

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND PERMIT ISSUED

Please Read
Application And
Notes, If Any,
Attached

BUILDING PERMIT

Permit Number: **JUN 30052810**

This is to certify that 410 RIVERSIDE ST LLC / Air East Inc. City of Portland

has permission to change of use of 4000 sq ft of warehouse to production

AT 410 RIVERSIDE ST City of Portland 320 A002001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is set-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CHIEF R. Sanborn

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Camie Donke 7/28/10
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0525	Issue Date:	CBL: 320 A002001
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Location of Construction: 410 RIVERSIDE ST (57 Ingersoll)	Owner Name: 410 RIVERSIDE ST LLC	Owner Address: 70 INGERSOLL DR	Phone:
Business Name:	Contractor Name: Airgas East Inc.	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	Zone: IM

Past Use: Commercial - Office/ Warehouse	Proposed Use: Commercial - Office/ Production - change of use of 4000 sq ft of warehouse to production "Airgas East"	Permit Fee: \$105.00	Cost of Work: \$105.00	CEO District: 5
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FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied * See Conditions	INSPECTION: Use Group: H3/B Type: 1B IBC-2003 Signature: JMB 7/28/10
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Proposed Project Description:
change of use of 4000 sq ft of warehouse to production & distribution of
medical cases. - add 28'x14' front part of 2 trucks &
a 12'x28' spill pad adjacent to building & a 12'x24' covered
storage area @ end of parking lot.

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions	<input type="checkbox"/> Denied
Signature:	Date:	

Permit Taken By: Idobson	Date Applied For: 05/17/2010	Zoning Approval		
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan Exemption 10-699 00625 Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 5/17/10 JMB	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: JMB

PERMIT ISSUED

JUN 30 2010

City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0525	Date Applied For: 05/17/2010	CBL: 320 A002001
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Location of Construction: 410 RIVERSIDE ST (57 Ingersoll D	Owner Name: 410 RIVERSIDE ST LLC	Owner Address: 70 INGERSOLL DR	Phone:
Business Name:	Contractor Name: Airgas East Inc.	Contractor Address:	Phone
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	

Proposed Use: Commercial - Office/ Production & Distribution - "Airgas East" - change of use of 4000 sq ft of warehouse to production & distribution of medical gasses	Proposed Project Description: change of use of 4000 sq ft of warehouse to production & distribution of medical gasses - add 28' x 14 tank pad with two 18'9" tanks and a 12' x 26' spill pad in front adjacent to building & a 12' x 24' covered storage area at the edge of parking lot
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 05/17/2010

Note: Right, title & interest is in PDF file in 'G' drive. **Ok to Issue:**

Area of change of use is less than 4000 sf so no siteplan needed.
7/26/10 Reviewed plans for two outside storage areas. They both meet height requirements and setbacks.
The one 12' x 24' new pad does not put the impervious surface ration over 75%.

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) Separate permits shall be required for any new signage.
- 3) A separate permit will have to be applied for to install sprinkler system.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 07/28/2010

Note: **Ok to Issue:**

- 1) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 2) The mezzanine is for use as a storage area only.
- 3) Application approval based upon information provided by applicant with revisions as submitted.. Any deviation from approved plans requires separate review and approval prior to work.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Keith Gautreau **Approval Date:** 05/19/2010

Note: **Ok to Issue:**

- 1) All construction shall comply with NFPA 1 and 101.
- 2) System acceptance and commissioning must be co-ordinated with alarm and suppression system contractors and the Fire Department. Call 874-8703 to schedule.
- 3) The Fire Department will require knox locking caps on all Fire Department Connections on the exterior of the building.
- 4) Fire department connection type and location shall be approved in writing by fire prevention bureau.
- 5) The sprinkler system shall be installed in accordance with NFPA 13.
- 6) All bulk storage tanks shall be properly and visibly marked. All MSDS sheets shall be current and made available on site.
- 7) Installation of a Fire Alarm system requires a Knox Box to be installed per city crdinance
- 8) The fire alarm system shall comply with the City of Portland Standard for Signaling Systems for the Protection of Life and Property. All fire alarm installation and servicing companies shall have a Certificate of Fitness from the Fire Department.
- 9) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.
- 10) Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit.
- 11) All means of egress to remain accessible at all times

