXCAVATION OR BLASTING AT LEAST THREE (3) BUT NOT MORE THAN (30) DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION. CONTRACTORS SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF 23 MESA 330-0.
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL NECESSARY ELECTRICAL SERVICES IN CONDUIT TO SIGHT LIGHTING, COMPLYING WITH APPLICABLE CODES. COORDINATE WITH OWNER AND ARCHITECTURAL AND CMP PLANS. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CONFIRM WITH CMP, CABLE AND TELEPHONE COMPANIES INDIVIDUAL UTILITY REQUIREMENTS FOR INSTALLATION AND LOCATIONS OF UTILITIES.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION.
- FILL AREAS UNDER PAVEMENT SHALL BE GRANULAR BORROW. ALL OTHER FILL AREAS SHALL BE A COMMON BORROW MATERIAL SUITABLE FOR EMBANKMENT CONSTRUCTION, FREE FROM FROZEN MATERIAL, PERISHABLE RUBBLE, PEAT, ORGANICS, ROCKS LARGER THAN 12" IN DIAMETER, VEGETATION AND OTHER MATERIAL UNSUITABLE FOR ROADWAY AND SUBGRADE CONSTRUCTION. EXCAVATED ON-SITE MATERIALS MAY BE USED FOR FILL PROVIDED THE MATERIAL IS FREE FROM UNSUITABLE MATERIAL DESCRIBED IN THIS NOTE AND UPON APPROVAL OF THE ENGINEER GRANULAR BORROW AND COMMON BORROW SHALL COMPLY WITH THE MDT SPECIFICATIONS.
- ALL FILLS SHALL BE PLACED IN LAYERS NOT MORE THAN 12" LOOSE DEPTH AND COMPACTED BY HEAVY COMPACTION EQUIPMENT. MINIMUM COMPACTION SHALL BE 93% OF MAXIMUM DENSITY ASTM 1557, MODIFIED AND FIELD DENSITY ASTM D2922 (NUCLEAR METHODS).
- IMMEDIATELY UPON COMPLETION OF CUTS/FILLS, THE CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH EROSION CONTROL NOTES AS SPECIFIED ON PLANS.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH MDEP MAINE EROSION AND SEDIMENT CONTROL BMPs, DATED MARCH 2003. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.
- ALL EARTHMOVING ACTIVITY AND FOUNDATION PREPARATION SHALL BE COMPLETED IN ACCORDANCE WITH THE GEOTECHNICAL RECOMMENDATIONS SET FORTH BY R.W. GULPINE AND ASSOCIATES.

PIPE SCHEDULE

Class	Exam	Is	Length	Slope	Size/Zone
SD 1	CB 1	DMH #2	40	.003	18" HOPE
SD 2	CB 2	DMH #2	61	.003	18" HOPE
SD 3	CB 3	CB 2	28	.003	18" HOPE
SD 4	CB 4	CB 3	26	.003	18" HOPE
SD 5	DMH 3	CB 4	36	.003	18" HOPE
SD 6	CB 5	DMH 3	68	.003	12" HOPE
SD 7	CB 6	DMH 3	41	.003	18" HOPE
SD 8	CB 7	CB 6	46	.003	18" HOPE
SD 9	CB 8	CB 7	46	.003	12" HOPE
SD 10	CB 9	CB 7	62	.003	12" HOPE
SD 11	CB 10	CB 1	84	.003	18" HOPE
SD 12	CB 11	CB 10	108	.003	18" HOPE
SD 13	DMH #2	WOU #1	5	.003	24" HOPE
SD 14	WOU #1	DMH #1	10	.003	24" HOPE
SD 15	DMH #1	Outfall	70	.004	24" HOPE
SD 16	CB 11	DMH #4	46	.003	12" HOPE
SD 17	CB 12	CB 11	74	.003	12" HOPE

STRUCTURE SCHEDULE

Structure	Blm	Inv. In	Inv. Out	Description
CB 1	38.08	31.08	30.98	5' Dia.
CB 2	37.50	30.32	30.22	5' Dia.
CB 3	37.78	30.55	30.45	5' Dia.
CB 4	37.75	30.73	30.63	5' Dia.
CB 5	36.50	---	31.50	4' Dia.
CB 6	36.60	31.16	31.06	4' Dia.
CB 7	31.40	31.40 (SD 8)	31.30	4' Dia.
CB 8	37.40	---	31.54	4' Dia.
CB 9	37.60	---	32.60	4' Dia.
CB 10	37.60	31.46	31.36	4' Dia.
CB 11	37.40	32.12	32.02	4' Dia.
CB 12	37.25	---	37.34	4' Dia.
DMH 1	37.75	29.00	29.00	5' Dia.
DMH 2	37.80	30.88 (SD 1)	29.94	5' Dia.
DMH 3	38.85	30.94 (SD 7)	30.84	4' Dia.
DMH 4	37.9	31.88	31.78	4' Dia.
WOU 1	37.75	29.83	29.93	---



REV	DATE	DESCRIPTION
1	4.01.04	SITE PLAN REVIEW SUBMISSION

STATE OF MAINE
STEPHEN R. BUSHEY
#7429
PROFESSIONAL ENGINEER

PROJECT: LOT 6 McALISTER FARM SUBDIVISION & LOT 4 400 RIVERSIDE STREET PROPERTIES PORTLAND, MAINE
SHEET TITLE: GRADING, DRAINAGE AND EROSION CONTROL PLAN LOT 6 - McALISTER FARM SUBDIVISION
CLIENT: RIST / BRUNET FAMILY TRUST
400 RIVERSIDE STREET
PORTLAND, ME 04103

DH
DeLUCA-HOFFMAN ASSOCIATES, INC.
70 MAIN STREET, SUITE 8 SOUTH PORTLAND, ME 04108
877.78.1181 WWW.DELOUCAHOFFMAN.COM

DRAWN: CMW DATE: DEC 2003
DESIGNED: TJM SCALE: 1" = 40'
CHECKED: SRB JOB NO. 2314
FILE NAME: 2314-SP
SHEET 4A

G:\2314\DWG\PERMIT SET\2314-SP.dwg, GRADING PLAN-A, 4/1/2004 2:05:09 PM, DDMS

GRADING & DRAINAGE NOTES:

- ALL STORM DRAIN PIPE SHALL BE SMOOTH BORE INTERIOR PROVIDING A MANNINGS ROUGHNESS COEFFICIENT OF N = 0.013 OR LESS, UNLESS A SPECIFIC PIPE MATERIAL IS CALLED FOR ON THE CONTRACT DRAWINGS. CPP AND PVC PIPING SHALL NOT BE USED IN AREAS OF EXPOSED SUNLIGHT.
- ALL SLOPES STEEPER THAN 3:1 ARE TO RECEIVE RRAPR SLOPE PROTECTION OR TURF REINFORCEMENT.
- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION DURING EARTHWORK OPERATIONS TO INSURE THAT THE STEEP SLOPE AREAS ARE NOT DISTURBED. THE LIMITS OF CLEARING SHALL BE 1' BEYOND THE GRADING LIMITS AS SHOWN ON THE SITE LAYOUT PLAN AND AS WELL AS ON THIS PLAN SHEET.
- THE CONTRACTOR IS HEREBY CAUTIONED THAT ALL SITE FEATURES SHOWN HEREON ARE BASED ON FIELD OBSERVATIONS BY THE SURVEYOR AND BY INFORMATION PROVIDED BY UTILITY COMPANIES. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT DIO SAFE (1-888-DISSAFE) AT LEAST THREE (3) BUT NOT MORE THAN THIRTY (30) DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES.
- NO HOLES, TRENCHES OR STRUCTURES SHALL BE LEFT OPEN OVERNIGHT IN ANY EXCAVATION ACCESSIBLE TO THE PUBLIC OR IN PUBLIC RIGHTS-OF-WAY.
- THE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ANY CHANGES AND DEVIATION OF APPROVED PLANS NOT AUTHORIZED BY THE ARCHITECT/ENGINEER AND/OR CLIENT/OWNER.
- CONTRACTOR SHALL INCORPORATE PROVISIONS AS NECESSARY IN CONSTRUCTION TO PROTECT EXISTING STRUCTURES, PHYSICAL FEATURES, AND MAINTAIN SITE STABILITY DURING CONSTRUCTION. CONTRACTOR SHALL RESTORE ALL AREAS TO ORIGINAL CONDITION AND AS DIRECTED BY DESIGN DRAINAGES.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO FABRICATION AND ERECTION OF ANY MATERIAL. ANY UNUSUAL CONDITIONS SHALL BE REPORTED TO THE ATTENTION OF THE ENGINEER.
- ALL TOPSOIL, ORGANIC MATERIAL, DEBRIS, UNCONTROLLED FILL, AND OTHER UNSUITABLE FOUNDATION BEARING MATERIALS SHOULD BE REMOVED FROM THE AREAS RECEIVING NEW CONSTRUCTED FACILITIES.
- SITE GRADING SHOULD PROVIDE POSITIVE DRAINAGE AWAY FROM CONSTRUCTED FACILITIES BOTH DURING AND AFTER CONSTRUCTION.
- DEWATERING REQUIREMENTS WILL VARY ACROSS THE SITE BASED ON GROUNDWATER LEVELS ENCOUNTERED DURING CONSTRUCTION AND SOIL TYPE. IN GENERAL, IT SHOULD BE PRACTICAL TO ACCOMPLISH CONSTRUCTION DEWATERING FROM WITHIN EXCAVATIONS BY OPEN PUMPING METHODS TO DEPTHS OF ONE TO TWO FEET BELOW GROUNDWATER. SURFACE RUNOFF AND INFILTRATION OF GROUNDWATER SHOULD BE CONTROLLED SO THAT EXCAVATION, FILLING, AND FOUNDATION CONSTRUCTION CAN BE COMPLETED IN-THE-DRY. ALL DEWATERING METHODS SHALL BE COMPLETED IN ACCORDANCE WITH SECTION G-3 CONSTRUCTION DEWATERING OF THE MAINE EROSION AND SEDIMENT CONTROL BMP MANUAL.
- EXCAVATIONS SHOULD BE MADE USING A SMOOTH EDGED BUCKET TO MINIMIZE DISTURBANCE TO SUBSOILS. EXPOSED SUBGRADES SHOULD BE PROTECTED FROM DISTURBANCE, MOISTURE, AND FREEZING, UNTIL THE FOOTINGS AND GROUND FLOOR SLABS ARE IN PLACE.
- STRUCTURAL FILL FOR SUPPORT OF FOOTINGS, FLOOR SLABS, AND FOR USE AS BACKFILL SHOULD BE A CLEAN, WELL-GRADED SAND AND GRAVEL MIXTURE MEETING THE FOLLOWING GRADATION:

SCREEN OR SIEVE SIZE	PERCENT PASSING
3 INCHES	100
2 INCHES	75-100
No. 4	35-70
No. 10	2-35
No. 200	0-5

 NOTE: MAXIMUM PARTICLE SIZE LIMITED TO 3 INCHES WITHIN TWO FEET OF WALLS AND GROUND FLOOR SLABS.
- IN OPEN AREAS, STRUCTURAL FILL SHOULD BE PLACED IN LEVEL, UNIFORM LIFTS NOT EXCEEDING 9 INCHES IN UNCOMPACTED THICKNESS AND COMPACTED WITH SELF-PROPELLED COMPACTION EQUIPMENT. IN COMPACTED AREAS, STRUCTURAL FILL SHOULD BE PLACED IN LIFTS NOT EXCEEDING 9 INCHES IN UNCOMPACTED THICKNESS (NOTE: MAXIMUM PARTICLE SIZE 3 INCHES) AND COMPACTED WITH HAND-OPERATED COMPACTION EQUIPMENT. STRUCTURAL FILL SHOULD BE COMPACTED TO AT LEAST 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557. TEST METHOD FOR LABORATORY COMPACTION CHARACTERISTICS OF SOIL USING MODIFIED EFFORT (56,000 FT-LB/FT³ (2,700 KN-M/MS)).
- ONLY STRUCTURAL FILL SHOULD BE USED AS FILL TO RAISE GRADE AND SUPPORT SLAB-ON-GRADE FLOORS FOR THE PROPOSED BUILDINGS.
- AN "AS-BUILT" CERTIFICATION OF THE STORMWATER DRAINAGE SYSTEM BY QUALIFIED REPRESENTATIVE IS REQUIRED PRIOR TO THE OWNER ACCEPTING THE BUILDING AND PROPERTY. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT ANY DEVIATION FROM THE PLANS MAY DELAY THE ACCEPTANCE OF THE PROJECT.
- ALL DISTURBED AREAS NOT TO BE PAVED, SODDED OR OTHERWISE TREATED SHALL RECEIVE 4" LOAM, SEED, FERTILIZER AND MULCH.
- COMPACTION REQUIREMENTS:

LOCATION	MINIMUM COMPACTION
SUBBASE AND BASE GRAVEL BELOW PAVED OR CONCRETE AREAS	95%
SUBGRADE FILL BELOW PAVED AREAS	90%
TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL	90%
BELOW LOAM AND SEED AREAS	90%

 *ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557.
- ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
- CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCE AND EXIT RAMPS ADJACENT TO THE BUILDING AND ALONG NEW CURBED AREAS. ALL SUBGRADE SURFACES SHALL BE SLOPED AT NO LESS THAN 1% TO PROMOTE ADEQUATE DRAINAGE TOWARDS SUBSURFACE DRAINAGE SYSTEMS.
- PROMOTE STABILIZATION OR SEPARATION GEOTEXTILE FABRIC OVER UNSTABLE SOILS AS DIRECTED BY THE OWNER'S REPRESENTATIVE OR GEOTECHNICAL CONSULTANT.
- ALL ROOF DRAIN PIPE SHALL CONFORM WITH THE PROJECT SPECIFICATIONS AND SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR THE NUMBER AND LOCATION OF ALL ROOF DRAINS.

