

Location of Construction: 400 Riverside Street		Owner: Riverside Properties, LLC		Phone: 797-2196	Permit No: 981279
Owner Address: 400 Riverside St.		Lessee/Buyer's Name: Jotul North American		Phone:	BusinessName:
Contractor Name: The Sheridan Corp.		Address: P.O. Box 359 Fairfield, ME 04937-0359		Phone:	
Past Use: Commercial/Storage	Proposed Use: Same	COST OF WORK: \$ 418,000	PERMIT FEE: \$ 2,110.00	<div style="border: 2px solid black; padding: 5px; text-align: center;"> PERMIT ISSUED Permit Issued: NOV 6 1998 CITY OF PORTLAND </div>	
		FIRE DEPT. <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group <i>B/S</i> Type <i>2C</i> <i>BOC # 9.6</i>		
Proposed Project Description: Addition of 17,020 s.f. Warehouse to Existing Building		Signature: <i>[Signature]</i>		Signature: <i>[Signature]</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		Zone: <i>IM</i> CBL: <i>320-A-002</i>	
		Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied: <input type="checkbox"/>		Zoning Approval: <i>[Signature]</i> Special Zone or Reviews: <input type="checkbox"/> Shoreland <i>NA</i> <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Flood Zone <i>CPA</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
Permit Taken By: <i>MG</i>	Date Applied For: <i>10-30-98</i>				

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

*CALL FOR P/P

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

10-30-98

SIGNATURE OF APPLICANT ADDRESS: DATE: PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

Zoning Appeal

Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation

Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:

Approved
 Approved with Conditions
 Denied

Date: *[Signature]*

CEO DISTRICT

CONTENTS

18 NOV, 98 ON SITE WORK STARTED WORK ON FORMS FOR PIERS - SPOKE TO Supt. Gary Kibbler -

1 DEC - Foundation & site work

8 DEC - ON SITE STEEL FRAMING STARTED (MA KIBBLER Supt. OF PROJECT).

29 DEC - walls close-in - roof on -

15 JAN 99 - WALK SITE WITH Supt. KIMBLER -

29 JAN 99 - LT. McDougall PFD, MYSELF & Supt, WALK SITE - QUESTION ON SECOND MEANS OF EGRES second FLOOR - STATE FIRE MARSHALL'S SAYS TWO (2) IS REQUIRED

28 JAN 99 - COFO FOR ADDITION - LT. McDougall NEEDS SPRINKLER REPORT AND 2 STROBE LIGHTS MOVE UP - NEEDS DRC APPROVAL - ALSO FIRE HYD. NEEDS TO SET UP BY PULD, WATER DISTRICT, & CALLED JIM WARDALL FOR HIS REQUIREMENTS.

Inspection Record

Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 400 Riverside St 320-A-002

Issued to Riverside Properties, LLC

Date of Issue February 8, 1999

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 981385, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

~~WAREHOUSE~~ Warehouse=
BOCA 96
Use Group S-0 Type 2C

Limiting Conditions:

1. The final site work could not be completed dur to the time of year.
This work must be completed by June 15, 1999.

This certificate supersedes
certificate issued

Approved:

2 February 1999
.....
(Date) Inspector

.....
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

MMS 11/20

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Building or Use Permit Pre-Application
Attached Single Family Dwellings/Two-Family Dwelling
Multi-Family or Commercial Structures and Additions Thereto**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction (include Portion of Building) : 400 RIVERSIDE STREET		
Total Square Footage of Proposed Structure 17,020 S.F.	Square Footage of Lot 788,436 S.F.	
Tax Assessor's Chart, Block & Lot Number Chart# 320 Block# A Lot# 002	Owner: RIVERSIDE PROPERTIES, LLC	Telephone#: 207-797-2196
Owner's Address: 400 RIVERSIDE STREET PORTLAND, ME 04103	Lessee/Buyer's Name (If Applicable) JOTUL NORTH AMERICAN	Cost Of Work: Fee \$418,000.00 \$2,110.00
Proposed Project Description:(Please be as specific as possible) ADDITION OF 17,020 S.F. WAREHOUSE TO AN EXISTING BUILDING.		
Contractor's Name, Address & Telephone 774-6138	THE SHERIDAN CORPORATION P. O. BOX 359, FAIRFIELD, ME 04937-0359	Rec'd By <i>MH</i>
Current Use: STORAGE	Proposed Use: STORAGE	

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC(Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must Include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan/Site Plan

Minor or Major site plan review will be required for the above proposed projects. The attached checklist outlines the minimum standards for a site plan.