Location of Construction: 410 RIVERSIDE ST (57 Ingersoll D	Owner Name: 410 RIVERSIDE ST LLC	Owner Address: 70 INGERSOLL DR	Phone:
Business Name:	Contractor Name: Airgas East Inc.	Contractor Address:	Phone
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	

12 Fire extinguishers required. Installation per NFPA 10

13 Sprinkler protection shall be maintained.

Where the system is to be shut down for maintenance or repair, the system shall be checked at the end of each day to insure the system has been placed back in service.

14 A separate Fire Alarm Permit is required for new systems; or for work effecting more than 5 fire alarm devices; or replacement of a fire alarm panel with a different model .

15 A separate Suppression System Permit is required for all new suppression systems or sprinkler work effecting more than 20 heads.

16 Application requires State Fire Marshal approval.

Comments:

6/8/2010-jmb: Left vcmmsg for Adam B. For details on stair to 2nd floor/mezzanine, any construction, what are the medical gases, is the separation wall existing, what is stored in the storage room.

6/11/2010-jmb: Adam rtd vcmmsg, I spoke with him today, the mezzanine is just over the 380 sf storage area and is for mechanicals/HVAC, no occupancy allowed. He clarified the gases, oxygen and nitrogen filling oxidizers as H-3 occupancy, he will clarify with drafter if all fire doors in the separation wall, if the storage wall is rated. I will check with Keith on the egress through the storage space, all non-combustibles. Also there is significant exterior storage of tanks, he will provide a cut out of the site plan showing locations and the supporting structural slabs. Need to check with Ann for any zoning implications for the storage.

6/14/2010-jmb: Spoke to Keith about the 2nd egress through a storage area, he is ok due to mostly noncombustible in this area, and 2 other doors out of this space. This one is more remote from the primary.

7/14/2010-jmb: Spoke to Ann M. About the pads and tank storage outside, she thinks it will require a site plan exemption.

7/14/2010-jmb: Received revised plans from John O. Via email, reviewed and responded for more detail on the roof framing over the tanks, clarification on the number of tank pads as it only shows one on the site plan, but 2 on the architectural, the height of the tanks and that a site plan exemption application will need to be filed with planning.

7/16/2010-jmb: Received revised plans via email, responded this will need to be submitted in full scale and pdf or reduction to zoning and planning. Also need dimensions on the pads and if steel pole supports are on the pad or frost protection.

7/21/2010-jmb: Received revisions from John O. Via email, he will provide full scale drawings and submit SPE to planing. Ok to issue pending SPE approval.

7/26/2010-jmb: Routed plans to Ann for zoning approval of new site plan with outside storage of tanks. Received back.

7/27/2010-jmb: Routed to fire for review since outdoor tank storage was added

7/28/2010-gg: received granted site plan exemption as of 07-26-10. /gg site plan exemption with permit, with fire.

7/28/2010-jmb: Left vcmmsg for Adam B. For estimate of add'l cost of work to be paid upon issuance of the permit.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a “Stop Work Order” and subsequent release to continue with construction.**

 X **Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**

 X **Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.**
NOTE: There is a \$75.00 fee per inspection at this point.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

(410 Riverside St.)