EROSION CONTROL NOTES:

- LAND DISTURBING ACTIVITIES SHALL BE ACCOMPLISHED IN A MANNER AND SEQUENCE THAT CAUSES THE LEAST PRACTICAL DISTURBANCE OF THE SITE.
- PRIOR TO BEGINNING ANY CLEARING/LAND DISTURBING ACTIVITIES, THE CONTRACTOR SHALL INSTALL THE PERIMETER SILT FENCES AND THE STABILIZED CONSTRUCTION ENTRANCES.
- ALL GROUND AREAS DISTURBED DURING CONSTRUCTION WILL BE GRADED, LOAMED AND SEEDDED AS SOON AS POSSIBLE.
- SILT BARRIERS SHALL BE INSPECTED, REPAIRED AND CLEANED IN ACCORDANCE WITH THE MDEP EROSION CONTROL BMP MANUAL.
- THE CONTRACTOR SHALL REPAIR AND ADD STONE TO THE CONSTRUCTION ENTRANCES AS THEY BECOME SATURATED WITH MUD TO ENSURE THAT THEY WORK AS PLANNED DURING CONSTRUCTION AND SHALL KEEP RIVERSIDE STREET AND McALISTER FARM DRIVE CLEAR OF DIRT AND MUD.
- SILT REMOVED FROM AROUND INLETS AND BEHIND THE SILT FENCES SHALL BE PLACED ON A TOPSOIL STOCKPILE AND MIXED INTO IT FOR LATER USE IN LANDSCAPING OPERATIONS.
- CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITIES IN THE AREA OF PROPOSED EXCAVATION OR BLASTING AT LEAST THREE (3) BUT NOT MORE THAN (30) DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION. CONTRACTORS SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF 23 MRS. 3300-A.
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL NECESSARY ELECTRICAL SERVICES IN CONDUIT TO SIGHT LIGHTING, COMPLYING WITH APPLICABLE CODES, COORDINATE WITH OWNER AND ARCHITECTURAL AND CIP PLANS. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CONFER WITH CIP, CABLE AND TELEPHONE COMPANIES INDIVIDUAL UTILITY REQUIREMENTS FOR INSTALLATION AND LOCATIONS OF UTILITIES.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION.
- FILL AREAS UNDER PAVEMENT SHALL BE GRANULAR BORROW. ALL OTHER FILL AREAS SHALL BE A COMMON BORROW MATERIAL SUITABLE FOR EMBANKMENT CONSTRUCTION, FREE FROM FROZEN MATERIAL, PERISHABLE RUBBLE, PEAT, ORGANICS, ROCKS LARGER THAN 12" IN DIAMETER, VEGETATION AND OTHER MATERIAL UNSUITABLE FOR ROADWAY AND SUBGRADE CONSTRUCTION. EXCAVATED ON-SITE MATERIALS MAY BE USED FOR FILL PROVIDED THE MATERIAL IS FREE FROM UNSUITABLE MATERIAL DESCRIBED IN THIS NOTE AND UPON APPROVAL OF THE ENGINEER GRANULAR BORROW AND COMMON BORROW SHALL COMPLY WITH THE MDT SPECIFICATIONS.
- ALL FILLS SHALL BE PLACED IN LAYERS NOT MORE THAN 12" LOOSE DEPTH AND COMPACTED BY HEAVY COMPACTION EQUIPMENT. MINIMUM COMPACTION SHALL BE 95% OF MAXIMUM DENSITY ASTM 1557, MODIFIED AND FIELD DENSITY ASTM D2922 (NUCLEAR METHODS).
- IMMEDIATELY UPON COMPLETION OF CUTS/FILLS, THE CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH EROSION CONTROL NOTES AS SPECIFIED ON PLANS.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH MDEP "MAINE EROSION AND SEDIMENT CONTROL BMPs, DATED MARCH 2003. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.
- ALL EARTHWORK ACTIVITY AND FOUNDATION PREPARATION SHALL BE COMPLETED IN ACCORDANCE WITH THE GEOTECHNICAL RECOMMENDATIONS SET FORTH BY R.W. OLLISPE AND ASSOCIATES.

PIPE SCHEDULE

Elem	From	To	Length	Slope	Size/Type
SD 1	DMH 1	Outfall	15'	0.0020	24" HDPE
SD 2	WOU 1	DMH 1	5'	0.0030	24" HDPE
SD 3	CB 1	WOU 1	16'	0.0075	24" HDPE
SD 4	CB 2	CB 1	76'	0.0030	18" HDPE
SD 5	CB 3	CB 2	74'	0.0030	18" HDPE
SD 6	CB 4	CB 3	44'	0.0030	18" HDPE
SD 7	CB 5	CB 4	84'	0.0050	18" HDPE
SD 8	CB 6	CB 5	98'	0.0030	18" HDPE
SD 9	DMH 3	Outfall	66'	0.0030	24" HDPE
SD 10	WOU 2	DMH 3	81'	0.0030	24" HDPE
SD 11	DMH 4	WOU 2	13'	0.0030	24" HDPE
SD 12	CB 7	DMH 4	33'	0.0030	24" HDPE
SD 13	CB 8	CB 7	58'	0.0030	24" HDPE
SD 14	CB 9	CB 8	68'	0.0030	24" HDPE
SD 15	CB 10	CB 9	106'	0.0030	24" HDPE
SD 16	Ex. CB	CB 10	26'	0.0030	18" HDPE/Core Drill
SD 17	CB 11	CB 10	52'	0.0115	18" HDPE
SD 18	CB 12	CB 7	75'	0.0110	18" HDPE
SD 19	CB 20	CB 8	45'	0.0110	18" HDPE
SD 20	CB 14	CB 1	76'	0.0040	18" HDPE

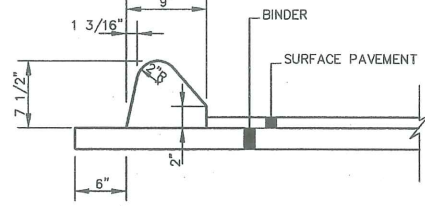
STRUCTURE SCHEDULE

Structure	Rm	Inverts In	Inverts Out	Description
EXIST. CB	49.07	42.85	42.77	4' Dia./Core Drill
CB 1	49.75	43.37 (SD 4)	43.27	6' Dia.
		43.37 (SD 7)	43.27 (SD 21)	
CB 2	49.75	43.70	43.60	4' Dia.
CB 3	49.75	44.02	43.92	4' Dia.
CB 4	49.75	---	44.24	4' Dia.
CB 5	49.50	43.89	43.79	4' Dia.
CB 6	49.75	---	44.18	4' Dia.
CB 7	48.25	41.50 (SD 12)	41.40	6' Dia.
		42.00 (SD 18)		
CB 8	49.50	41.97 (SD 14)	41.87	4' Dia.
CB 9	50.50	42.27	42.17	4' Dia.
CB 10	48.50	42.88	42.59	4' Dia.
CB 11	49.10	---	42.80	4' Dia.
CB 12	49.30	---	42.80	4' Dia.
CB 13	48.75	---	42.50	4' Dia.
CB 14	48.75	---	43.67	4' Dia.
DMH 1	45.25	43.14	43.04	5' Dia.
DMH 2	48.85	42.00 (SD 13)	41.80	5' Dia.
		41.70 (SD 20)		
		42.00 (SD 17)		
DMH 3	48.80	41.34	41.24	5' Dia.
WOU 1	48.25	43.15	43.15	
WOU 2	46.00	41.35	41.35	

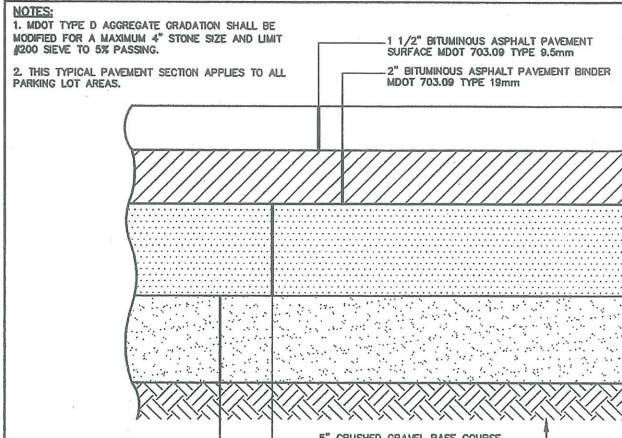


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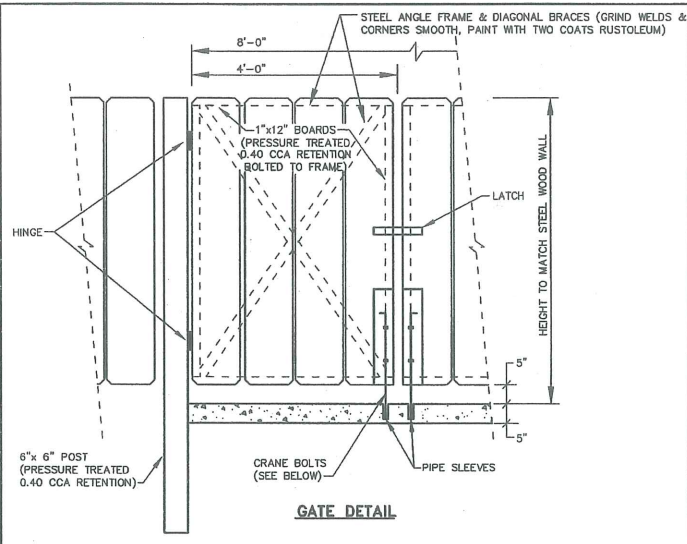
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SHEET TITLE: GRADING, DRAINAGE AND EROSION CONTROL PLAN LOT 4 - 400 RIVERSIDE STREET PROPERTIES		DRAWN: CMW DATE: DEC 2003		DESIGNED: TJM SCALE: AS NOTED	
CLIENT: RIST / BRUNET FAMILY TRUST, 400 RIVERSIDE STREET, PORTLAND, ME 04103		CHECKED: SRB JOB NO. 2314		FILE NAME: 2314-SP	
SHEET: 4B		REVISIONS:		SHEET: 4B	



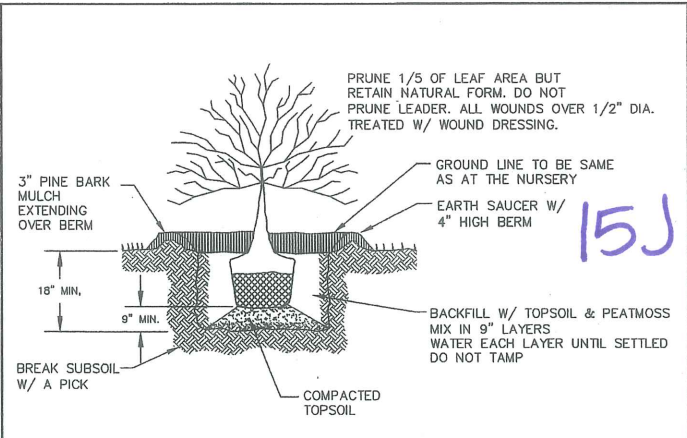
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N.T.S.