4) Building Plans

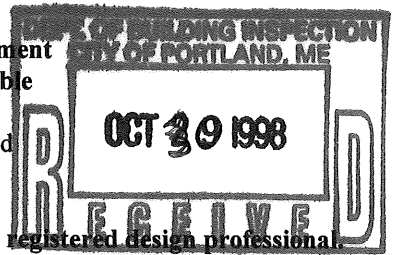
Unless exempted by State Law, construction documents must be designed by a registered design professional.

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.



Signature of applicant: <i>Kenneth S. Lamoreaux</i> KENNETH S. LAMOREAUX, DIR. OF ENGINEERING	Date: 10/28/98
--------------------------------------------------------------------------------------------------	----------------

Building Permit Fee: \$25.00 for the 1st \$1000.cost plus \$5.00 per \$1,000.00 construction cost thereafter.
Additional Site review and related fees are attached on a separate addendum

CALL FOR P/U

BUILDING PERMIT REPORT

Work
light

.98 ADDRESS: 400 Riverside Street CBL 320-A-002

MIT: TO Construct a 17000 sq ft addition

OWNER: Riverside Properties, LLC

APPLICANT: The Sheridan Corp.

UP B/S/ BOCA 1996 CONSTRUCTION TYPE 2C

CONDITION(S) OF APPROVAL

Permit is being issued with the understanding that the following conditions are met:

Approved with the following conditions: *1, *2, 17, *18, *19, *20, *24, *25, *30, *31, *32, *33

1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
- 2.5 Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
- 2.6 Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' o.c. between bolts. (Section 2305.17)
3. Precaution must be taken to protect concrete from freezing. Section 1908.0
4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
- *8. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 34" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".) Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0) - Handrails shall be on both sides of stairway. (Section 1014.7)
9. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
- *10. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread, 7" maximum rise. (Section 1014.0)
11. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6' 8") 1014.4

- 12. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1018.6)
- 13. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. Section 1010.1
- 14. All vertical openings shall be enclosed with construction having a fire rating of at least one (1)hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.) Section 710.0
- 15. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment. Table 302.1.1
- 16. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
 In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required) Section 920.3.2

- 17. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. Section 921.0
- X 18. The Fire Alarm System shall be maintained to NFPA #72 Standard.
- X 19. The Sprinkler System shall maintained to NFPA #13 Standard.
- X 20. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)
- 21. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 22. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
- 23. Ventilation shall meet the requirements of Chapter 12 Sections 1210. Of the City's Building Code. (crawl spaces & attics)
- X 24. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade.
- X 25. All requirements must be met before a final Certificate of Occupancy is issued.
- 26. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code. (The BOCA National Building Code/1996).
- 27. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993). (Chapter M-16)
- 28. Please read and implement the attached Land Use-Zoning report requirements.
- 29. Boring, cutting and notching shall be done in accordance with Sections 2305.4.4, 2305.5.1 and 2305.3. of the City's building code.

- X 30. Glass and glazing shall meet the requirements of Chapter 24 of the building code.
- X 31. *This permit is being issued with the understanding that full set of plans be submit before steel frame is erected - Floor plans electrical, plumbing etc. If you should have any questions on this matter please call me.*
- X 32. *Special Inspection shall be done in accordance with section 1205.1 of the City's Bldg. Code*
- X 33. *A list of all subcontractor with names and Tele. number shall be submit. to this office as soon as possible.*

P. Samuel Hoffses, Building Inspector

cc: Lt. McDougall, PFD
Marge Schmuckal, Zoning Administrator

REVIEWED FOR
BARRIER FREE
COMPLIANCE

STATE OF MAINE
DEPARTMENT OF PUBLIC SAFETY
LICENSING AND INSPECTIONS UNIT
AUGUSTA
CONSTRUCTION PERMIT



Permit N° 9702

PERMISSION IS HEREBY GIVEN TO:

Location of project:

PROJECT TITLE:

Riverside Properties LLC

400 Riverside Street

Portland, ME 04103

400 Riverside St.

Portland, ME

Riverside Properties LLC/
JOFUL Stoves
OCCUPANCY CLASSIFICATION:

Business

To construct or alter the afore referenced building according to the plans hitherto filed with the Commissioner and now approved. No departure from such plans shall be made without prior approval in writing.