Location/Address of Construction: <u>57 Ingersoll Dr. Portland, ME 04103</u>		
Total Square Footage of Proposed Structure/Area <u>8,400 (change of use = 4000)</u>	Square Footage of Lot	Number of Stories <u>1</u>
Tax Assessor's Chart, Block & Lot Chart# <u>320</u> Block# <u>A</u> Lot# <u>2</u>	Applicant * must be owner, Lessee or Buyer* Name <u>Airgas East Inc</u> Address <u>17 Northwestern Dr.</u> City, State & Zip <u>Salem, NH 03079</u>	Telephone: <u>603.401.0234</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>410 Riverside ST LLC</u> Address <u>90 Ingersoll Dr.</u> City, State & Zip <u>Portland, ME 04103</u>	Cost Of Work: \$ _____ C of O Fee: \$ _____ Total Fee: \$ <u>11/30/10</u>
Current legal use (i.e. single family) <u>Commercial</u> Number of Residential Units <u>additional</u> If vacant, what was the previous use? <u>office warehouse</u> <u>\$ COST</u> Proposed Specific use: <u>Office/Production</u> <u>47,000.00</u> Is property part of a subdivision? <u>no</u> If yes, please name _____ Project description: <u>Change of use of 4000 sq ft. of Warehouse to production.</u> <u>see 490.00</u>		
Contractor's name: _____		
Address: _____		
City, State & Zip _____ Telephone: _____		
Who should we contact when _____ Telephone: <u>603-401-0234</u>		
Mailing address: _____ Please call. will pick up.		

Please submit all of the information outlined in the applicable Checklist. Failure to provide this information will result in the denial of your permit.

In order to ensure that the proposed work meets the applicable codes, the Planning and Development Department may request a site visit. For further information or to download copies of this form and other regulations, visit the Planning and Development Department website at www.portlandmaine.gov, or stop by the Inspections Division office, room 200, 1000 Commercial Street, Portland, ME 04103.

I hereby certify that I am the Owner or agent of the name of the property owner of record authorizes the proposed work and that I have been authorized by the owner to make this application. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit is issued based on this application, I certify that the Code Official's authorized representative is authorized to enter the property by this permit at any reasonable hour to enforce the provisions of the codes applicable to the property.

Inspections
Portland Maine

Signature: [Signature]

Date: 5-17-10

This is not a permit; you may not commence ANY work until the permit is issued



CITY OF PORTLAND, MAINE

Department of Building Inspections

Original Receipt

5-17 20 10

Received from Alan Beck

Location of Work 57 Tugboat Dr.

Cost of Construction \$ _____

Building Fee: 30

Permit Fee \$ _____

Site Fee: _____

Certificate of Occupancy Fee: 75

Total: 105

Building (1L) _____

Plumbing (1S) _____

Electrical (1Z) _____

Site Plan (U2) _____

Other High Rise

CBL: 220-A-2

Check #: CC

Total Collected \$ 105

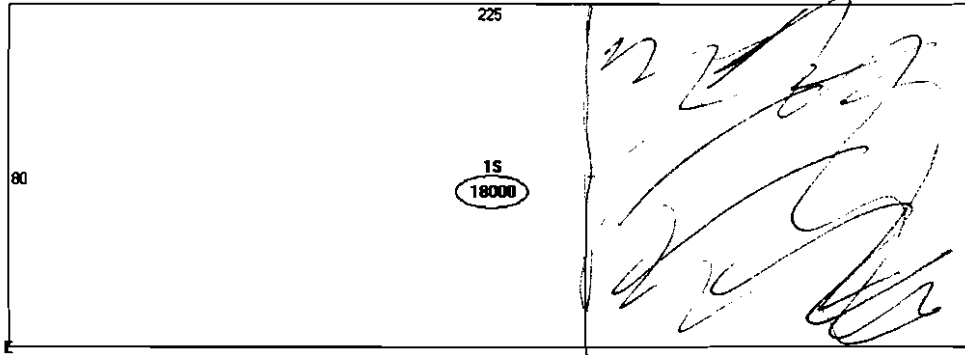
**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy

YELLOW - Office Copy

PINK - Permit Copy



- Descriptor/Area**
- A: 045
15120 sqft
 - B: 082
2880 sqft
 - C: 045
1000 sqft
 - D: DOCK LEVELERS
sqft
 - E: OVERHEAD DR WOOD/MTL
64 sqft
 - F: 1S
18000 sqft

81'

Jeanie Bourke - AirGas

From: "John Ossie" <johno@fmccadd.com>
To: "Jeanie Bourke" <JMB@portlandmaine.gov>
Date: 7/20/2010 11:51 AM
Subject: AirGas
Attachments: New Floor Plan-LS-2.pdf

Hi Jeanie,

Good to see you this morning. You made quite an impression on the assemble masses.