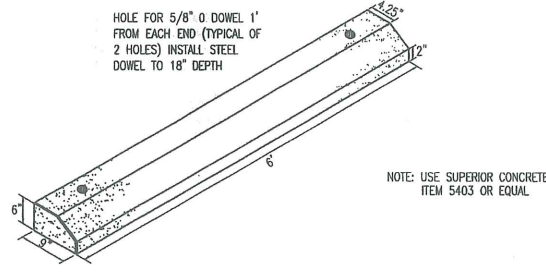
(D) PAVEMENT SECTION DETAIL
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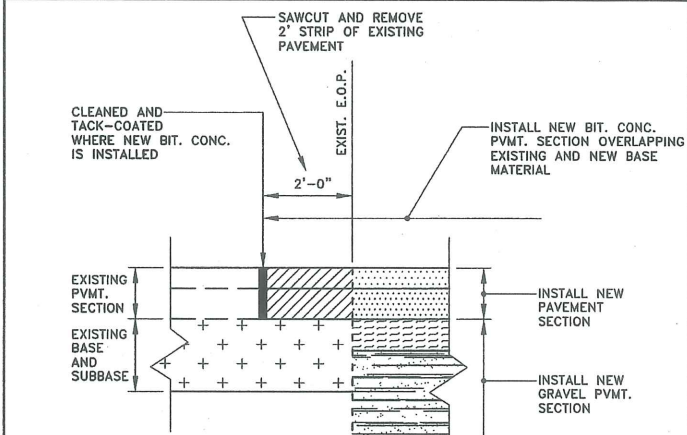
(G) DUMPSTER ENCLOSURE DETAIL
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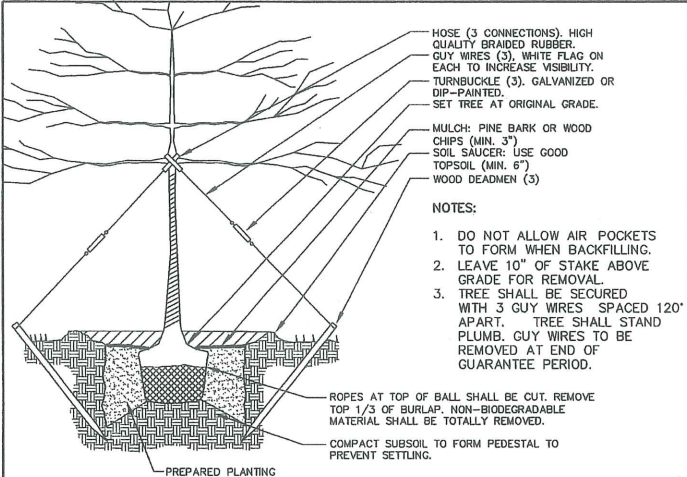
(H) TYPICAL SHRUB PLANTING
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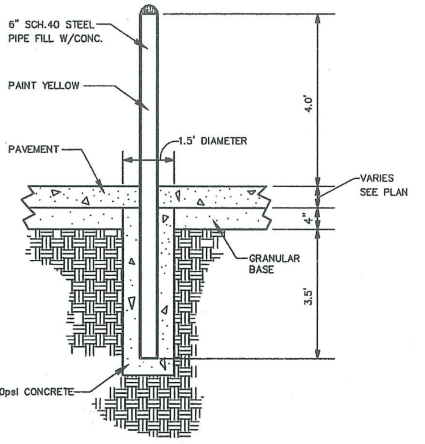
(B) PRECAST CURBING WHEEL STOP DETAIL
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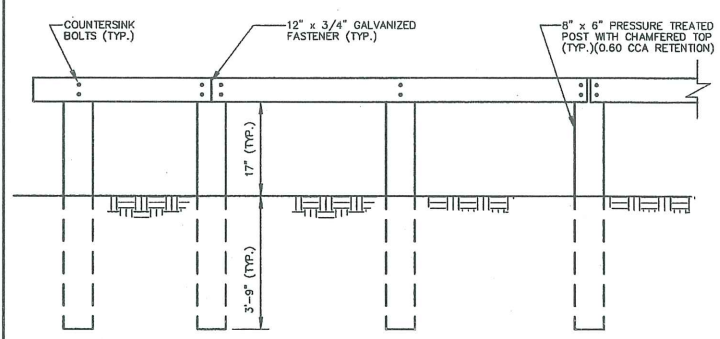
(E) NEW PAVEMENT ADJACENT TO EXISTING PAVEMENT
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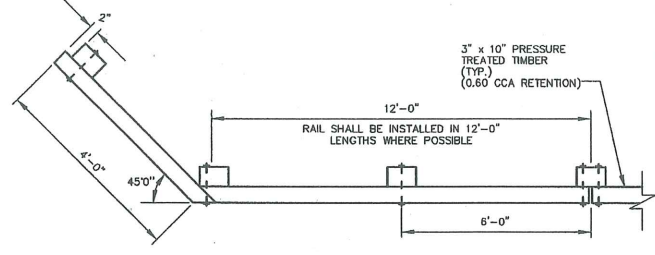
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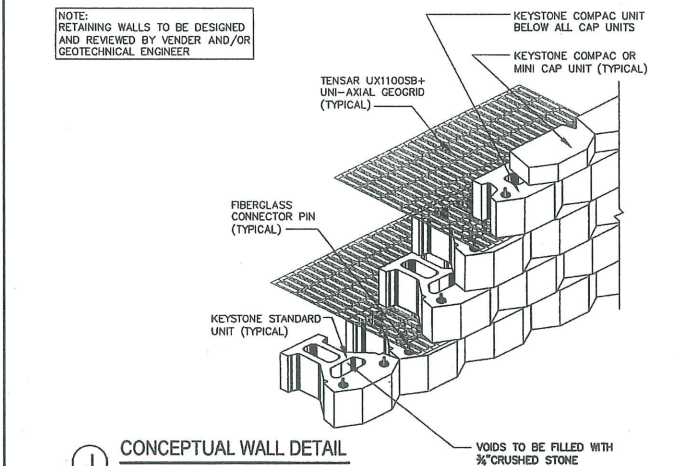
(C) BOLLARD DETAIL
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(F) TIMBER GUARD RAIL DETAIL
N.T.S.



(G) DUMPSTER ENCLOSURE DETAIL
N.T.S.



(J) CONCEPTUAL WALL DETAIL
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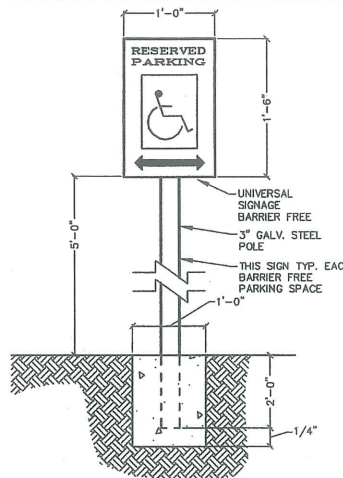
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1	4.16.04	SITE PLAN REVIEW SUBMISSION
REVISIONS		



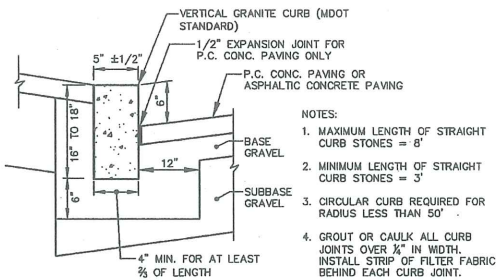
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SHEET TITLE: SITE DETAILS
CLIENT: RIST / BRUNET FAMILY TRUST
400 RIVERSIDE STREET
PORTLAND, ME 04103



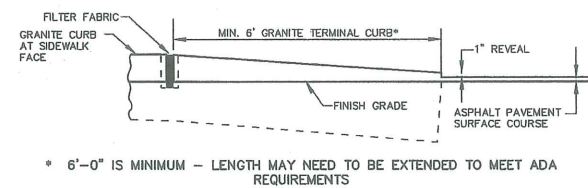
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DESIGNED: TJM SCALE: AS NOTED
CHECKED: SRB JOB NO. 2314
FILE NAME: 2314-DET-SITE
SHEET: 6



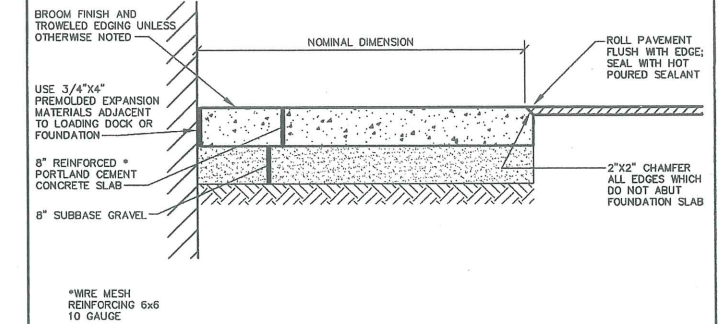
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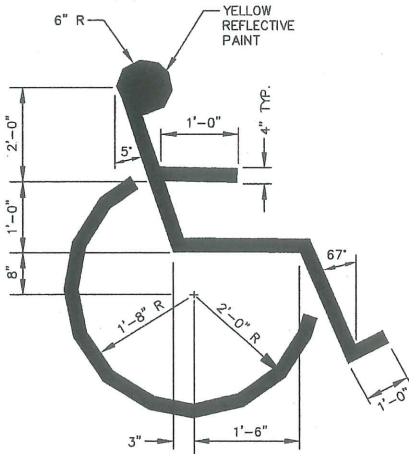
D VERTICAL GRANITE CURB
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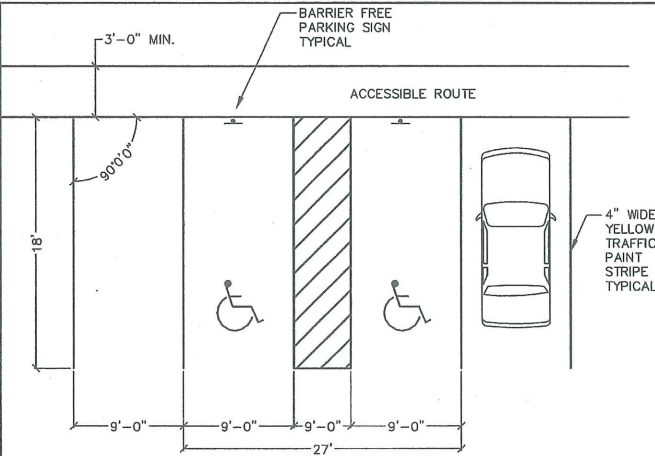
G TERMINAL CURB DETAIL
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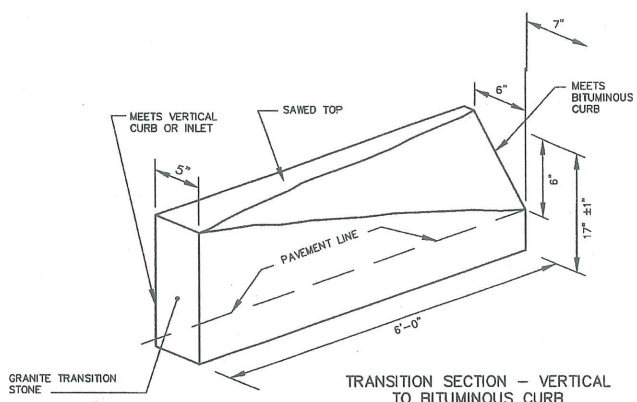
I DUMPSTER PAD DETAIL
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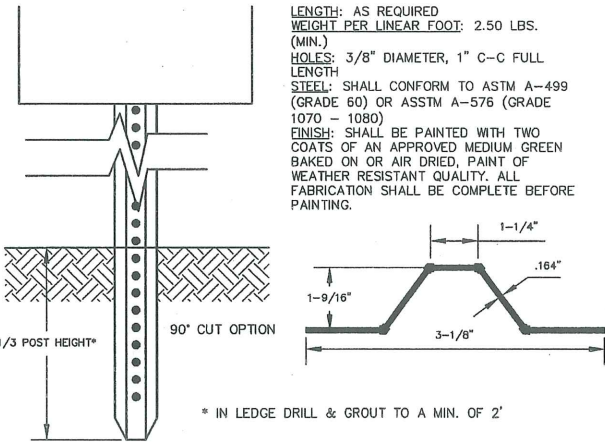
B INTERNATIONAL BARRIER FREE SYMBOL
N.T.S.



E TYPICAL PARKING SPACE DIMENSIONS
N.T.S.



H VERTICAL GRANITE TO BITUMINOUS CURB TRANSITION STONES
N.T.S.



C TYPICAL U-CHANNEL SIGN POST
N.T.S.

TABLE: CONDUIT SIZES FOR JACKETED CABLE
MINIMUM SIZE REQUIRED IN INCHES

CABLE TYPE	CABLE SIZE	NUMBER OF CONDUCTORS			
		1	2	3	4
15KV	URD	2"	3"	4"	5"
	POWER	2"	4"	4"	5"
35KV	URD	3"	5"	5"	6"
	POWER	3"	5"	6"	6"

F 3 PHASE RISER - GENERAL INFORMATION
N.T.S.