This permit will expire at midnight on June 10, 1999

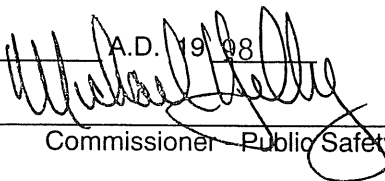
This permit is issued under the provisions of Title 25, Chapter 317, Section 2448

Nothing herein shall excuse the holder of this permit for the failure to comply with local ordinances, zoning laws, or other pertinent legal restrictions.

Dated the 11th day of December A.D. 1998

FEE \$ 150/150

SPRINKLED



Commissioner - Public Safety

Applicant: The Sheridan Corp

Date: 11/2/98

Address: 400 Riverside St

C-B-L: 320-A-2

CHECK-LIST AGAINST ZONING ORDINANCE

Date - ENSPS

Zone Location - I-M

Interior or corner lot -

Proposed Use/Work - Bldg Addition

Sevage Disposal -

Lot Street Frontage -

Front Yard - N/A 25'+

Rear Yard - 25' max - 50'+ show

Side Yard - 25' max - 50'+ show

Projections -

Width of Lot -

Height -

Lot Area -

Lot Coverage/ Impervious Surface -

Area per Family -

office space $3,200 \text{ ft}^2 \div 400 \text{ ft}^2/\text{space} = 8 \text{ spaces}$

Off-street Parking - warehouse $17,920 \text{ ft}^2 + 17,020 \text{ ft}^2 \text{ new} \div 1000 \text{ ft}^2/\text{space} = 35 \text{ spaces}$

Loading Bays -

43 - 80+ show

Site Plan - yes met reqs - approved

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - panel b - zone C - outside Flood Area



The Sheridan Corporation

July 28, 1998

Mr. Sam Hoffses
Code Enforcement Department
City of Portland
389 Congress Street
Portland, ME 04101

Re: Expansion of Building at 400 Riverside

Dear Mr. Hoffses:

This is to confirm your phone call this morning.

1. The existing building and the addition will have to be sprinkled for fire per NFPA 13.
2. If the building and addition are fully sprinkled per NFPA 13, no fire separations will be required within the existing building or the addition.

If this is not as you recall, please let me know.

We look forward to this project and thank you and Lt. McDougal for your time and due diligence on this item.

Sincerely,

Kenneth S. Lamoreaux
Director of Engineering

KSL/cat

ref:kl\hoffses.ltr

Site Review Pre-Application
Multi-Family/Attached Single Family Dwellings/Two-Family Dwelling
or Commercial Structures and Additions Thereto

In the interest of processing your application in the quickest possible manner, please complete the Information below for Site Plan Review

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.**

RIVERSIDE PROPERTIES

8/25/98

Applicant
400 RIVERSIDE ST, PORTLAND, ME

Application Date

Applicant's Mailing Address
SHERIDAN CORP.

Project Name/Description
400 RIVERSIDE

Consultant/Agent
PO BOX 359, FAIRFIELD ME 04937

Address Of Proposed Site

Applicant/Agent Daytime telephone and FAX

Assessor's Reference, Chart#, Block. Lot# 320/A/002

Proposed Development (Check all that apply) New Building Building Addition Change of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Other(Specify) _____

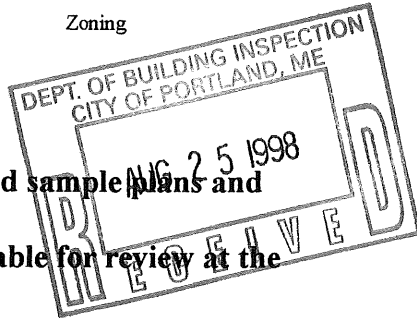
17,020
Proposed Building Square Footage and /or # of Units

18.1 ±
Acreage of Site

IM
Zoning

You must Include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
 - 2) 7 sets of Site Plan packages containing the information found in the attached sample plans and checklist.
- (Section 14-522 of the Zoning Ordinance outlines the process, copies are available for review at the counter, photocopies are \$ 0.25 per page)



I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if an approval for the proposed project or use described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this approval at any reasonable hour to enforce the provisions of the codes applicable to this approval.

Signature of applicant: <u>[Signature]</u>	Date: <u>8/25/98</u>
--------------------------------------------	----------------------

Site Review Fee: Major \$500.00 Minor 400.00

This application is for site review ONLY, a Building Permit application and associated fees will be required prior to construction.