Here is an updated detail sheet for the AirGas project.

Plan (5) gives you all the dimensions for the tank enclosure.

Plan (1) gives you all the pan dimension for the covered gas cylinder storage.

Detail (7) is for the fence at the tank enclosure.

We discussed the detail for the support posts for the covered storage.

I'll be bringing up a plan and form for the Site Plan Exception later this afternoon.

Please let me know if you need anything else.

Thanks

Regards,

John Ossie - President
FMC CADD



JOHN OSSIE
PRESIDENT
(P) 207-870-4311
(F) 207-870-4515
Cell 207-320-4400

ENGINEERING RESOURCE CENTER
75 BRIDGE ST. PORTLAND MAINE 04103

FACILITY MAPPING & REPROGRAPHICS
www.fmcadd.com

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E-MAIL JOHNO@FMCCADD.COM



Application for Exemption from Site Plan Review

Portland, Maine

Department of Planning and Urban Development, Planning Division and Planning Board

PROJECT NAME: Air Gas Gas storage & dispensing facility

PROJECT ADDRESS: 40 Riverside, 57 Ingersol, Portland, ME 04103

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of Proposal/Development)
Existing conc. block structure and tenant space to be used for the storage of inert, flammable and oxidizing gases

CHART/BLOCK/LOT: 327 Lot 4, 5

CONTACT INFORMATION:

OWNER/APPLICANT

Name: Adam Beck
Address: VPGM Northern N. England
Airgas East
17 Northwestern Dr. Salem, NH
Zip Code: 03079
Work #: 603 401 0239
Home #: _____
Fax #: _____
E-mail: _____

CONSULTANT/AGENT

Name: FMC Corp John Ossi
Address: 75 Bishop St.
Portland, ME
Zip Code: 04103
Work #: 207-878-8511
Home #: _____
Fax #: _____
E-mail: _____

Criteria for Exemptions:

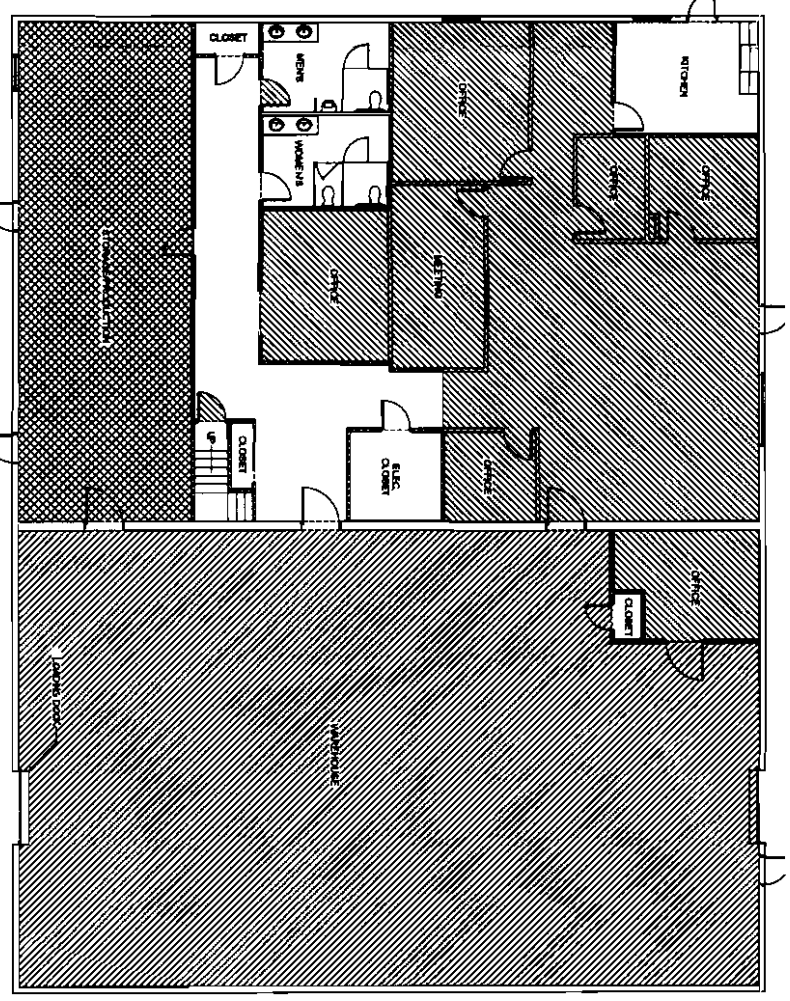
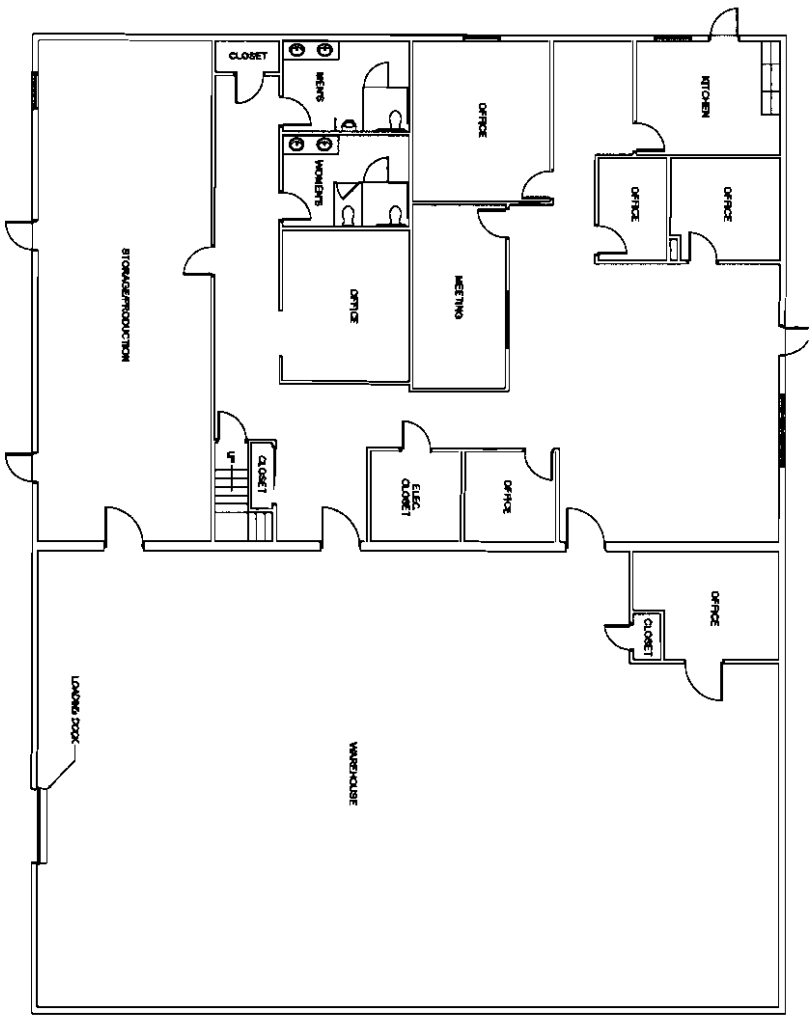
(See Section 14-523 (4) on page 2 of this application)

	Applicant's Assessment Y(yes), N(no), N/A	Planning Division Use Only
a) Is the proposal within existing structures?	<u>Y</u>	<u>N</u>
b) Are there any new buildings, additions, or demolitions?	<u>Y</u>	<u>Y</u>
c) Is the footprint increase less than 500 sq. ft.?	<u>Y</u>	<u>Y</u>
d) Are there any new curb cuts, driveways or parking areas?	<u>N</u>	<u>N</u>
e) Are the curbs and sidewalks in sound condition?	<u>Y</u>	<u>Y</u>
f) Do the curbs and sidewalks comply with ADA?	<u>Y</u>	<u>Y</u>
g) Is there any additional parking?	<u>N</u>	<u>N</u>
h) Is there an increase in traffic?	<u>N</u>	<u>N</u>
i) Are there any known stormwater problems?	<u>N</u>	<u>N</u>
j) Does sufficient property screening exist?	<u>Y</u>	<u>Y</u>
k) Are there adequate utilities?	<u>Y</u>	<u>Y</u>

Planning Division Use Only Exemption Granted X Partial Exemption _____ Exemption Denied _____

With the conditions that the applicant receive final approval from the Fire Department and all required building permits from the Inspection Division prior to the start of any construction.