- CONNECT RISER TAPS TO THE APPROPRIATE PHASE AS REQUIRED. IF THE RISER FEEDS A 3Ø DEAD-FRONT PADMOUNT TRANSFORMER END OF THE SPARE CABLE SHOULD BE PARKED ON A BUSHING AND PLACED ON A PARKING STAND. IF THE RISER FEEDS A 3Ø LIVE-FRONT PADMOUNT TRANSFORMER, THEN THE TRANSFORMER END OF THE SPARE CABLE SHOULD BE BOLTED TO THE BUSHING OR PLACED ON THE PIN TERMINAL OF THE SAME PHASE TO WHICH THE OTHER END OF THE CABLE IS ATTACHED. FOR BOTH LIVE-FRONT AND DEAD-FRONT TRANSFORMERS THE RISER END OF THE SPARE CABLE WILL HAVE A TERMINATOR AND WILL CONNECT TO ONE OF THE OUTSIDE CUTOUPS ALONG WITH THE REGULAR PHASE CABLE. IN ALL CASES, THE SPARE CABLE SHOULD BE MARKED "SPARE" ON BOTH ENDS (IN ADDITION TO ALL OTHER REQUIRED MARKINGS).
- THE RISER CONDUIT SHALL EXTEND A MINIMUM OF 4" ABOVE THE NEUTRAL BRACKET BOLT AND/OR 22" ABOVE THE SECONDARY CABLE SPREADER BRACKET BOLT (IF SECONDARIES ARE PRESENT).
- AFTER CABLE INSTALLATION, THE TOP OF THE RISER CONDUIT SHALL BE SEALED AGAINST MOISTURE WITH POLYURETHANE SEALER.
- CUTOUPS FOR TAP LINES SHALL BE PLACED ON THE MAIN LINE JUNCTION POLE OR ON THE POLE ONE SECTION IN, WHICHEVER IS BETTER FOR THAT PARTICULAR INSTALLATION.
- A LOOP RISER SHALL HAVE ALL CUTOUPS ON THE RISER POLE.
- RISER CONDUIT SHALL BE BONDED TO THE NEUTRAL. SEE PRIMARY URD RISER CONDUIT DETAIL.
- WHEN USING A NON-PORCELAIN TERMINATOR AND A CABLE POSITIONING BRACKET LEAVE 2 TO 3 INCHES OF CABLE BETWEEN THE TOP OF THE BRACKET AND THE BOTTOM OF THE TERMINATOR.
- TWIST CONCENTRIC NEUTRAL WIRES INTO A BUNDLE AND CONNECT TO THE SYSTEM NEUTRAL WIRE.
- CONNECT THE ARRESTER TO THE SYSTEM NEUTRAL WIRE WITH AS SHORT A LEAD AS PRACTICAL.
- USE THE PROPER CABLE TERMINATOR FOR RATED VOLTAGE AND SIZE OF CABLE.

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PROJECT: LOT 6 McALISTER FARM SUBDIVISION & LOT 4 400 RIVERSIDE STREET PROPERTIES PORTLAND, MAINE

SHEET TITLE: SITE DETAILS

CLIENT: RIST / BRUNET FAMILY TRUST
400 RIVERSIDE STREET
PORTLAND, ME 04103

DESIGNED: TJM | SCALE: AS NOTED
CHECKED: SRB | JOB NO. 2314
FILE NAME: 2314-DET-SITE
SHEET 7

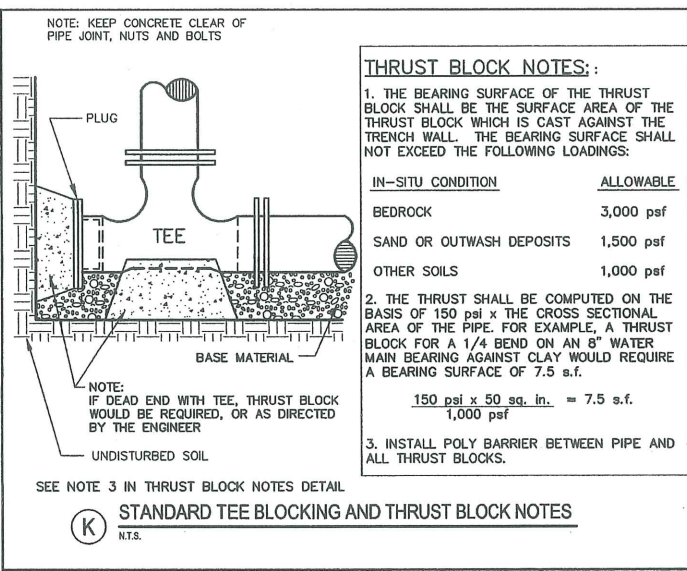
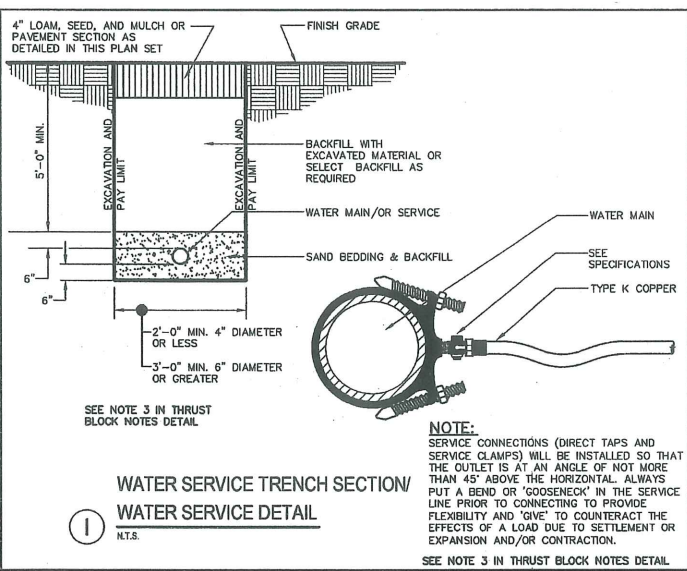
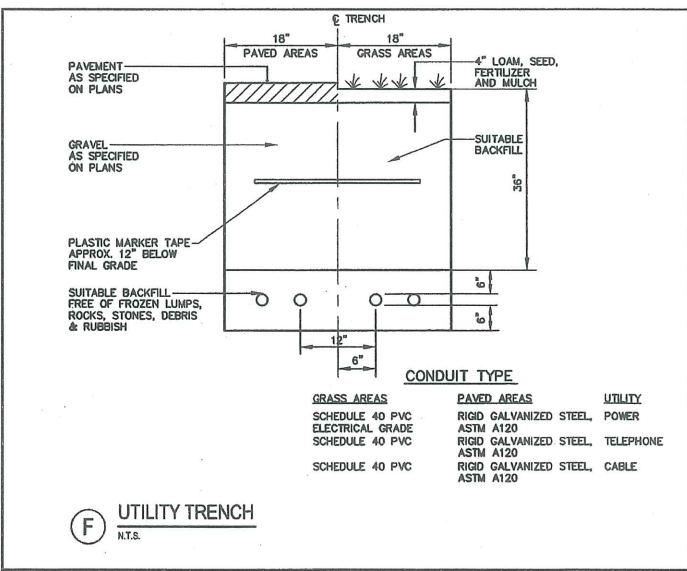
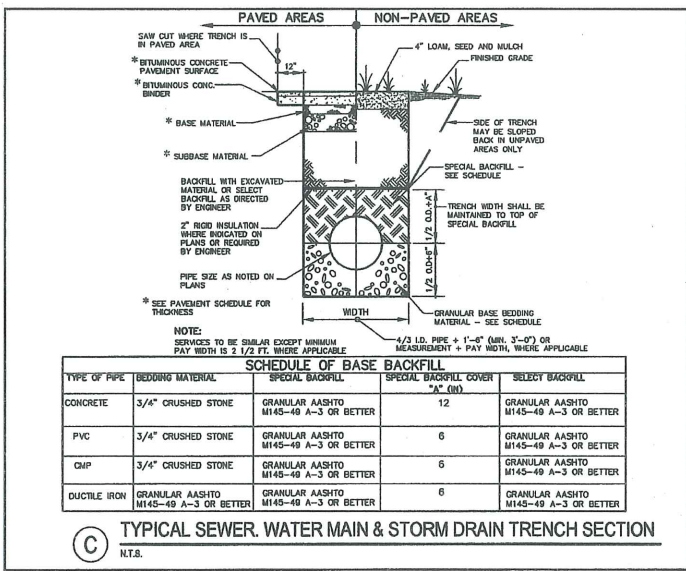
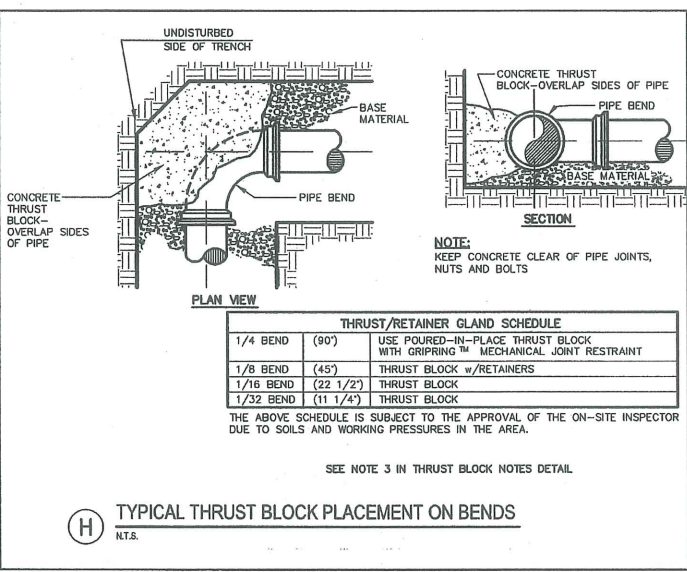
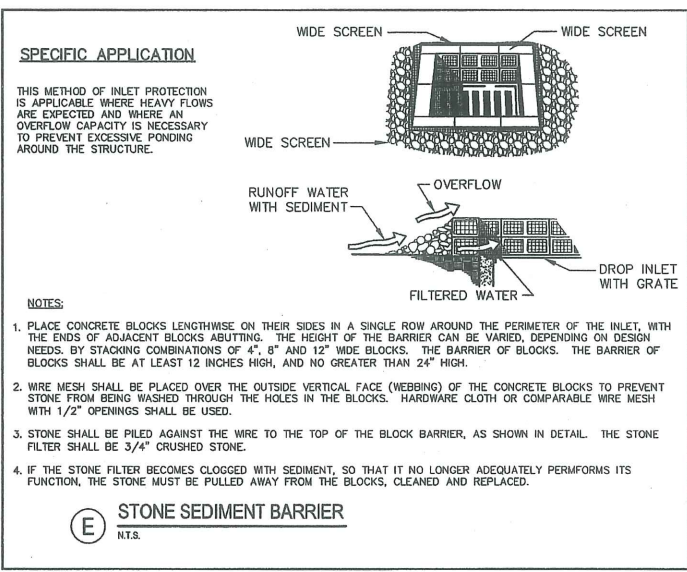
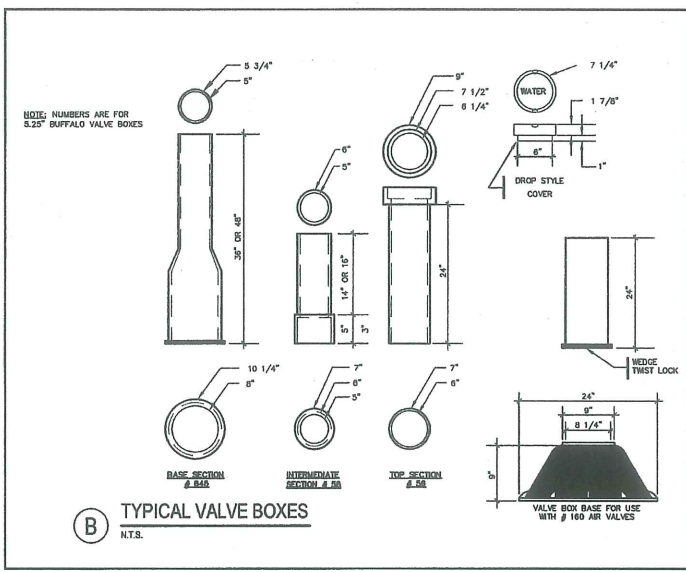
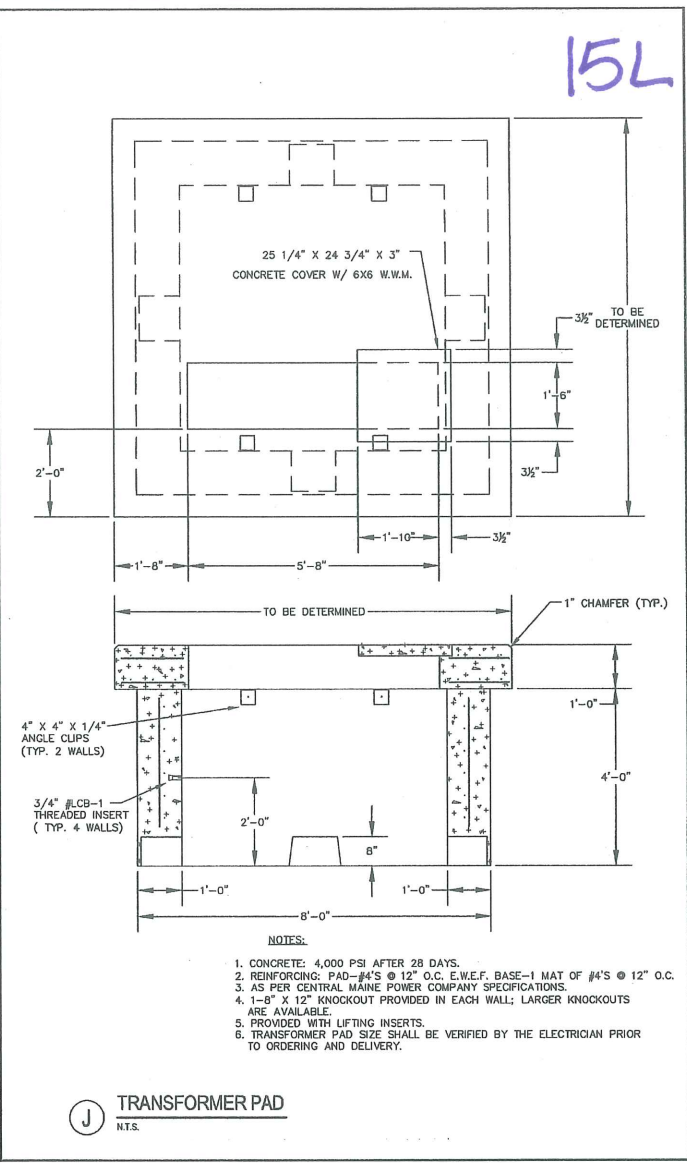
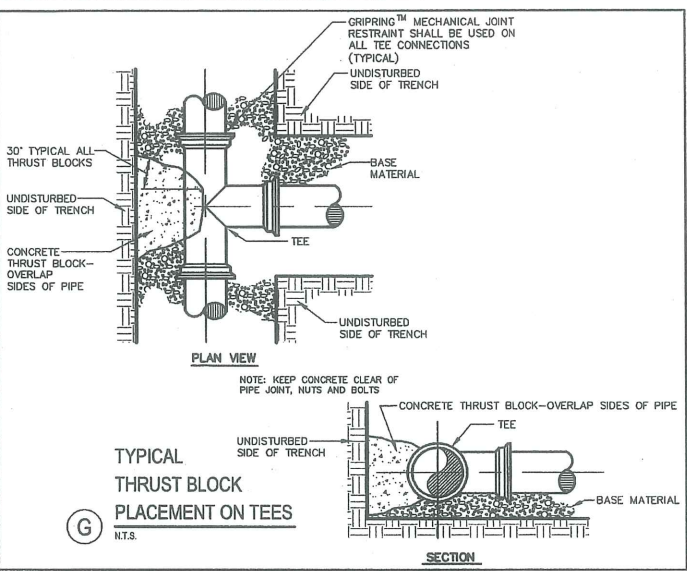
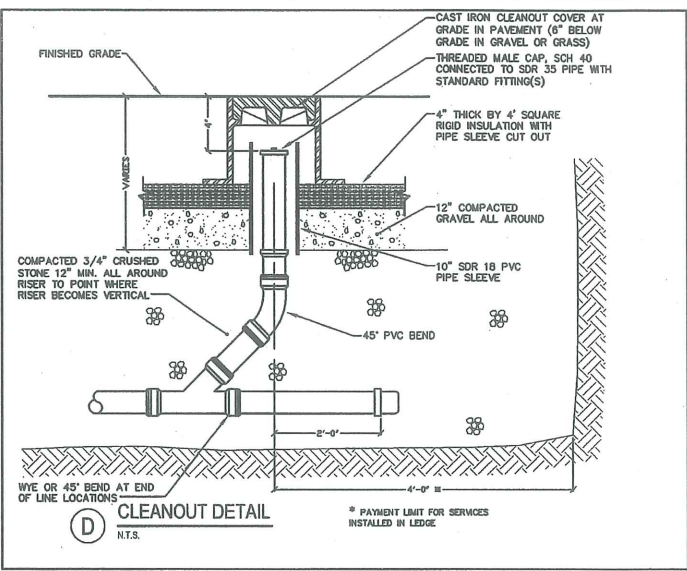
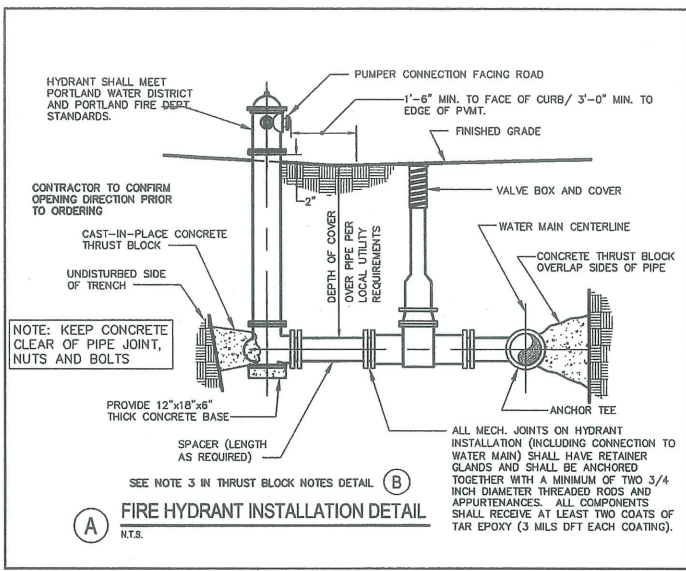
DeLUCA-HOFFMAN ASSOCIATES, INC.
778 MAIN STREET, SUITE 8
SOUTH PORTLAND, ME 04106
307.776.1181
WWW.DELUCAHOFFMAN.COM