Inspection Services
Michael J. Nugent
Manager

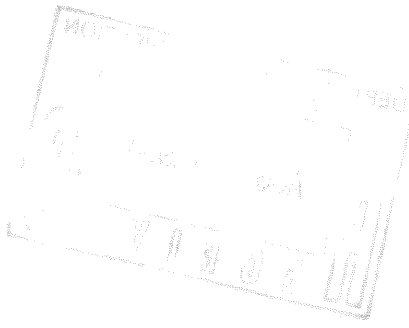
Department of Urban Development
Joseph E. Gray, Jr.
Director

CITY OF PORTLAND

congratulations!!!!!!

**Site Review Pre-Application
Multi-Family/Attached Single Family Dwellings/Two-Family Dwelling
or Commercial Structures and Additions Thereto**

As an applicant for Site Review, you are about to enter into a relationship with our Office. We welcome any questions, comments or suggestions that will make the process more efficient. Attached you will find an application and some samples of the submissions you will provide at application time. Please read ***ALL*** of the information and if you need any further assistance please call 874-8703 or 874-8693.



CITY OF PORTLAND, MAINE

PLANNING BOARD

John H. Carroll, Chair
Jaimey Caron, Vice Chair
Kenneth M. Cole III
Cyrus Y. Hagge
Deborah Krichels
Erin Rodriguez
Mark Malone

October 21, 1998

Robert Billings
Riverside Properties
400 Riverside Street
Portland, ME 04103

re: 400 Riverside Street, Jotul Stove Expansion

Dear Mr. Billings:

On December 13, 1998 the Portland Planning Board voted 5-0 (Cole and Rodriguez absent) that the construction of a 17,020 sq. ft. warehouse building expansion is in conformance with the Site Plan Ordinance of the Land Use Code and the Site Location of Development Act, Title 38 MRSA 481-490 with the following condition:

- i. that the applicant supply the City with a drainage maintenance agreement and annual documentation that the scheduled cleaning for the stormwater management system has occurred.

The approval is based on the submitted site plan and the findings related to site plan review standards as contained in Planning Report # 42-98, which is attached.

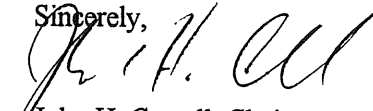
Please note the following provisions and requirements for all site plan approvals:

1. A performance guarantee covering the site improvements as well as an inspection fee payment of 1.7% of the guarantee amount and 7 final sets of plans must be submitted to and approved by the Planning Division and Public Works prior to the release of the building permit. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.
2. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
3. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.

4. Prior to construction, a preconstruction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the preconstruction meeting.
5. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)
6. The Development Review Coordinator (874-8300 ext. 8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact the Planning Staff.

Sincerely,



John H. Carroll, Chair
Portland Planning Board

cc: Joseph E. Gray, Jr., Director of Planning and Urban Development
Alexander Jaegerman, Chief Planner
Kandice Talbot, Planner
P. Samuel Hoffses, Building Inspector
Marge Schmuckal, Zoning Administrator
Tony Lombardo, Project Engineer
Development Review Coordinator
William Bray, Director of Public Works
Jeff Tarling, City Arborist
Penny Littell, Associate Corporation Counsel
Lt. Gaylen McDougall, Fire Prevention
Mary Gresik, Building Permit Secretary
Kathleen Brown, Director of Economic Development
Susan Doughty, Assessor's Office
Approval Letter File

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

19980109

I. D. Number

Riverside Properties

Applicant

400 Riverside St, Portland, ME 04103

Applicant's Mailing Address

Sheridan Corp

Consultant/Agent

Applicant or Agent Daytime Telephone, Fax

8/25/98

Application Date

Riverside St

Project Name/Description

400 Riverside St

Address of Proposed Site

320-A-002

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

17,020 Sq Ft 18.1 I-M zone

Proposed Building square Feet or # of Units 18.1 Acreage of Site I-M zone Zoning

Check Review Required:

- | | | | |
|----------------------------------------------------------------|---------------------------------------------------------|------------------------------------------------|--------------------------------------------------|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Plan \$500.00 Subdivision _____ Engineer Review \$712.00 Date: 10/30/98

Inspections Approval Status:

Reviewer Marge Schmuckal

- Approved Approved w/Conditions
see attached Denied

Approval Date 11/2/98 Approval Expiration _____ Extension to _____ Additional Sheets
Attached