Planner's Signature Barbara Goryndt Date July 26, 2010



Project description
 Airtel Facility
 57 Ingersoll Drive Suite 1, Portland, ME 04103

Building is an existing single story CMU building approximately 6223 sq ft in size to be used for business, retail, storage and distribution of finished goods.

Building Code
 IRC 2003
 Maine State Planning code
 Referred to under code 2003
 LRS Safety 205

Building Name
 6223

Occupancy Classification
 Area sq ft per Occupant Occupants

Office (gross)	2284	120	20
Storage	3200	300	30
Warehouse	5770	300	30
Totals	11254	600	60

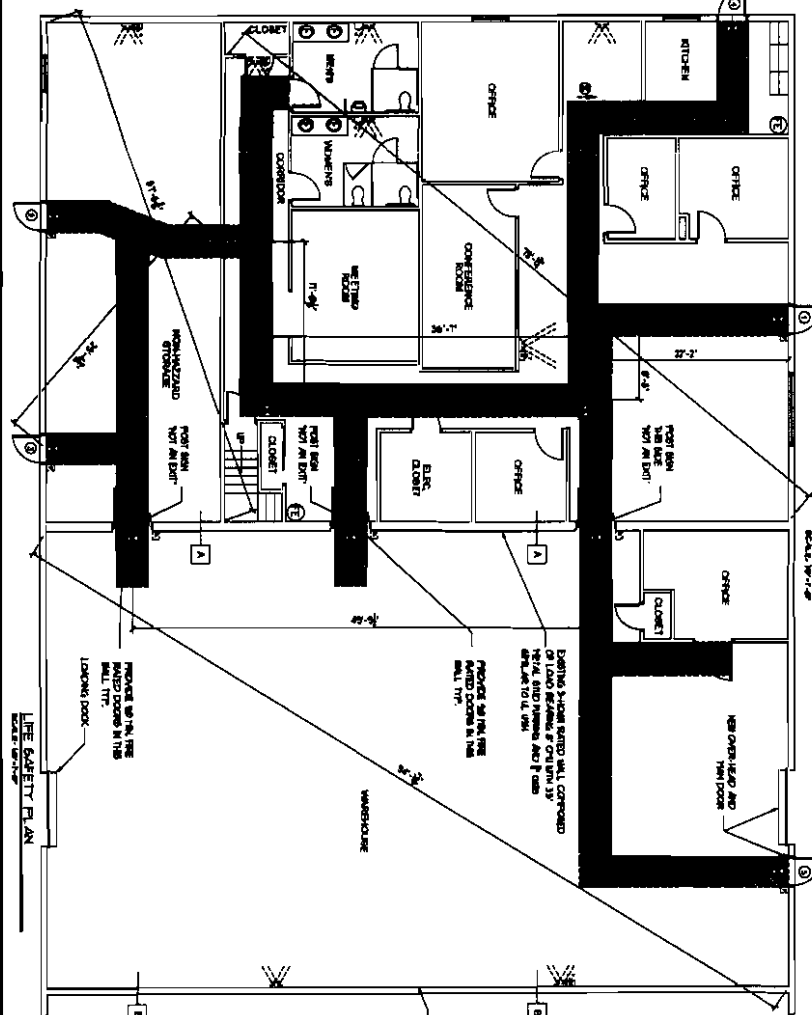
Total Occupants
 Occupants per Occupant 4
 Total 240

Total of square feet requested
 2

Total of square feet provided
 4

Construction Type
 Type I unimpaired

The facility will be equipped with an automatic fire sprinkler system throughout.