DRAWN: CMW | DATE: DEC 2003
DESIGNED: TJM | SCALE: AS NOTED
CHECKED: SRB | JOB NO. 2314
FILE NAME: 2314-DET-SITE
SHEET 7

STATE OF MAINE
STEPHEN R. BUSHEY
#7429
PROFESSIONAL ENGINEER

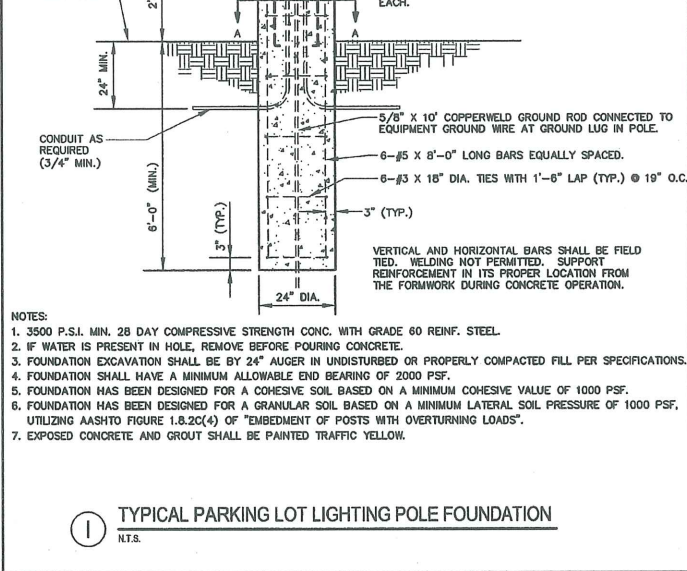
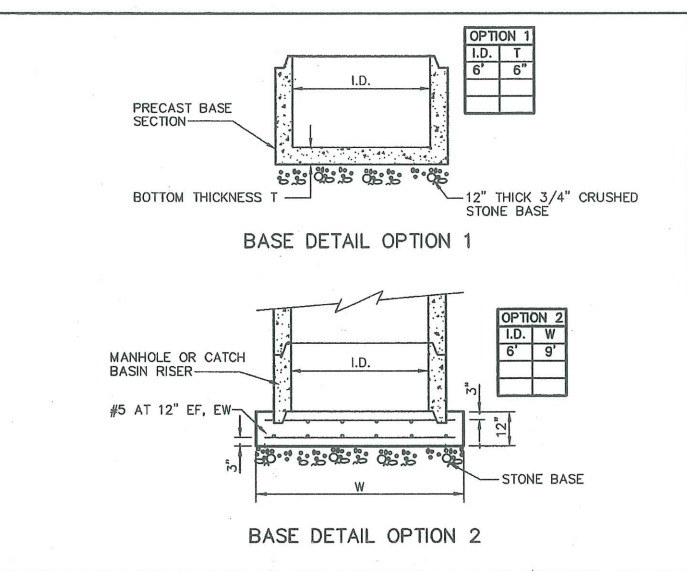
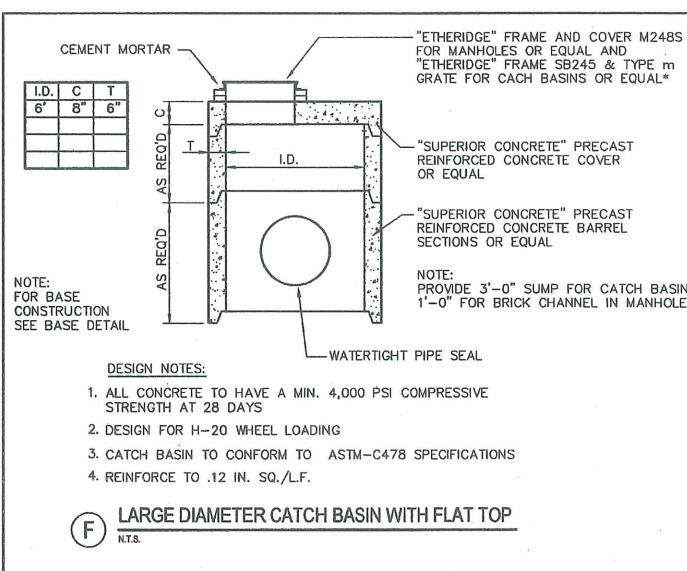
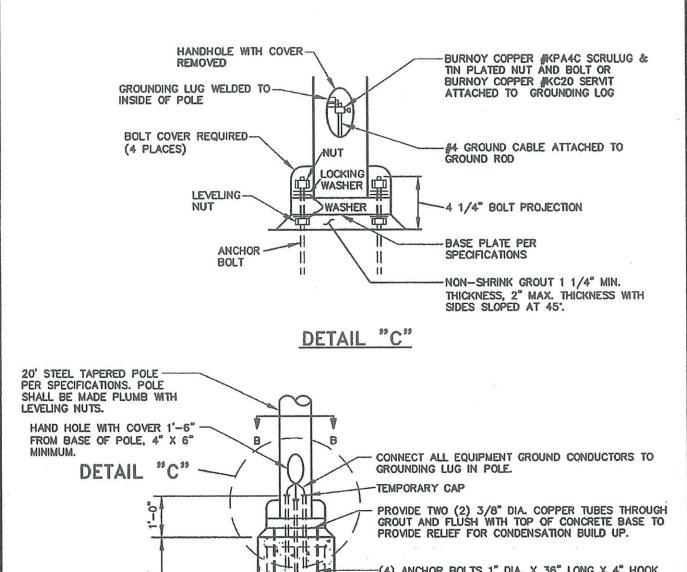
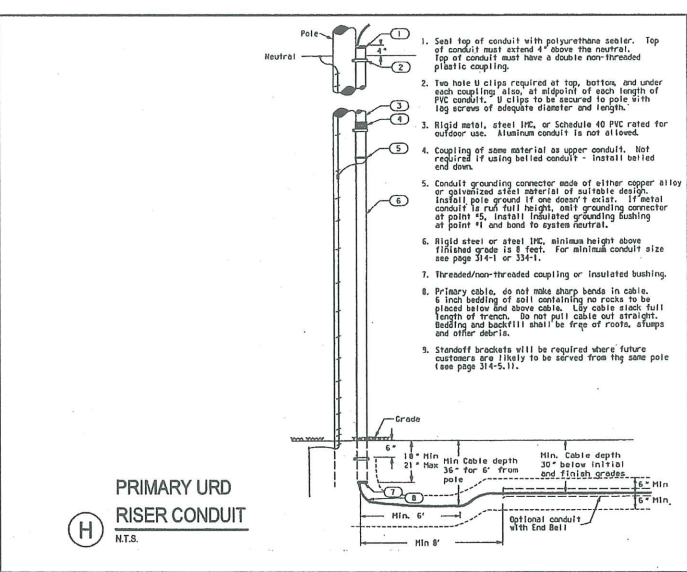
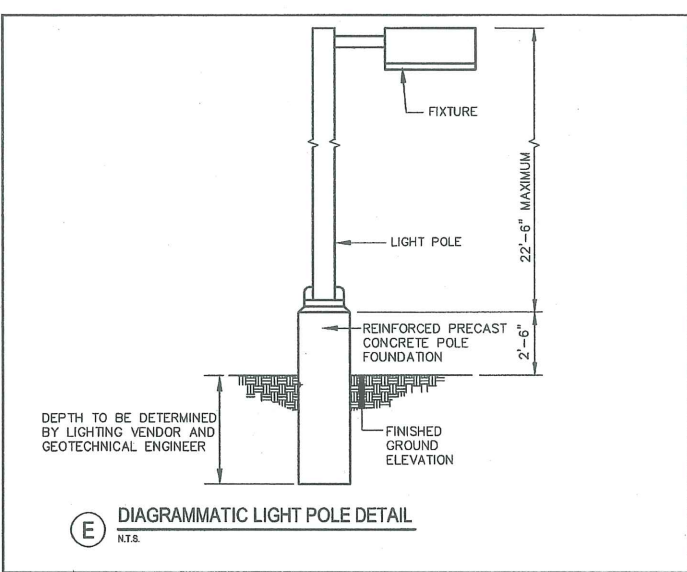
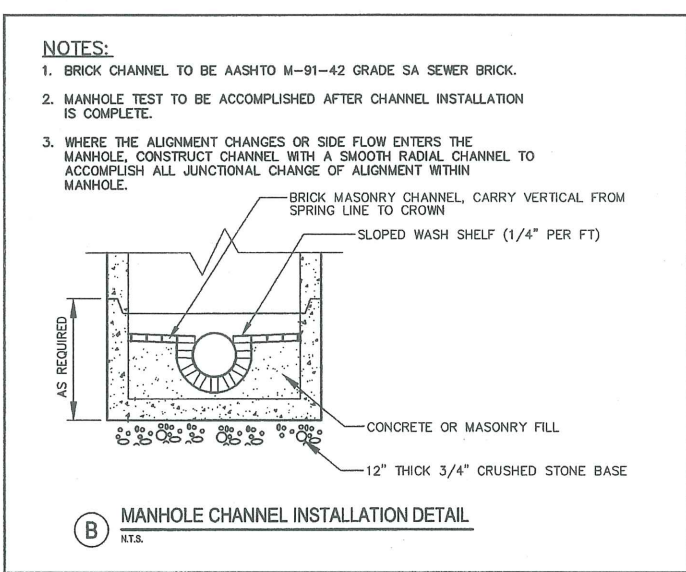
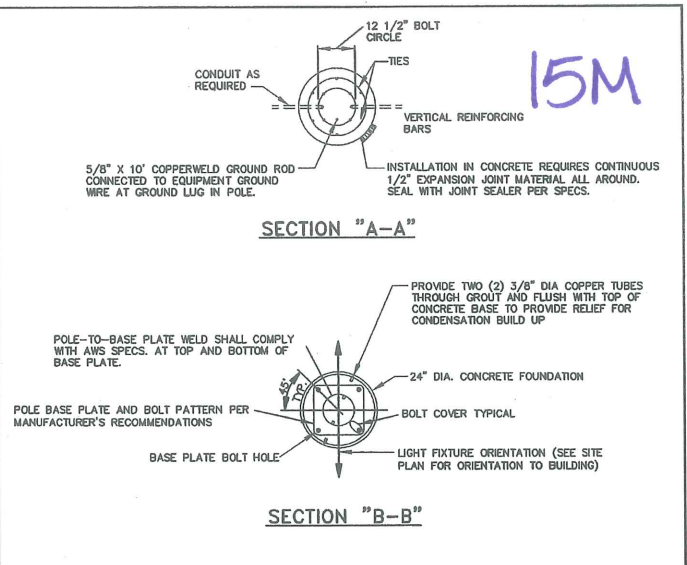
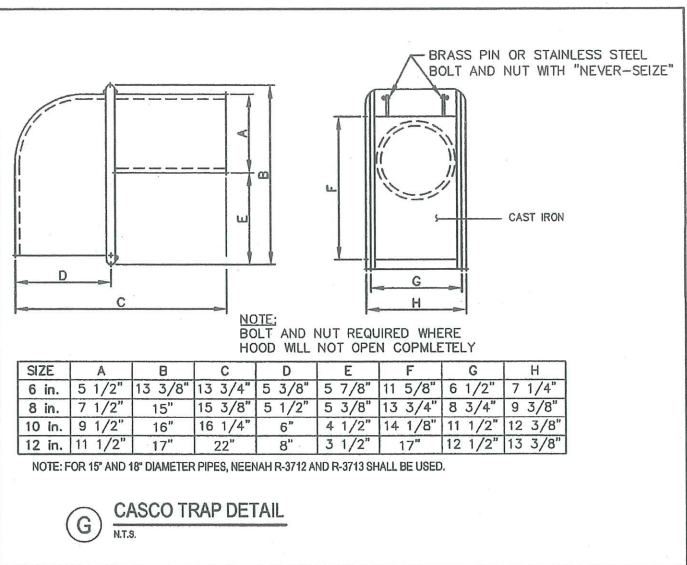
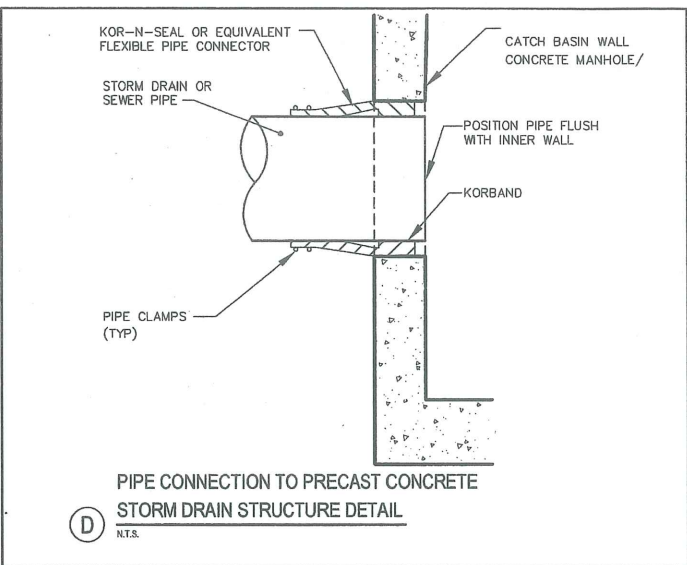
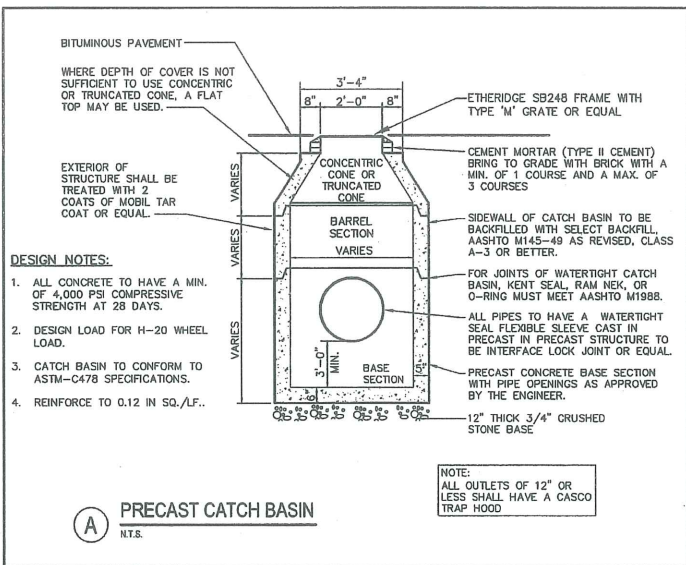
P.E. STEPHEN R. BUSHEY
LIC. #7429