Condition Compliance _____
signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	<u>10/30/98</u> date	<u>\$47,052.00</u> amount	<u>4/15/99</u> expiration date
<input checked="" type="checkbox"/> Inspection Fee Paid	<u>10/30/98</u> date	<u>\$799.88</u> amount	
<input type="checkbox"/> Building Permit Issued	_____ date		
<input type="checkbox"/> Performance Guarantee Reduced	_____ date	_____ remaining balance	_____ signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date	<input type="checkbox"/> Conditions (See Attached)	
<input type="checkbox"/> Final Inspection	_____ date	_____ signature	
<input type="checkbox"/> Certificate Of Occupancy	_____ date		
<input type="checkbox"/> Performance Guarantee Released	_____ date	_____ signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date	_____ amount	_____ expiration date
<input type="checkbox"/> Defect Guarantee Released			

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

19980109

I. D. Number

Riverside Properties

Applicant
400 Riverside St, Portland, ME 04103

Applicant's Mailing Address

Sheridan Corp

Consultant/Agent

Applicant or Agent Daytime Telephone, Fax

8/25/98

Application Date

Riverside St

Project Name/Description

400 Riverside St

Address of Proposed Site

320-A-002

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):
 New Building Building Addition Change Of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

17,020 Sq Ft

18.1

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

- | | | | |
|----------------------------------------------------------------|---------------------------------------------------------|------------------------------------------------|--------------------------------------------------|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Plan **\$500.00** Subdivision _____ Engineer Review _____ Date: **8/25/98**

Fire Approval Status:

Reviewer **Lt. Mc Dougall** *LM*

- Approved** **Approved w/Conditions**
see attached **Denied**

Approval Date **8/26/98** Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance **Lt. Mc Dougall** **8/26/98**
signature date

Performance Guarantee

Required*

Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|-------------------------------------------------------------|----------------|----------------------------------------------------|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issued | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | |
| | date | | |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

19980109

I. D. Number

Riverside Properties
Applicant
400 Riverside St, Portland, ME 04103
Applicant's Mailing Address
Sheridan Corp
Consultant/Agent

8/25/98
Application Date
Riverside St
Project Name/Description

Applicant or Agent Daytime Telephone, Fax

400 Riverside St
Address of Proposed Site
320-A-002
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):
 Office Retail Manufacturing Warehouse/Distribution Parking Lot Other (specify)
 New Building Building Addition Change Of Use Residential

17,020 Sq Ft 18.1
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- | | | | |
|----------------------------------------------------------------|---------------------------------------------------------|------------------------------------------------|--------------------------------------------------|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Plan \$500.00 Subdivision _____ Engineer Review \$712.00 Date: 10/30/98

DRC Approval Status:

Reviewer Jim Wendel

- Approved **Approved w/Conditions** Denied
see attache

Approval Date 10/13/98 Approval Expiration 10/13/99 Extension to _____
 Condition Compliance Jim Wendel 10/30/98 Additional Sheets Attached
signature date

Performance Guarantee **Required*** **Not Required**

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	<u>10/30/98</u> date	<u>\$47,052.00</u> amount	<u>4/15/99</u> expiration date
<input checked="" type="checkbox"/> Inspection Fee Paid	<u>10/30/98</u> date	<u>\$799.88</u> amount	
<input type="checkbox"/> Building Permit	_____ date		
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<input type="checkbox"/> Temporary Certificate Of Occupancy	_____ date	<input type="checkbox"/> Conditions (See Attached)	
<input type="checkbox"/> Final Inspection	_____ date	_____ signature	
<input type="checkbox"/> Certificate Of Occupancy	_____ date	_____ signature	
<input type="checkbox"/> Performance Guarantee Released	_____ date	_____ signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date	_____ amount	_____ expiration date
<input type="checkbox"/> Defect Guarantee Released	_____ date	_____ signature	