NOTE:
 This is a preliminary drawing. It is not intended to be used for construction. The contractor shall verify all dimensions and conditions of the existing building before construction. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall be responsible for coordinating with the building owner and the fire department. The contractor shall be responsible for providing all necessary safety equipment and signage. The contractor shall be responsible for ensuring that the building is safe and sound at all times. The contractor shall be responsible for providing all necessary documentation and records. The contractor shall be responsible for ensuring that the building is in compliance with all applicable codes and regulations. The contractor shall be responsible for ensuring that the building is in compliance with all applicable laws and regulations. The contractor shall be responsible for ensuring that the building is in compliance with all applicable standards and specifications. The contractor shall be responsible for ensuring that the building is in compliance with all applicable industry practices and standards. The contractor shall be responsible for ensuring that the building is in compliance with all applicable best practices and standards. The contractor shall be responsible for ensuring that the building is in compliance with all applicable state-of-the-art practices and standards. The contractor shall be responsible for ensuring that the building is in compliance with all applicable cutting-edge practices and standards. The contractor shall be responsible for ensuring that the building is in compliance with all applicable leading-edge practices and standards. The contractor shall be responsible for ensuring that the building is in compliance with all applicable state-of-the-art practices and standards. The contractor shall be responsible for ensuring that the building is in compliance with all applicable cutting-edge practices and standards. The contractor shall be responsible for ensuring that the building is in compliance with all applicable leading-edge practices and standards.

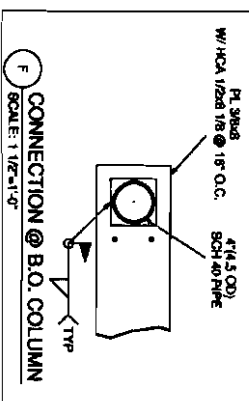
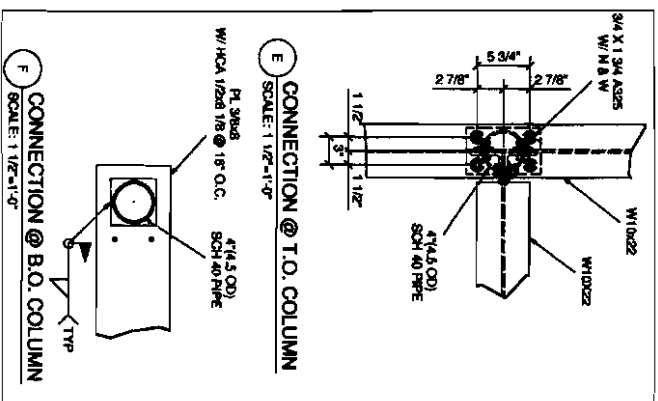
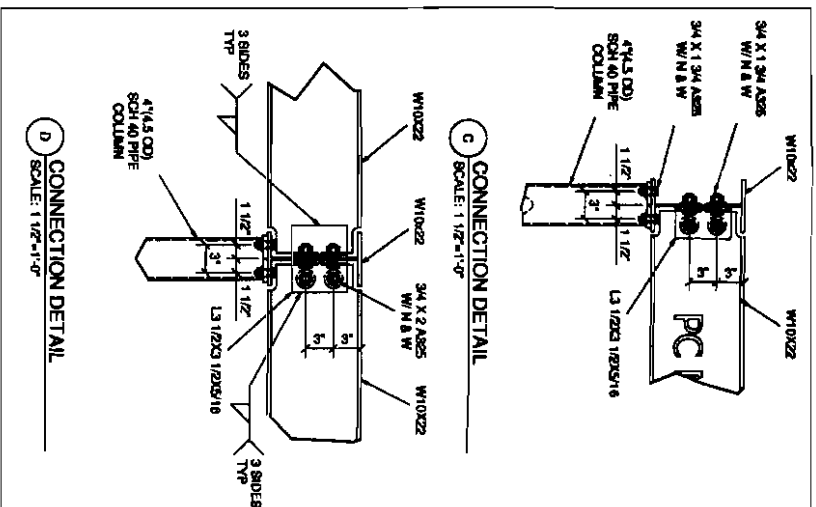
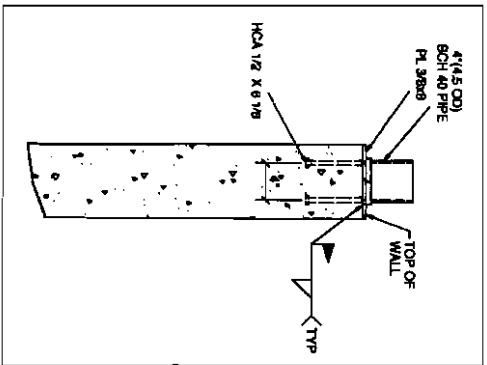
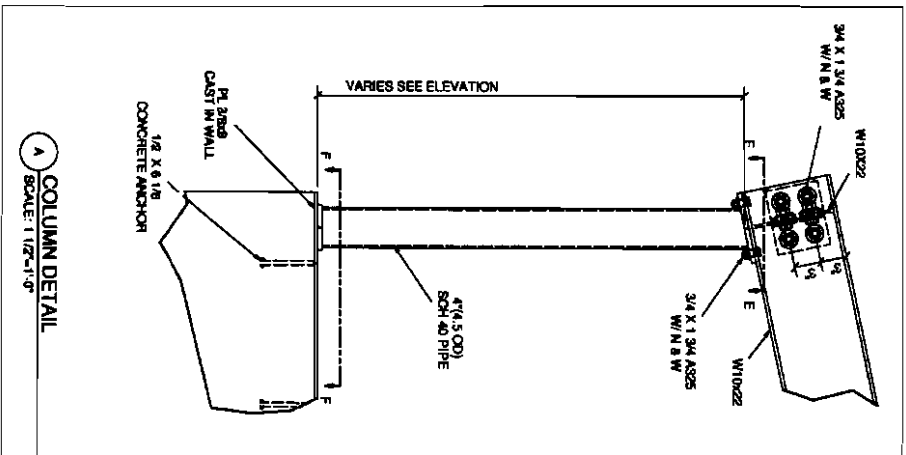
RECEIVED
 JUL 14 2010
 Dept. of Building Inspections
 City of Portland Maine