REV	DATE	DESCRIPTION	REVISIONS
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		PROJECT: LOT 6 McALISTER FARM SUBDIVISION & LOT 4 400 RIVERSIDE STREET PROPERTIES PORTLAND, MAINE SHEET TITLE: UTILITY DETAILS CLIENT: RIST / BRUNET FAMILY TRUST 400 RIVERSIDE STREET PORTLAND, ME 04103	DeLUCA-HOFFMAN ASSOCIATES, INC. 778 MAIN STREET, SUITE 8 SOUTH PORTLAND, ME 04106 207.751.1191 WWW.DELOCAHOFFMAN.COM DRAWN: CMW DATE: DEC 2003 DESIGNED: TJM SCALE: AS NOTED CHECKED: SRB JOB NO: 2314 FILE NAME: 2314-DET-UTIL SHEET: 8
REVISIONS 1 4.16.04 SITE PLAN REVIEW SUBMISSION REV DATE DESCRIPTION		P.E. STEPHEN R. BUSHEY LIC. #7429	



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REV	DATE	DESCRIPTION	REVISIONS
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PROJECT: LOT 6 McALLISTER FARM SUBDIVISION & LOT 4 400 RIVERSIDE STREET PROPERTIES PORTLAND, MAINE

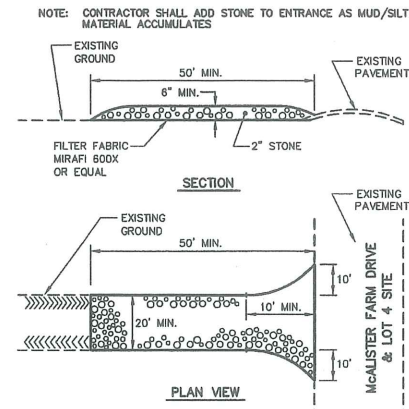
SHEET TITLE: STORM DRAIN DETAILS

CLIENT: RIST / BRUNET FAMILY TRUST
400 RIVERSIDE STREET
PORTLAND, ME 04103

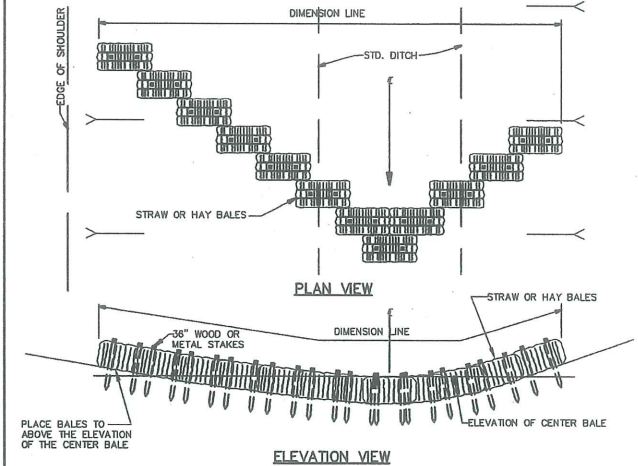
STATE OF MAINE
STEPHEN R. BUSHEY
REGISTERED PROFESSIONAL ENGINEER
#7429

DeLUCA-HOFFMAN ASSOCIATES, INC.
778 MAIN STREET, SUITE 8
SOUTH PORTLAND, ME 04105
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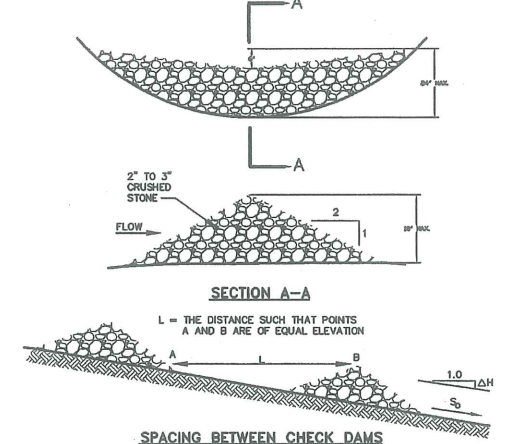
DRAWN: CMW DATE: DEC 2003
DESIGNED: TJM SCALE: AS NOTED
CHECKED: SRB JOB NO: 2314
FILE NAME: 2314-DET-UTIL
SHEET 9



A STABILIZED CONSTRUCTION ENTRANCE
N.T.S.



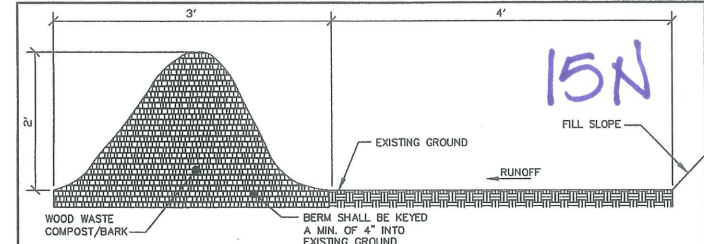
D HAY BALE BARRIER (TYPE 1) SEDIMENT CONTROL
N.T.S.



G STONE CHECK DAM
N.T.S.