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM

19980109

I. D. Number

Riverside Properties

Applicant

400 Riverside St, Portland, ME 04103

Applicant's Mailing Address

Sheridan Corp

Consultant/Agent

Applicant or Agent Daytime Telephone, Fax

8/25/98

Application Date

Riverside St

Project Name/Description

400 Riverside St

Address of Proposed Site

320-A-002

Assessor's Reference: Chart-Block-Lot

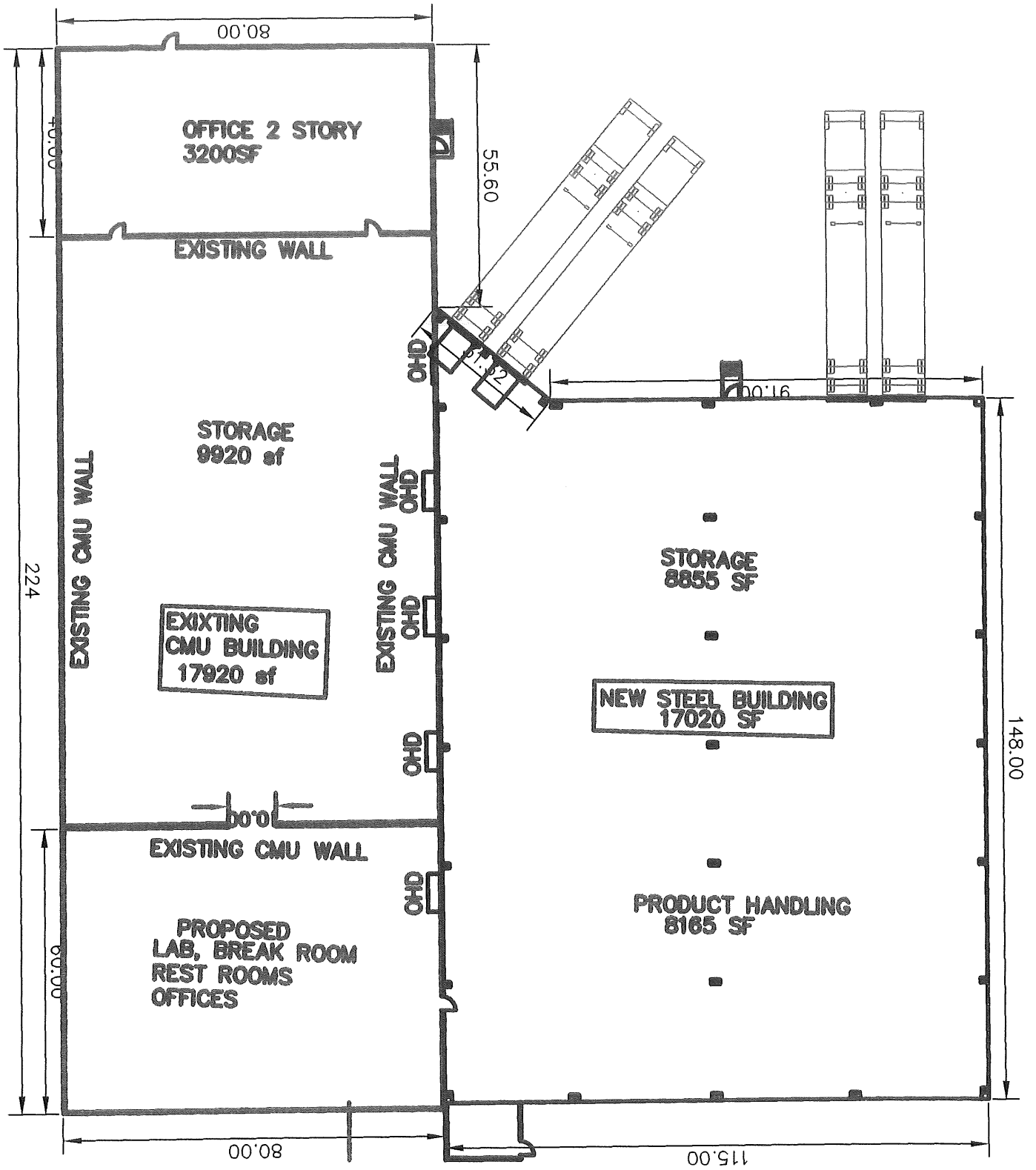
DRC Conditions of Approval

Planning Conditions of Approval

- that the applicant supply the City with a drainage maintenance and annual documentation that the scheduled cleaning for the stormwater management system has occurred.
-
-

Inspections Conditions of Approval

Fire Conditions of Approval



400 RIVERSIDE STREET
RIVERSIDE PROPERTIES

TYPE	EST. NO.
DRAWN BY	JOB NO.
APPROVED BY	ENGINEERING DWG. NO.
SCALE	SIZE
DATE	

Engineering Designs For
RIVERSIDE PROP.

Title BUILDING ADDITION

FAIRFIELD
PORTLAND
MAINE



BUTLER DESIGN BUILDER