AirGas Facility
 57 Ingersoll Drive, Portland, ME 04103
 Life Safety Plans

PROPERTY OF
FBC
CAED Engineering Resource Center
 75 Boring St.
 Portland, Maine 04103
 207-478-4511 Fax 207-478-4515
 E-mail: info@fbc-caed.com

REVISIONS:
 1. REVISED
 2. REVISED
 3. REVISED

CODE:
 TOWN: Portland, ME
 DATE: 04-15-10
 SCALE:
 DESIGNED: JAO
 DRAWN: JAO
 TITLE:
 Life Safety Plans
 FILE:
 SHEET: 15-1



NOTE:
 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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RECEIVED
 JUL 21 2010
 Dept. of Building Inspections
 City of Portland Maine

3.	
2.	
1.	
REVS.	
CODE:	
TOWN:	Portland, ME
DATE:	07-15-10
SCALE:	
DESIGNED:	JJO
DRAWN:	JJO
TITLE:	CONNECTION DETAILS
FILE:	
SHEET:	1/3

AirGas Facility
 57 Ingersoll Drive, Portland, ME 04103

FRG CADD Engineering Resources Center
 75 Bailey St.
 Portland, ME 04103
 207-478-4511 Fax: 207-478-4515
 E-Mail: ape@frgadd.com

PROPERTY OF

F 11-11

- use group + type of construction ???
- Mezzanine for storage only
- fix roof leak
- fix plumbing issues with vents + leaks.
- electrical open splices + J'Boxes.
- KU seals
- covers on LT fixtures + remove LAST 2 BANDS OF LTS (document)
- cover in Trays
- Service JCT Box - need access
- Panel schedules
- lock on door for electrical room
 - Fire Alarm Breaker Red
 - research HAZ/MAT for electrical

MAACS
Military Support Center
Green Mass. Cove