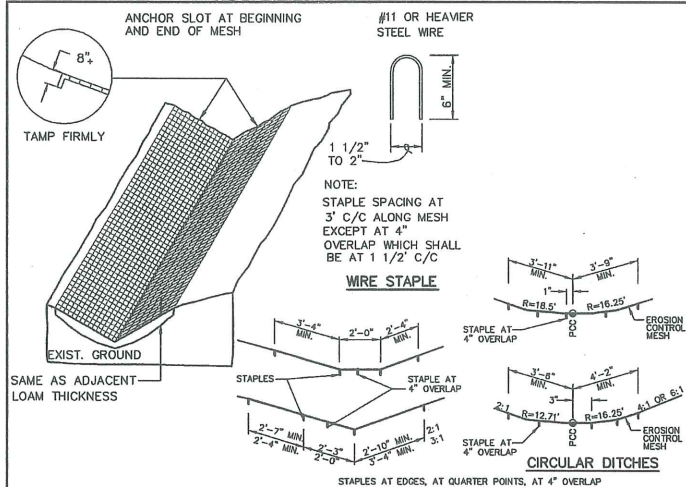
SPACING BETWEEN CHECK DAMS

S ₀	L
(FT./FT.)	(FT.)
0.025	75
0.030	50
0.040	40
0.050	30
0.080	20
0.100	10

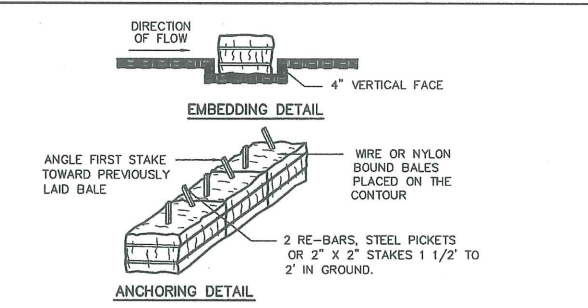


J WOOD WASTE COMPOST/BARK FILTER BERM DETAIL
N.T.S.

NOTES:
1. THE WOOD WASTE COMPOST/BARK MIX SHALL CONFORM TO THE FOLLOWING STANDARDS:
A. MOISTURE CONTENT - 30-60%
B. pH - 5.0-8.0
C. SCREEN SIZE - 100% LESS THAN 3", MAX. 70% LESS THAN 1"
D. NO LESS THAN 40% ORGANIC MATERIAL (DRY WEIGHT) BY LOSS OF IGNITION
E. NO STONES LARGER THAN 2" IN DIAMETER
2. THE COMPOST BERM SHALL BE PLACED, UNCOMPACTED, ALONG A RELATIVELY LEVEL CONTOUR.
3. THE WOOD WASTE COMPOST/BARK FILTER BERM MAY BE USED IN LIEU OF SILTATION FENCE, AT THE TOE OF SHALLOW SLOPES, ON FROZEN GROUND, LEDGE OUT CROPS, VERY ROOTED FORESTED AREA OR AT THE EDGE OF GRAVEL PARKING AREAS.
4. BERMS SHALL REMAIN IN PLACE UNTIL UPSTREAM AREA IS COMPLETED OR 70% CATCH OF VEGETATION IS ATTAINED. BERMS SHALL BE REMOVED BY SPREADING SUCH THAT THE NATIVE EARTH CAN BE SEEN BELOW.
5. WOODWASTE FILTER BERMS SHALL NOT BE PLACED IN WETLAND AREAS.



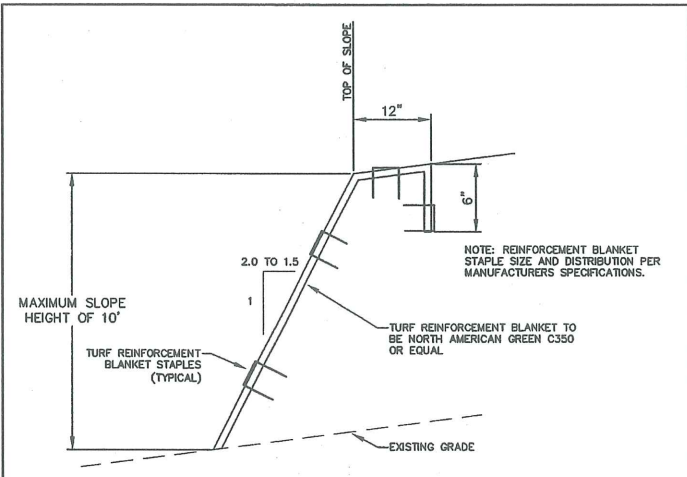
B EROSION CONTROL MESH
N.T.S.



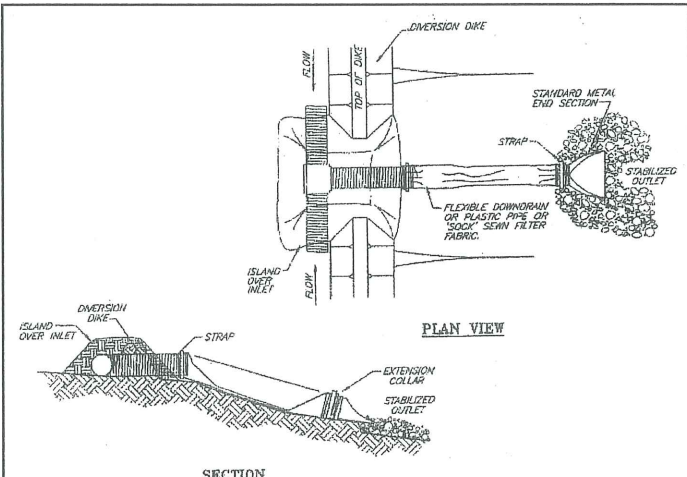
E STRAW OR HAY BALE BARRIER
N.T.S.

CONSTRUCTION SPECIFICATIONS

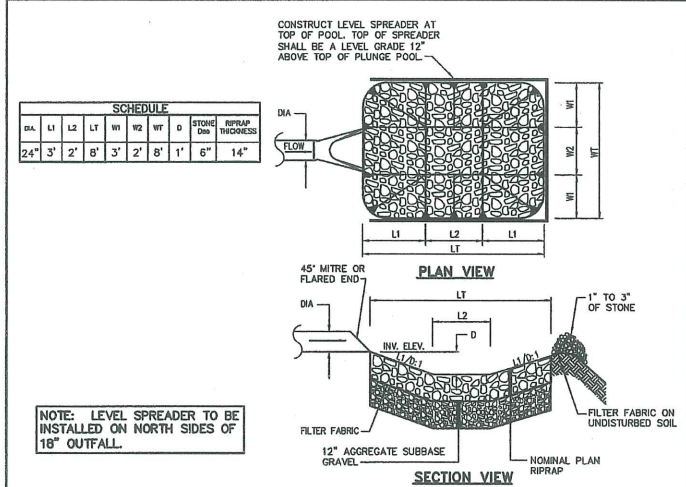
- Bales shall be placed in a row with ends lightly abutting the adjacent bales.
- Each bale shall be embedded in the soil a minimum of 4".
- Bales shall be securely anchored in place by stakes or re-bars driven through the bales. The first stake in each bale was angled toward previously laid bale to force bales together.
- Inspection will be frequent and repair or replacement shall be made promptly as needed.
- Bales shall be removed when they have served their usefulness so as not to block or impede storm flow or drainage.



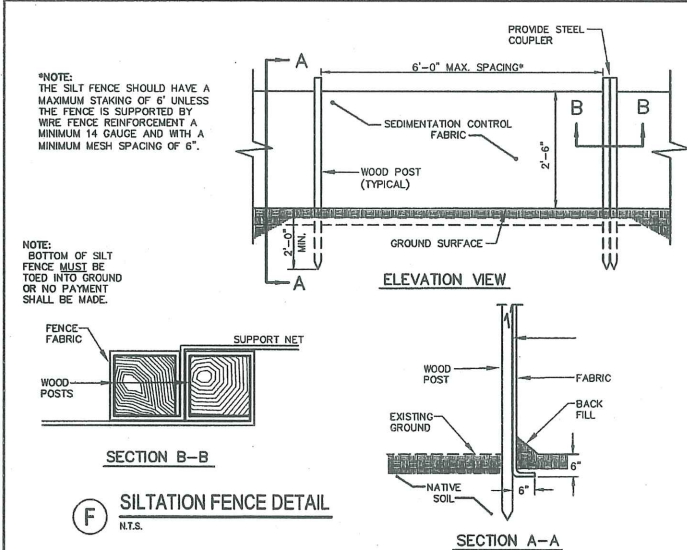
H TURF REINFORCEMENT DETAIL
N.T.S.



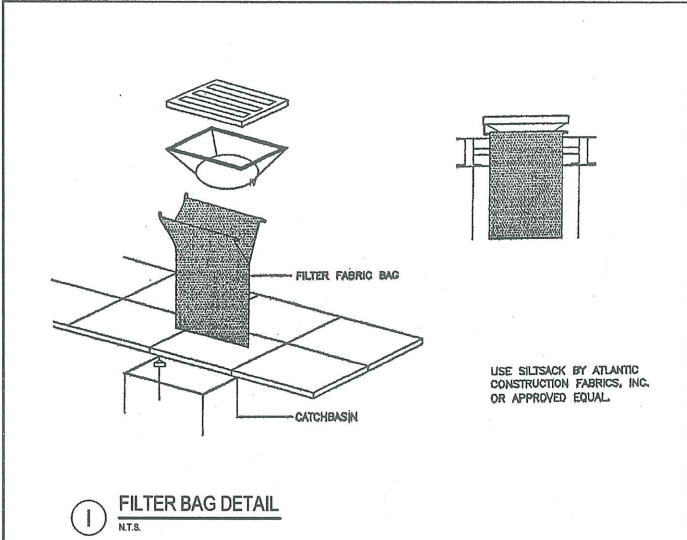
K ISLAND OVER INLET
N.T.S.



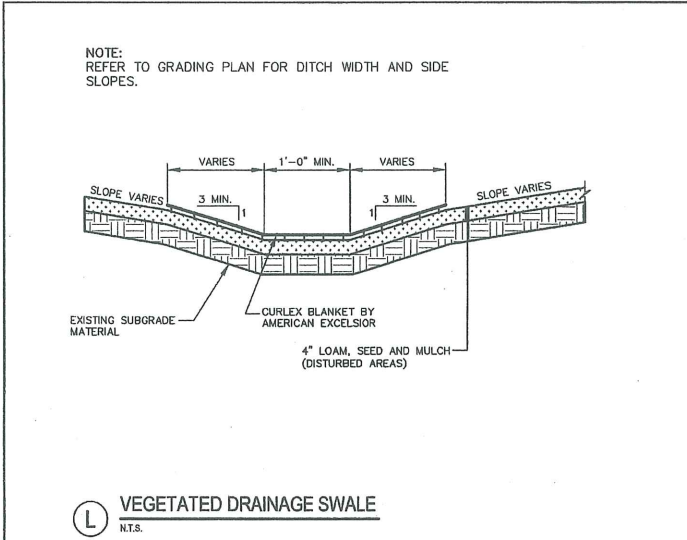
C RIPRAP PLUNGE POOL WITH LEVEL LIP SPREADER DETAIL
N.T.S.



F SILTATION FENCE DETAIL
N.T.S.



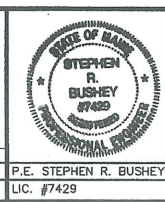
I FILTER BAG DETAIL
N.T.S.



L VEGETATED DRAINAGE SWALE
N.T.S.

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REV	DATE	DESCRIPTION
1	4.16.04	SITE PLAN REVIEW SUBMISSION



PROJECT: LOT 6 McALISTER FARM SUBDIVISION & LOT 4 400 RIVERSIDE STREET PROPERTIES PORTLAND, MAINE
SHEET TITLE: EROSION CONTROL DETAILS
CLIENT: RIST / BRUNET FAMILY TRUST
400 RIVERSIDE STREET
PORTLAND, ME 04103

DeLUCA-HOFFMAN ASSOCIATES, INC.
778 MAIN STREET, SUITE 8
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DRAWN: CMW DATE: DEC 2003
DESIGNED: TJM SCALE: AS NOTED
CHECKED: SRB JOB NO: 2314
FILE NAME: 2314-DET-EROS
SHEET 10

EROSION AND SEDIMENT CONTROL NOTES

The primary emphasis of the erosion/sedimentation control plan to be implemented for this project are as follows:
 Development of a careful construction sequence. Rapid revegetation of denuded areas to minimize the period of soil exposure. Rapid stabilization of drainage paths to avoid fill and gully erosion. The use of onsite measures to capture sediment (hay bales/silt fence, etc.) The provisions for long term erosion/sediment and pollutant treatment by the incorporation of permanent Best Management Practices.

Description and Location of Limits of All Proposed Earth Movements

The construction of the development will require the following on-site improvements.

Earthwork activity including cuts and fills to bring the paved and gravel areas to subgrade.

Construction of stormwater measures.
 Construction of parking lots, drive aisles, walkways and installation of storm drains.
 Construction of building foundations including such alternatives as piles, preload and wick drains.

Erosion/Sedimentation Control Devices

The following erosion and sediment control devices will be implemented by the Contractor as part of the site development. These devices shall be installed as indicated on the plans. For further reference, see the Maine Erosion and Sediment Control Handbook for Construction: Best Management Practices.

Siltation fence shall be installed downstream of any disturbed areas to trap runoff borne sediments until the site is revegetated. The silt fence shall be installed per the details provided in the plan set and inspected immediately after each rainfall and at least daily during prolonged rainfall. Repairs shall be made immediately by the Contractor if there are any signs of erosion or sedimentation below the fence line. Proper placement of stakes and fabric into the ground is critical to the fence's effectiveness. If there are signs of undercutting at the center or the edges, or impounding of large volumes of water behind the fence, the barrier shall be replaced with a stone check dam.
 Straw or hay mulch including hydroseeding is intended to provide cover for denuded or seeded areas until revegetation is established. Mulch placed on slopes of less than 10 percent shall be anchored by applying water; mulch placed on slopes steeper than 10 percent shall be covered with a fabric netting and anchored with staples in accordance with the manufacturer's recommendations. Slopes steeper than 3:1 which are to be revegetated shall receive Turf Reinforcement by North American Green or equal. Mulch application rates are provided at the end of this section. Hay mulch shall be available on site at all times in order to provide immediate temporary stabilization when necessary.
 Riprap slopes, ditch linings, stone check dams, hay bale barriers and culvert outlet aprons are intended to reduce runoff velocities and protect denuded soil surfaces from concentrated flows. Installation details and stone sizes are provided in the construction plan set on the erosion control detail sheets.
 Construction entrance will be constructed at all access points onto the site to prevent tracking of soil onto McAlister Farm Drive and Riverside Street.
 Storm drain catch basin inlet protection shall be provided through the use of stone sediment barriers or a premanufactured SiltSack™ as distributed by A. H. Harris. Stone sediment barrier installation details are provided in the plan set. The barriers shall be inspected after each rainfall and repairs made as necessary. Sediment shall be removed and the barrier restored to its original dimensions when the sediment has accumulated to 1/2 the design depth of the barrier. The barrier shall be removed when the tributary drainage area has been stabilized.
 Loam and seed is intended to serve as the primary permanent revegetative measure for all denuded areas not provided with other erosion control measures, such as riprap. Application rates are provided for temporary and permanent seeding in non-wetland areas.

Temporary Erosion/Sedimentation Control Measures

The following are planned as temporary erosion/sedimentation control measures during construction:

Crushed stone stabilized construction entrance(s) shall be placed at the site access onto McAlister Farm Drive and at the access drive to Lot 4 at 400 Riverside Street Properties.

Siltation fence or an organic filter barrier shall be installed along the downgradient side of all disturbed areas. The siltation barrier will remain in place and properly maintained until the site is acceptably revegetated.

Temporary stockpiles of stumps, grubbing, or common excavation will be protected as follows:

Temporary stockpiles shall not be located within 100 feet of the wetlands or 25' from the top of bank and shall be located away from drainage swales.

Stockpiles shall be stabilized within 7 days by either temporarily seeding the stockpile with a hydroseed method containing an emulsified mulch tackifier or by covering the stockpile with mulch.

All denuded areas that are within 100 feet of a wetland which have been rough graded and are not located within the building pad or pavement subbase area, shall receive mulch or erosion control mesh fabric within 7 days of initial disturbance of soil. In other areas, the time period may be extended to 14 days.

For work which is conducted between November 1 and April 15 of any calendar year, all denuded areas will be covered with hay mulch, applied at twice the normal application rate and anchored with a fabric netting. The time period for applying mulch shall be limited to 7 days for all areas or immediately in advance of a predicted rainfall event.

McAlister Farm Drive and the access drive to Lot 4 400 Riverside Street Properties shall be swept to control mud and dust as necessary. A street sweeper shall be available on immediate notice.

During grubbing operations stone check dams or hay bale barriers will be installed at any evident concentrated flow discharge points.

Silt fencing with a maximum stake spacing of 6 feet should be used, unless the fence is supported by wire fence reinforcement of minimum 14 gauge and with a maximum mesh spacing of 6 inches, in which case stakes may be spaced a maximum of 10 feet apart. The bottom of the fence should be properly anchored a minimum of 6" per the plan detail and backfilled. Any silt fence identified by the owner or reviewing agencies as not being properly installed during construction shall be immediately repaired in accordance with the installation details.

Permanent Erosion Control Measures

The following permanent erosion control measures have been designed as part of the Erosion/Sedimentation Control Plan:

All storm drain pipes shall have riprap aprons and plunge pools at their outlet to protect the outlets and receiving channels of the culverts from scour and deterioration. Installation details are provided in the plan set. The aprons and plunge pools shall be installed and stabilized prior to directing runoff to the tributary pipes or culverts.

The water quality units will discharge to riprap stabilized outlets.

All areas disturbed during construction, but not subject to other restoration (paving, riprap, etc.) will be loamed, limed, fertilized, mulched, and seeded. Fabric netting, anchored with staples, shall be placed over the mulch in areas where the finish grade slope is greater than 10 percent. All areas within 100' of a wetland shall receive protection within 7 days. Native topsoil shall be stockpiled temporarily stabilized with seed and mulch and reused for final restoration when it is of sufficient quality.

Catch basins will be provided with 2' sediment sumps and Casco traps over the outlet pipes.

Timing and Sequence of Erosion/Sedimentation Control Measures

The following construction sequence shall be required to insure the effectiveness of the erosion and sedimentation control measures are optimized. The sequence applies to all phases of construction.

For all grading activities, the contractor shall exercise extreme caution not to overexpose the site by limiting the disturbed areas.
 Install crushed stone stabilized construction entrances as shown on plans.
 Install perimeter siltation barriers as indicated on the plans.
 Clear and grub areas necessary for the stormwater systems and building foundation areas. Begin excavation.
 Excess materials shall be stockpiled and stabilized for use as fills for later grading operations. Install silt barriers at toe of berms for erosion protection.
 Perform earthwork to bring pavement areas and building pads to subgrade.
 Begin installation of drainage appurtenances and piping and utilities.
 Commence additional earthwork in fill areas of the parking areas.
 Complete earthwork and grading to subgrade as necessary for parking areas.
 Complete installation of storm drainage appurtenances within paved areas.
 Structures within the parking areas shall be temporarily set to subgrade and shall be reset upon placement of gravel and asphalt during a future phase.
 Complete all remaining earthwork operations including fine grading of slopes.
 Install subbase and base gravels within paved and gravel areas.
 Install base course paving for parking areas.
 Loam, lime, fertilize, seed and mulch disturbed area and complete all landscaping.
 Install surface course paving for pavement areas. Stripe per plans.
 Remove accumulated sediment from ahead of any sediment barriers as necessary.
 Once the site is stabilized and a 75% catch of vegetation has been obtained, remove all temporary erosion control measures.
 Touch up loam and seed.

Note: All denuded areas not subject to final paving, riprap or gravel, shall be revegetated. Due to the timing and size of the project, completion of the facilities within a summer construction season may not occur. For all work which will be conducted between November 1 and April 15 of the calendar year, the Contractor shall submit a schedule which will satisfy the following criteria:
 Limit the amount of exposed area to those areas in which work is expected to be undertaken during the preceding 15 days.
 During the construction process, all disturbed areas shall be covered with mulch within 7 days of final grading.
 Once final grades have been established, the contractor may choose to dormant seed the disturbed areas prior to placement of mulch and placement of fabric netting anchored with staples.
 If dormant seeding is used for the site, all disturbed areas shall receive 4" of loam and seed at an application rate of 5#/1000 s.f.

All areas seeded during the winter months will be inspected in the spring for adequate catch. All areas sufficiently vegetated (less than 75 percent catch) shall be revegetated by replacing loam, seed and mulch.
 If dormant seeding is not used for the site, all disturbed areas shall be revegetated in the spring.
 The area of denuded non-stabilized construction shall be limited to the minimum area practicable. An area shall be considered to be denuded until the subbase gravel is installed in parking areas, the base slab gravel is installed in building areas, or the areas of future loam and seed have been loamed, seeded, and mulched. The mulch rate shall be twice the rate specified. [For example, 115#/1,000 s.f. x 2 = 230#/s.f.] Within the exposed work area, temporary sedimentation sumps shall be provided at the interface between parking areas and graded slopes. This shall be accomplished by creating an area 18" below adjacent temporary grades. The sedimentation area shall have a bottom width of 3' and 3:1 side slopes. Culverts to allow access shall be installed by the Contractor. Along the sedimentation sumps, barriers shall be provided at sufficient intervals to permit runoff to be accumulated to a minimum depth of 12" before overflowing. The schedule shall be subject to the approval of the Owner.

The Contractor must install any added measures which may be necessary to control erosion/sedimentation from the site dependent upon the actual site and weather conditions.

The Contractor shall note that no area within 100 feet of a wetland shall remain denuded for a period of over 7 days before it is temporarily stabilized. Temporary stabilization shall be the installation of gravel or mulching. All other areas shall be stabilized within 14 days. For construction between November 1 and April 15 of any calendar year, all areas shall be temporarily stabilized within 7 days or prior to a forecasted rainfall event.

PERMANENT SEEDING PLAN NON-WETLAND AREAS

Project Lot 6 McAlister Farm Drive Subdivision & 400 Riverside Street Properties

Site Location Portland, Maine

Permanent Seeding X Temporary Seeding

1. Area to be seeded: <1 acre, OR 20M Sq. Ft.

2. Instructions on preparation of soil: Prepare a good seed bed for planting method used.

3. Apply lime as follows: #/acres, OR 138#/M Sq. Ft.

4. Fertilize with pounds of N-P-K/ac. OR

18.4 pounds of 10 - 20 - 20 N-P-K/M Sq. Ft.

5. Method of applying lime and fertilizer: Spread and work into the soil before seeding.

6. Seed with the following mixture:

45% Kentucky Bluegrass

45% Creeping Red Fescue

10% Perennial Ryegrass

When using small grain as nurse crop seed it at one-half the normal seeding rate.

7. Mulching instructions: Apply at the rate of tons per acre. OR

115 pounds per M. Sq. Ft.

Amount Unit #, Tons, Etc.

8. TOTAL LIME 138 #/1000 sq. ft.

9. TOTAL FERTILIZER 18.4 #/1000 sq. ft.

10. TOTAL SEED 1.03 #/1000 sq. ft.

11. TOTAL MULCH 115 #/1000 sq. ft.

12. TOTAL other materials, seeds, etc.

13. REMARKS

Spring seeding is recommended, however, late summer (prior to September 1) seeding can be made. Permanent seeding should be made prior to August 5 or as a dormant seeding after the first killing frost and before the first snowfall. If seeding cannot be done within these seeding dates, temporary seeding and mulching shall be used to protect the site. Permanent seeding shall be delayed until the next recommended seeding period.

Fertilizer requirements shall be subject to actual test results of the topsoil used for the project. The Contractor shall be responsible for providing topsoil test results for pH and recommended fertilizer application rates to the owner.

TEMPORARY SEEDING PLAN NON-WETLAND AREAS

Project Lot 6 McAlister Farm Drive Subdivision & Lot 4 400 Riverside Street Properties

Site Location Portland, Maine

Permanent Seeding X Temporary Seeding

1. Area to be seeded: <1 acre, OR 20M Sq. Ft.

2. Instructions on preparation of soil: Prepare a good seed bed for planting method used.

3. Apply lime as follows: #/acres, OR 138#/M Sq. Ft.

4. Fertilize with pounds of N-P-K/ac. OR

18.4 pounds of 10 - 20 - 20 N-P-K/M Sq. Ft.

5. Method of applying lime and fertilizer: Spread and work into the soil before seeding.

6. Seed with the following mixture:

50% Perennial Ryegrass

50% Winter Rye

When using small grain as nurse crop seed it at one-half the normal seeding rate.

7. Mulching instructions: Apply at the rate of tons per acre. OR

230 pounds per M. Sq. Ft.

Amount Unit #, Tons, Etc.

8. TOTAL LIME 138 #/1000 sq. ft.

9. TOTAL FERTILIZER 18.4 #/1000 sq. ft.

10. TOTAL SEED 1.75 #/1000 sq. ft.

11. TOTAL MULCH 230 #/1000 sq. ft.

12. TOTAL other materials, seeds, etc.

13. REMARKS

Recommended seeding dates after August 15.

For areas with slopes >10%, waterways, areas within 100 feet of wetlands, and fall and winter erosion control areas, mulch netting shall be used per manufacturer's specifications.

Fertilizer requirements shall be subject to actual test results of the topsoil used for the project. The Contractor shall be responsible for providing topsoil test results for pH and recommended fertilizer application rates to the owner

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		PROJECT LOT 6 McALISTER FARM SUBDIVISION & LOT 4 400 RIVERSIDE STREET PROPERTIES PORTLAND, MAINE	DeLUCA-HOFFMAN ASSOCIATES, INC. 778 MAIN STREET, SUITE 8 SOUTH PORTLAND, ME 04106 503.778.1141 WWW.DELUCAHOFFMAN.COM
		SHEET TITLE EROSION CONTROL NOTES	
CLIENT RIST / BRUNET FAMILY TRUST 400 RIVERSIDE STREET PORTLAND, ME 04103	DRAWN: CMW DESIGNED: TJM CHECKED: SRB FILE NAME: 2314-DET-EROS	DATE: DEC 2003 SCALE: AS NOTED JOB NO. 2314 SHEET 11	
1 4.16.04 SITE PLAN REVIEW SUBMISSION	P.E. STEPHEN R. BUSHEY LIC. #7429		
REV DATE DESCRIPTION REVISIONS			